

PD 1227

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 18, 2015
Mr. Scott Allman, President
Ethos Workshop Architects + Planners
1112 South Washington Street; Suite 110
Naperville, IL 60540

Re: **Site Plan Approval - Planned Development No. 1227; Outlot A/Lot 8:** The construction of a new, one-story, 4,320 square-foot commercial building (806 West 63rd Street)

Dear Mr. Allman:

We have reviewed the plans submitted by Ethos Workshop on behalf of Englewood Square, LP for the construction of a one-story, 4320 square-foot commercial building. Those plans consist of:


- A1 Floor Plan and Building Sections and A2 Exterior Elevations dated December 11, 2015 and prepared by Ethos Workshop, and
- C1 Civil Cover Sheet; C4 Geometric Plan; L01 Landscape Plan 1; L02 Landscape Plan and Details; L03 Irrigation Plan; L04 Vehicle Use Area Calculation; all prepared by Spaceco, Inc. and dated December 11, 2015.

These plans are submitted in accordance with Statement No. 9 of Planned Development No. 1227, as approved December 11, 2013. Features of the submittal include a new one-story commercial building. The building would be clad with face brick; cast stone accents, corrugated metal panels, and fiber cement siding. Forty-seven parking spaces would be provided, as would space for ten bicycles. Vehicle Use Area landscaping would include approximately 5,456 square feet of internal landscape area and 19 interior trees, and 5 parkway trees. The uses proposed a Starbuck's café, Chipotle Grill restaurant, and drive-through facility, are permitted by Statement No. 5 of the Planned Development.

Statement No. 15 of the Planned Development waives the requirement for LEED certification if the combined floor area of Outlots A and B is less than 10,000 square feet; the proposed combined floor area for the outlots is approximately 7,400 square feet. However, this building will have to have a 50% green roof and exceed the ASHRAE 90.1-2004 standard for energy efficiency by at least 14%.

Upon review of the material submitted, the Department has determined that these plans are consistent with, and satisfy the requirements of, the Plan of Development. Accordingly, this Site Plan submittal for Planned Development No. 1227/ Outlot A (Lot 8) is hereby approved as conforming to the Plan of Development as approved by the Chicago City Council on December 11, 2013. This Site Plan Approval does not cover any signage, which must be covered by a separate application.

Sincerely,



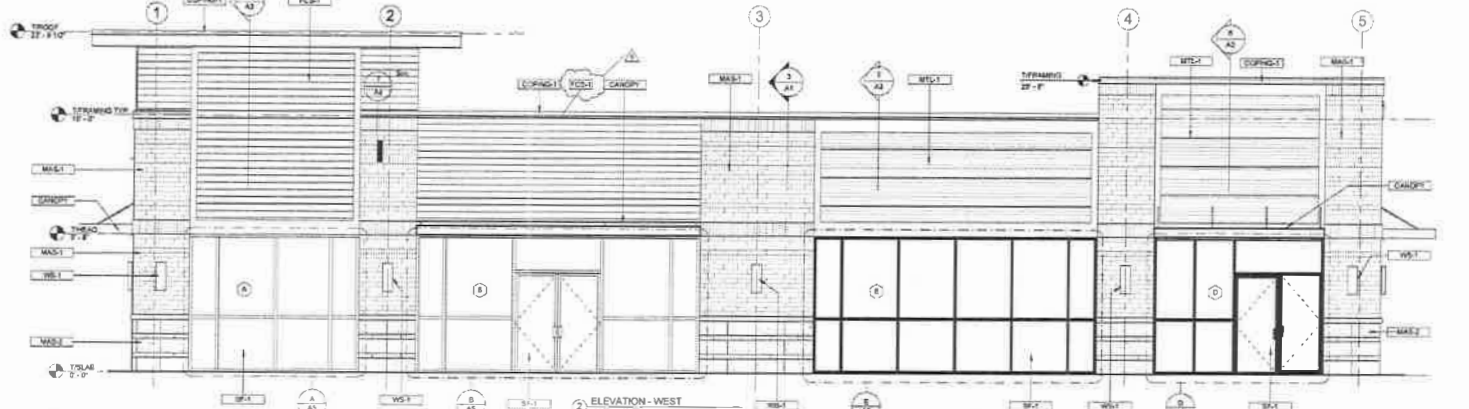
Patricia A. Scudiero,
Zoning Administrator

Originated by: Fernando Espinoza

cc: Chris Downes (Burnham Nationwide) via email, Lisa Washington (DPD)
Mike Marmo (DPD), Erik Glass (DPD), Planned Development files



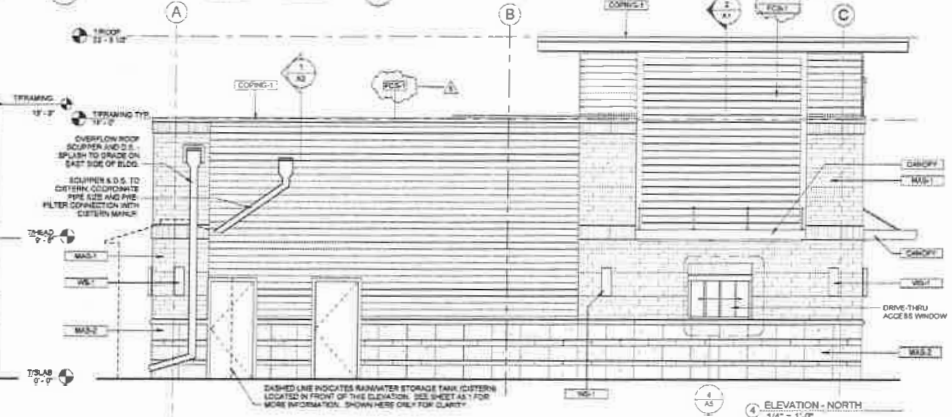
1 ELEVATION - EAST
1/4" = 1'-0"



2 ELEVATION - WEST
1/4" = 1'-0"

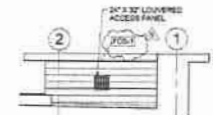


3 ELEVATION - SOUTH
1/4" = 1'-0"

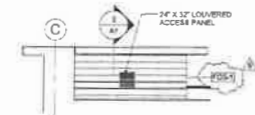


4 ELEVATION - NORTH
1/4" = 1'-0"

KEYNOTES	
MARK	NOTE
GA001	PREPARED STEEL CANOPY
CO001	PREPARED ZIPPER METAL COMPRESSION COVER
FC001	FRESH CEMENT FINISH
MA001	MASONRY - FACE BRICK LAYOUT TO BOND
MA002	MASONRY - GASKET TO THE TREAD TYP.
WI001	CONCRETE WEIR FINISH
SP001	PREPARED ALUMINUM STOP/START SYSTEM W/ CLEAR 1" ISOLATED GLASS. NO TIL INDICATES CLEAR ANOD. FINISH. SOLID FILL INDICATES BLACK ANOD. FINISH.
WEL001	TRAIL COURSE - REFER TO ELECTRICAL LIGHTING SCHEDULE



5 ELEVATION - TOWER BACK EAST
1/8" = 1'-0"



6 ELEVATION - TOWER BACK SOUTH
1/8" = 1'-0"

OVERFLOW HOOP
SCOPPER AND D.S. TO
SPLASH TO GRADE ON
D&S SIDE OF BLDG.

EQUIPPER & D.S. TO
DIF FIRM CLOSURE
PIPE LGS AND FIRE
FILTER CONNECTION WITH
CUTTER MARK

DASHED LINE INDICATES MANHOLE STORAGE TANK (CISTERN)
LOCATED IN FRONT OF THE ELEVATION. SEE SHEET A4.1 FOR
MORE INFORMATION, SHOWN HERE ONLY FOR CLARITY.



COMMERCIAL RETAIL BUILDING SHELL
ENGLEWOOD SQUARE - LOT 8
 806 W. 63RD ST., CHICAGO, IL 60621

Owner:
 Englewood Square, L.P.
 1050 E. 95th St.
 Chicago, IL 60619
 Contact: Leon Walker
 773.644.3361

ISSUE DATE	
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10.0	10.0

Project No.
 No.
 Owner: Englewood Square, L.P.

EXTERIOR ELEVATIONS

A2

SITE IMPROVEMENT PLANS

for

LOT 8 ENGLEWOOD SQUARE AT HALSTED PARKWAYS 806 W. 63RD STREET CHICAGO, ILLINOIS PROJECT NO.: 7390.05

DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER AND ENGINEER AND THEIR RESPECTIVE INSURERS, REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, ARISING OUT OF OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD MAKE THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE BLINDED LANE REGARDING STRUCTURAL WORK IN WEST SIDE CHICAGO PARKS AT 806 W. 63RD ST. IN THE EVENT OF ANY SUCH BLINDING INCLUDING DEATH OR LOSS OF DAMAGE OR CLAIMS, THEREFORE THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

"IN LOCATIONS WHERE THE SEWER IS NOT BEING REPLACED AND THE EXISTING MANHOLE FACILITIES ARE DISTURBED OR DAMAGED DURING THE CONSTRUCTION BY THE CONTRACTOR, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO RESTORE AND REPLACE THE DAMAGED FACILITIES AT HIS/HERS EXPENSE TO THE SATISFACTION OF THE DEPARTMENT OF REVENUE. THE SEWER FLOW MUST BE MAINTAINED AT ALL TIMES.

BENCHMARKS:

NOTE: BENCHMARKS TO BE PROVIDED BY OWNER.
 1. BENCH. 1: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 2. BENCH. 2: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 3. BENCH. 3: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 4. BENCH. 4: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 5. BENCH. 5: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 6. BENCH. 6: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 7. BENCH. 7: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 8. BENCH. 8: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 9. BENCH. 9: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 10. BENCH. 10: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 11. BENCH. 11: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 12. BENCH. 12: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 13. BENCH. 13: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 14. BENCH. 14: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.
 15. BENCH. 15: 1" X 1" X 1" CONCRETE BLOCK, PLACE ON TOP OF LOT 8 CHICAGO PARKS AT 806 W. 63RD ST. ELEVATION 7' 11.00" TO TOP OF BLOCK.

NOTE:

SPACEC, INC IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

CONTRACTOR ENVIRONMENTAL NOTIFICATION

THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING, PROVIDING TO THE OWNER, AND ADHERING TO A CONSTRUCTION WASTE HEALTH AND SAFETY PLAN (CWHP) TO PROTECT WORKER SAFETY WITH RESPECT TO EXPOSURE CONCERNS RELATED TO RESIDUAL CONTAMINATION IN THE SOIL AND ASBESTOS IN THE AIR. THIS PLAN SHOULD INCLUDE DETAILED CONCENTRATIONS OF LEAD, ARSENIC, MERCURY, AND VARIOUS POLYCYCLIC AROMATIC HYDROCARBONS. FOR FURTHER INFORMATION REGARDING THE SURFACE AND SUBSURFACE SOIL CONTAMINATION ISSUES AT THE SITE IS AVAILABLE UPON REQUEST FROM THE OWNER.

PRIOR TO UNDERTAKING ANY WORK IN THE PUBLIC WAY CONTACT:

GEORGE BLACK, DEPARTMENT OF TRANSPORTATION, 312-746-6500
 RELATIVE TO ANY CITY OF CHICAGO SIGNS, TRAFFIC OR STREET.

THOMAS STEVENS, DEPARTMENT OF REVENUE RELATIVE TO PARKING METERS, 312-742-4374.

JOHN WECOR, CTA, PRIOR TO UNDERTAKING ANY WORK IN THE VICINITY OF ANY BUS SHELTER, 312-681-4217.

MIKE RASCH, BUREAU OF ELECTRICITY, 312-746-4656

ALL WORK IN THE PUBLIC WAY REQUIRES A PERMIT FROM THE OFFICE OF EMERGENCY MANAGEMENT COMMUNICATIONS TRAFFIC MANAGEMENT AUTHORITY, PERMIT DIVISION, ROOM 303, CITY HALL.

CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER, AND THE CHICAGO UTILITY ALERT NETWORK, DIGGER, 312-744-7000, 48 HOURS IN ADVANCE BEFORE COMMENCING ANY WORK.



DEVELOPER
 DL3 REALTY, L.P.
 90 EAST 103RD STREET
 CHICAGO, ILLINOIS 60628
 PHONE: (773) 721-3400

DIGGER
 CHICAGO UTILITY ALERT NETWORK
 CALL 48 HOURS PRIOR TO DIGGING.
 (312) 744-7000 24 HRS/DAY.

ENGINEERING PLAN INDEX		
SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	C2	GENERAL NOTES AND TYPICAL SECTIONS
3	C3	EXISTING CONDITIONS
4	C4	GEOMETRIC PLAN
5	C5	GRADING PLAN
6	C6	UTILITY PLAN
7-8	C7-C8	SPECIFICATIONS
9-11	C9-C11	DETAILS
12	C12	SOIL EROSION AND SEDIMENT CONTROL PLAN
13	C13	OPERATIONS AND MAINTENANCE PLAN
14	C14	ADA RAMP DETAILS
15	C15	TRAFFIC CONTROL DETAILS

LANDSCAPING PLAN INDEX		
SHEET #	SHEET I.D.	SHEET DESCRIPTION
16	L01	LANDSCAPE PLAN 1
17	L02	LANDSCAPE PLAN 2
18	L03	IRRIGATION PLAN



REVISIONS			
ORIGINAL PLAN DATE: JUNE 10, 2015			
#	SHEET #	REMARKS	DATE
1	ALL	PER CLIENT REVIEW	06/25/15
2	ALL	PER CITY REVIEW	07/14/15
3	16	PER CITY REVIEW	07/15/15
4	ALL	PER CITY REVIEW	08/05/15
5	4-6,12-16,18,19	PER ARCHITECT	08/06/15
6	4-6,12-16,18,19	PER ARCHITECT	09/03/15
7	5,6,11	PER CITY REVIEW	09/22/15
8	ALL	PER CITY REVIEW	10/22/15
9	3,4,5,10,14	PER MPO	11/02/15
10	4,5,12,15,18	PER CITY REVIEW	11/25/15
11	4,5,12,15-18	PER CITY REVIEW	12/11/15

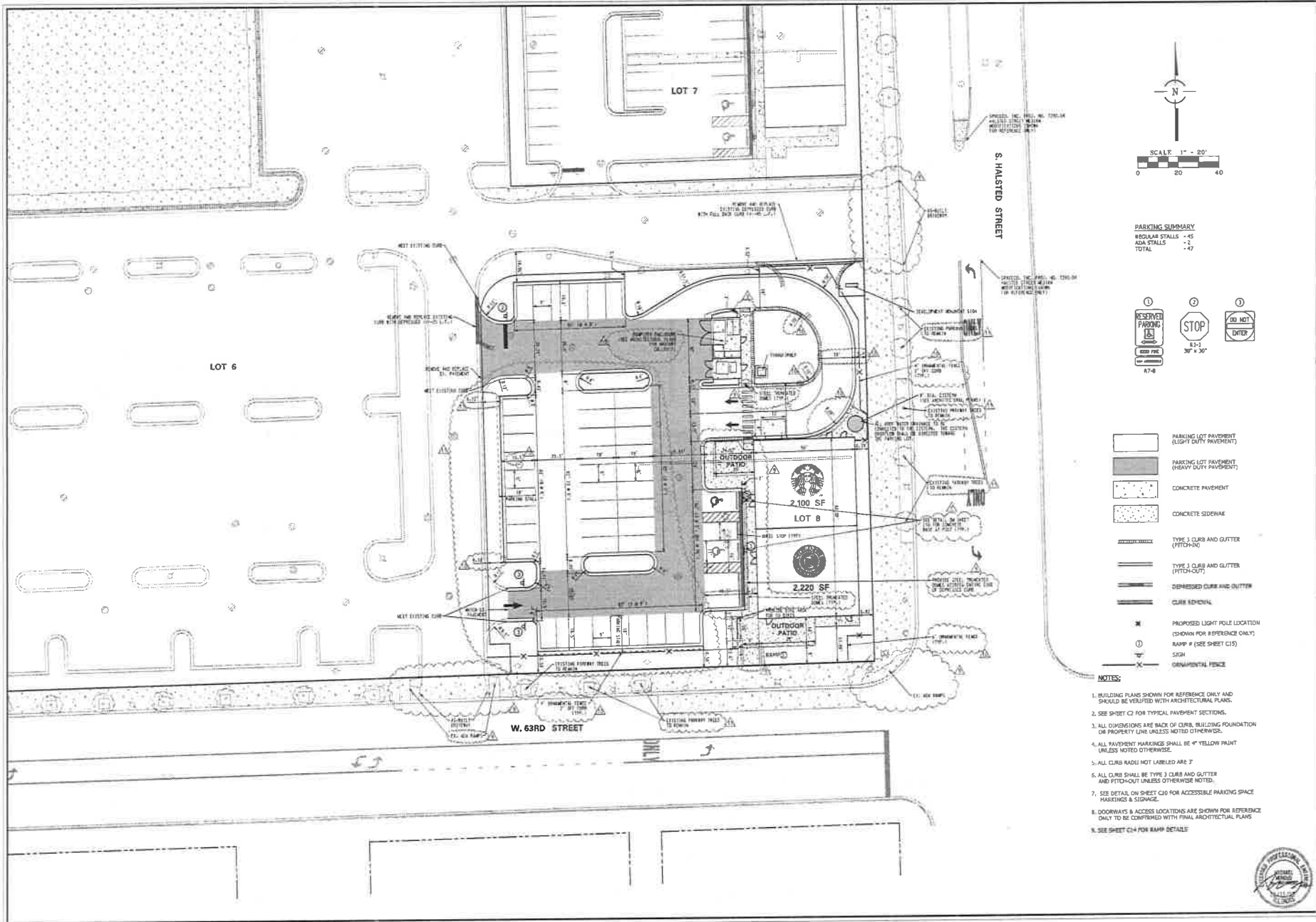
LOT 8
 ENGLEWOOD SQUARE AT
 HALSTED PARKWAYS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
 Phone: (847) 676-4000 Fax: (847) 676-4065

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

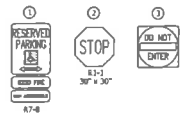


FILENAME: 7390.TITLE
 DATE: 08/20/15
 JOB NO: 7390.05
 SHEET: C1



PARKING SUMMARY

REGULAR STALLS	45
ADA STALLS	2
TOTAL	47



- PARKING LOT PAVEMENT (LIGHT DUTY PAVEMENT)
- PARKING LOT PAVEMENT (HEAVY DUTY PAVEMENT)
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- TYPE 3 CURB AND GUTTER (FITTOPAK)
- TYPE 3 CURB AND GUTTER (PITCH-OUT)
- DEPRESSED CURB AND GUTTER
- CURB REMOVAL
- PROPOSED LIGHT POLE LOCATION (SHOWN FOR REFERENCE ONLY) RAMP # (SEE SHEET C15)
- SIGN
- ORNAMENTAL FENCE

- NOTES:**
- BUILDING PLANS SHOWN FOR REFERENCE ONLY AND SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS.
 - SEE SHEET C2 FOR TYPICAL PAVEMENT SECTIONS.
 - ALL DIMENSIONS ARE BACK OF CURB, BUILDING FOUNDATION OR PROPERTY LINE UNLESS NOTED OTHERWISE.
 - ALL PAVEMENT MARKINGS SHALL BE 4" YELLOW PAINT UNLESS NOTED OTHERWISE.
 - ALL CURB RADI NOT LABELED ARE 7'
 - ALL CURB SHALL BE TYPE 3 CURB AND GUTTER AND FITTOP-OUT UNLESS OTHERWISE NOTED.
 - SEE DETAIL ON SHEET C16 FOR ACCESSIBLE PARKING SPACE MARKINGS & SIGNAGE.
 - DOORWAYS & ACCESS LOCATIONS ARE SHOWN FOR REFERENCE ONLY TO BE CONFIRMED WITH FINAL ARCHITECTURAL PLANS
 - SEE SHEET C14 FOR RAMP DETAILS

1	12/21/2016	FOR CITY REVIEW	
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99	12/21/2016	FOR CITY REVIEW	
100	12/21/2016	FOR CITY REVIEW	

GEOMETRIC PLAN
LOT 8 - ENGLEWOOD SQUARE
AT HALSTED PARKWAYS
 CHICAGO, ILLINOIS

CONSULTING ENGINEERS
 SPADCO ENGINEERS
 1512 P. Robinson Road, Suite 200
 Chicago, IL 60642, USA
 Phone: 312.794.3000 Fax: 312.794.3005

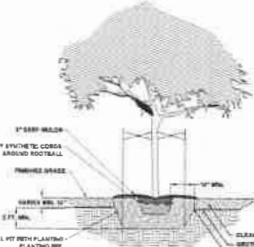


PROJECT NAME
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 DATE
 12/16/16
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 16

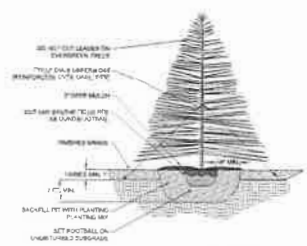




PERENNIAL AND GROUNDCOVER DETAIL
NO SCALE



TREE PLANTING DETAIL
NO SCALE



EVERGREEN TREE PLANTING DETAIL
NO SCALE

TREES AND SHRUBS

CODES AND REFERENCE STANDARDS:
ALL MATERIALS SHALL CONFORM TO THE STANDARDS ADOPTED BY THE AMERICAN ASSOCIATION OF ARBORICULTURISTS.
SCHEDULING:
FALL PLANTING SHALL BE PERFORMED FROM THE TIME THE PLANT BECOMES DORMANT UNTIL THE GROUND CAN BE MECHANICALLY WORKED.
GUARANTEES:
THE CONTRACTOR SHALL GUARANTEE THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER A DATE OF SUBSTANTIAL COMPLETION OF FINAL PROJECT. THE CONTRACTOR SHALL REPLACE ANY AND ALL PLANT MATERIAL WHICH HAS NOT SURVIVED THE GUARANTEE PERIOD.

WITHIN THE PERIOD OF THE GUARANTEE, PLANTS REPLACED BY APPROVAL OF THE ARCHITECT SHALL BE GUARANTEED FOR 1 YEAR FROM DATE OF REPLACEMENT.
AT ANY TIME WITHIN THE PERIOD OF THE GUARANTEE, THE CONTRACTOR SHALL REPLACE ANY PLANT, WHICH HAS DIED OR IS IN DETERIOR CONDITION OR HAS FAILED TO FLOURISH IN SUCH A MANNER OR IN SUCH A MANNER THAT THE UNDESIRABLE APPEARANCE HAS BEEN RESTORED TO THE WORK OR DEFECTIVE MATERIAL OR PERFORMANCE, OR UNDESIRABLE WEATHER CONDITION. THE DECISION OF THE LANDSCAPE ARCHITECT FOR REASONS RELEVANT TO THE CONTRACTOR SHALL BE CONCLUSIVE AND BINDING. THE CONTRACTOR SHALL ALSO MAKE GOOD DAMAGE TO PERSONS OR PROPERTY CAUSED BY DEFECTIVE WORKMANSHIP OR MATERIALS.

SHROUDED HARDWOOD BARK MULCH
SHROUDED HARDWOOD BARK MULCH SHALL BE FREE OF HAZARDOUS CHEMICALS, OILS AND INSECTS. MULCH SHALL HAVE A MINIMUM 18% MOISTURE AND A MAXIMUM LENGTH OF 1-1/2\"/>

WEEK NUMBER FABRIC
WEEK NUMBER FABRIC OF ONE COLOR WILL BE USED UNDER THE SHROUDED MULCH IN THE PARKING LOT BEHIND THE ONLY COLLECTOR TUNNEL.

PROPERTIES	TEST METHOD	MIN. VALUE	MAX. VALUE
BASE WEIGHT	ASTM D1274	24 OZ/SY	
GRAB TENSILE STRENGTH (LBS/INCH)	ASTM D624	80 IS	
DRAP RESISTANCE (IN)	ASTM D624	80 IS	
TENSILE STRENGTH (LBS)	ASTM D624	80 IS	
TENSILE ELONGATION (%)	ASTM D624	200	
PERMEABILITY (GAS)	ASTM D624	100	
WATER UPTAKE (%)	ASTM D624	100	
WATER ABSORPTION (%)	ASTM D624	100	

FERTILIZER
ALL FERTILIZER SHALL BE A COMMERCIALLY BALANCED 16-4 FERTILIZER DELIVERED TO THE SITE IN BAGS LABELED WITH THE MANUFACTURER'S GUARANTEED ANALYSIS. THE FERTILIZER SHALL BE APPLIED TO BARE PLANTING BEDS AND MINORIAL TREES AT THE MANUFACTURER'S RECOMMENDED RATE.

EXCAVATION OF PLANT HOLES
THE SIZES OF ALL PLANT HOLES SHALL BE SLOPED AND THE BOTTOMS HORIZONTAL.
SIDE EXCAVATIONS SHALL BE THE BALL DEPTH BY THE BALL DIAMETER PLUS 18 INCHES. SHARP EXCAVATIONS SHALL BE TO THE DEPTH OF THE ROOT BALL AND THE BALL DIAMETER PLUS 18 INCHES. GROUND COVER AND PERSONAL EXCAVATIONS SHALL BE A MINIMUM DIAMETER AND DEPTH OF THE CONTAINER PLUS 18 INCHES.
ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.

PLANTING
REMOVE ALL MOSS AND DEBRIS OVER THE SURFACE FROM TOP OF PLANTING BED. REMOVE TOP TWO INCHES OF SOFT TOP SOIL FROM INTERIOR SURFACE OF BASKET PLANTING BEDS. APPLY A 1/2 INCH LAYER OF COMPOST OVER EXPOSED SURFACE OF BASKET PLANTING BEDS. PREPARED BACKFILL SHALL CONSIST OF A MIXTURE OF TOP SOIL AND A MIXTURE OF 1/2 INCH LAYER OF COMPOST. 2 INCHES FEET OF PEAT MOSS. PREPARED BACKFILL SHALL BE IN A LOOSE FRABLE CONDITION AT THE TIME OF PLANTING. ALL PLANTS SHALL BE PLACED IN A PLUMB POSITION AND SET TO THE SAME DEPTH AS THEY WERE IN THE SUPPLY FIELD. EXCESS OF WATERING SHALL ACCUMULATE IN THE BASKET LINES OVERFLOW TO ELIMINATE POCKETS.

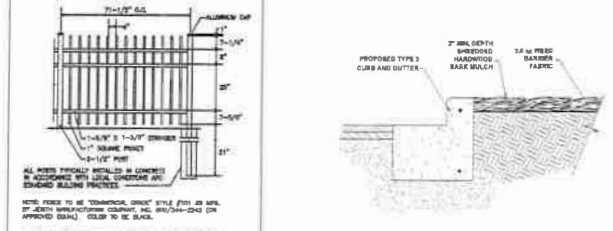
BALLED AND BURLAPPED PLANTS:
AFTER THE PLANT IS PLACED IN THE HOLE, ALL CORON AND BURLAP SHALL BE CUT AWAY FROM THE TRUNK AND THE BURLAP AND ANY FREE BASKETS REMOVED FROM THE TOP OF THE BALL.
CONTAINER GROWN PLANTS:
PRIOR TO PLACING THE PLANT IN THE HOLE, THE CONTAINER SHALL BE REMOVED WITH CARE SO AS NOT TO OBSTRUCT THE ROOT SYSTEM.

POST PLANTING:
AFTER PLANTING, APPLY AND PRESS TO MULCHING, APPLY A PRE-EMERGENT HERBICIDE TO ALL BARE PLANTING BEDS, APPLY FOR NON-EMERGENT HERBICIDE FOR APPLICATION.
WEEDS:
WEEDS SHALL BE REMOVED FROM THE PLANTING BEDS AND MINORIAL TREES AT 2 WEEKS INTERVALS.
BASE OF PAYMENT:
THE WORK SHALL BE PAID FOR AT THE CONTRACTOR'S UNIT PRICE PER EACH FOR PLANTING OF THE TREES, SHRUBS AND PERENNIALS AND ALL INCIDENTAL WORK HEREIN SPECIFIED.

UNIT PRICES SHALL INCLUDE ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY FOR EXCAVATION, AND INSTALLATION OF THE TREES, SHRUBS AND PERENNIALS AND ALL INCIDENTAL WORK HEREIN SPECIFIED.



SHRUB PLANTING DETAIL
NO SCALE



4 Foot Ornamental Black Metal Fences
NO SCALE

MULCH DETAIL
NO SCALE

SEEDING

DESCRIPTION: THIS WORK SHALL CONSIST OF PREPARING THE SEED BED AND PLACING THE SEED AND OTHER MATERIALS REQUIRED IN SEEDING OPERATIONS OF THE CONTRACTED AREA.
FERTILIZER APPLICATION: FERTILIZER, NUTRIENTS AND AGRI-CULTURAL GROUND LIME/TONE SHALL BE UNIFORMLY SPREAD OVER THE SEEDBEDS IMMEDIATELY PRIOR TO SEED BED PREPARATION. AN 80 G/G LB OF FERTILIZER NUTRIENTS PER SQUARE YARD SHALL BE APPLIED AT 1:1 RATIO TO FOLLOW: 10 POUNDS FERTILIZER NUTRIENTS TO 10 G/G LB LIME/TONE.
SEED BED PREPARATION:
SEED BED PREPARATION SHALL NOT BE STARTED UNTIL ALL STONE OR Boulders EXCEEDING 4 INCHES IN DIAMETER HAVE BEEN REMOVED FROM THE AREA TO BE SEED BED. THE SEED BED SHALL BE PREPARED TO A DEPTH OF 75 MM (3 IN) WITH A 20MM TREAD OR OTHER EQUIVALENT PROTECTIVE COVER. THE UNDERLAYER SHALL BE PLACED AT 1:1 RATIO TO FOLLOW: 10 POUNDS FERTILIZER NUTRIENTS TO 10 G/G LB LIME/TONE.
SEEDING METHOD:
NO SEED SHALL BE SEEDING DURING HIGH WINDS OR WHEN THE GROUND IS WET OR FROZEN. SEEDING SHALL BE PERFORMED IMMEDIATELY AFTER THE SEED BED HAS BEEN COMPLETED FOR THE ENTIRE AREA. THE SEED SHALL BE SEEDING TO THE DEPTH OF 10MM (3/8 IN) WITH A 20MM TREAD OR OTHER EQUIVALENT PROTECTIVE COVER. THE UNDERLAYER SHALL BE PLACED AT 1:1 RATIO TO FOLLOW: 10 POUNDS FERTILIZER NUTRIENTS TO 10 G/G LB LIME/TONE.
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SEEDING DATE:
THE SEEDING DATE FOR OCTOBER CLASS 1 AND 5 SHALL BE FROM MAY 1 TO JUNE 15 AND FROM SEPTEMBER 1 TO OCTOBER 15.
SEEDING RATE:
100 LBS/ACRE
200 LBS/ACRE
300 LBS/ACRE
400 LBS/ACRE
500 LBS/ACRE
600 LBS/ACRE
700 LBS/ACRE
800 LBS/ACRE
900 LBS/ACRE
1000 LBS/ACRE

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SUPPLEMENTAL WATERING:
ONCE THE SEEDS HAVE REACHED A HEIGHT OF 1\"/>

CONTRACTOR SHALL: GUARANTEE THE SEEDING FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF FINAL PROJECT FOR ANY LOSS DUE TO RAIN, DROUGHT, INADEQUATE OR EXCESSIVE WATERING. SEEDING SHALL BE SEEDING TO THE DEPTH OF 10MM (3/8 IN) WITH A 20MM TREAD OR OTHER EQUIVALENT PROTECTIVE COVER. THE UNDERLAYER SHALL BE PLACED AT 1:1 RATIO TO FOLLOW: 10 POUNDS FERTILIZER NUTRIENTS TO 10 G/G LB LIME/TONE.

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1	EXPLANATION SHEET	NO. DATE	REVISIONS
2	EXPLANATION SHEET	NO. DATE	REVISIONS
3	EXPLANATION SHEET	NO. DATE	REVISIONS
4	EXPLANATION SHEET	NO. DATE	REVISIONS

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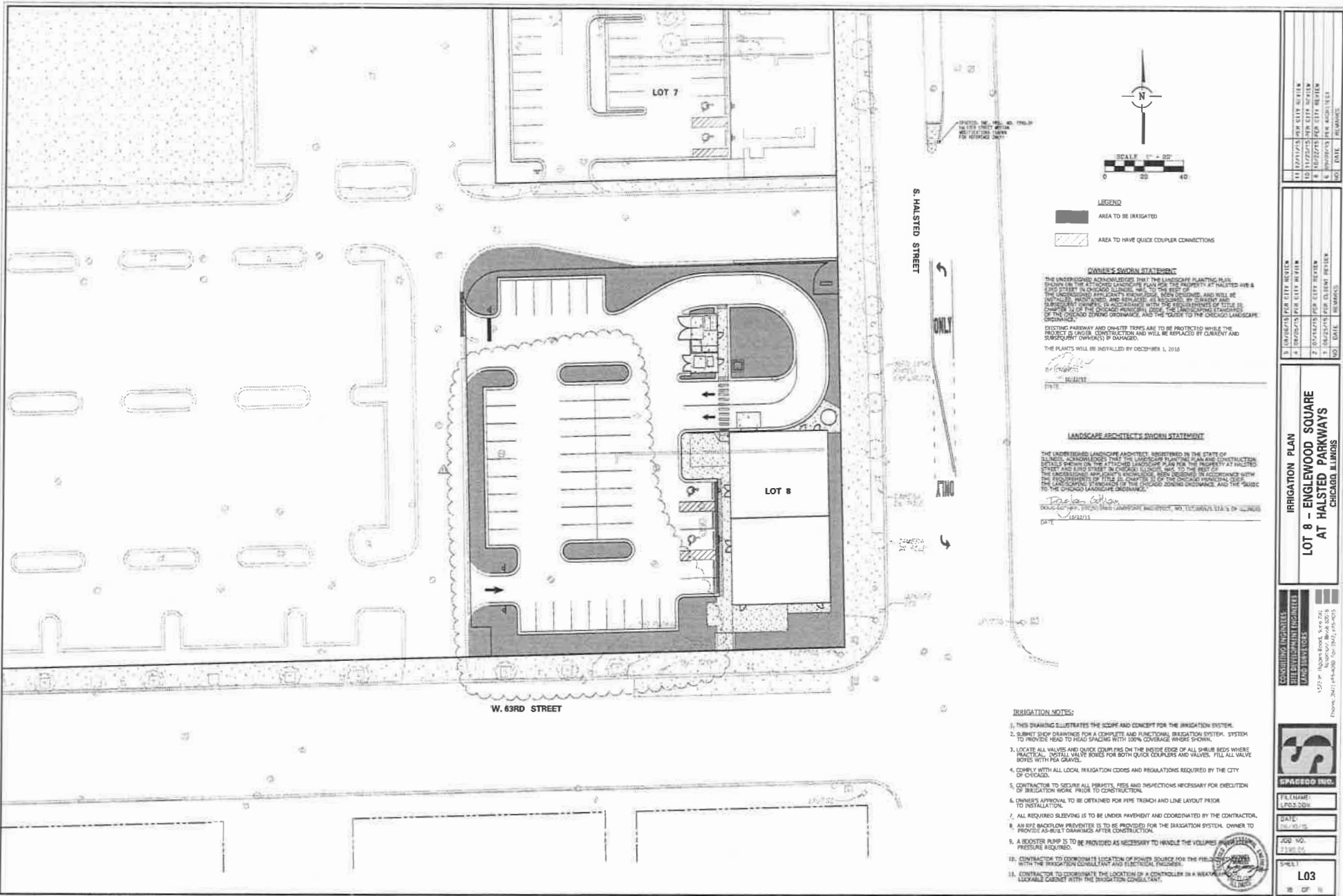
LANDSCAPE PLAN & DETAILS
LOT 8 - ENGLEWOOD SQUARE
AT HALSTED PARKWAYS
CHICAGO, ILLINOIS

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4	EXPLANATION SHEET	NO. DATE	REVISIONS

SPROSO INC.
147 N. LAUREL ST. CHICAGO, IL 60610
TEL: 312.467.1234
WWW.SPROSO.COM

L02
OF



LEGEND

■ AREA TO BE IRRIGATED

▨ AREA TO HAVE QUICK COUPLER CONNECTIONS

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN, PLANS AND SPECIFICATIONS FOR THE PROPERTY AT HALSTED AVE & 63RD STREET IN CHICAGO ILLINOIS, THE SITE OF THE DEVELOPMENT APPROXIMATELY 10000 S. HALSTED AVE, CHICAGO, ILLINOIS, 60628, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS NECESSARY, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 23, CHAPTER 21 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO TREE ORDINANCE, AND THE CODES TO THE CHICAGO LANDSCAPE ORDINANCE.

EXISTING PARKWAY AND DRIVEWAYS ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY OCTOBER 1, 2016

[Signature]
DATE: 10/22/15

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT HALSTED AVE & 63RD STREET IN CHICAGO, ILLINOIS, ARE, TO THE BEST OF THE UNDERSIGNED ARCHITECT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 23, CHAPTER 21 OF THE CHICAGO MUNICIPAL CODE, THE CHICAGO TREE ORDINANCE, AND THE CODES TO THE CHICAGO LANDSCAPE ORDINANCE.

[Signature]
DOUG COOPER, PRINCIPAL LANDSCAPE ARCHITECT, W.O. LOURIE & ASSOCIATES, INC.
DATE: 10/22/15

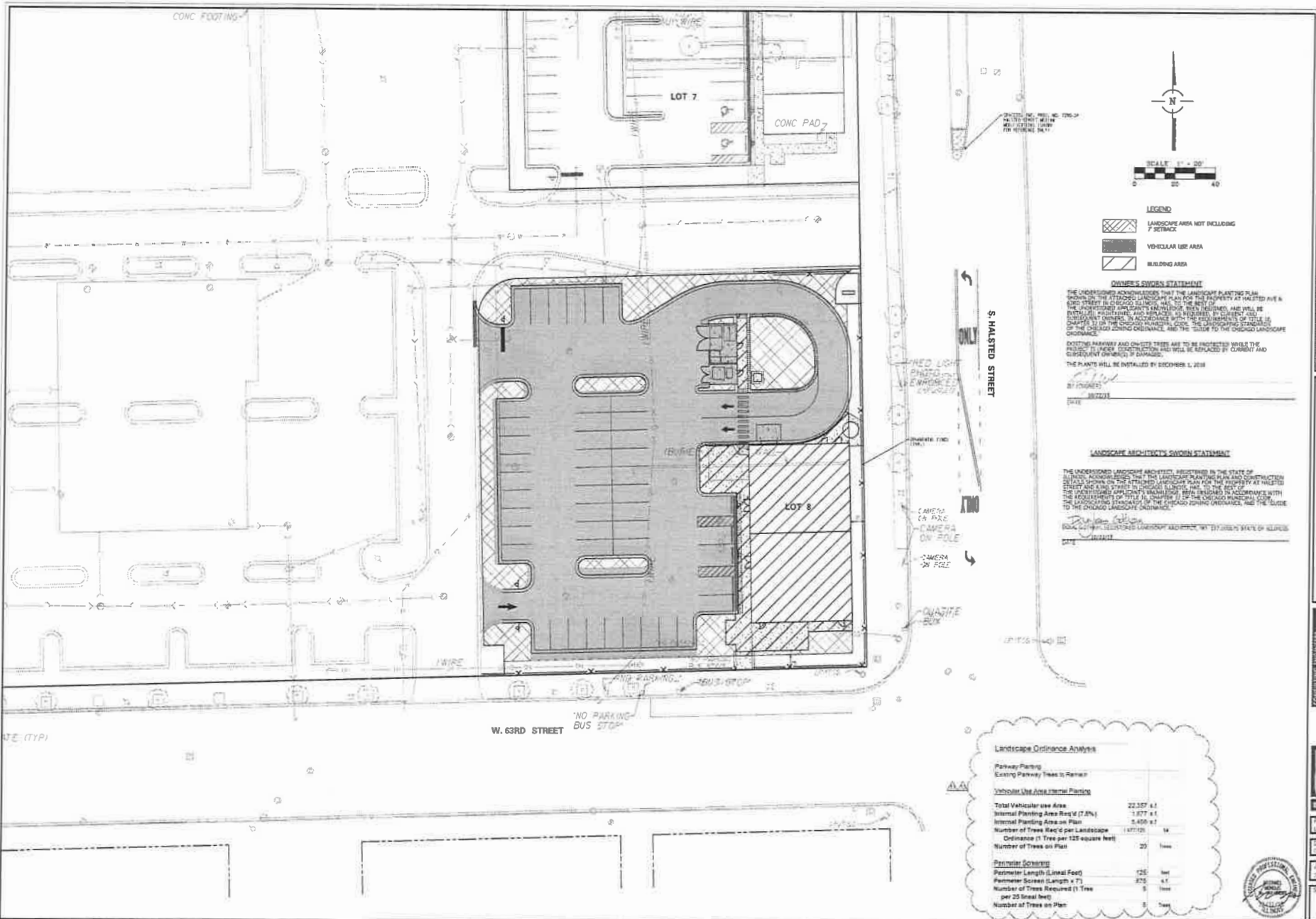
- IRRIGATION NOTES:**
- THIS DRAWING ILLUSTRATES THE SCOPE AND CONCEPT FOR THE IRRIGATION SYSTEM.
 - SUBMIT SHOP DRAWINGS FOR A COMPLETE AND FUNCTIONAL IRRIGATION SYSTEM. SYSTEM TO PROVIDE HEAD TO HEAD SPACING WITH 100% COVERAGE WHERE SHOWN.
 - LOCATE ALL VALVES AND QUICK COUPLERS ON THE INSIDE EDGE OF ALL SHALLOW BOXES WHERE PRACTICAL. INSTALL VALVE BOXES FOR BOTH QUICK COUPLERS AND VALVES. FILL ALL VALVE BOXES WITH P&G GRAVEL.
 - COMPLY WITH ALL LOCAL IRRIGATION CODES AND REGULATIONS REQUIRED BY THE CITY OF CHICAGO.
 - CONTRACTOR TO SECURE ALL PERMITS, FEES AND INSPECTIONS NECESSARY FOR EXECUTION OF IRRIGATION WORK PRIOR TO CONSTRUCTION.
 - OWNER'S APPROVAL TO BE OBTAINED FOR PIPE TRENCH AND LINE LAYOUT PRIOR TO INSTALLATION.
 - ALL REQUIRED SLEEVING IS TO BE UNDER PAVEMENT AND COORDINATED BY THE CONTRACTOR.
 - AN EYE INCLUSION PREVENTER IS TO BE PROVIDED FOR THE IRRIGATION SYSTEM. OWNER TO PROVIDE AS-BUILT DRAWINGS AFTER CONSTRUCTION.
 - A BOOSTER PUMP IS TO BE PROVIDED AS NECESSARY TO HANDLE THE VOLUMES AND PRESSURE REQUIRED.
 - CONTRACTOR TO COORDINATE LOCATION OF POWER SOURCE FOR THE FIELD WITH THE IRRIGATION CONSULTANT AND ELECTRICAL ENGINEER.
 - CONTRACTOR TO DETERMINE THE LOCATION OF A CONTROLLER IN A WEATHER-PROOFED LOCKABLE CABINET WITH THE IRRIGATION CONSULTANT.

11/22/2015 PER CITY REVIEW	3/10/2016 PER CITY REVIEW	NOI DATE	10/22/15
10/17/2015 PER CITY REVIEW	4/20/2016 PER CITY REVIEW	PERMITS	
8/10/2015 PER CITY REVIEW	2/10/2016 PER CITY REVIEW	DATE	
6/10/2015 PER CITY REVIEW	1/10/2016 PER CITY REVIEW		
5/10/2015 PER CITY REVIEW			

CONVERTING ENGINEER:
DATE DEVELOPMENT INCIDENTS:
LAND SURVEYING:
 1/27/16 - Approx. 10:00 AM, 1/27/16
 1/27/16 - Approx. 10:00 AM, 1/27/16
 (Phone: 312) 444-4444, 312/444-4444

SPACEDOC INC.

FILE NAME: L1P03.DWG
 DATE: 10/22/15
 JOB NO.: 1101015
 SHEET: L03
 OF 11



- LEGEND**
- LANDSCAPE AREA NOT INCLUDING 7 SETBACK
 - VEHICULAR USE AREA
 - BUILDING AREA

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THIS LANDSCAPE PLAN FOR THE PROPERTY AT HALSTED AVE & 63RD STREET IN CHICAGO, ILLINOIS, IS THE BEST THE UNDERSIGNED APPLICANT KNOWLEDGE BEEN OBTAINED, AND WILL BE FULLY MAINTAINED AND REPLACED AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 12, CHAPTER 11 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

EXISTING PLANTS AND SHRUBS ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 1, 2018

BY (OWNER): _____
DATE: _____

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, KNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT HALSTED STREET AND 63RD STREET IN CHICAGO, ILLINOIS, ARE THE BEST THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BELIEF AND FAITH, AND IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 12, CHAPTER 11 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

DATE: _____

Landscape Ordinance Analysis

Parkway Planting
Existing Parkway Trees to Retain

Vehicular Use Area Internal Planting

Total Vehicular use Area	22,357 sq ft
Annual Planting Area Req'd (7.5%)	1,677 sq ft
Internal Planting Area on Plan	5,400 sq ft
Number of Trees Req'd per Landscape Ordinance (1 Tree per 125 square feet)	1,677 trees
Number of Trees on Plan	20 trees

Perimeter Screening

Perimeter Length (Linear Feet)	125 feet
Perimeter Screen Length x 75	9,375 feet
Number of Trees Required (1 Tree per 25 linear feet)	375 trees
Number of Trees on Plan	5 trees

1	EXPLANATIONS	FOR CITY REVIEW	NOI DATE	ILLINOIS
2	REVISIONS	FOR CITY REVIEW		
3	REVISIONS	FOR CITY REVIEW		
4	REVISIONS	FOR CITY REVIEW		
5	REVISIONS	FOR CITY REVIEW		

1	EXPLANATIONS	FOR CITY REVIEW	NOI DATE	ILLINOIS
2	REVISIONS	FOR CITY REVIEW		
3	REVISIONS	FOR CITY REVIEW		
4	REVISIONS	FOR CITY REVIEW		
5	REVISIONS	FOR CITY REVIEW		

VEHICULAR USE AREA CALCULATION
LOT 8 - ENGLEWOOD SQUARE
AT HALSTED PARKWAYS
CHICAGO, ILLINOIS

CONSULTING ENGINEER
SITE DEVELOPMENT ENGINEER
LAND SURVEYOR
1357 W. Belmont Ave., 5th Fl.
Chicago, Illinois 60606
Phone: 312.467.4400 Fax: 312.467.4401
www.spargo.com

SPARGO INC.

FILE NAME: L04.DWG
DATE: 08/01/18
ADD NO: 000000
SHEET: **L04** OF 1



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 18, 2015
Mr. Scott Allman, President
Ethos Workshop Architects + Planners
1112 South Washington Street; Suite 110
Naperville, IL 60540

Re: **Site Plan Approval for a commercial building - Planned Development No. 1227**
Outlot B/Lot 7 (6232 South Halsted Street)

Dear Mr. Allman:

We have reviewed the plans submitted by Ethos Workshop on behalf of Englewood Square, LP for the construction of a one-story, 3094 square-foot commercial building. Those plans consist of:

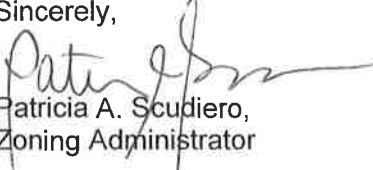
- A1 Floor Plan and Building Sections and A2 Exterior Elevations dated December 11, 2015 and prepared by Ethos Workshop, and
- C1 Civil Cover Sheet; C4 Geometric Plan; L01 Landscape Plan 1; L02 Landscape Plan and Details; L03 Irrigation Plan; L04 Vehicle Use Area Calculation; prepared by Spaceco, Inc. and dated December 11, 2015.

These plans are submitted in accordance with Statement No. 9 of Planned Development No. 1227. Features of the submittal include a one-story, 3,094 square-foot commercial building and will be clad with face brick, cast stone accents, and fiber cement siding. Twenty-two parking spaces will be provided, as would five bicycles spaces. Vehicle Use Area landscaping would include 4,477 square feet of internal landscape area and 9 interior trees, and there would be 4 existing parkway trees to remain. The uses proposed, retail and financial services are permitted by Statement No. 5 of the Planned Development.

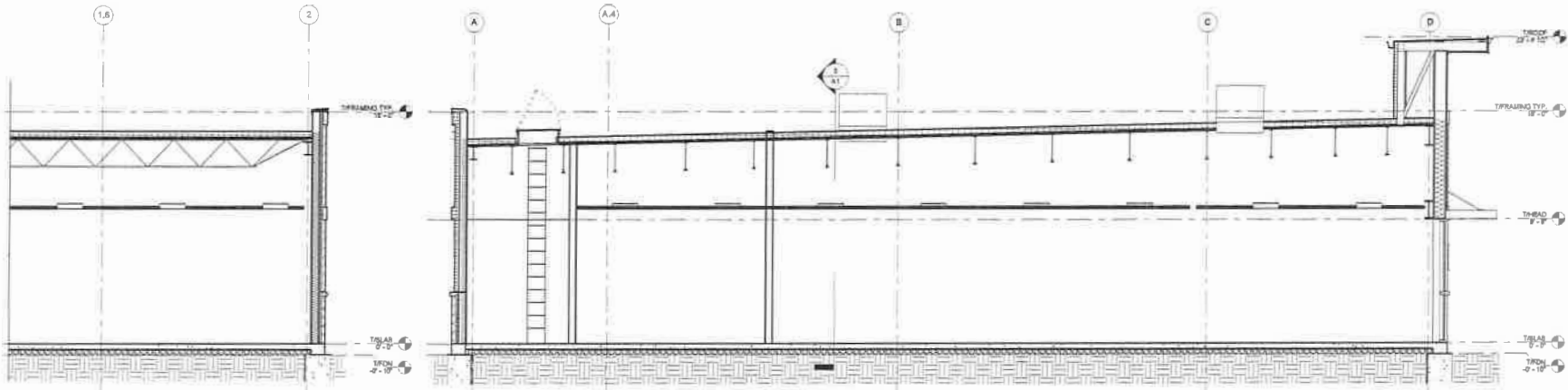
Statement No. 15 of the Planned Development waives the requirement for LEED certification if the combined floor area of Outlots A and B is less than 10,000 square feet; the proposed combined floor area for the outlots is approximately 7,400 square feet. However, this building will have to have a 50% green roof and must exceed ASHRAE 90.1-2004 standard for energy efficiency by at least 14%.

Upon review of the material submitted, the Department has determined that these plans are consistent with, and satisfy the requirements of, the Plan of Development. Accordingly, this Site Plan submittal for Planned Development No. 1227/ Outlot B (Lot 7) is hereby approved as conforming to the Plan of Development as approved by the Chicago City Council on December 11, 2013. This Site Plan Approval does not cover any signage, which must be covered by a separate application.

Sincerely,

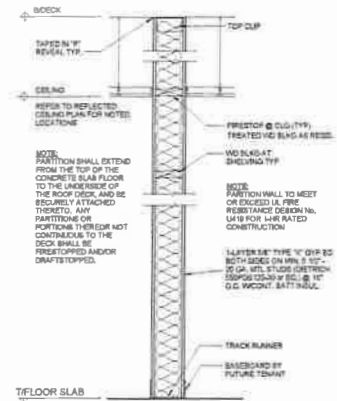

Patricia A. Scudiero,
Zoning Administrator

Originated by: Fernando Espinoza
cc: Chris Downes (Burnham Nationwide) via email, Lisa Washington (DPD)
Mike Marmo (DPD), Erik Glass (DPD), Planned Development files

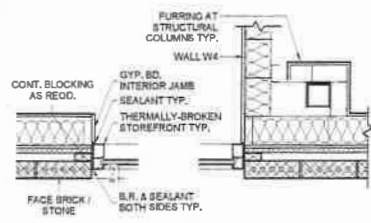


1. BLDG - EW (PARTIAL)
1/4" = 1'-0"

2. BLDG - NS
1/4" = 1'-0"

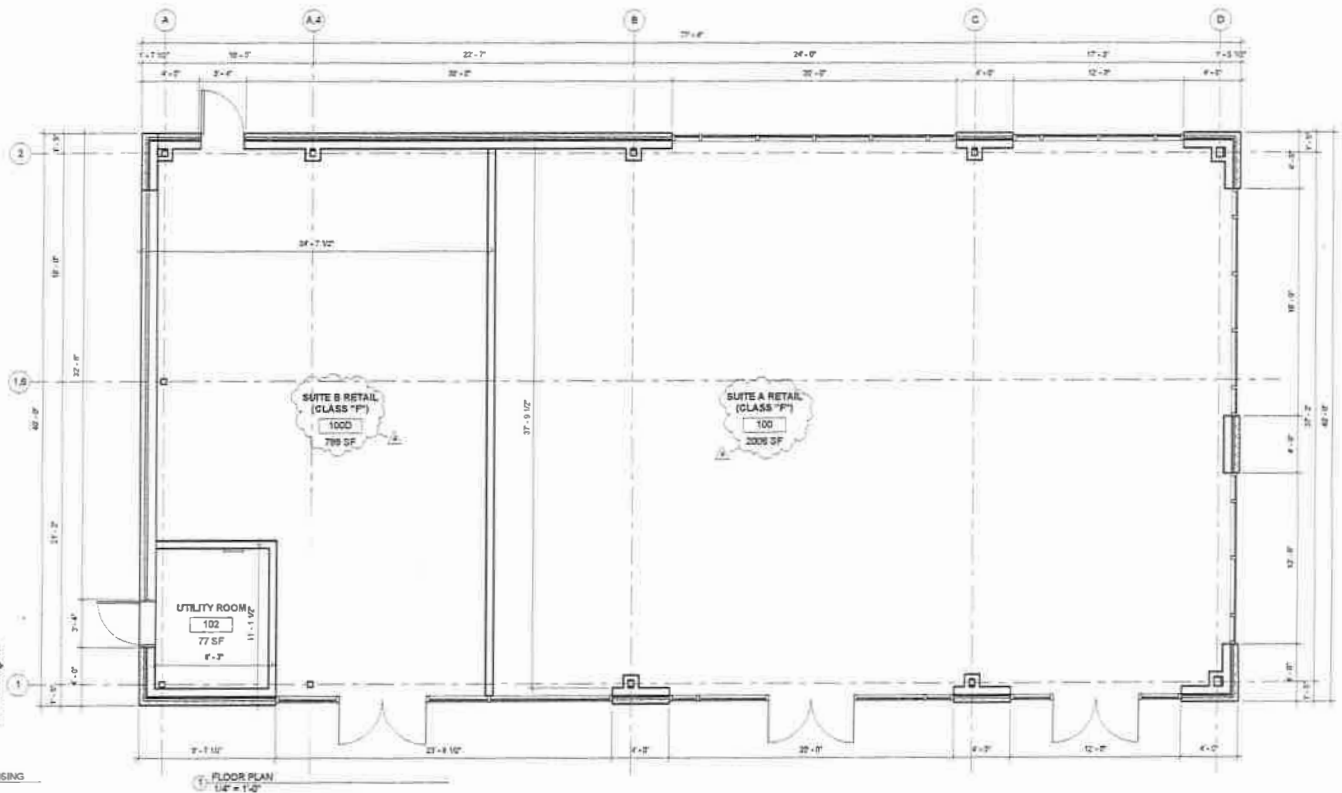


3. DEMISING PARTITION W4
1" = 1'-0"



3. PLAN DETAIL - TYP JAMB
1" = 1'-0"

4. PLAN DETAIL - JAMB AT DEMISING
1" = 1'-0"



1. FLOOR PLAN
1/4" = 1'-0"

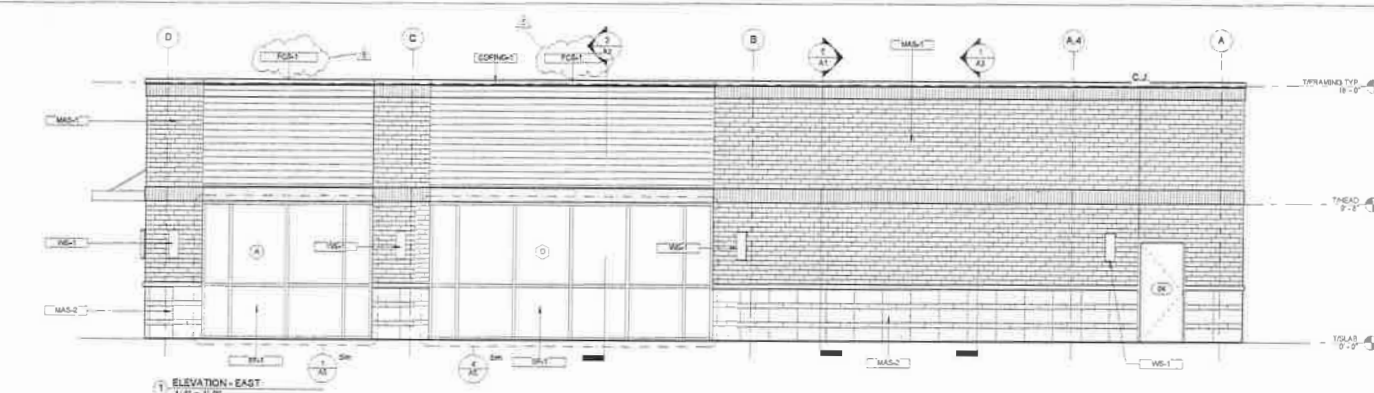


COMMERCIAL RETAIL BUILDING SHELL
ENGLEWOOD SQUARE - LOT 7
6232 S. HALSTED ST., CHICAGO, IL 60621

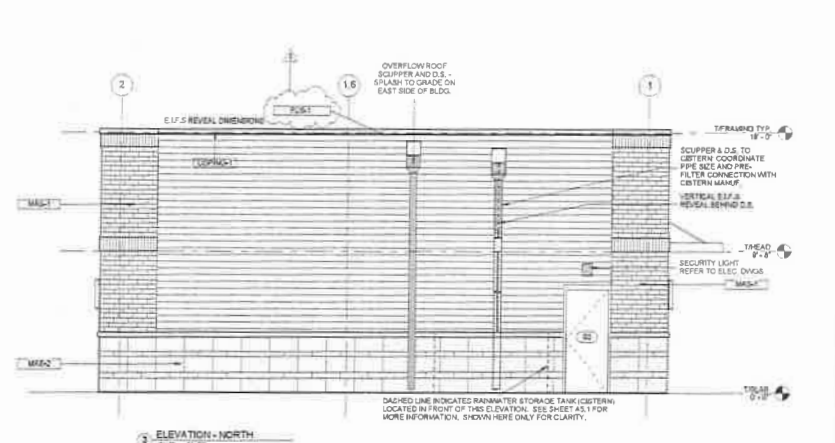
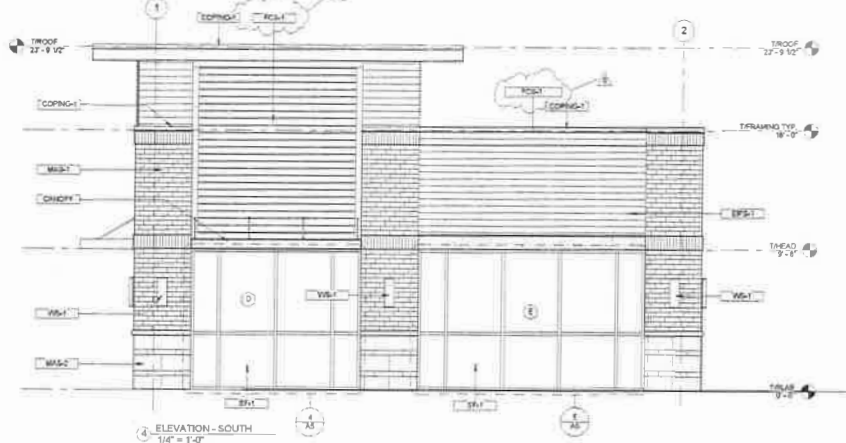
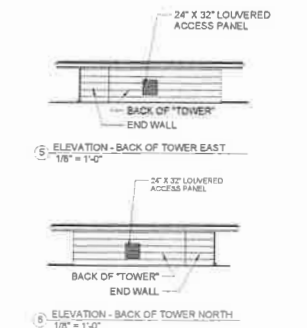
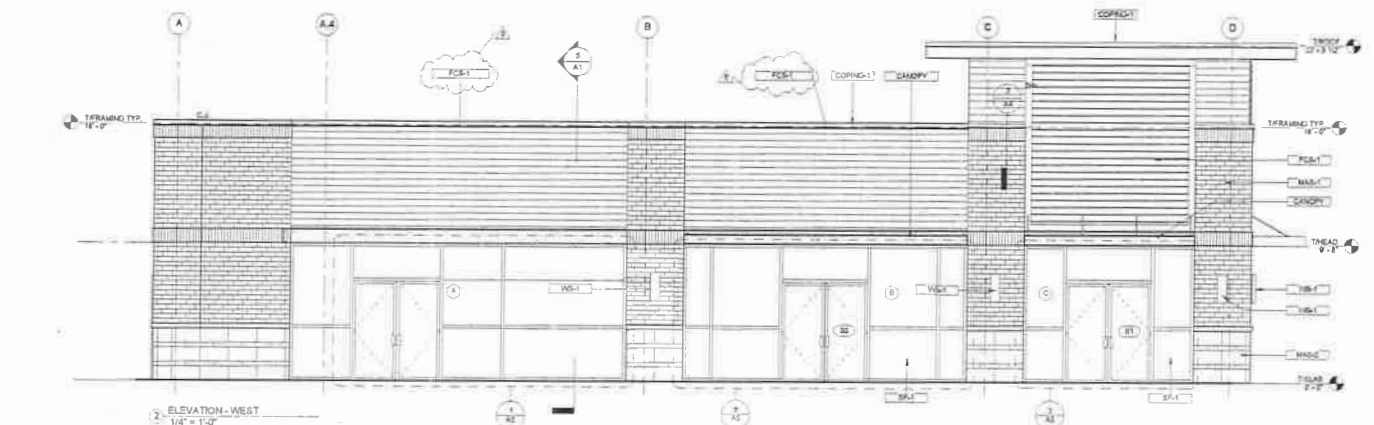
Owner:
Englewood Square, L.P.
1050 E. 85th St.
Chicago, IL 60619
Contact: Leah Walker
773.844.2361

ISSUE DATE	
NO.	DATE
1	10/15/15
2	11/10/15
3	11/10/15
4	11/10/15
5	11/10/15
6	11/10/15
7	11/10/15
8	11/10/15
9	11/10/15
10	11/10/15

FLOOR PLAN AND BUILDING SECTIONS



MARK	NOTE
CANOPY	PREFINISH, STEEL CANOPY
CORNING-1	PREFINISH, SHIM OF METAL COMPRESSION COVER
CHERRY	PRE-FINISH, CHERRY
POST	PREFINISH, STEEL POST
MAS-1	MASONRY - FLINT BRICK - EXTERIOR OF BOND
MAS-2	MASONRY - CHARTER STONE 10000 TYPE
WFL-1	CONCRETE-FINISH METAL PANEL
WFL-2	PREFINISH, GALVANNEUM SYSTEM FROST BITTER POLYMER 1" INSULATED GLAZING. NO FILL INDICATES CLEAR ANOD. FINISH. SOLID FILL INDICATES BLACK WOOD FINISH.
WLT	WALL SOURCE 1 REFER TO ELECTRICAL LIGHTING SCHEDULE



COMMERCIAL RETAIL BUILDING SHELL
ENGLEWOOD SQUARE - LOT 7
 6232 S. HALSTED ST., CHICAGO, IL 60621

Owner:
 Englewood Square, L.P.
 1050 E. 95th St.
 Chicago, IL 60619
 Contact: Leon Walker
 773.844.3381

ISSUE DATE	
NO.	DATE
1	10/15/2024
2	11/05/2024
3	11/15/2024
4	12/01/2024
5	12/15/2024
6	01/05/2025
7	01/15/2025
8	02/01/2025
9	02/15/2025
10	03/01/2025

EXTERIOR ELEVATIONS

A2

SITE IMPROVEMENT PLANS

for

LOT 7 ENGLEWOOD SQUARE AT HALSTED PARKWAYS 6232 S. HALSTED STREET CHICAGO, ILLINOIS PROJECT NO.: 7390.05

DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE MUNICIPALITY, OWNER AND ENGINEER AND THEIR RESPECTIVE BOARD, MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES AGAINST ALL SUCH CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE BLINDING LIGHTS REGARDING STRUCTURAL WORK; WHEN STAT. CH. 48, PAR. 60 AT 48-140 AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS; IN ANY STATE, CH. 10, § 12-10.1 IN THE EVENT OF ANY SUCH INJURY INCLUDING DEATH OR LOSS OF DAMAGE OR CLAIMS, THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

BENCHMARKS:

MARKER BENCHMARK 1: 1/16" METRIC 100' STATION ON THE NORTH SIDE OF THE STREET AT THE INTERSECTION OF 6232 S. HALSTED STREET AND 6230 S. HALSTED STREET. ELEVATION: 732.00' TO CORNER OF LOT 7.

MARKER BENCHMARK 2: 1/16" METRIC 100' STATION ON THE SOUTH SIDE OF THE STREET AT THE INTERSECTION OF 6232 S. HALSTED STREET AND 6230 S. HALSTED STREET. ELEVATION: 732.00' TO CORNER OF LOT 7.

MARKER BENCHMARK 3: 1/16" METRIC 100' STATION ON THE NORTH SIDE OF THE STREET AT THE INTERSECTION OF 6232 S. HALSTED STREET AND 6230 S. HALSTED STREET. ELEVATION: 732.00' TO CORNER OF LOT 7.

MARKER BENCHMARK 4: 1/16" METRIC 100' STATION ON THE SOUTH SIDE OF THE STREET AT THE INTERSECTION OF 6232 S. HALSTED STREET AND 6230 S. HALSTED STREET. ELEVATION: 732.00' TO CORNER OF LOT 7.

MARKER BENCHMARK 5: 1/16" METRIC 100' STATION ON THE NORTH SIDE OF THE STREET AT THE INTERSECTION OF 6232 S. HALSTED STREET AND 6230 S. HALSTED STREET. ELEVATION: 732.00' TO CORNER OF LOT 7.

MARKER BENCHMARK 6: 1/16" METRIC 100' STATION ON THE SOUTH SIDE OF THE STREET AT THE INTERSECTION OF 6232 S. HALSTED STREET AND 6230 S. HALSTED STREET. ELEVATION: 732.00' TO CORNER OF LOT 7.

IN LOCATIONS WHERE THE SEWER IS NOT BEING REPLACED AND THE EXISTING DRAINAGE FACILITIES ARE DISTURBED OR DAMAGED DURING THE CONSTRUCTION BY THE CONTRACTOR, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO RESTORE AND REPLACE THE DAMAGED FACILITIES AT OWNER EXPENSE TO THE SATISFACTION OF THE DEPARTMENT OF REVERSE THE SEWER FLOW MUST BE MAINTAINED AT ALL TIMES.

NOTE:

SPACCO, INC. IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

DEVELOPER

DL3 REALTY, L.P.
90 EAST 103RD STREET
CHICAGO, ILLINOIS 60628
PHONE: (773) 721-3400

DIGGER

CHICAGO UTILITY ALERT NETWORK
CALL 48 HOURS PRIOR TO DIGGING.
(312) 744-7000 24 HRS/DAY.

ENGINEERING PLAN INDEX

SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	C2	GENERAL NOTES AND TYPICAL SECTIONS
3	C3	EXISTING CONDITIONS
4	C4	GEOMETRIC PLAN
5	C5	GRAZING PLAN
6	C6	UTILITY PLAN
7-8	C7-C8	SPECIFICATIONS
9-11	C9-C11	DETAILS
12	C12	SOIL EROSION AND SEDIMENT CONTROL PLANS
13	C13	OPERATIONS AND MAINTENANCE PLAN
14	C14	ADA RAMP DETAILS
15	C15	TRAFFIC CONTROL PLAN

LANDSCAPING PLAN INDEX

16	LO1	LANDSCAPE PLAN 1
17	LO2	LANDSCAPE PLAN & DETAILS
18	LO3	IRRIGATION PLAN

LOCATION MAP



KEY MAP



CONTRACTOR ENVIRONMENTAL NOTIFICATION

THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING, PROVIDING TO THE OWNER, AND COMPLYING TO A CONSTRUCTION WORKER HEALTH AND SAFETY PLAN (CWHS) TO PROTECT WORKER SAFETY WITH RESPECT TO EXPOSURE CONCERNING RELATED TO MATERIAL CONTAMINATION IN THE SOIL AND ALL OF THE JOB SITES. THIS PLAN SHOULD INCLUDE ELLEVATED CONCENTRATIONS OF LEAD, ARSENIC, MERCURY, AND VARIOUS POLYCYCLIC AROMATIC HYDROCARBONS. FURTHER INFORMATION REGARDING SURFACE AND SUBSURFACE SOIL CONTAMINATION ISSUES AT THE SITE IS AVAILABLE UPON REQUEST FROM THE OWNER.

PRIOR TO UNDERTAKING ANY WORK IN THE PUBLIC WAY CONTACT:

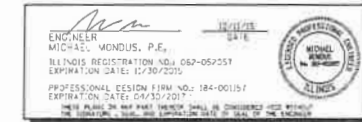
GEORGE BLACK, DEPARTMENT OF TRANSPORTATION, 312-746-6450
RELATIVE TO ANY CITY OF CHICAGO SIGNS, TRAFFIC OR STREET LIGHTS.
THOMAS STEVENS, DEPARTMENT OF REVENUE, RELATIVE TO PARKING METERS, 312-742-6376.

JOHN WESLOM, CTA, PRIOR TO UNDERTAKING ANY WORK IN THE VICINITY OF ANY BUS SHELTER, 312-681-4217.

MIKE RASCH, BUREAU OF ELECTRICITY, 312-746-4056

ALL WORK IN THE PUBLIC WAY REQUIRES A PERMIT FROM THE OFFICE OF EMERGENCY MANAGEMENT'S COMMUNICATIONS TRAFFIC MANAGEMENT AUTHORITY, PERMIT DIVISION, ROOM 800, CITY HALL.

CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER, AND THE CHICAGO UTILITY ALERT NETWORK, DIGGER, 8 312-744-7000, 48 HOURS IN ADVANCE BEFORE UNDERTAKING ANY WORK.



REVISIONS

ORIGINAL PLAN DATE: JUNE 10, 2015

#	SHEET #	REMARKS	DATE
1	ALL	PER CLIENT REVIEW	06/25/15
2	ALL	PER CITY REVIEW	07/16/15
3	16	PER CITY REVIEW	07/16/15
4	ALL	PER CITY REVIEW	08/05/15
5	3-5, 12	PER CITY REVIEW	08/06/15
6	4-6, 12, 16, 18, 19	PER ARCHITECT	09/09/15
7	6	PER CITY REVIEW	09/22/15
8	ALL	PER CITY REVIEW	10/22/15
9	4, 10, 14	PER MDP	11/09/15
10	4, 16	PER CITY REVIEW	11/25/15
11	4, 5, 12, 16, 18	PER CITY REVIEW	12/11/15

LOT 7
ENGLEWOOD SQUARE AT
HALSTED PARKWAYS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS



SPACCO INC.

FILENAME:

7390.05_LO17_TITLE

DATE:

08/12/15

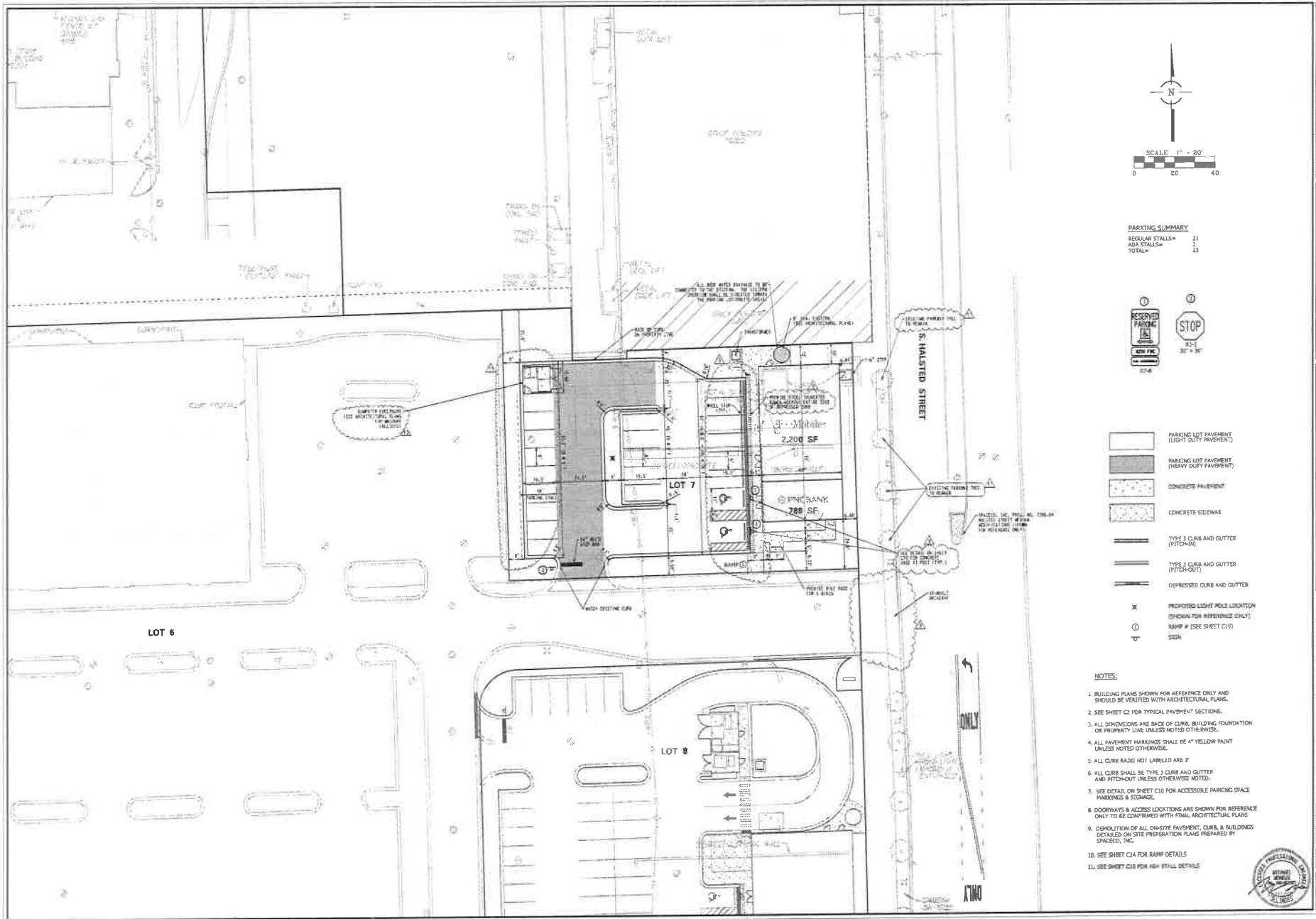
JOB NO.

7390.05

SHEET

C1

1 OF 18



PARKING SUMMARY

REGULAR STALLS*	21
ADA STALLS*	2
TOTAL*	23



- PARKING LOT PAVEMENT (LIGHT DUTY PAVEMENT)
- PARKING LOT PAVEMENT (HEAVY DUTY PAVEMENT)
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- TYPE 3 CURB AND GUTTER (PITCH-OUT)
- TYPE 3 CURB AND GUTTER (PITCH-OUT)
- DEPRESSED CURB AND GUTTER
- PROPOSED LIGHT POLE LOCATION (SHOWING FOR REFERENCE ONLY)
- RAMP # (SEE SHEET C15)
- SIGN

- NOTES:**
- BUILDING PLANS SHOWN FOR REFERENCE ONLY AND SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS.
 - SEE SHEET C2 FOR TYPICAL PAVEMENT SECTIONS.
 - ALL DIMENSIONS ARE BACK OF CURB, BUILDING FOUNDATION OR PROPERTY LINE UNLESS NOTED OTHERWISE.
 - ALL PAVEMENT MARKINGS SHALL BE 4" YELLOW PAINT UNLESS NOTED OTHERWISE.
 - ALL CURB RADIUS NOT LABELED ARE 7'.
 - ALL CURB SHALL BE TYPE 3 CURB AND GUTTER AND PITCH-OUT UNLESS OTHERWISE NOTED.
 - SEE DETAIL ON SHEET C10 FOR ACCESSIBLE PARKING SPACE MARKINGS & SIGNAGE.
 - DOORWAYS & ACCESS LOCATIONS ARE SHOWN FOR REFERENCE ONLY TO BE CONFIRMED WITH FINAL ARCHITECTURAL PLANS.
 - DEMOLITION OF ALL ON-SITE PAVEMENT, CURB & BUILDINGS DETAILED ON SITE PREPARATION PLANS PREPARED BY SPACED, INC.
 - SEE SHEET C14 FOR RAMP DETAILS
 - SEE SHEET C10 FOR ADA STALL DETAILS

1. PREPARED FOR CITY REVIEW	NO DATE	REVISIONS
2. APPROVED FOR CITY REVIEW		
3. PREPARED FOR CITY REVIEW		
4. APPROVED FOR CITY REVIEW		
5. PREPARED FOR CLIENT REVIEW		
6. APPROVED FOR CLIENT REVIEW		
7. PREPARED FOR CONTRACT		
8. APPROVED FOR CONTRACT		
9. PREPARED FOR CONTRACT		
10. APPROVED FOR CONTRACT		

1. PREPARED FOR CITY REVIEW	NO DATE	REVISIONS
2. APPROVED FOR CITY REVIEW		
3. PREPARED FOR CITY REVIEW		
4. APPROVED FOR CITY REVIEW		
5. PREPARED FOR CLIENT REVIEW		
6. APPROVED FOR CLIENT REVIEW		
7. PREPARED FOR CONTRACT		
8. APPROVED FOR CONTRACT		
9. PREPARED FOR CONTRACT		
10. APPROVED FOR CONTRACT		

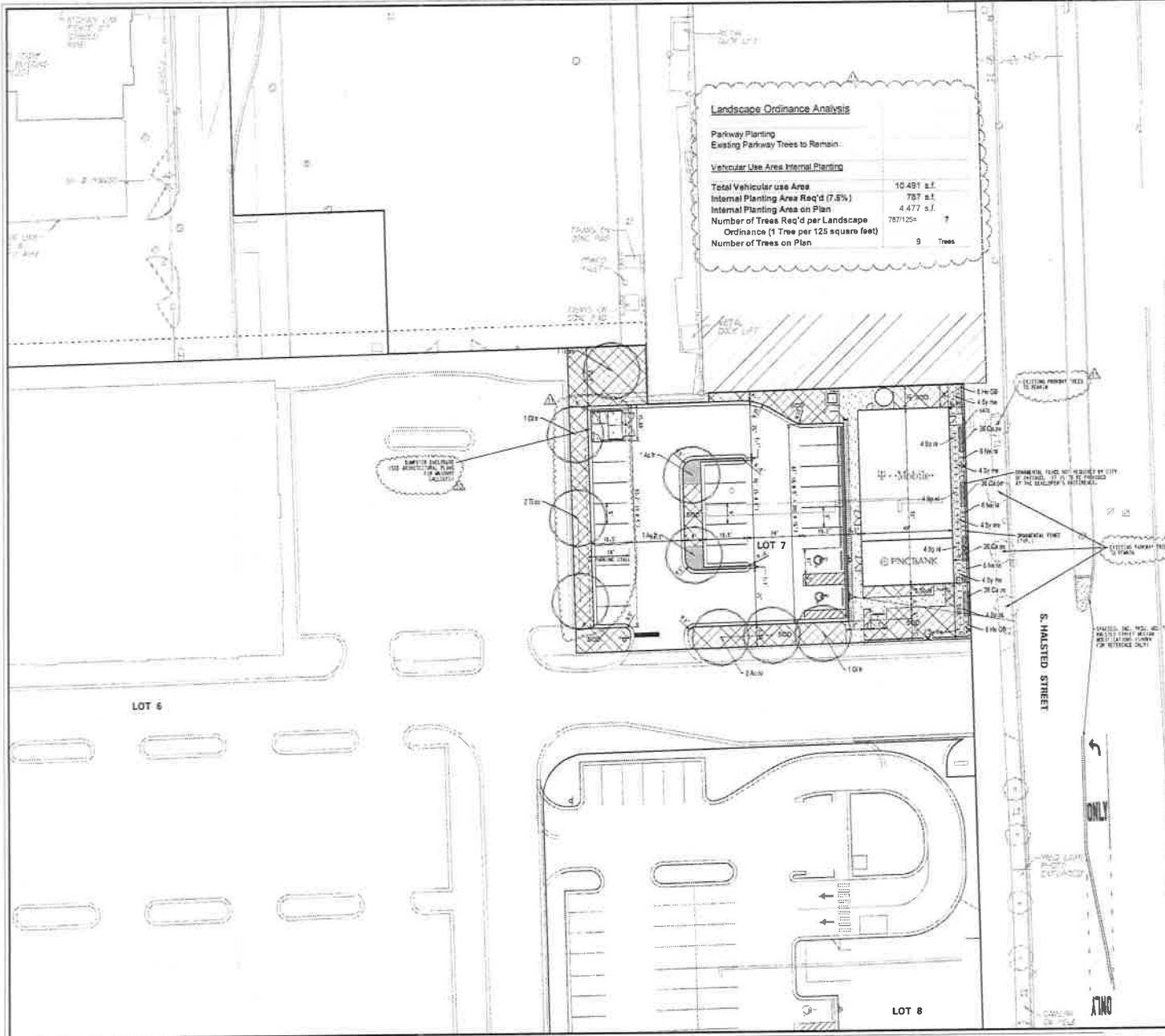
GEOMETRIC PLAN
LOT 7 - ENGLEWOOD SQUARE
AT HALSTED PARKWAYS
 CHICAGO, ILLINOIS

CONSULTING ENGINEER
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NUMBER
 1517 P. Robert Jones, No. 200
 1517 P. Robert Jones, No. 200
 1517 P. Robert Jones, No. 200
 1517 P. Robert Jones, No. 200

SPACED INC.
 1517 P. Robert Jones, No. 200
 1517 P. Robert Jones, No. 200
 1517 P. Robert Jones, No. 200
 1517 P. Robert Jones, No. 200

DATE: 06-15-17
 JOB NO: 1700-05-1077-04
 SHEET: C4 OF 13



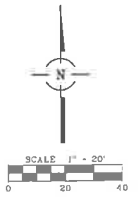


Landscape Ordinance Analysis

Parkway Planting
Existing Parkway Trees to Remain:

Vehicular Use Area Internal Planting

Total Vehicular use Area	10,491 s.f.
Internal Planting Area Req'd (7.5%)	787 s.f.
Internal Planting Area on Plan	4,477 s.f.
Number of Trees Req'd per Landscape Ordinance (1 Tree per 125 square feet)	35.8
Number of Trees on Plan	9 Trees



LEGEND



PLANT LIST

Sym	Botanical Name	Common Name	Qty	Size	Cont.
Deciduous Trees					
Ac B	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2	2.5'	B & B
Ac R	Acer rubrum 'Red Sunset'	Red Sunset Maple	2	2.5'	B & B
Cl B	Cedrela tomentosa 'Savilne'	Savilne Honeylocust	2	2.5'	B & B
Ti B	Tilia americana 'Redmond'	Redmond Linden	2	2.5'	B & B
Ti C	Tilia cordata 'Greenspire'	Greenspire Linden	2	2.5'	B & B
Deciduous Shrubs					
Sy B	Spiraea japonica	Snowmound Spirea	19	16"	Cont.
Sy M	Syringa meyeri 'Paliburi'	Dwarf Korean Lilac	15	36"	B & B
Perennials & Grasses					
Ca B	Carex pensylvanica	Penn Sedge	144	24"	Cont.
He B	Hemerocallis 'Gong Saranah'	Gong Saranah Daylily	12	21"	Cont.
Wa B	Nepeta racemosa 'Walker Low'	Walker Low Catmint	15	41"	Cont.

QUANTITIES PROVIDED IN THE ABOVE TABLE ARE PROVIDED AS A CONVENIENCE IN DETERMINING THE SCOPE OF WORK AND THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR CALCULATING THESE QUANTITIES AND INSTALLING THE FULL SCOPE OF MATERIAL SHOWN ON THE PLANS. THE OWNER AND SPACED, INC. ASSUME NO RESPONSIBILITY FOR ANY VARIANCES.

OWNER'S SWORN STATEMENT
 THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT HALSTED AVE & 12TH ST. CHICAGO, ILLINOIS, IS THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BELIEF, OPINION AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 22, CHAPTER 13 OF THE CHICAGO ORDINANCES, THE ENCLOSURE AND INSTALLING OF THE CHICAGO LANSCAPE ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".
 EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED WHILE THE SUBSEQUENT OWNERS(S) IF DAMAGED.
 THE PLANTS WILL BE INSTALLED BY DECEMBER 1, 2016.
 By: [Signature]
 DATE: 10/22/15

LANDSCAPE ARCHITECT'S SWORN STATEMENT
 THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT HALSTED STREET AND 12TH STREET IN CHICAGO, ILLINOIS, WILL TO THE BEST OF THE UNDERSIGNED ARCHITECT'S KNOWLEDGE, BELIEF, OPINION AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 22, CHAPTER 13 OF THE CHICAGO ORDINANCES, THE ENCLOSURE AND INSTALLING OF THE CHICAGO LANDSCAPE ORDINANCE.
 By: [Signature]
 DATE: 10/22/15

11/12/2015	PER CITY REVIEW	
10/22/15	PER CITY REVIEW	
10/22/15	PER CITY REVIEW	
	NO. DATE	REMARKS

10/22/15	PER ARCHITECT	
10/22/15	PER CITY REVIEW	
10/22/15	PER CITY REVIEW	
10/22/15	PER CITY REVIEW	
	NO. DATE	REMARKS

LANDSCAPE PLAN - 1
LOT 7 - ENGLEWOOD SQUARE
 AT HALSTED PARKWAYS
 CHICAGO, ILLINOIS

CONTINUING ENGINEER
 SITE DEVELOPMENT ENGINEER
 LAND SURVEYOR
 1117 W. Madison Street, Suite 209
 Chicago, Illinois 60606
 (312) 467-8800
 www.spacelabinc.com



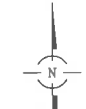
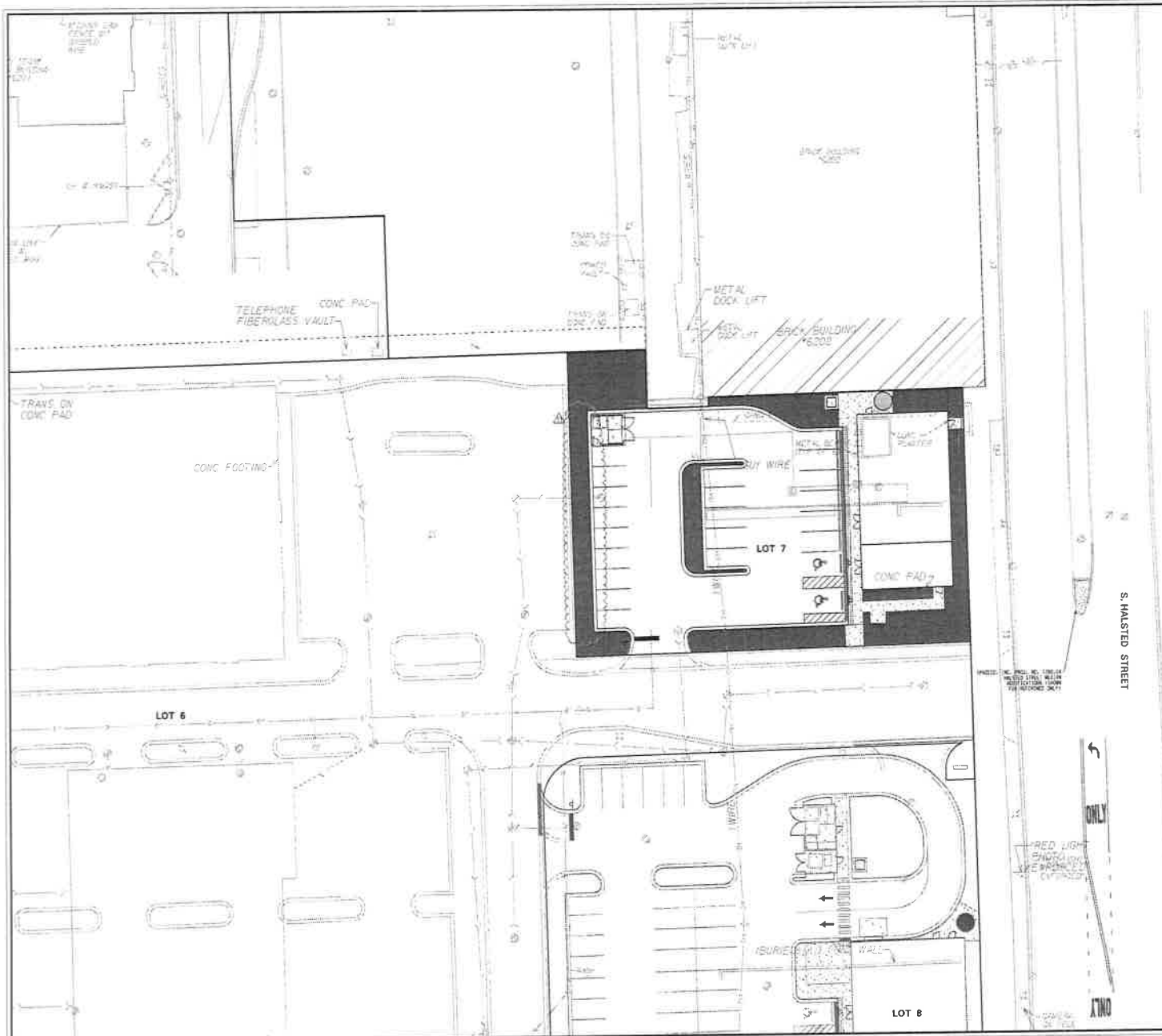
FX FRAME
 PROUDEN

DATE
 10/22/15

JOB NO.
 1504-03

SHEET
L01
 OF 01





SCALE: 1" = 20'

LEGEND
 ■ AREA TO BE IRRIGATED
 ▨ AREA TO HAVE QUICK COUPLER CONNECTIONS

OWNER'S SHOWN STATEMENT
 THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SPECIFIC TO THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT HALSTED AVE & 10TH STREET IN CHICAGO ILLINOIS, IS THE BASIS OF THE UNDERSIGNED'S PLANTING AND IRRIGATION DESIGN AND WILL BE INSTALLED, MAINTAINED AND REPLACED OR REPAIRED, AS NECESSARY AND REASONABLY FEASIBLE, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 17, CHAPTER 11 OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDELINES OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDELINES OF THE CHICAGO LANDSCAPE ORDINANCE.

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.
 THE PLANTS WILL BE INSTALLED BY DECEMBER 1, 2015

DATE: 10/22/15

LANDSCAPE ARCHITECT'S SHOWN STATEMENT
 THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT HALSTED AVE & 10TH STREET IN CHICAGO ILLINOIS, IS THE BASIS OF THE UNDERSIGNED ARCHITECT'S KNOWLEDGE, BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 17, CHAPTER 11 OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDELINES OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDELINES OF THE CHICAGO LANDSCAPE ORDINANCE.

DATE: 10/22/15

- IRRIGATION NOTES**
1. THIS DRAWING ILLUSTRATES THE SCOPE AND CONCEPT FOR THE IRRIGATION SYSTEM.
 2. SUBMIT SHOP DRAWINGS FOR A COMPLETE AND FUNCTIONAL IRRIGATION SYSTEM TO PROVIDE HEAD-TO-HEAD COVERAGE WITH 100% COVERAGE WHERE SHOWN.
 3. LOCATE ALL VALVES AND QUICK COUPLERS ON THE INSIDE EDGE OF ALL CURBS WHERE PRACTICAL. INSTALL VALVE BOXES FOR BOTH QUICK COUPLERS AND VALVES. FILL ALL VALVE BOXES WITH FEA GRAVEL.
 4. COMPLY WITH ALL LOCAL IRRIGATION CODES AND REGULATIONS REQUIRED BY THE CITY OF CHICAGO.
 5. CONTRACTOR TO OBTAIN ALL PERMITS, FEES AND INSPECTIONS NECESSARY FOR EXECUTION OF IRRIGATION WORK PRIOR TO CONSTRUCTION.
 6. OWNER'S APPROVAL TO BE OBTAINED FOR PIPE TRENCH AND LINE LAYOUT PRIOR TO INSTALLATION.
 7. ALL REQUIRED SLEEVING IS TO BE UNDER PAVEMENT AND COORDINATED BY THE CONTRACTOR.
 8. AN RPZ BACKFLOW PREVENTER IS TO BE PROVIDED FOR THE IRRIGATION SYSTEM. OWNER TO PROVIDE AS-BUILT DRAWINGS AFTER CONSTRUCTION.
 9. A BOOSTER PUMP IS TO BE PROVIDED AS NECESSARY TO HANDLE THE VOLUMES AND PRESSURE REQUIRED.
 10. CONTRACTOR TO COORDINATE LOCATION OF POWER SERVICE FOR THE FIELD CONTROLLER WITH THE IRRIGATION CONSULTANT AND ELECTRICAL ENGINEER.
 11. CONTRACTOR TO COORDINATE THE LOCATION OF A CONTROLLER IN A WEATHER-LOCKABLE CABINET WITH THE IRRIGATION CONSULTANT.

11/12/15	PER CITY REVIEW
8/10/2015	PER CITY REVIEW
NO. DATE	REVISIONS

8/10/2015	PER ARCHITECT
8/10/2015	PER CITY REVIEW
10/22/15	PER CITY REVIEW
10/22/15	PER CLIENT REVIEW
NO. DATE	REVISIONS

IRRIGATION PLAN
LOT 7 - ENGLEWOOD SQUARE
AT HALSTED PARKWAYS
 CHICAGO, ILLINOIS

CONSULTING ENGINEER
STEVE TECHNICAL ENGINEER
LAND SERVICES
 1032 W. Englewood Blvd, Suite 200
 Chicago, Illinois 60640
 Phone: 312.467.4444 Fax: 312.467.4444



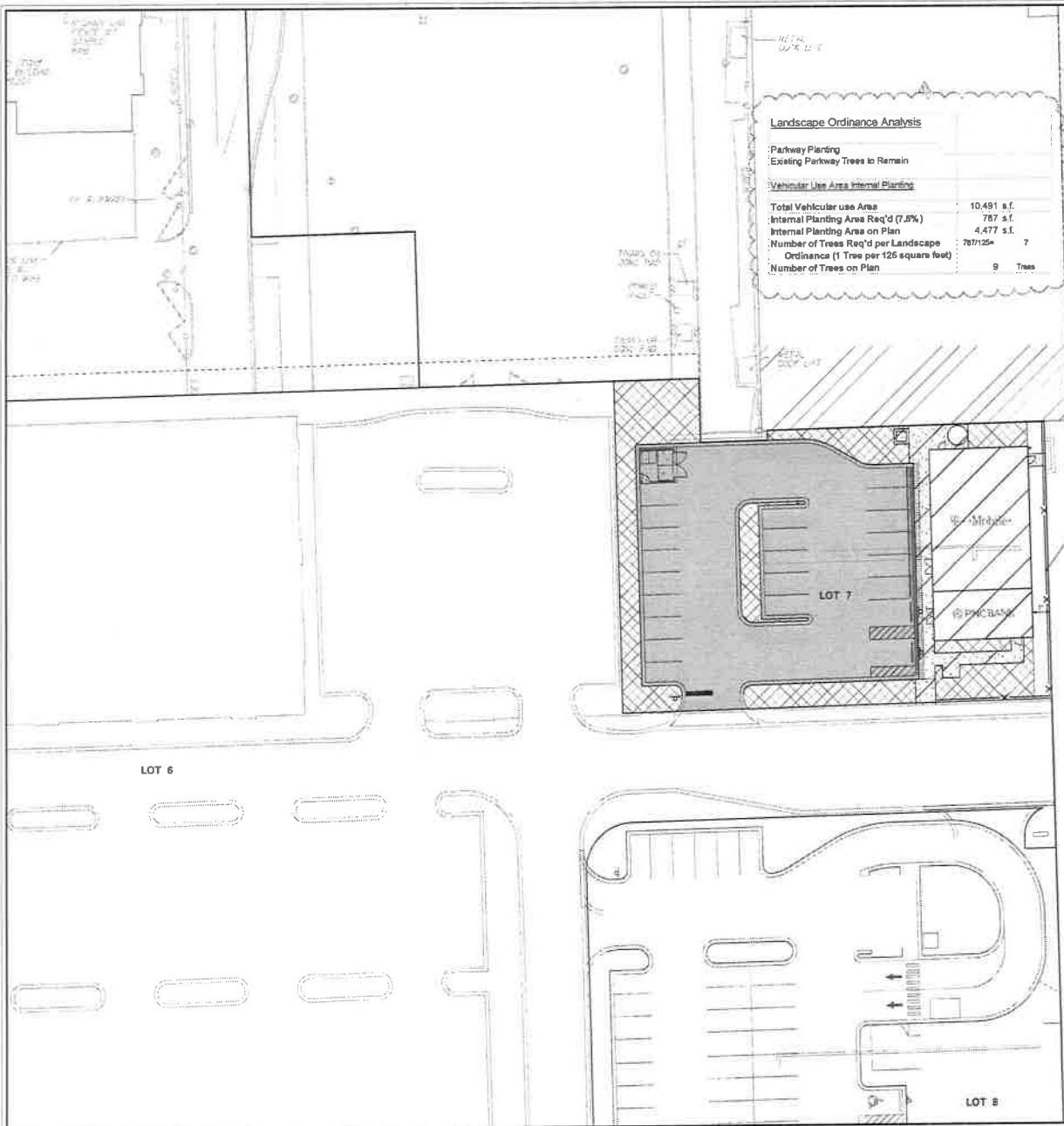
SPARGO INC.
 FILENAME: 1303.DWG

DATE: 10/22/15

JOB NO. 1303

103





Landscape Ordinance Analysis

Existing Parkway Trees to Remain

Vehicular Use Area Internal Planting

Total Vehicular use Area	10,491 s.f.
Internal Planting Area Req'd (7.8%)	787 s.f.
Internal Planting Area on Plan	4,477 s.f.
Number of Trees Req'd per Landscape Ordinance (1 Tree per 125 square feet)	787/125 = 7
Number of Trees on Plan	9 Trees



LEGEND

	LANDSCAPE AREA NOT INCLUDING 7' SETBACK
	VEHICULAR USE AREA
	BUILDING AREA

PLANT LIST

Sym.	Botanical Name	Common Name	Qty.	Size	Cont.
Deciduous Trees					
Ac bl	Acer balsamifolium 'Autumn Blaze'	Autumn Blaze Maple	2	2.5"	B & B
Ac ru	Acer rubrum 'Red Sunset'	Red Sunset Maple	2	2.5"	B & B
Gl tr	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2	2.5"	B & B
Ti am	Tilia americana 'Redmond'	Redmond Linden	1	2.5"	B & B
Ti co	Tilia cordata 'Greenspire'	Greenspire Linden	2	2.5"	B & B
Deciduous Shrubs					
Sp m	Spirea japonica	Snowmound Spirea	19	#5	Cont.
Sy m	Syringa meyeri 'Palmer'	Dwarf Korean Lilac	18	#6"	B & B
Perennials & Grasses					
Ca pe	Carex pennsylvanica	Penn Sedge	144	24 flat	Cont.
He GB	Hemerocallis 'Going Bananas'	Going Bananas Daylily	12	#1	Cont.
Ne ra	Nepeta racemosa 'Walkers Low'	Walkers Low Catmint	18	#1	Cont.

QUANTITIES INDICATED IN THIS SCHEDULE ARE PROVIDED AS A CONVENIENCE IN DETERMINING THE SCOPE OF WORK AND THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR CALCULATING THEIR OWN QUANTITIES AND INCLUDING THE FULL SCOPE OF MATERIALS, WORKMANSHIP ON THE PLAN. THE OWNER AND ARCHITECT, INC. ASSUME NO RESPONSIBILITY FOR ANY VARIANCES.

OWNER'S OWNERS STATEMENT

I, THE UNDERSIGNED, ACKNOWLEDGE THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROJECT AT HALSTED AVE & 50TH STREET IN CHICAGO, ILLINOIS, HAS, TO THE BEST OF MY KNOWLEDGE, BEEN PREPARED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CHICAGO ZONING ORDINANCE, CHAPTER 12 OF THE CHICAGO MUNICIPAL CODE, THE CHICAGO ZONING ORDINANCE, AND THE CHICAGO LANDSCAPE ORDINANCE.

EXISTING TREES AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUCCESSOR OWNERS, IF APPLICABLE.

THE PLANTS WILL BE INSTALLED BY DECEMBER 1, 2014.
 DATE: 10/22/14
 BY: [Signature]

LANDSCAPE ARCHITECT'S OWNERS STATEMENT

I, THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGE THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION SCHEDULE SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROJECT AT HALSTED STREET AND 50TH STREET IN CHICAGO, ILLINOIS, HAS, TO THE BEST OF MY KNOWLEDGE, BEEN PREPARED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CHICAGO ZONING ORDINANCE, CHAPTER 12 OF THE CHICAGO MUNICIPAL CODE, THE CHICAGO ZONING ORDINANCE, AND THE CHICAGO LANDSCAPE ORDINANCE.

DATE: 10/22/14
 BY: [Signature]

VEHICULAR USE AREA CALCULATION
LOT 7 - ENGLEWOOD SQUARE
AT HALSTED PARKWAYS
 CHICAGO, ILLINOIS

DATE	10/22/14
BY	[Signature]
DATE	10/22/14
BY	[Signature]

SPACED INC.
 1525 N. Morgan Road, Suite 202, Chicago, IL 60642
 Phone: (773) 442-4400 Fax: (773) 442-4401

1 OF 1

17832

12/11/2013

REPORTS OF COMMITTEES

72109

Reclassification Of Area Shown On Map No. 14-G.
(As Amended)
(Application No. 17832)

BPD 1227

(Common Address: 6150 -- 6160 And 6220 -- 6258 S. Halsted St.,
800 -- 932 W. 63rd St., 801 -- 931 W. 63rd Pkwy. And
6247 -- 6259 S. Sangamon St.)

[SO2013-6104]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the C1-2 Neighborhood Commercial District symbols and indications as shown on Map Number 14-G in the area bounded by:

beginning along West 63rd Parkway; South Halsted Street; a line from a point 598.7 feet north of the north right-of-way line of West 63rd Street as dedicated and the west right-of-way line of South Halsted Street as dedicated to a point 588.5 feet north of the north right-of-way line of West 63rd Street as dedicated and 84.7 feet west of South Halsted Street, said line being concave running to the southwest with a length of 85.32 feet having a radius of 503.98 feet; a line from a point 588.5 feet north of the north right-of-way line of West 63rd Street as dedicated and 84.7 feet west of South Halsted Street to a point 580.5 feet north of the north right-of-way line of West 63rd Street as dedicated and 124 feet west of South Halsted Street; a line 124 feet west of and parallel to South Halsted Street; a line 365.8 feet north of the north right-of-way line of West 63rd Street as dedicated; South Halsted Street; West 63rd Street; and South Sangamon Street (ToB),

to those of a C1-3 Neighborhood Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. Further, Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the C1-3 Neighborhood Commercial District symbols and indications as shown on Map Number 14-G in the area bounded by:

beginning at a line 387.7 feet north of and parallel to the north right-of-way line of West 63rd Street as dedicated; a line 148.93 feet west of and parallel to the west right-of-way line of South Halsted Street as dedicated; a line 361.8 feet north of and parallel to the north right-of-way line of West 63rd Street as dedicated; a line 121.93 feet west of and parallel to the west right-of-way line of South Halsted Street as dedicated; a line 365.8 feet north of and parallel to the north right-of-way line of West 63rd Street as dedicated; South Halsted Street; West 63rd Street; and a line 647.8 feet west of and parallel to the west right-of-way line of South Halsted Street as dedicated (ToB),

to those of the designation of Business Planned Development Number 1227 which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business Planned Development No. 1227.

Planned Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development Number 1227 (the "Planned Development") consists of approximately 235,203 square feet of net site area (approximately 5.40 acres) of property (the "Property") including certain existing streets and alleys to be vacated within the Planned Development⁽¹⁾ as depicted on the attached Planned Development Boundary and Property Line Map. The Property is owned or controlled by the City of Chicago ("City"). Chicago Neighborhood Initiatives, Inc. has been authorized by the City of Chicago (the "Applicant") to file the application on its behalf.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different, the legal titleholders and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications, or changes (administrative, legislative, or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees and approval of the City Council. Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans. Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction

(1) Net site area includes 59,720 square feet of streets and alleys to be vacated within the Planned Development.

Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of these sixteen (16) statements: a Bulk Regulations Data Table; Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Right-of-way Adjustment Map; and Site Plan prepared by Spaceco, Inc.; Concept Building Elevations for the neighborhood grocer and retail building by Ethosworkshop; and Landscape Plans and Green Roof Plan prepared by MetroGreen, Camiros and Infrastructure Engineering, Inc. all dated November 21, 2013, and submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Housing and Economic Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following C1-3 Neighborhood Commercial District uses shall be allowed within the areas delineated herein as a Business Institutional Planned Development:

Children's play center, day care, postal service, public safety services, utilities and services, minor; animal services, excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and services, business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities including banks, pharmacies and restaurants; all eating and drinking establishments including outdoor patio located at grade and on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; valuable objects dealer; all food and beverage retail sales; liquor stores; liquor sales; medical service; office; high technology office; electronic data storage center; parking, accessory and non-required accessory; personal service; hair salon, nail salon, massage establishment or barbershop, yoga and dance studios, driving schools, martial arts studios, educational and test preparation services and support; repair or laundry service, consumer; dry cleaning drop-off or pick up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

No adult uses, gas stations, car washes, payday loan stores, pawn shops and urban farms are allowed.

6. On-Premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Housing and Economic Development. Off-Premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of 235,203 square feet, including 59,720 square feet of public rights of way to be vacated.
9. Prior to the Part II Approval (per Section 17-13-0610 of the Zoning Ordinance) in either Outlot A or Outlot B, the Applicant shall submit a Site Plan, Landscape Plan and Building Elevations for the specific Outlot for review and approval by the Department of Housing and Economic Development. Review and approval by the Department of Housing and Economic Development is intended to assure that specific development components substantially conform with the Planned Development and to assist the City in monitoring ongoing development. Outlot Site Plan Approval Submittals (per Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant. The Site Plan provided shall include all dimensioned and planned street and alley rights-of-way.

No Part II Approval for any portion of an Outlot shall be granted until Site Plan approval has been granted. Following approval by the Department of Housing and Economic Development, the approved Outlot Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the Planned Development.

After approval of the Outlot Site Plan, changes or modifications may be made pursuant to the provisions of statement Number 13. In the event of any inconsistency between approved plans and the terms of the Planned Development, the terms of the Planned Development shall govern. Any Outlot Site Plan Approval Submittals shall, at a minimum, provide the following information:

- fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations;

- fully-dimensioned landscape plan(s);
- updated traffic study; and
- statistical information applicable to the subject subarea, including floor area, the applicable FAR, uses to be established, building heights and setbacks.

Outlot Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the Planned Development.

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
11. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Housing and Economic Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
12. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
13. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs, conserves energy and maximizes the preservation of natural resources. All development shall conform to the "City of Chicago's Sustainable Development Policy Matrix" in effect on the submittal of the Site Plans pursuant to this Planned Development. The 18,000 square foot grocery store shall be exempt from the Green Roof requirement due to its location in a Food Desert; however, the building shall exceed the ASHRAE 90.1-2004 standards by at least 14 percent. The proposed 22,000 square foot retail building shall be LEED certified, include a 50 percent of net roof area vegetated ("green") roof (approximately 8,800 square feet), and 50 percent of all the Vehicular Use Areas (VUA) shall be shaded in 5 years. Net area of the roof is defined as total roof area less any roof-top equipment and any required perimeter parapet setback. Up to 10 percent of the green roof area may be hardscape (pathways, et cetera). The buildings to be constructed on Outlots A and B shall not be required to be LEED Certified if the total square footage of the buildings on these outlots are less than 10,000 square feet.
16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Housing and Economic Development shall initiate a Zoning Map Amendment to rezone the Property to C1-3 Neighborhood Commercial District.

[Existing Zoning Map; Existing Land-Use Map; Boundary and Property Line Map; Right-of-way Adjustment Map; Site Plans; Landscape Plans; Green Roof Plan; and Concept Elevations referred to in these Planned Development Statements printed on pages 72116 through 72128 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Planned Development Statements reads as follows:

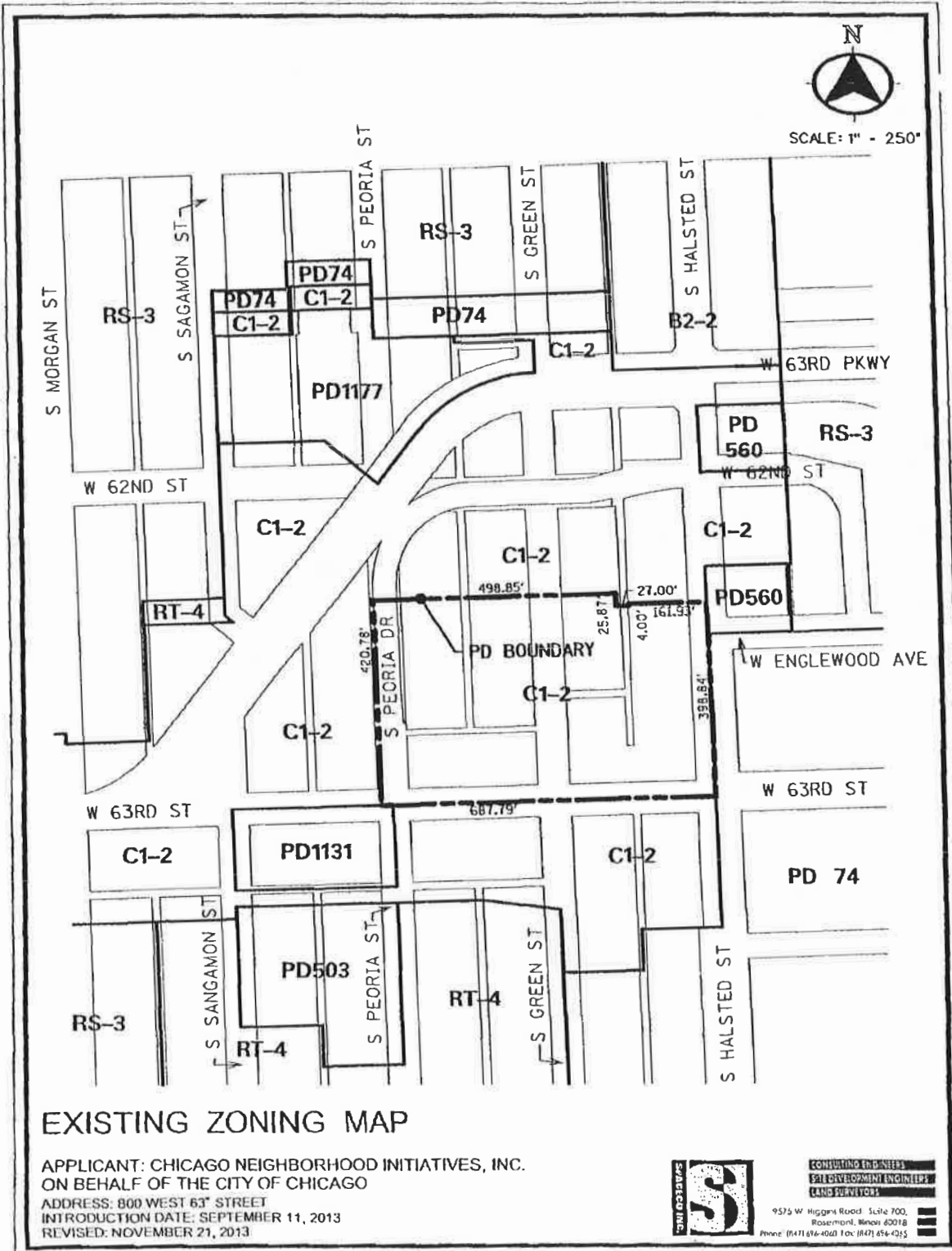
Business Planned Development Number 1227.

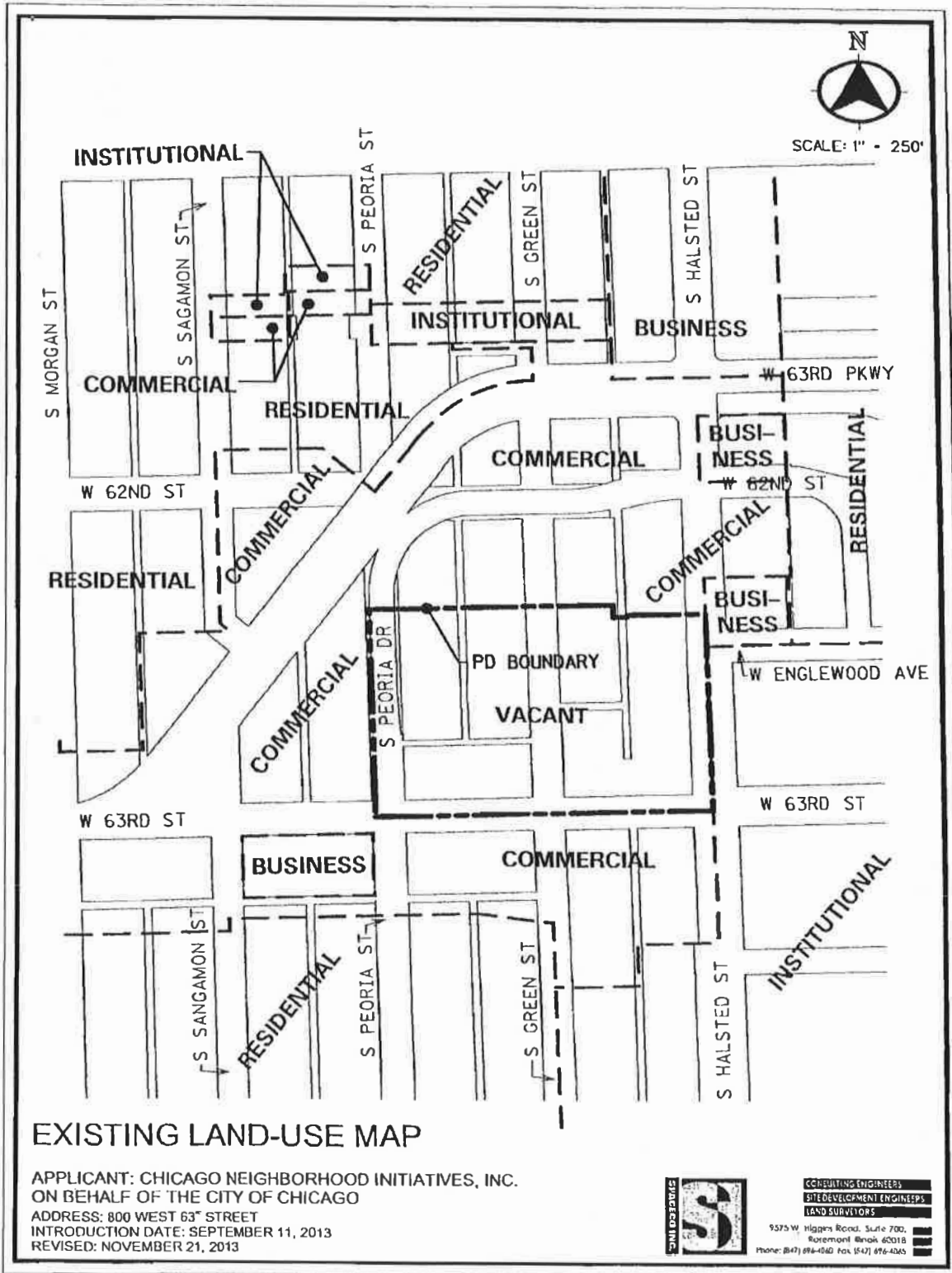
Bulk Regulations And Data Table.

Gross Site Area:

285,121 square feet (6.546 acres)

Existing Public Right-of-Way Area to be Vacated:	59,720 square feet (1.371 acres)
Existing Public Right-of-Way Area to Remain:	39,066 square feet (0.897 acre)
Public Right-of-Way to be Opened:	10,852 square feet (0.249 acre)
Net Site Area:	235,203 square feet (5.4 acres)
Maximum Floor Area Ratio:	0.50
Allowed Uses:	See statement Number 5
Number of Residential Units Allowed:	None
Minimum Number of Off-Street Accessory Parking Spaces:	75 spaces
Minimum Number of Parking Spaces for Outlets A and B:	1 space per 400 square feet
Minimum Number of Off-Street Loading Spaces:	1 at 10 feet by 50 feet
Minimum Loading for Outlets A and B:	As required by Section 17-10-1101
Minimum Number of Bicycle Spaces:	1 for every 2 required parking spaces; maximum 50 bicycle spaces.
Maximum Building Height:	38 feet
Minimum Setbacks:	As per approved Site Plans.



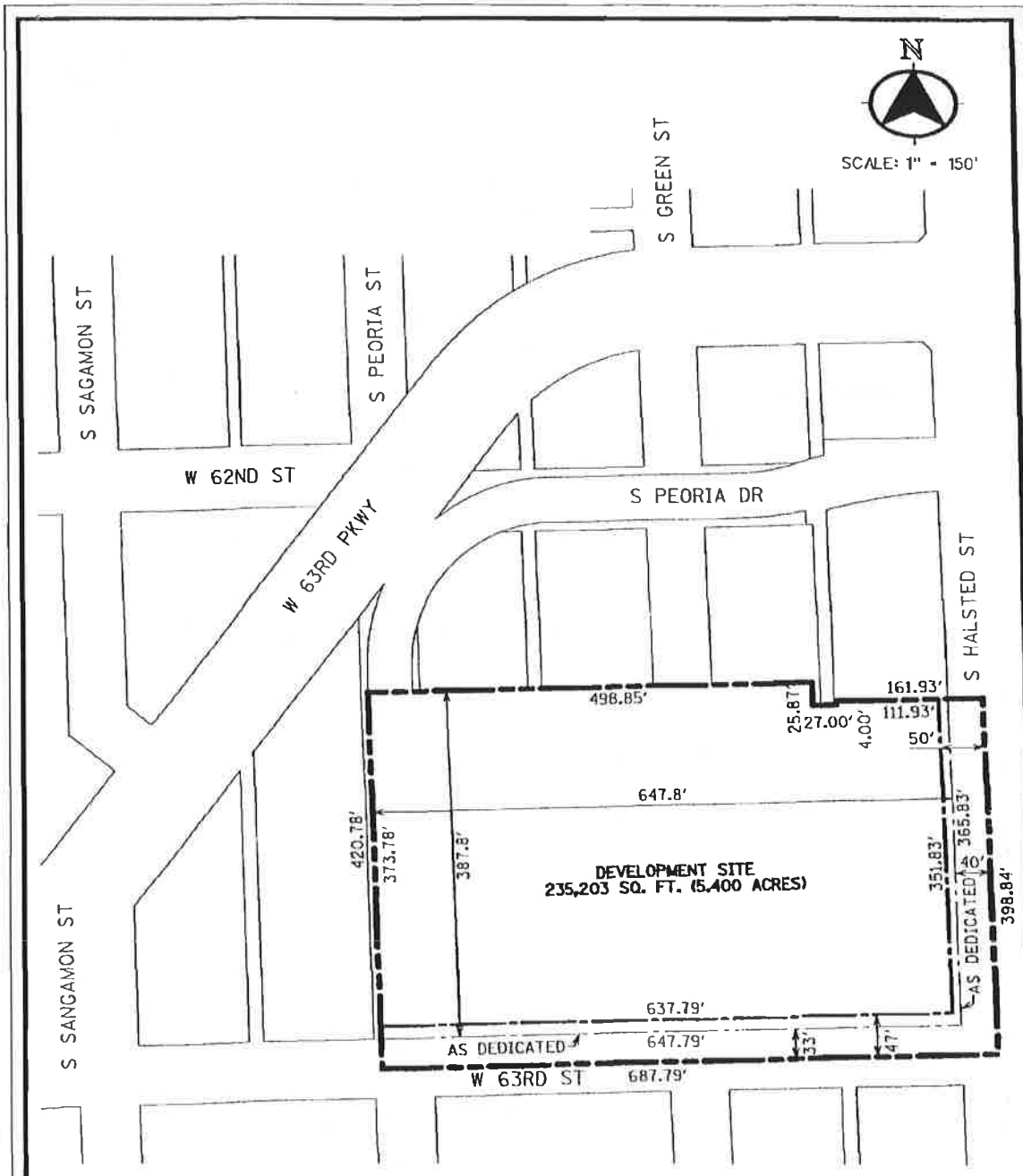


EXISTING LAND-USE MAP

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ON BEHALF OF THE CITY OF CHICAGO
 ADDRESS: 800 WEST 63RD STREET
 INTRODUCTION DATE: SEPTEMBER 11, 2013
 REVISED: NOVEMBER 21, 2013



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
 9375 W Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 876-4160 Fax: (847) 876-4265



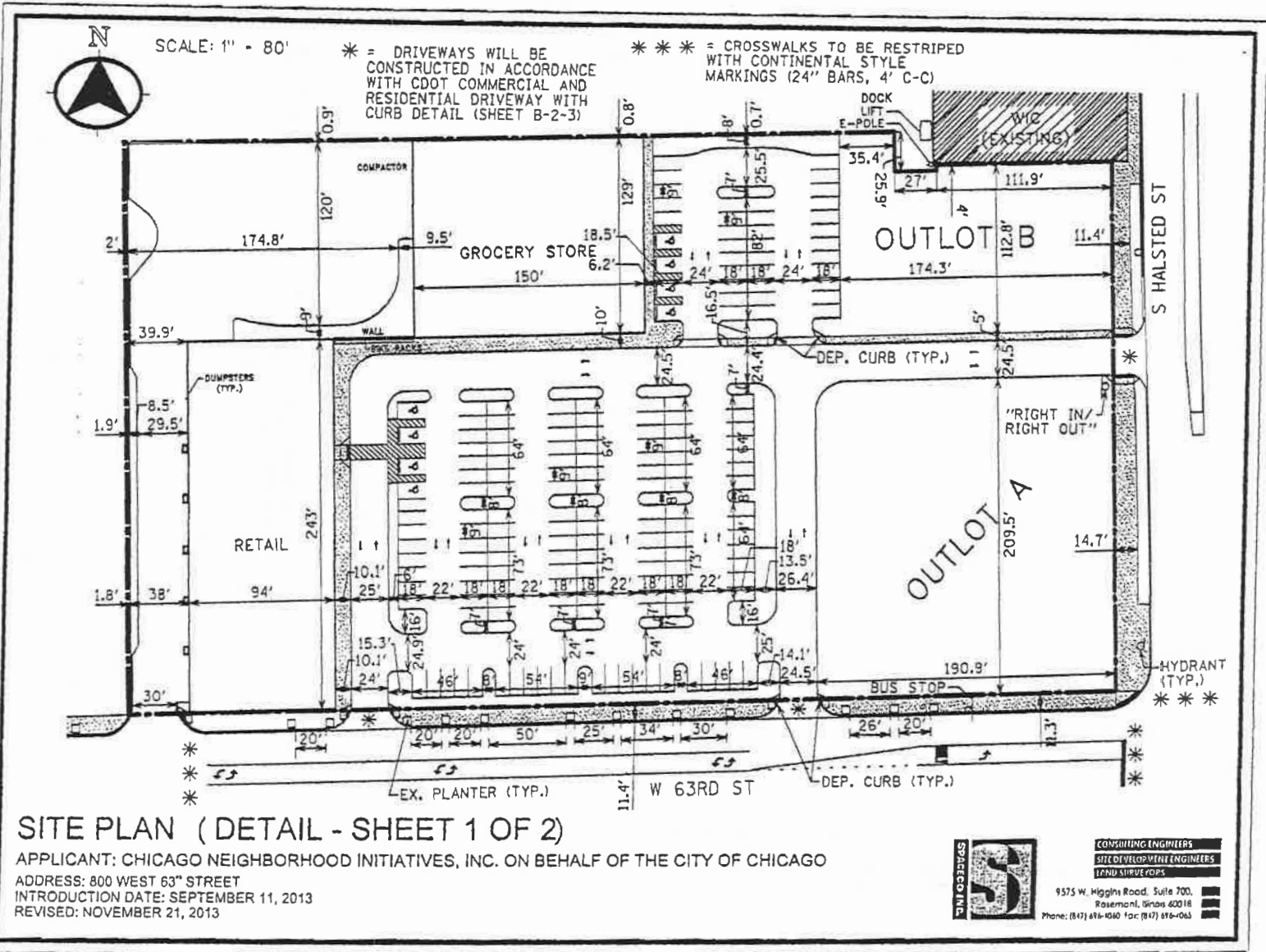
PD BOUNDARY AND PROPERTY LINE MAP

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ON BEHALF OF THE CITY OF CHICAGO
 ADDRESS: 800 WEST 63RD STREET
 INTRODUCTION DATE: SEPTEMBER 11, 2013
 REVISED: NOVEMBER 21, 2013



CONSULTING ENGINEER
 CIVIL/VEGETATION ENGINEER
 LAND SURVEYORS

9375 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 896-4000 Fax: (847) 896-4341



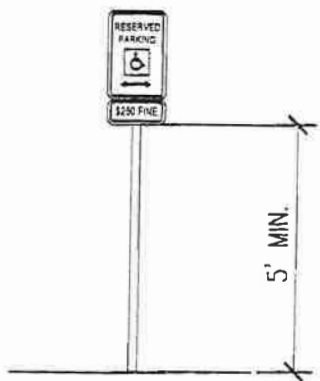
SITE PLAN (DETAIL - SHEET 1 OF 2)

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC. ON BEHALF OF THE CITY OF CHICAGO
 ADDRESS: 800 WEST 63RD STREET
 INTRODUCTION DATE: SEPTEMBER 11, 2013
 REVISED: NOVEMBER 21, 2013

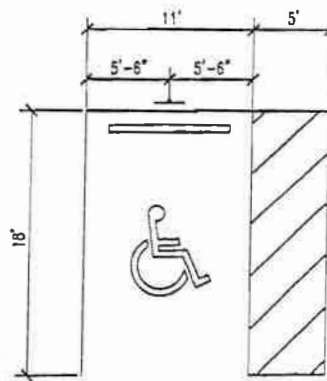


CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 616-4560 Fax: (847) 616-0665



SCALE: 1" = 3'



SCALE: 1" = 10'

SITE PLAN (PARKING DETAILS - SHEET 2 OF 2)

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC. ON BEHALF OF THE CITY OF CHICAGO

ADDRESS: 800 WEST 63RD STREET
INTRODUCTION DATE: SEPTEMBER 11, 2013
REVISED: NOVEMBER 21, 2013



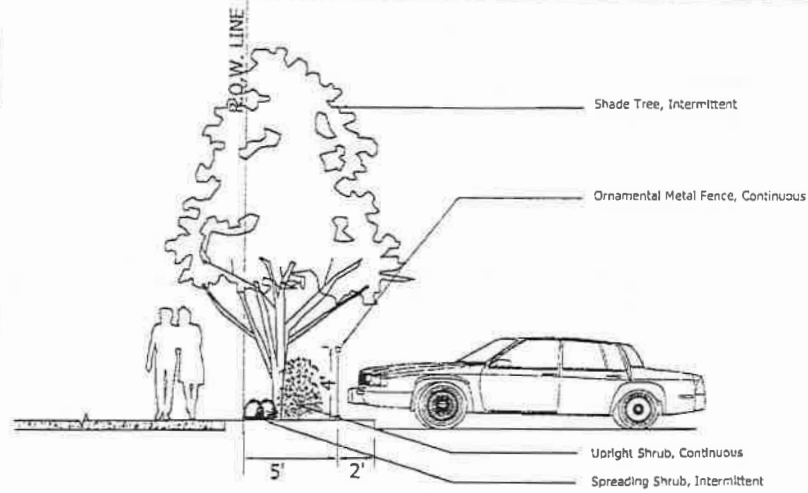
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 674-4940 Fax: (847) 674-4943

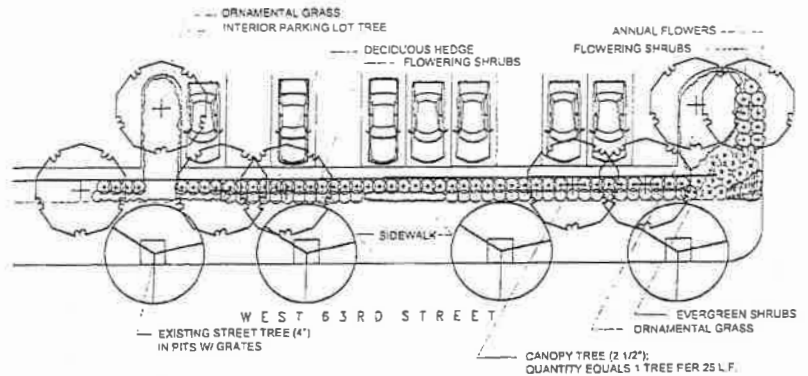
VEHICULAR USE AREA CALCULATIONS TABLE	Required	Provided
Vehicular Use Area (in Sq Ft)		118,108
Interior Landscape (in Sq Ft)	10% of VUA	11,810
Interior Shade Trees	94	94

VEHICULAR USE ARE SCREEN TREE CALCULATIONS TABLE	
Total Frontage (in Feet)	255
Screen Trees Required	11
Existing Trees Toward Requirement	0
Proposed Trees Toward Requirement	11
Total Trees Toward Requirement	11

PARKWAY TREE CALCULATION TABLE	Totals
Total Frontage (in Feet)- Halsted	364
Total Frontage (in Feet) - 63rd	669
Total Frontage (in Feet) - Both Streets	1,033
Total Plantable Frontage (in Feet) - Halsted	-120
Total Plantable Frontage (in Feet) - 63rd	359
Total Plantable Frontage (in Feet) - Both Streets	603
Existing Trees Toward Requirement	19
Proposed Trees Toward Requirement	6
Total Trees Toward Requirement	25



PERIMETER LANDSCAPE PLANTING DETAIL; 1/8"=1' SECTION



PERIMETER LANDSCAPE PLANTING DETAIL; 1"=30' PLAN



SHEET 2 OF 2

LANDSCAPE PLAN

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
ON BEHALF OF THE CITY OF CHICAGO

ADDRESS:
INTRODUCTION DATE: SEPTEMBER 11, 2013
REVISED: NOVEMBER 21, 2013

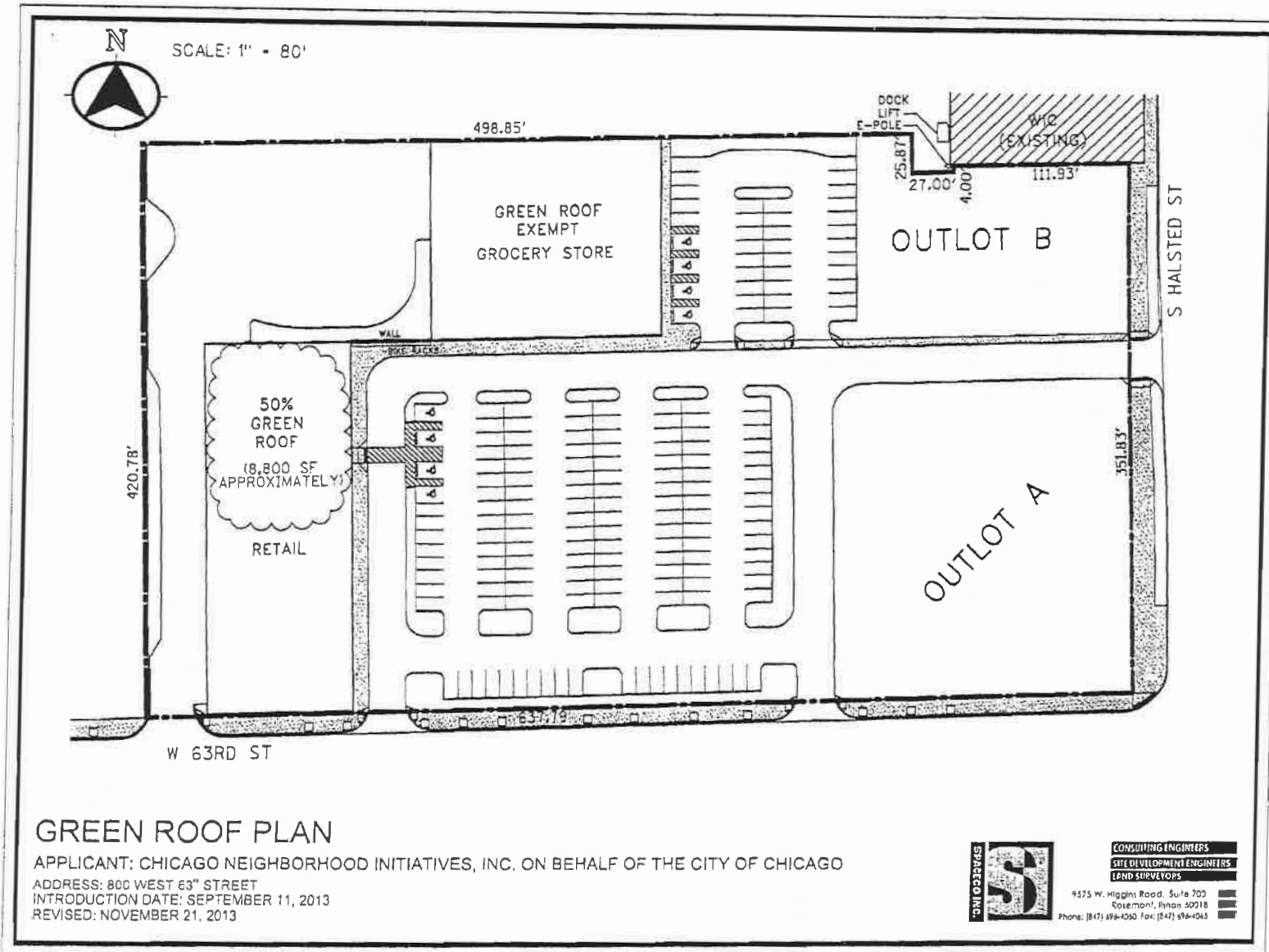
1112 S. Washington Street
Suite 110
Chicago, IL 60640
tel 630.527.6723
fax 630.527.6736
www.earthworksllp.com

camiros



MetroGreen

www.earthworksllp.com



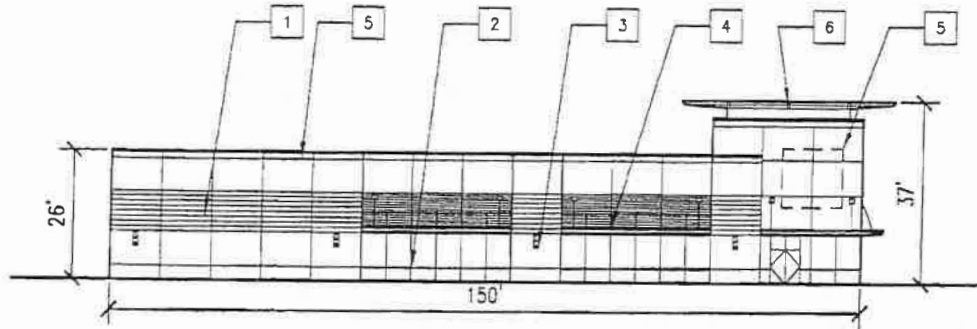
GREEN ROOF PLAN

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC. ON BEHALF OF THE CITY OF CHICAGO
 ADDRESS: 800 WEST 63RD STREET
 INTRODUCTION DATE: SEPTEMBER 11, 2013
 REVISED: NOVEMBER 21, 2013

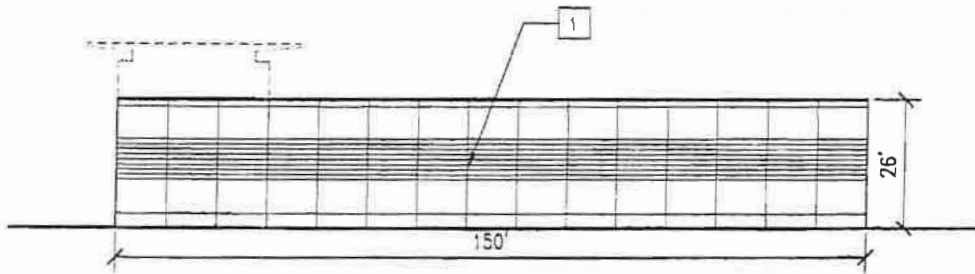


CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 896-4550 Fax: (847) 896-4545



1 CONCEPT ELEVATION - FRONT (SOUTH)



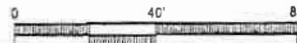
2 CONCEPT ELEVATION - REAR (NORTH)

KEYNOTES:

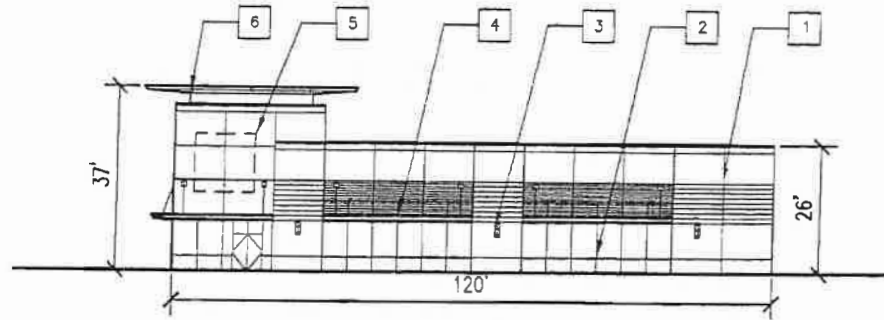
- 1. PRECAST CONC. WALL PANELS (TYP.) WITH CAST MASONRY DETAILING
- 2. ALUMINUM STOREFRONT WITH CLEAR, LOW-3 1" INSULATED GLAZING
- 3. WALL SCUNCES
- 4. PERMANENT METAL CANOPY FEATURES
- 5. AREA DESIGNATED FOR TENANT SIGNAGE (DASHED)
- 6. ORNAMENTAL STEEL TRELLIS FEATURE

CONCEPT ELEVATIONS: RETAIL BUILDING A

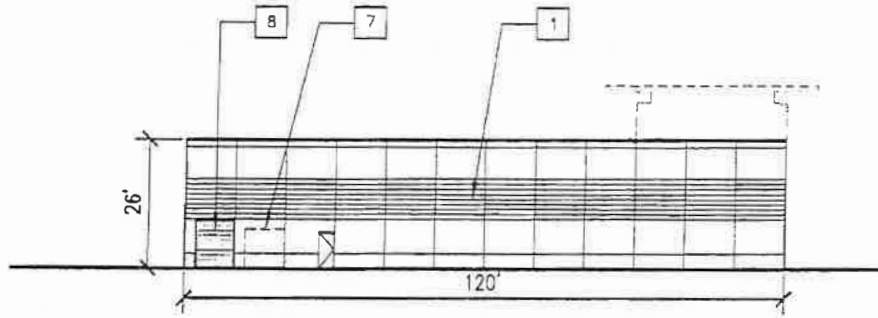
APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ON BEHALF OF THE CITY OF CHICAGO
 ADDRESS: 800 W. 63RD STREET
 INTRODUCTION DATE: SEPTEMBER 11, 2013
 PLAN COMMISSION: NOV 21, 2013



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1 CONCEPT ELEVATION - SIDE (EAST)



2 CONCEPT ELEVATION - SIDE (WEST)

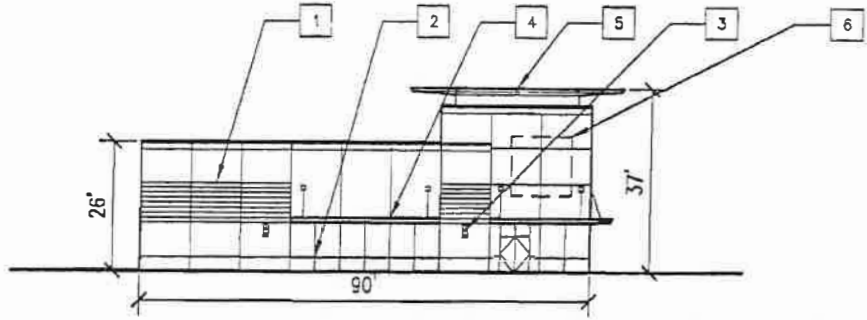
KEYNOTES:

- 1. PRECAST CONC. WALL PANELS (TYP.) WITH CAST MASONRY DETAILING
- 2. ALUMINUM STOREFRONT WITH CLEAR, LOW-3 1/2" INSULATED GLAZING
- 3. WALL SCONCES
- 4. PERMANENT METAL CANOPY FEATURES
- 5. AREA DESIGNATED FOR TENANT SIGNAGE (DASHED)
- 6. ORNAMENTAL STEEL TRELLIS FEATURE
- 7. AREA DESIGNATED FOR COMPACTOR
- 8. OVERHEAD DOOR

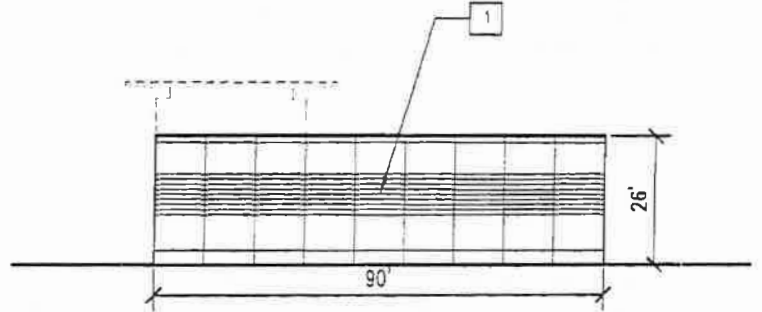
CONCEPT ELEVATIONS: RETAIL BUILDING A

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ON BEHALF OF THE CITY OF CHICAGO
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1 CONCEPT ELEVATION - SIDE (SOUTH)



2 CONCEPT ELEVATION - SIDE (NORTH)

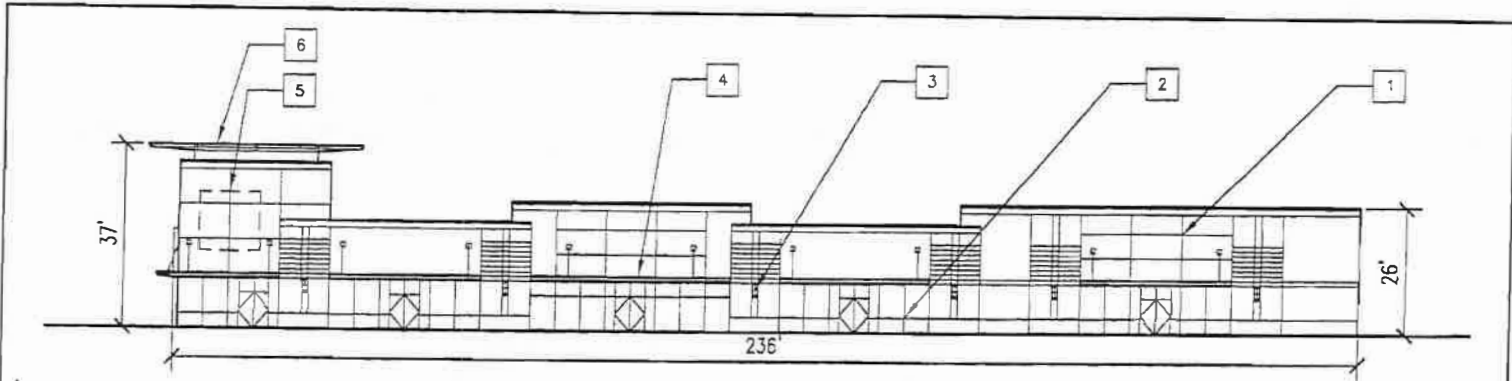
- KEYNOTES:
- 1. PRECAST CONC. WALL PANELS (TYP.) WITH CAST MASONRY DETAILING
 - 2. ALUMINUM STOREFRONT WITH CLEAR, LOW-3 1" INSULATED GLAZING
 - 3. WALL SCONCES
 - 4. PERMANENT METAL CANOPY FEATURES
 - 5. AREA DESIGNATED FOR TENANT SIGNAGE (DASHED)
 - 6. ORNAMENTAL STEEL TRELLIS FEATURE

CONCEPT ELEVATIONS: RETAIL BUILDING B

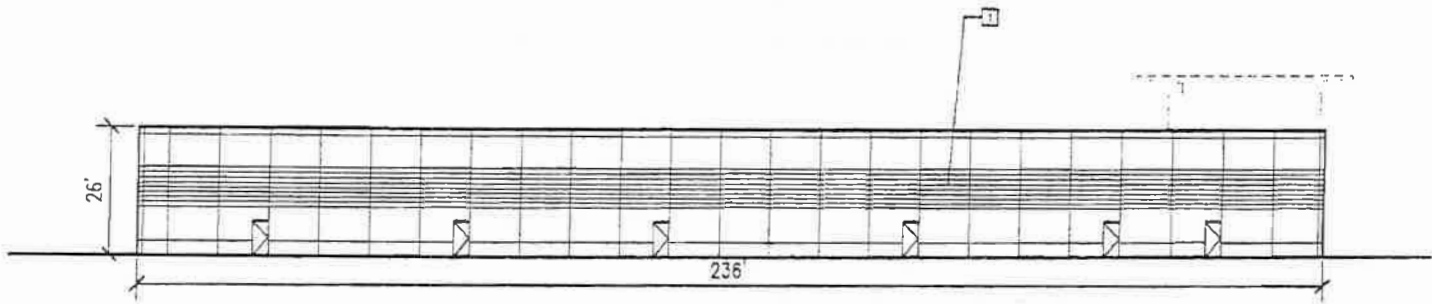
APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
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1 CONCEPT ELEVATION - FRONT (EAST)

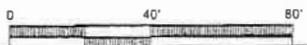


2 CONCEPT ELEVATION - REAR (WEST)

- KEYNOTES:
1. PRECAST CONC. WALL PANELS (TYP.) WITH CAST MASONRY DETAILING
 2. ALUMINUM STOREFRONT WITH CLEAR, LOW-3 1/2" INSULATED GLAZING
 3. WALL SCONCES
 4. PERMANENT METAL CANOPY FEATURES
 5. AREA DESIGNATED FOR TENANT SIGNAGE (DASHED)
 6. ORNAMENTAL STEEL TRELLIS FEATURE

CONCEPT ELEVATIONS: RETAIL BUILDING B

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
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