

PD 1243

Table of Contents

06/27/2018 PD Amendment	2
Ordinance	2
Statements	3
Bulk Table	7
Exhibits	9
10/30/2017 Zoning Letter	25
05/28/2014 PD Adoption	26
Ordinance	26
Statements	27
Bulk Table	30
Exhibits	31

19373

6/27/2018

REPORTS OF COMMITTEES

80829

Reclassification Of Area Shown On Map No. 18-C.
(Application No. 19655)
(Common Address: 7746 S. Chappel Ave.)

[O2018-3992]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 18-C in an area bounded by:

the alley next west of and parallel to South Chappel Avenue; a line 78 feet south of and parallel to East 77th Street; South Chappel Avenue; and a line 109 feet south of and parallel to East 77th Street,

to those of an RT3.5 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and due publication.

Reclassification Of Area Shown On Map No. 20-F.
(As Amended)
(Application No. 19373)
(Common Address: 8522 S. Lafayette Ave.)

CIPD 1243.99

[SO2017-6217]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Commercial Institutional Planned Development Number 1243 District symbols and indications as shown on Map Number 20-F in the area bounded by:

West 85th Street; South Lafayette Avenue; a line 596.16 feet north of West 87th Street; a line 503.51 feet west of South Lafayette Avenue; a line 647.88 feet north of West 87th Street as measured along the west line of South Lafayette Avenue; and the westerly right-of-way line of South Wentworth Avenue as extended where no street exists,

to those of Commercial Institutional Planned Development Number 1243, as amended, which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Commercial-Institutional Planned Development No. 1243, As Amended.

Planned Development Statements.

1. The area delineated herein as Commercial-Institutional Planned Development Number 1243 ("Planned Development") consists of approximately 629,717 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, 8522 South Lafayette (Chicago) LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II Review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This plan of development consists of 16 Statements; a Bulk Regulations Table; a Land-Use Plan; a Planned Development Boundary and Property Line Map; an Existing Zoning Map; a Planned Development Subarea Plan; Site Plans (Overall and Enlarged Subarea A and Subarea B); Landscape Plans (Overall, Enlarged Subarea A and Subarea B, Plant List and Plant Details and Self-Storage -- Ornamental Fence Detail); Building Elevations (East, West, South and North) prepared by Baumann Studios and dated June 21, 2018 submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The following uses are permitted in the area delineated herein as a Planned Development: colleges and universities; day care; school; business support services; residential storage warehouses; warehousing, wholesaling and freight movement; co-located wireless communication facilities; and accessory and incidental uses as authorized by the Chicago Zoning Ordinance.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a net site area of 629,717 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site improvements on the Property and Landscape Plans shall be designed, constructed, renovated and maintained in substantial conformance with the approved Site Plans and exhibits, the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-085 of the Municipal Code, or any other provision of that Code.
12. The terms, conditions and exhibits of the Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the request of the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors, and after a determination by the Zoning Administrator that such modification is minor, appropriate, consistent with Section 17-13-0611 of the Chicago Zoning Ordinance and the nature of the development of the Property contemplated in this Planned Development ordinance. Any such modification shall be deemed to be a

minor change in the Planned Development ordinance as contemplated by Section 17-13-0601 of the Chicago Zoning Ordinance.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain 25 points for Subarea A and 75 points for Subarea B to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the Applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the Applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the Applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the Applicant's submission for Part II Permit Review for the project or any phase thereof, the Applicant must submit to DPD (a) updates (if any) to the Applicant's preliminary outreach plan, (b) a description of the Applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the Applicant's outreach efforts, and (d) updates (if any) to the Applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must

* Editor's Note: Numbering sequence error; (i) missing in original document.

provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

- 16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning Development shall initiate a zoning map amendment to rezone the Property to Commercial Institutional Planned Development Number 1243, as it existed prior to this amendment.

[Land-Use Map; Boundary and Property Line Map; Existing Zoning Map; Subarea Plan; Site Plan; Enlarged Site Plans -- Subareas A and B; Landscape Plan; Enlarged Landscape Plans -- Subareas A and B; Plant List and Plant Details; Self-Storage -- Ornamental Fence Detail; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 80836 through 80851 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:






Commercial-Institutional Planned Development No. 1243, As Amended.

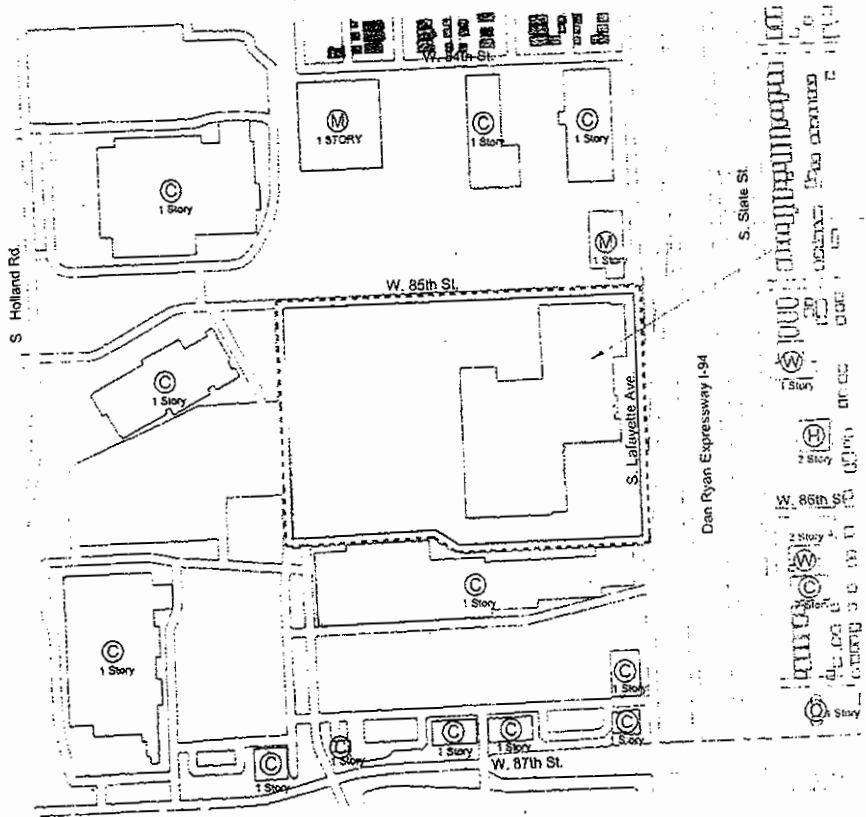
Bulk Regulations And Data Table.

Gross Site Area (square feet):	677,837
Subarea A:	197,200
Subarea B:	480,637

Area of Public Rights-of-Way (square feet):	48,120
Subarea A:	35,699
Subarea B:	12,421
Net Site Area (square feet):	629,717
Subarea A:	161,501
Subarea B:	468,216
Maximum Floor Area Ratio:	2.2
Minimum Off-Street Parking Spaces:	
Subarea A:	8
Subarea B:	102
Minimum Number of Bicycle Parking Spaces:	
Subarea A:	0
Subarea B:	15
Minimum Off-Street Loading Spaces:	
Subarea A:	3 (10 feet by 25 feet)
Subarea B:	0
Maximum Building Height:	27 feet, 0 inches (existing to remain)
Minimum Setbacks:	Per plans

LEGEND

-  RESIDENTIAL USE
-  COMMERCIAL USE
-  MANUFACTURING USE
-  MEDICAL USE
-  RELIGIOUS USE



SUBJECT PROPERTY
 8522 S. Lafayette Ave.
 Chicago, IL

FINAL FOR PUBLICATION

APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018



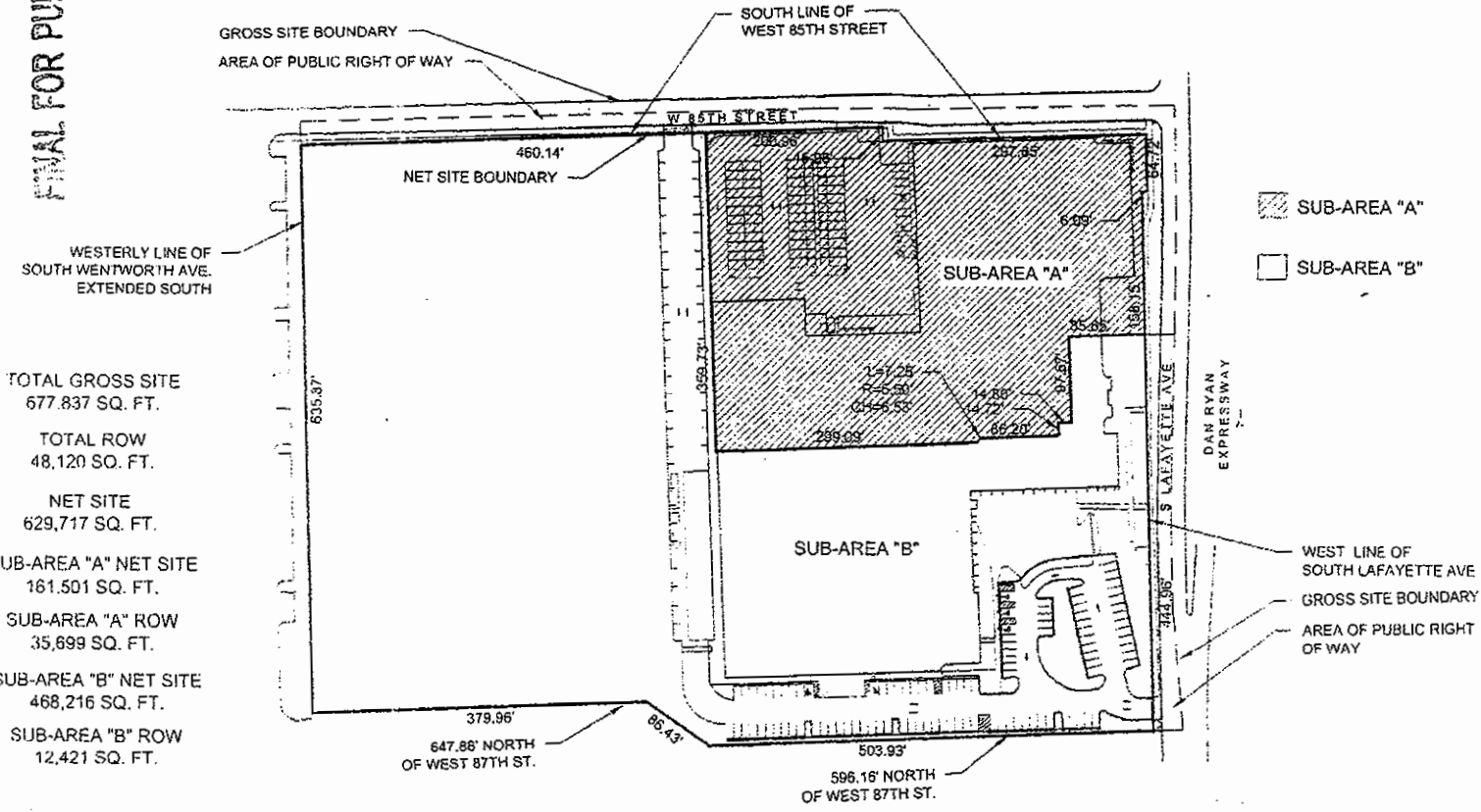
LAND USE PLAN
 SCALE: 1/128" = 1'-0"



FINAL FOR PUBLICATION

6/27/2018

REPORTS OF COMMITTEES

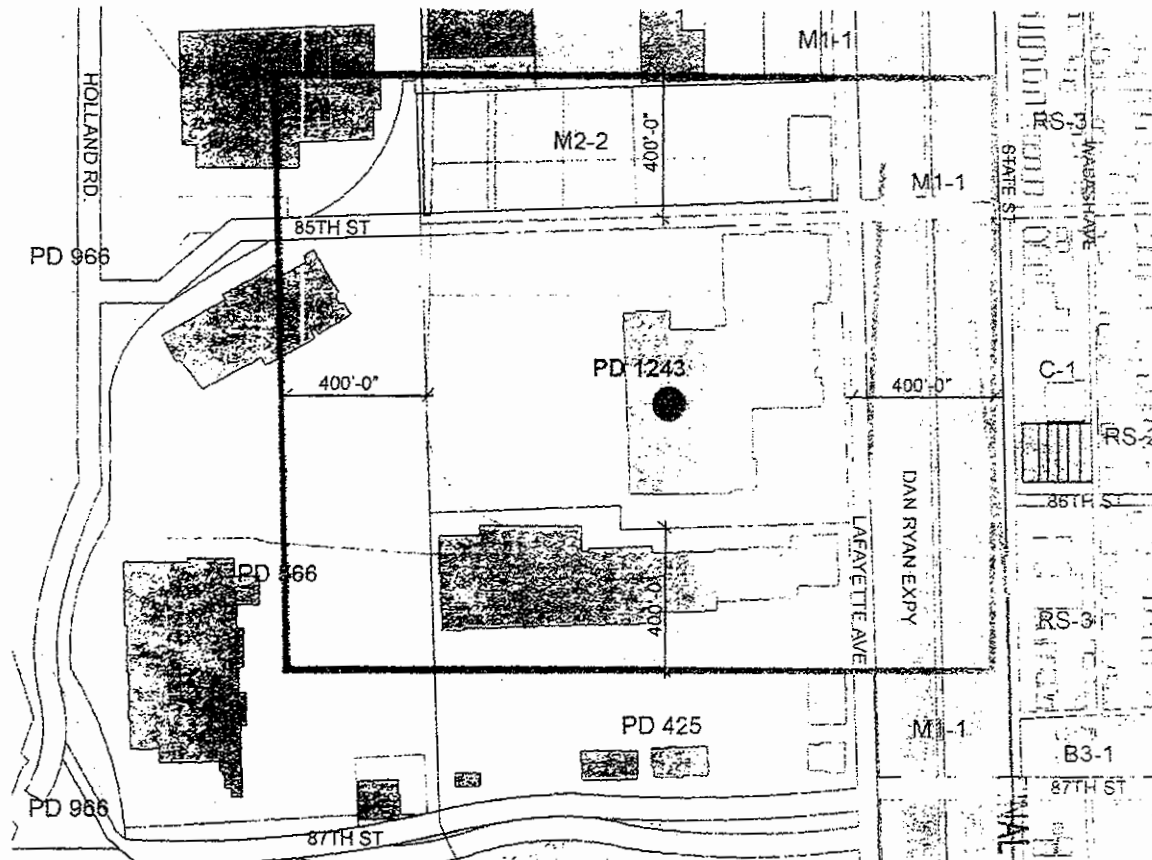


APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

PLANNED DEVELOPMENT BOUNDARY & PROP. LINE MAP

SCALE: 1" = 50'

80837



MAP FOR PUBLICATION

APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

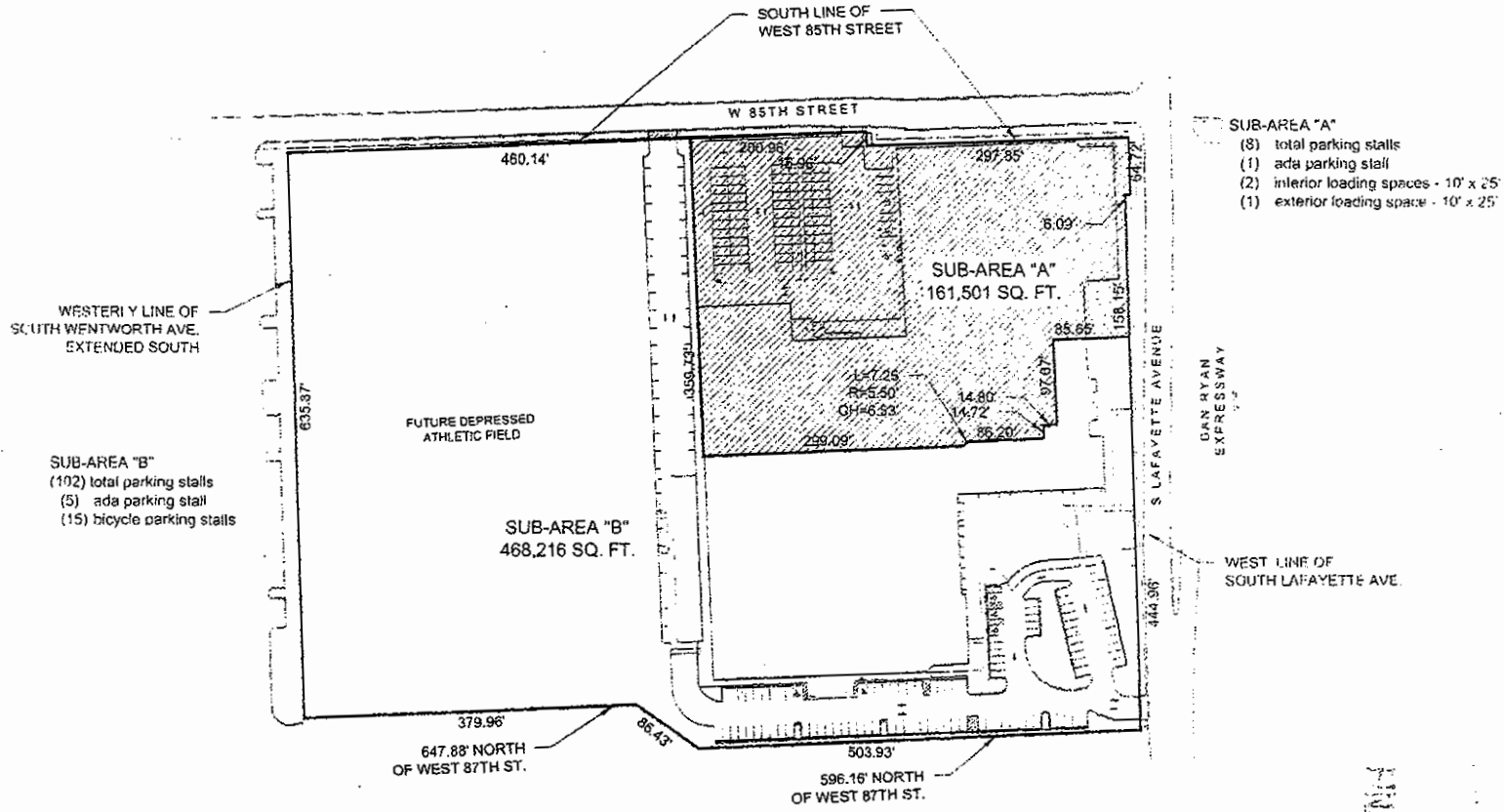


EXISTING ZONING MAP
 SCALE: N.T.S.

6/27/2018

REPORTS OF COMMITTEES

80839

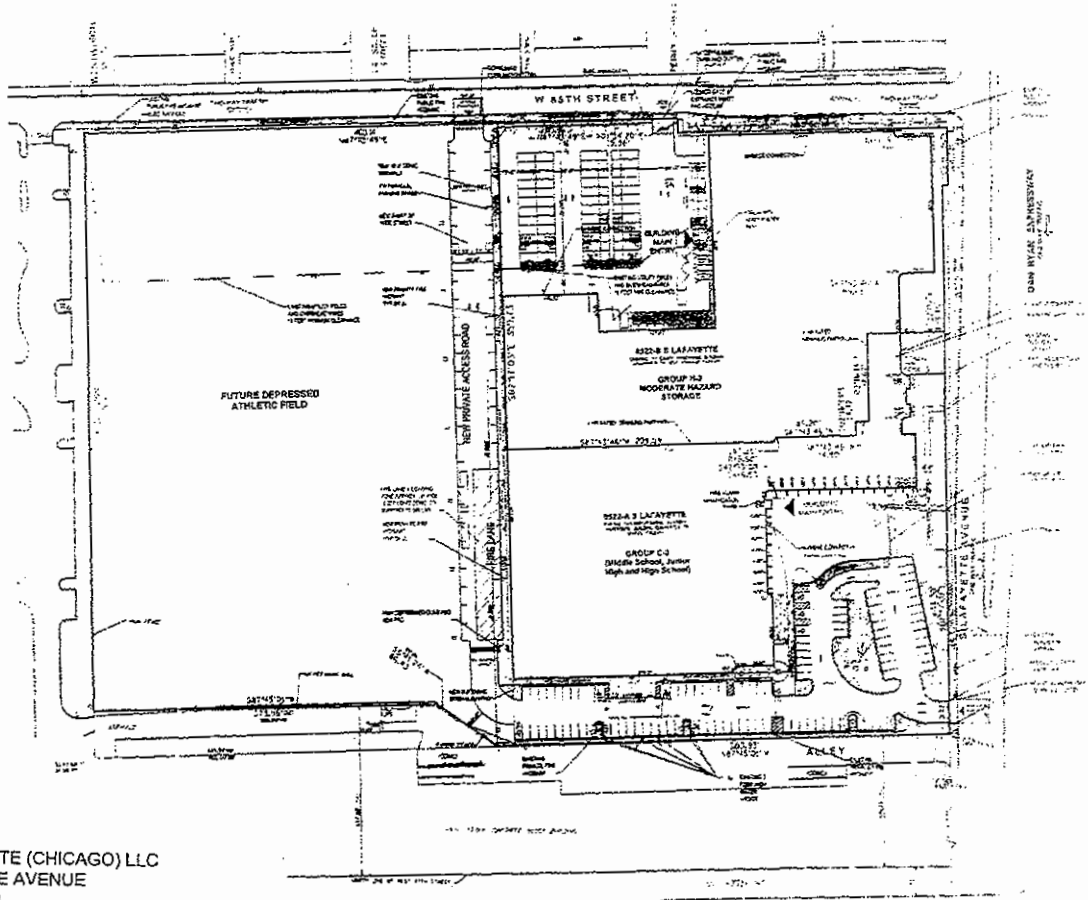


APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

PLANNED DEVELOPMENT SUB AREA PLAN
 SCALE: 1" = 50'

FINAL FOR PUBLICATION

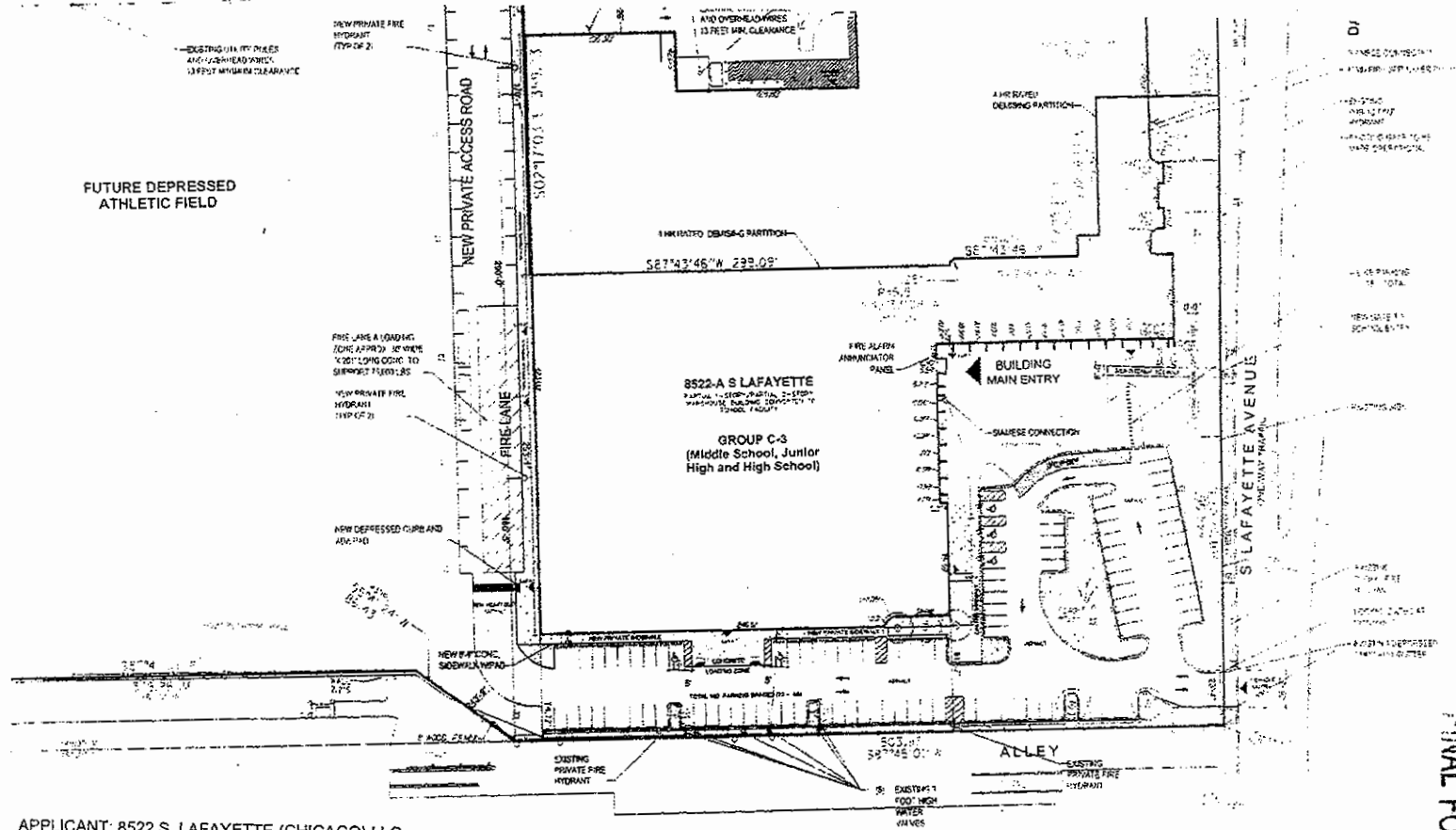
FINAL FOR PUBLICATION



APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

SITE PLAN
 SCALE: 1" = 50'

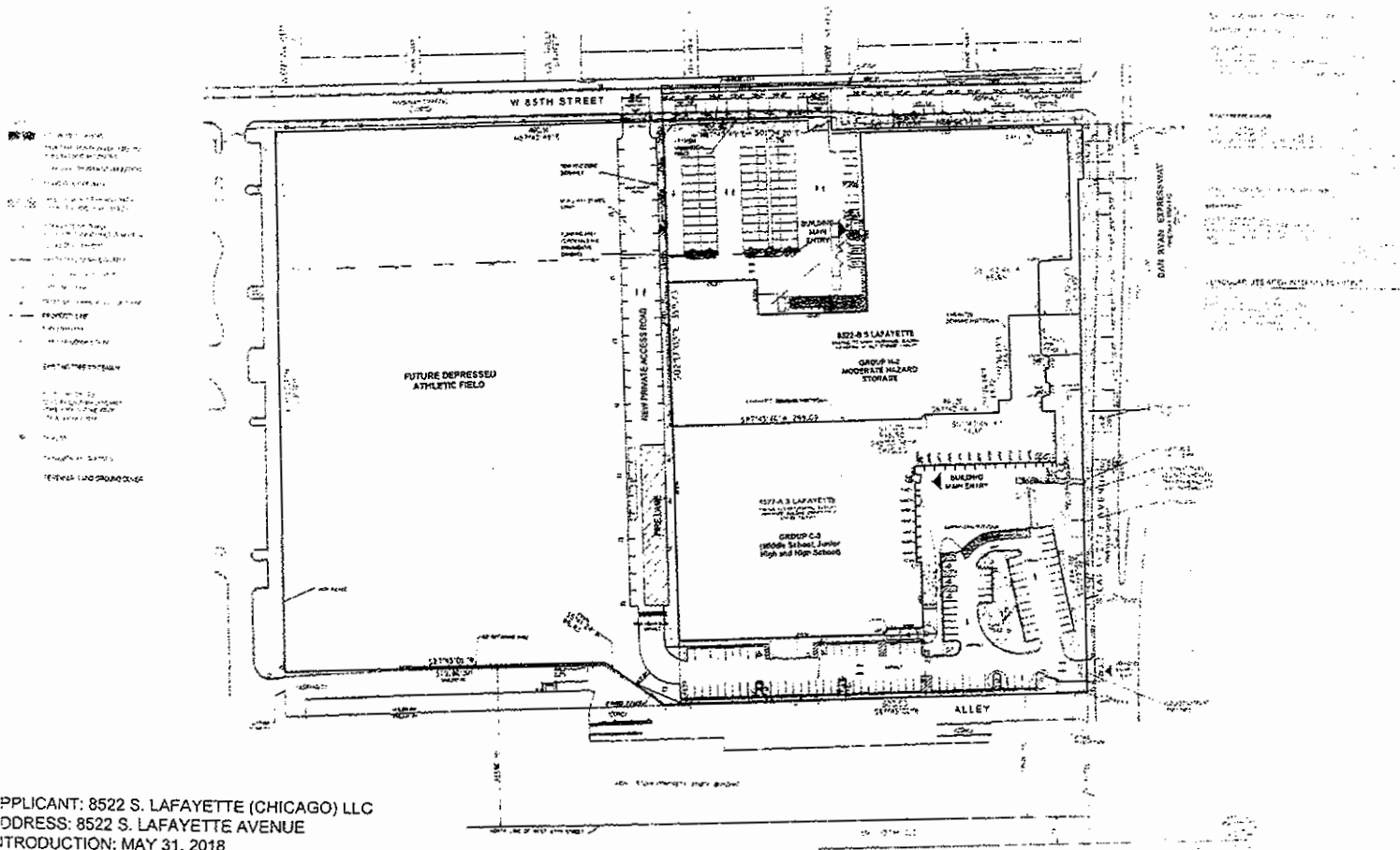
FINAL FOR PUBLICATION



APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

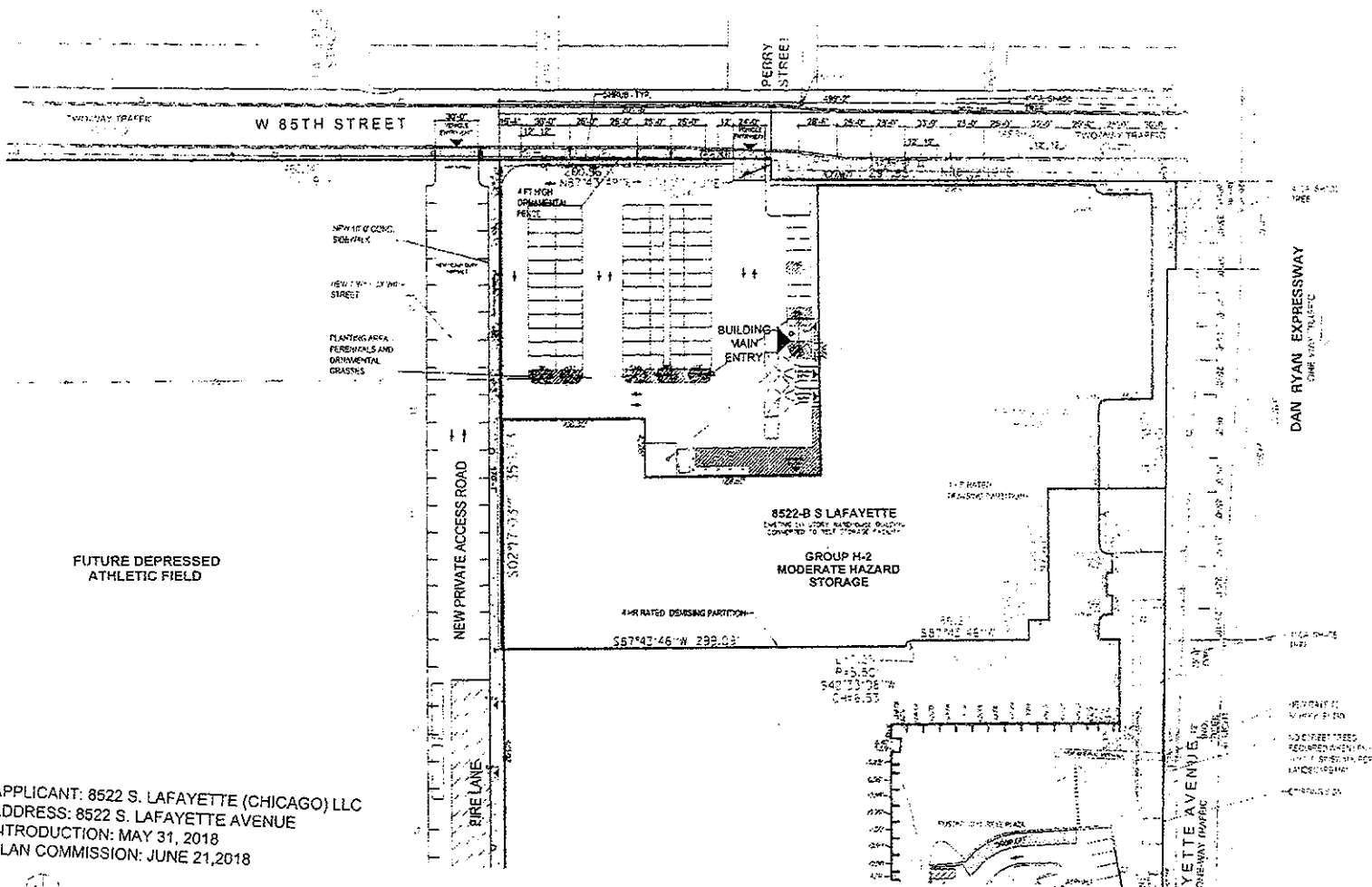
ENLARGED SITE PLAN - SUB-AREA "B"
 SCALE: 1" = 30'

FINAL FOR PUBLICATION



APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

LANDSCAPE PLAN
 SCALE: 1" = 50'



APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

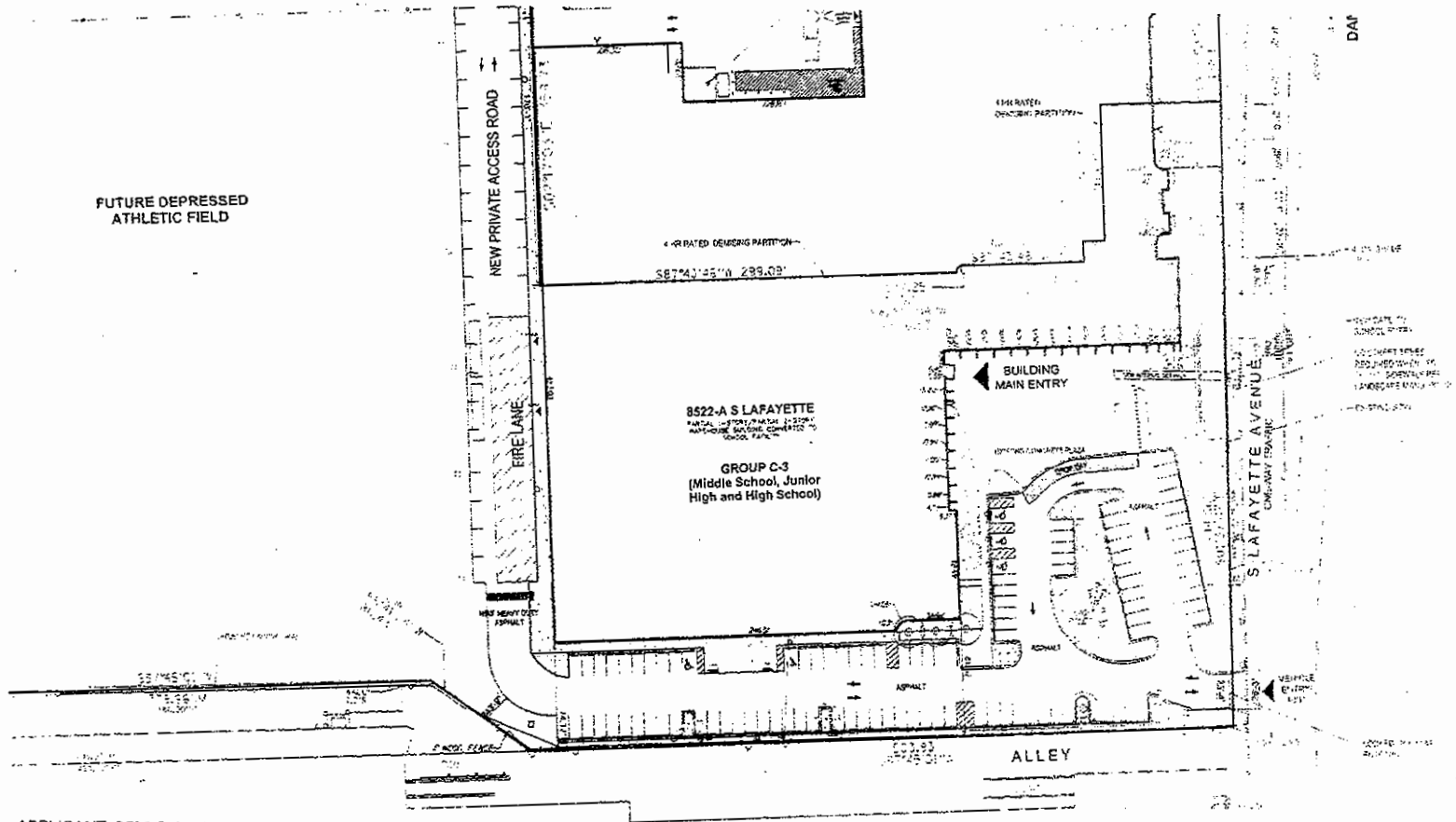
ENLARGED LANDSCAPE PLAN - SUB-AREA "A"
 SCALE: 1" = 30'

NOT FOR PERMITTING

6/27/2018

REPORTS OF COMMITTEES

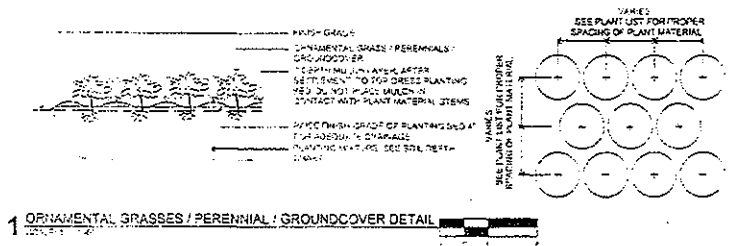
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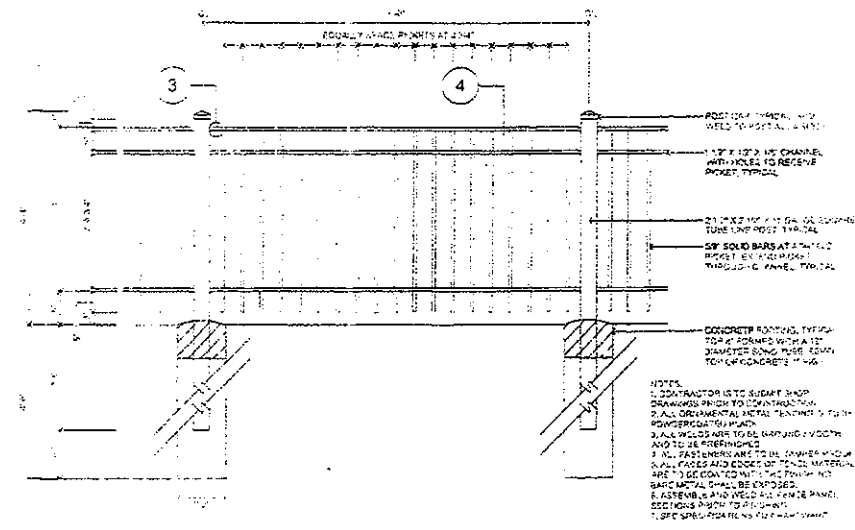
APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

ENLARGED LANDSCAPE PLAN - SUB-AREA "B"
 SCALE: 1" = 30'

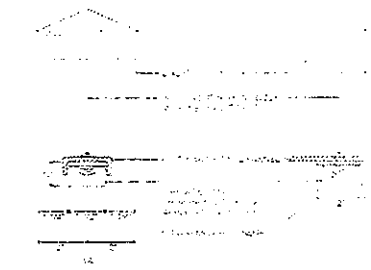
FINAL FOR PERMITS



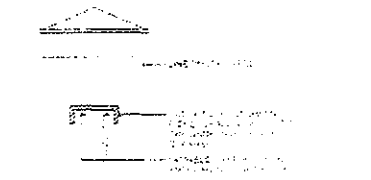
1 ORNAMENTAL GRASSES / PERENNIAL / GROUND COVER DETAIL



2 ORNAMENTAL FENCE DETAIL

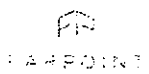


3 ORNAMENTAL FENCE CHANNEL DETAIL



4 ORNAMENTAL FENCE S.W. AT DETAIL

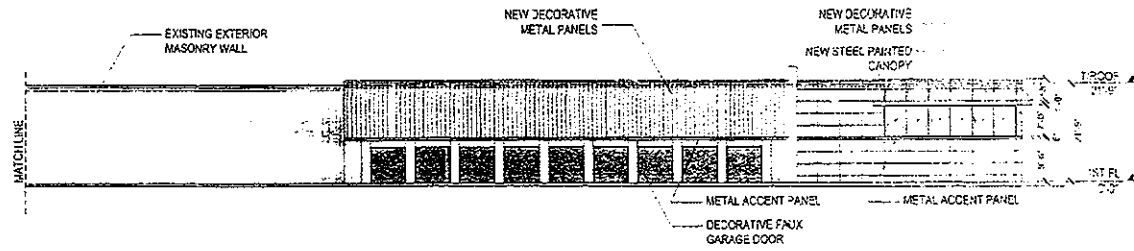
APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018



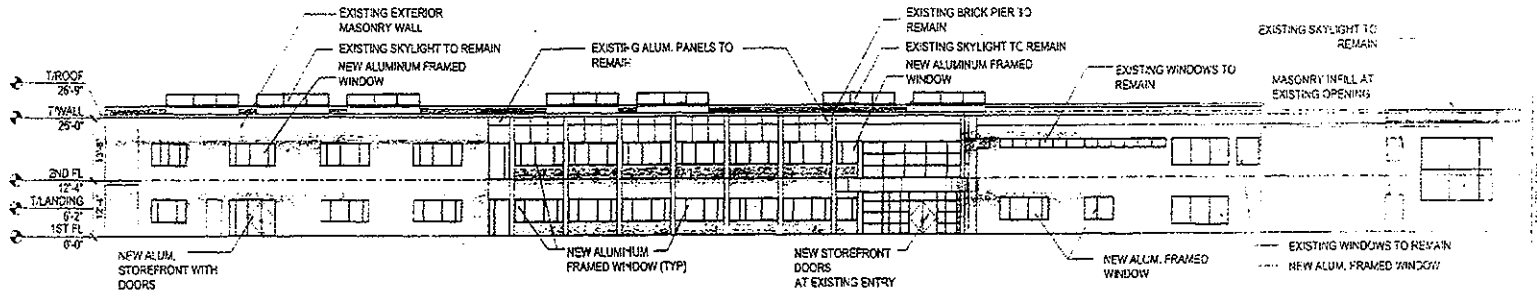
SELF-STORAGE - ORNAMENTAL FENCE DETAIL

SCALE: N.T.S.

FINAL FOR PUBLICATION

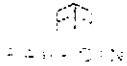


EAST ELEVATION - NORTH HALF (S. LAFAYETTE AVE.)



EAST ELEVATION - SOUTH HALF (S. LAFAYETTE AVE.)

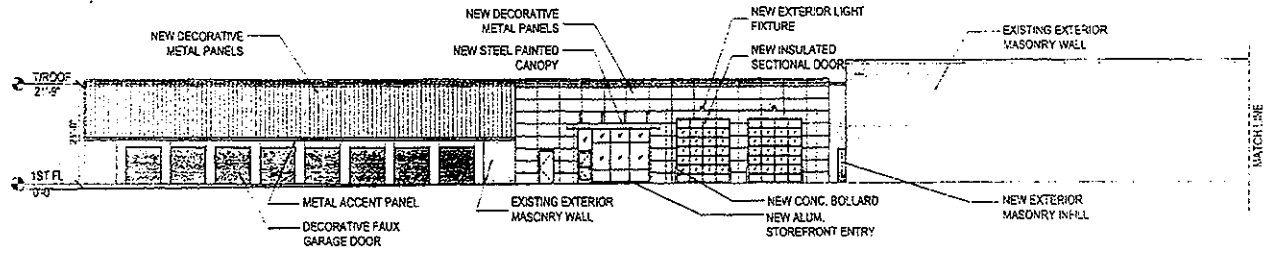
APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018



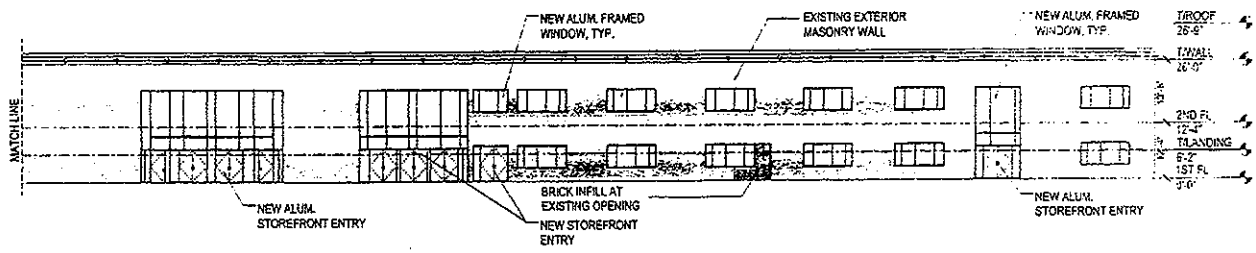
BUILDING ELEVATIONS

SCALE: 1" = 10'

FINAL FOR PUBLICATION

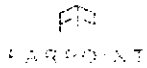


WEST ELEVATION - NORTH HALF (PRIVATE ACCESS ROAD)



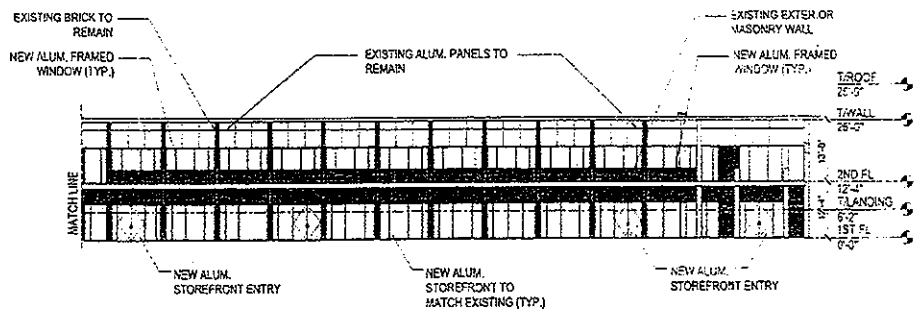
WEST ELEVATION - SOUTH HALF (PRIVATE ACCESS ROAD)

APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018

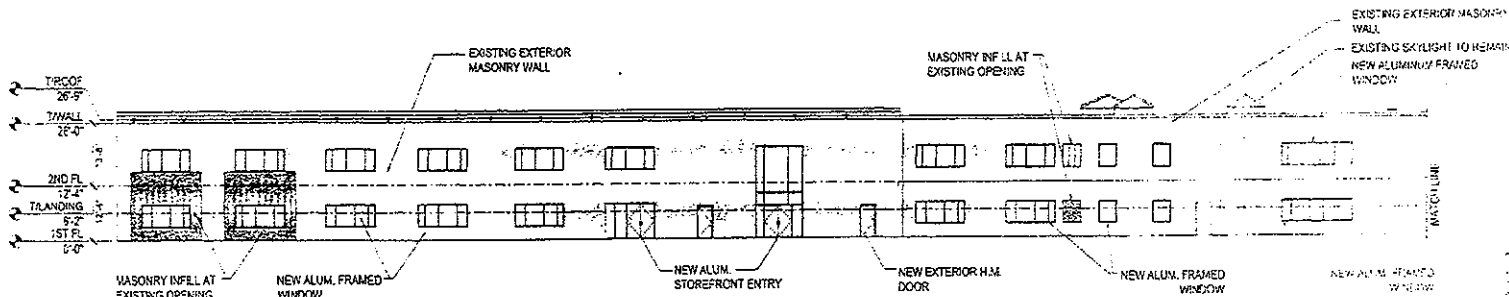


BUILDING ELEVATIONS
SCALE: 1" = 10'

FINAL FOR PUBLICATION



SOUTH ELEVATION - EAST HALF

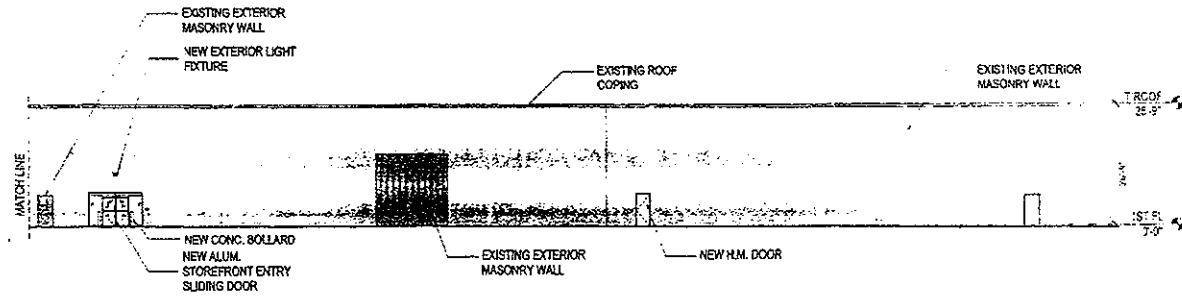


SOUTH ELEVATION - WEST HALF

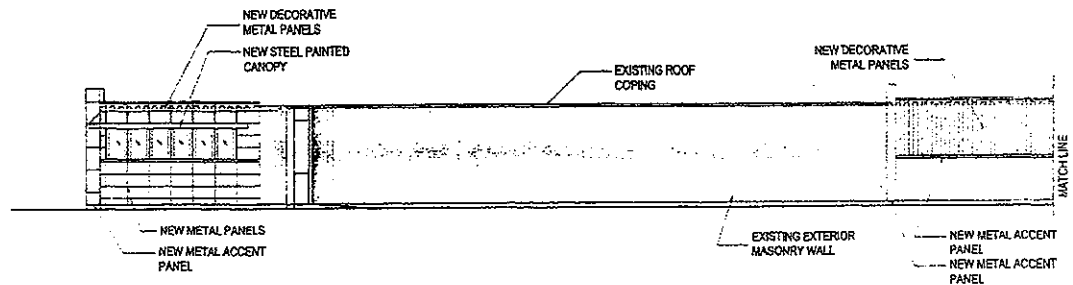
APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018



BUILDING ELEVATIONS
SCALE: 1" = 10'



NORTH ELEVATION - WEST HALF (W. 85TH STREET)



NORTH ELEVATION - EAST HALF (W. 85TH STREET)

APPLICANT: 8522 S. LAFAYETTE (CHICAGO) LLC
 ADDRESS: 8522 S. LAFAYETTE AVENUE
 INTRODUCTION: MAY 31, 2018
 PLAN COMMISSION: JUNE 21, 2018



BUILDING ELEVATIONS
 SCALE: 1" = 10'



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

October 30, 2017

Ms. Katherine C. Jahnke Dale
DLA Piper LLP
203 North LaSalle Street, Suite 1900
Chicago, Illinois 60601-1293

Re: Planned Development Number ~~1282~~¹²⁴³, 8522 S. Lafayette Avenue

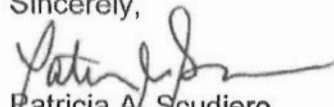
Dear Ms. Jahnke Dale:

This letter is in response to your recent request regarding the property located at 8522 S. Lafayette Ave. According to your request letter, the 14½ acre property is improved with an existing two-story building that previously housed the former Soft Sheen beauty products company. The property is zoned Planned Development Number 1243 with an underlying C3-2 Commercial, Manufacturing and Employment District. PD 1243 was approved in 2014 in connection with the proposed development of a church and school which never occurred.

Your client and the property owner, Farpoint Development is proposing to reuse the existing building to accommodate a self-storage user in the northern half of the building. No expansion of the building will occur and as detailed in your letter, the proposed exterior site improvements are minimal. You are seeking an advisory opinion confirming that the proposed self-storage scope of work would be permitted on the property upon approval of an ordinance that would sunset PD 1243 and return the property's zoning classification to the underlying C3-2 District.

Pursuant to Section 17-3-0207 of the Chicago Zoning Ordinance, a residential storage warehouse is a permitted use in the C3 District. Only the proposed self-storage use as described and shown in your request is permitted upon the sunset of PD 1243 and the property's reclassification to a C3-2 District. No other proposed use or expansion of the building or self-storage use in the building is allowed as part of this opinion response.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

C: Noah Szafraniec, Main file

18014

5/28/2014

REPORTS OF COMMITTEES

82567

to those of an RS2 Residential Single-Unit (Detached House) District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map No. 20-F. *CIPD 1243*
(As Amended)
(Application No. 18014)
(Common Address: 8522 S. Lafayette Ave.)

[SO2014-2351]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M2-2 (Light Industry District) District symbols and indications as shown on Map Number 20-F in the area bounded by:

the south line of West 85th Street; South Lafayette Avenue; a line 596.16 feet north of West 87th Street; a line 503.51 feet west of South Lafayette Avenue; a line 647.88 feet north of West 87th Street as measured along the west line of South Lafayette Avenue; and the westerly right-of-way line of South Wentworth Avenue as extended where no street exists,

to those of a C3-2 (Commercial, Manufacturing and Employment District) subject to such use and bulk regulations as are set forth in this Plan of Development herewith attached and made a part and to no others.

SECTION 2. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the C3-2 (Commercial, Manufacturing and Employment District) District symbols and indications as shown on Map Number 20-F in the area bounded by:

the south line of West 85th Street; South Lafayette Avenue; a line 596.16 feet north of West 87th Street; a line 503.51 feet west of South Lafayette Avenue; a line 647.88 feet north of West 87th Street as measured along the west line of South Lafayette Avenue; and the westerly right-of-way line of South Wentworth Avenue as extended where no street exists,

to those of Commercial Institutional Planned Development Number 1243 subject to such use and bulk regulations as are set forth in this Plan of Development herewith attached and made a part and to no others.

SECTION 3. This ordinance takes effect after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

Commercial Institutional.

Planned Development Statements.

1. The area delineated herein as Commercial Institutional Planned Development Number 1243 ("Planned Development") consists of approximately six hundred twenty-seven thousand nine hundred thirty-one (627,931) square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the applicant, Fellowship Educational & Economic Development Corp.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assign or grantees. Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development and the Department of Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of 16 statements; a Bulk Regulations Table; an Existing Zoning and Land Use Map; a Planned Development Boundary and Property Line Map; a Site Plan; a Master Phase Plan; Main Level Master Floor Plan; Second Level Master Floor Plan; a Landscape Plan; Landscape Analysis and Notes; a Green Roof Plan; Building Elevations (North, South, East and West), including the new roof area to the west of the building and dated May 15, 2014, submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this

Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.

5. The Property consists of a single 223,000 square foot existing building which shall be divided based upon the Master Phase Plan Exhibit and shall be redeveloped during three (3) separate phases:
 - Phase 1A:

The First Floor Build-out of the School Phase & Fire Lane;
 - Phase 1B:

The Second Floor Build-out of the School, the School Gym, the Service Retail Area, and the Exterior Site Work (Parking Area); and
 - Phase 2:

Church/Auditorium Phase, including a Green Roof meeting the Green Roof requirements of the City of Chicago's Sustainable Development Policy.
6. The following uses are permitted by right in the area delineated herein as a Planned Development: day care, community center, school, religious assembly, restaurant (limited only), accessory parking, medical service and accessory uses as authorized by the Chicago Zoning Ordinance. Large venues, banquet and meeting hall and retail uses within this Planned Development shall only be permitted as accessory to the religious assembly use. Furthermore, any retail establishment must have a minimum of 7,500 square feet of gross floor area, retail uses smaller than this shall be prohibited.
7. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
9. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 413,490 square feet.

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
11. The Site improvements on the Property and Landscape Plans shall be designed, constructed, renovated and maintained in substantial conformance with the approved Site Plans and exhibits, the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
12. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
13. The terms, conditions and exhibits of the Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the request of the applicant, its successors and assigns, and after a determination by the Zoning Administrator that such modification is minor, appropriate, consistent with Section 17-13-0611 of the Chicago Zoning Ordinance and the nature of the development of the Property contemplated in this Planned Development ordinance. Any such modification shall be deemed to be a minor change in the Planned Development ordinance as contemplated by Section 17-13-0601 of the Chicago Zoning Ordinance.
14. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain the project in a manner that promotes, enables and maximizes universal access throughout the Property. Plans for the existing building and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be issued by the Department of Construction and Permits until the director of MOPD has approved detailed construction drawings for the existing building and any improvements.
15. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain the building in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The distribution of the total required green roof scopes, over what areas they are implemented and during which proposed phases they are implemented has been agreed upon with the representatives of the City of Chicago Department of Planning and Development as shown on the Green Roof Plan and shall consist of 100 percent of the required green scope amount of 15,954 square feet for the Phase 2 church/community center areas which shall be installed during Phase 2. Due to existing building structural considerations, the remaining 60,940 square feet of required green roof scope for proposed Phase 1A and 1B will be distributed over the remainder of the Phase 2 roof,

covering it entirely. The remaining difference of 13,079 square feet of green roof will be installed over the central proposed Phase 1B roof, thus satisfying the total project green roof requirement of 76,894 square feet at project completion.

- 16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning Development shall initiate a zoning map amendment to rezone the Property from M2 to C3-2 and then to Planned Development.

[Existing Zoning and Land Use Map; Boundary and Property Line Map; Site Plan; Master Phase Plan; Main Level Master Floor Plan; Second Level Master Floor Plan; Landscape Plan; Landscape Analysis and Notes; Green Roof Plan; and Building Elevations referred to in these plan of Development Statements printed on pages 82572 through 82583 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

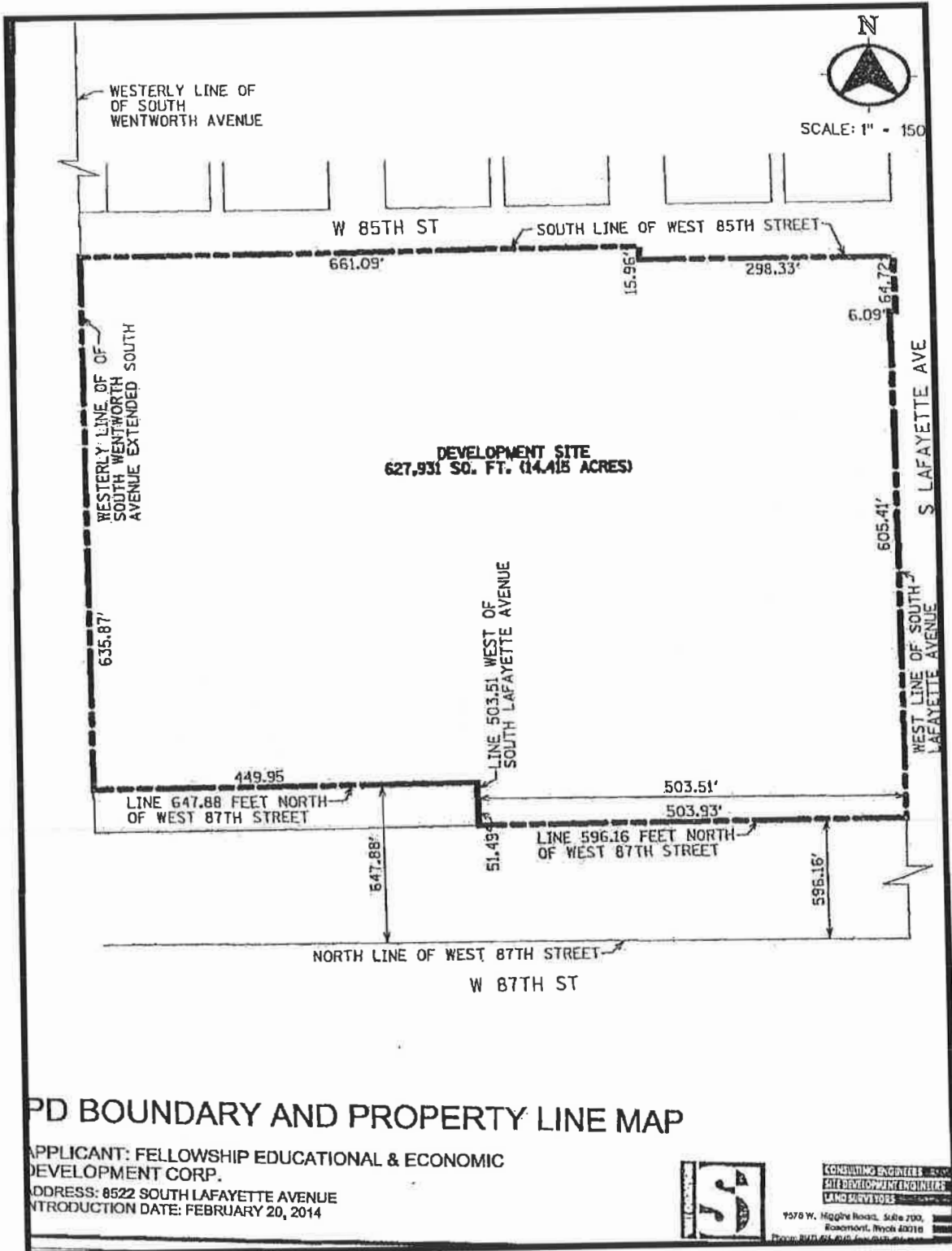
Planned Development No. 1243.

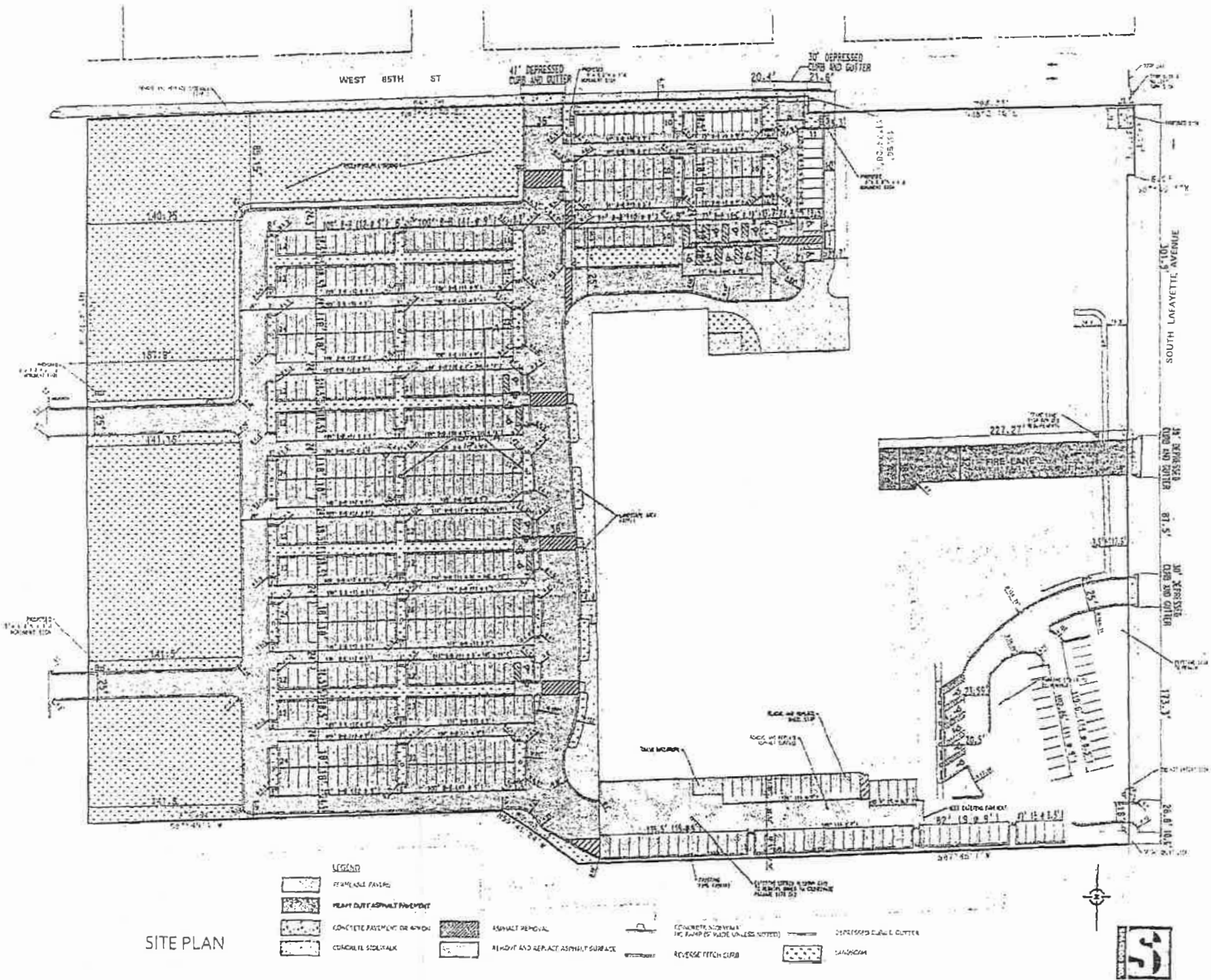
Bulk Regulations Table.

Gross Site Area:	627,931 square feet
Area in Public Right-of-Way:	213,991 square feet
Net Site Area:	413,490 square feet
Maximum Floor Area Ratio:	2.2
Maximum Building Height:	46 feet, 0 inches
Minimum Number of parking Spaces:	556 total stalls, entire site; 19 ADA stalls
Minimum Number of Loading Berths:	3
Minimum Number of Bicycle Parking Spaces:	50
Minimum Setbacks:	As per plans



 BUILDING TO BE RENOVATED & REPURPOSED

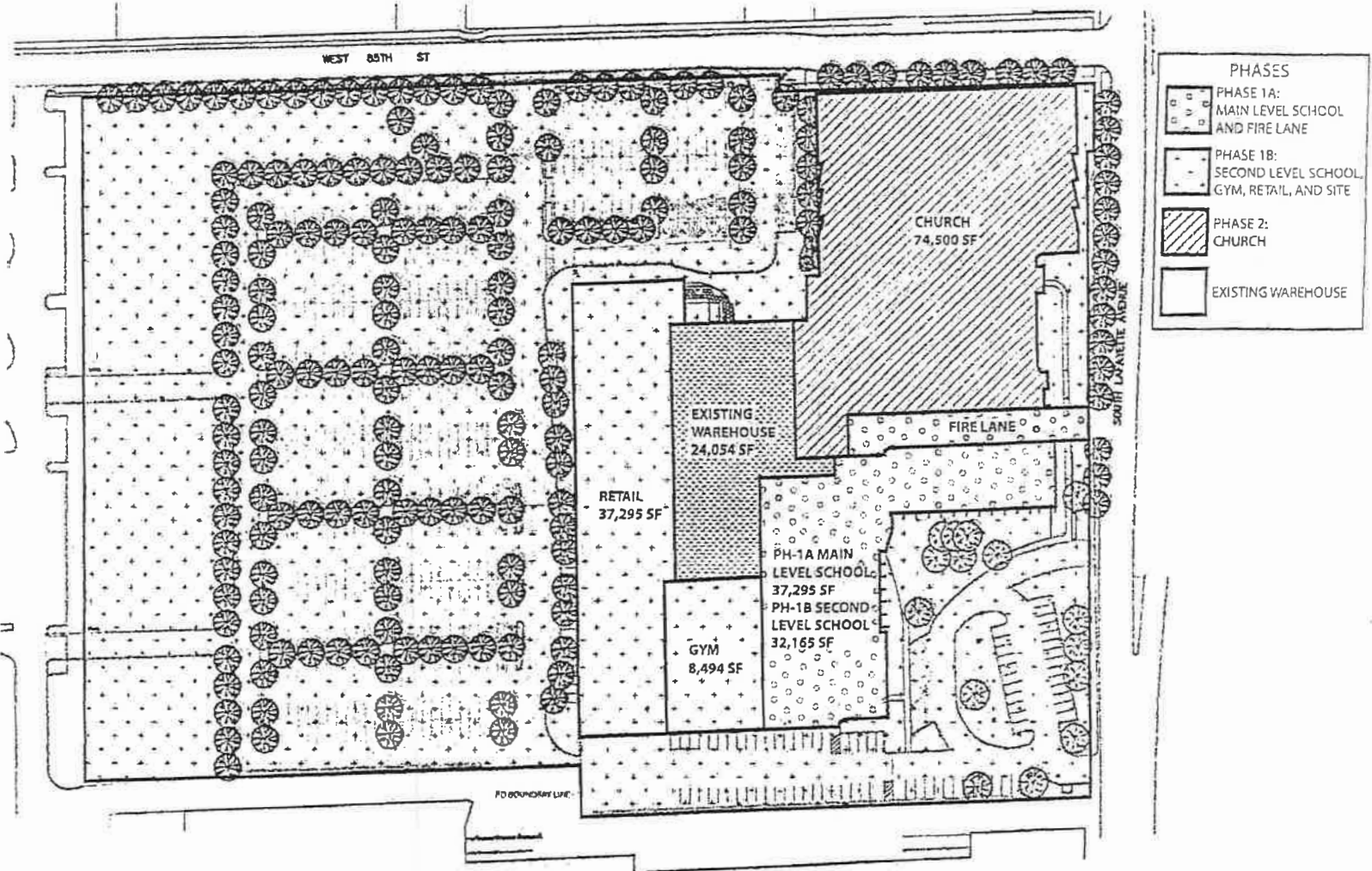








SITE PLAN

LEGEND

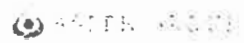
	PERMEABLE PAVING		ASPHALT REMOVAL		CONCRETE SIDEWALK (CONCRETE SIDEWALK TO BE REPAIRED OR WALKED UNLESS NOTED)		DEPRESSION CURB & GUTTER
	HEAVY DUTY ASPHALT PAVEMENT		ASPHALT AND REPLACE ASPHALT SURFACE		REVERSE PITCH CURB		SAND/GRVEL
	CONCRETE PAVEMENT OR FINISH						

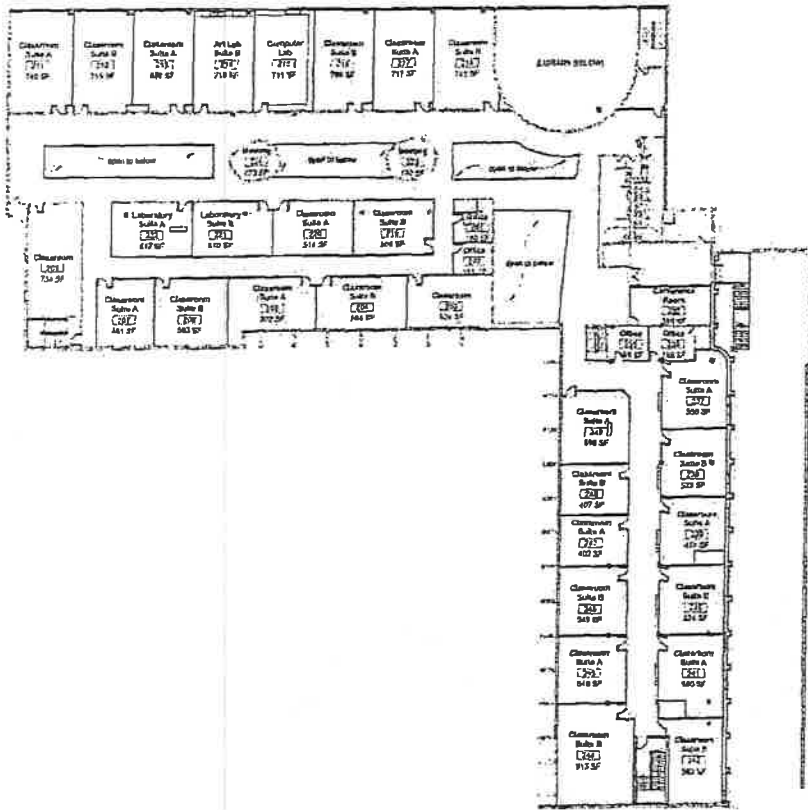


PHASES

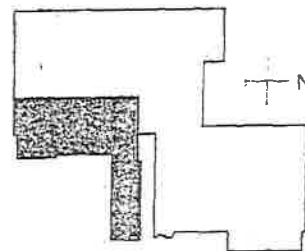
-  PHASE 1A:
MAIN LEVEL SCHOOL
AND FIRE LANE
-  PHASE 1B:
SECOND LEVEL SCHOOL,
GYM, RETAIL, AND SITE
-  PHASE 2:
CHURCH
-  EXISTING WAREHOUSE

MASTER PHASE PLAN





KEY PLAN



SECOND LEVEL MASTER FLOOR PLAN

Landscape Ordinance Analysis

Fellowship Educational & Economic Development Corp
W. 85th Street

Length	960 LF (290 LF is required 3' minimum width)
Number of trees required (1 per 25 LF)*	11
Number of existing trees to remain	0
Number of new trees provided	9

S. Lafayette Avenue

Length	670 LF (410 LF is required 3' minimum width)
Number of trees required (1 per 25 LF)*	16
Number of existing trees to remain	0
Number of new trees provided	16

* ROW is less than 9 FT from back of curb to property line. No street trees required.

Owner's Sworn Statement

The undersigned acknowledges that the landscape planning plan shows on the attached landscape plan for the property at 8522 South Lafayette Avenue, Chicago, Illinois 60620, has, to the best of the undersigned applicant's knowledge, been designed, and will be installed, maintained, and replaced, as required, by current and subsequent owners, in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the "Guide to the Chicago Landscape Ordinance."

Existing parkway and on-site interior trees are to be protected while the project is under construction and will be replaced by current and subsequent owner if damaged.

By (Owner)

Date

Landscape Ordinance Analysis

Fellowship Educational & Economic Development Corp
South Lafayette Street Parking Lot Landscape

Total paving SF	44,539 SF
Landscape area required	4,454 SF
Provided	11,829 SF
Internal trees required	35
Existing trees to remain	9
Provided	23
Perimeter landscape provided	Yes
Ornamental fence provided	Yes

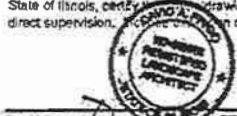
West 85th Street Parking Lot Landscape

Total paving SF	196,300 SF
Landscape area required	18,630 SF
Provided	81,727 SF
Internal trees required	149
Provided	145
Perimeter landscape provided	Yes
Ornamental fences provided	Yes

Landscape Architect's Sworn Statement

The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape planting plan and construction details shown on the attached landscape plan for the property at 8522 South Lafayette Avenue, Chicago, Illinois 60620, has, to the best of the undersigned applicant's knowledge, been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance.

I, David Frigo, registered landscape architect No. 157-000586 in the State of Illinois, certify that the drawings were prepared under my direct supervision. The drawings date August 31, 2015.



David Frigo, LEED, Hitchcock Design Group

Date

Green Roof Eligibility Analysis

Total roof area	185,695 SF
Green roof coverage required	76,854 SF
Green roof Area 1	38,882 SF
Green roof Area 2	24,633 SF
Green roof Area 3	13,079 SF

Existing Tree Notes

- There are no existing trees along the 85th Street or South Lafayette Avenue ROWs.

Planting Notes

- Seed list tree is appropriate. Seed to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded areas.
- Tree mulch rings in landscape are 5 foot diameter typical. Contractor shall provide a mulch ring around all existing trees within the limit of work. Remove all existing grass from areas to be mulched and provide a typical v-tranch edge.
- Bedlines are to be grade out to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented.
- Do not locate plants within 10' of utility structures, or within 5' horizontally of underground utility lines unless otherwise shown on the plans. Consult with Landscape Architect if these conditions exist.
- Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified.
- Refer to specifications for additional nomenclature, standards and notes.

Green Roof Planting Notes

- Cuttings shall be hand sown at a rate specified on the landscape plan, typically between 6-10 lbs/100 sq. ft.
- Distribute varieties as shown on landscape plan.
- The cuttings shall be permitted to ensue a random distribution of sowing varieties.
- After sowing the cuttings shall be covered with a temporary mesh covering with a lightweight erosion control blanket designed for vegetation establishment shall be rolled out and staked over the cuttings as per manufacturer's recommendations.
- The newly installed plugs, cuttings or vegetative mat shall be immediately and thoroughly watered.
- Irrigation must be applied until the plugs, cuttings or vegetative mat have established roots into the growing media on the roof.
 - Deliver 1" water, 3 times per week for the first 2 weeks.
 - Deliver 1/4" water, 1-2 times per week for the next 4-6 weeks to maintain a moist surface condition.
- Contractor responsible for green roof maintenance for one year at which point material must be 90% established.

Fence Notes

- Finish soil is to be black. Joint to be compatible with primer. Submit samples of finish prior to installation for approval by owner.
- Submit manufacturer's product data, specifications and installation instruction for paint products.
- Submit shop drawings including plans, elevations, and section details of connections. Show anchorage and accessory items. No work shall be fabricated until shop drawings for the work have been reviewed and approved.
- Provide 4" deep (from finish grade) knee post footings that are a minimum of 8" wider than the post. Confirm post sizes by the field.
- Provide metal fabrications work square, plumb, straight and within allowable tolerances.
- Inspect materials, field measure, and verify conditions.
- Perform cleaning during installation of the work and upon completion of work. Remove from site all excess materials, debris, equipment. Repair any damages resulting from metal fabrications work.
- Existing parking lot fencing along Lafayette to remain.



LANDSCAPE ANALYSIS & NOTES

ASPEN GROUP

201 W. Jackson Street
Naperville, IL 60563
TEL: 630.330.1100
WWW.ASPENGROUP.COM

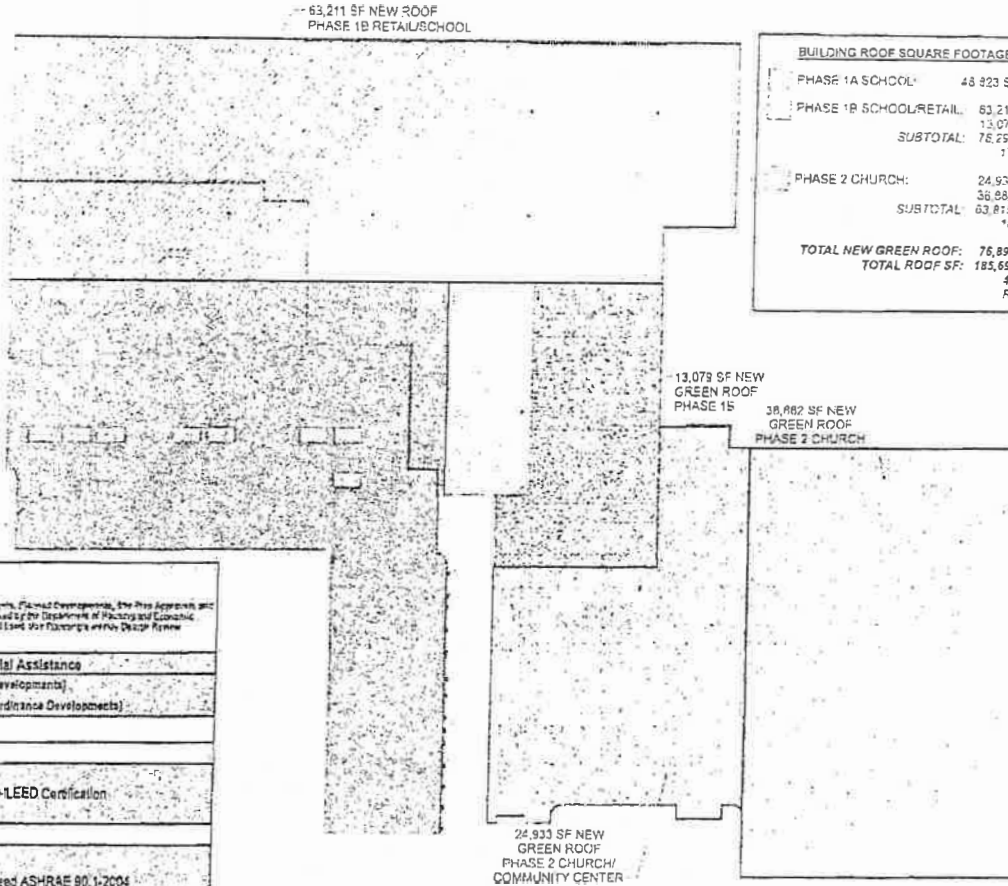
PROJECT ROOF REQUIREMENT SUMMARY (CHICAGO GREEN MATRIX):

FOR ALL INSTITUTIONAL COMMUNITY CENTER AND SCHOOL SCOPES OF WORK:

- MUST BE 25% GREEN ROOF + LEED CERTIFICATION FOR NEW PORTION OF THE BUILDING

FOR ALL EXISTING BUILDING SCOPES OF WORK:

- THE AREA OF GREEN ROOF COVERAGE WILL BE BASED ON THE NET AREA OF ROOF WHICH IS DEFINED AS THE USEABLE SPACE OF THE ROOF INCLUDING PATHWAYS. UP TO 10% OF THE GREEN ROOF AREA CAN BE HARDSCAPE. REMAINDER OF ROOF MUST MEET ENERGY STAR LEVEL FOR SELECTIVITY.
- PROJECT IS CHOOSING TO EXCEED ASHRAE 90.1-2004 MUST EXCEED THE STANDARDS BY 14%.
- BUILDING CERTIFICATION CAN BE LEED, ENERGY STAR, OR CHICAGO GREEN HOMES.



BUILDING ROOF SQUARE FOOTAGE SUMMARY

PHASE 1A SCHOOL:	48,823 SF EXISTING ROOF TO REMAIN
PHASE 1B SCHOOL/RETAIL:	63,211 SF NEW ROOF 13,079 SF NEW GREEN ROOF SUBTOTAL: 76,290 SF 17.1% OF PHASE 1B = GREEN ROOF
PHASE 2 CHURCH:	24,933 SF NEW GREEN ROOF 38,882 SF NEW GREEN ROOF SUBTOTAL: 63,815 SF 100% OF PHASE 2 = GREEN ROOF
TOTAL NEW GREEN ROOF:	76,894 SF
TOTAL ROOF SF:	185,695 SF
	41.4% OF PROJECT TO HAVE GREEN ROOF AT PROJECT COMPLETION

APPLICABLE GREEN MATRIX SECTIONS

<p>City of Chicago Sustainable Development Policy This policy applies to all new development, including Planned Developments, the Free Approval and Amendments to all other Planned Developments reviewed by the Department of Planning and Economic Development and all other Department of Planning and Economic Development projects. It is effective as of December 1, 2011.</p>	
	<p>Non-Financial Assistance (Planned Developments) (Lakefront Protection Ordinance Developments)</p>
Institutional Community Centers, Government Buildings and Schools	25% Green Roof + LEED Certification
Existing Buildings*** and Landmark Buildings	50% Green Roof + exceed ASHRAE 90.1-2004

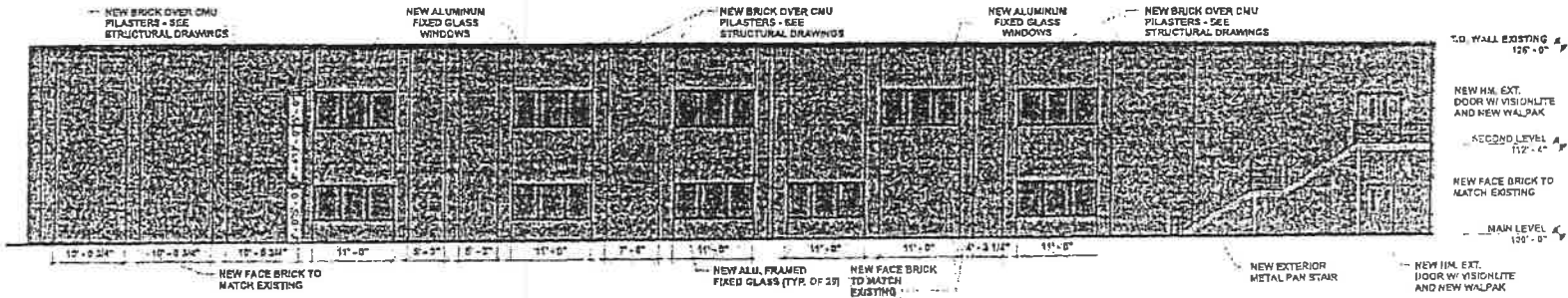
***GREEN ROOF SCOPE DISTRIBUTION NARRATIVE:**

The master plan of the project encompasses "Existing Building" use types including school and retail phases as well as "Institutional" use types including a church / community center phase. According to the "City of Chicago Sustainable Development Policy Green Matrix" as seen on this page, the proposed Phase 1A/1B school and Phase 1B retail phases which involve 48,823 SF and 73,057 SF of roof respectively must provide 50% of the existing building's roof scope to be green roof, equating to 60,940 SF of new green roof required. For the proposed Phase 2 church / community center phase which involves 38,882 SF and 24,933 SF respectively, it is stated that 25% of the new roof scope must be a green roof, equating to 15,954 SF of new green roof required. The total green roof required of the two use types equates to 76,894 SF. The distribution of the total required green roof scopes, over what areas they are implemented, and during which proposed phases they are implemented has been agreed upon with representatives from the "City of Chicago Zoning and Land Use Planning Sustainable Development" department as shown in the green roof plan graphic on this page as follows: 100% of the required green roof scope amount of 15,954 SF for the Phase 2 church / community center areas will be installed during that phase. Due to existing building structural considerations, the remaining 60,940 SF of required green roof scope for proposed Phase 1A and Phase 1B will be distributed over the remainder of the Phase 2 roof covering it entirely. The remaining difference of 13,079 SF of green roof will be installed over the central proposed Phase 1B roof, thus satisfying the total project green roof requirement of 76,894 SF at project completion.

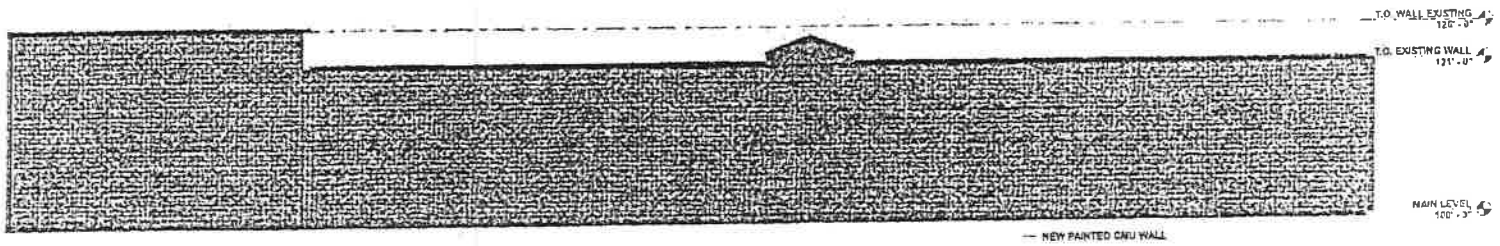
5/28/2014

REPORTS OF COMMITTEES

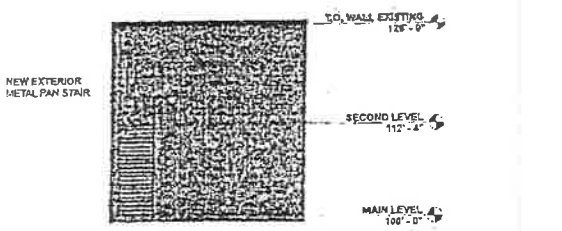
82583



1 RENDERED SOUTH FRONTAGE ELEVATION

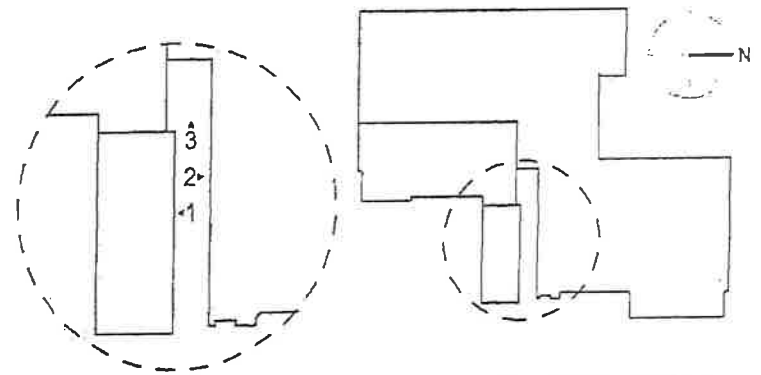


2 RENDERED NORTH FRONTAGE ELEVATION



3 RENDERED WEST FRONTAGE ELEVATION

ELEVATION KEY



ASPEN GROUP

BUILDING ELEVATIONS