

PD 1213

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DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

August 21, 2013

John J. Lawlor
Dentons US LLP
233 South Wacker Drive
Suite 7800
Chicago, IL 60606-6306

Re: Administrative Relief request for Institutional-Residential Planned Development No. 1213, Sub-Area B, Proposed Loyola University School of Business, NE corner of North State Street and East Pearson Street

Dear Mr. Lawlor:

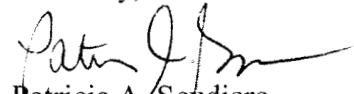
Please be advised that your request for a minor change to Institutional-Residential Planned Development No. 1213 ("PD 1213") has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1213.

You are requesting, on behalf of the property owner, Loyola University of Chicago, to modify the windows and louver openings on the proposed ten-story School of Business to be located within Sub-Area B, at the NE corner of N. State and E. Pearson Streets. On the north elevation, the window openings have been revised to avoid conflicts with the structural shear walls. On the south, east and west elevations, window mullion extensions were added to allow for a small operable window in the classrooms. Also, the louvers on the east elevation have been reconfigured from a punched to a continuous opening, in order to accommodate the mechanical equipment. The attached Partial North Elevation, South Elevation, East Elevation and West Elevation, depicting the proposed modifications, shall be inserted into the main file.

With regard to your request, the Department of Housing and Economic Development has determined that allowing these elevation modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional-Residential Planned Development No. 1213, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

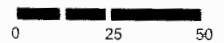
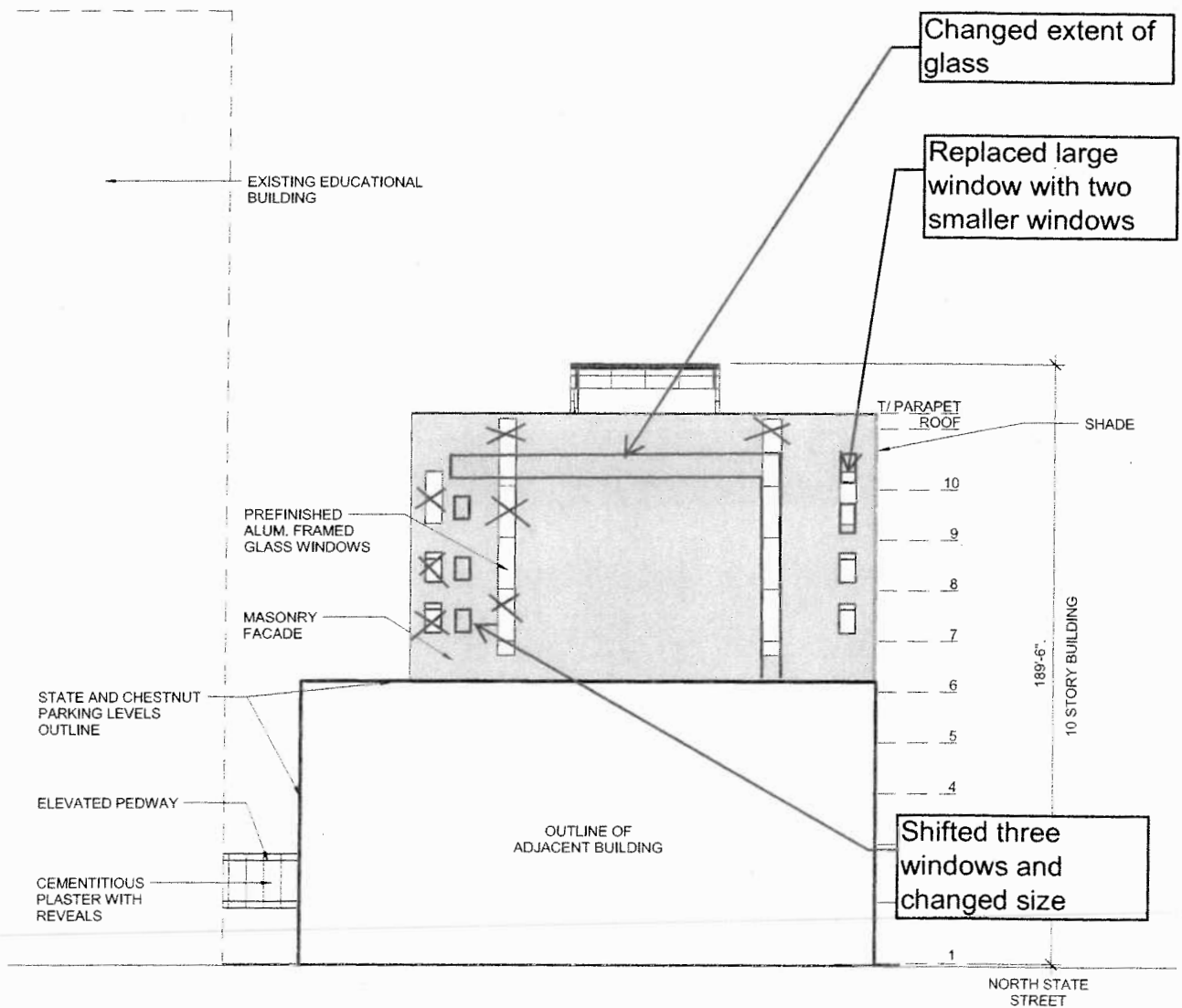
Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Fred Deters, Main file



⊕ PARTIAL NORTH ELEVATION

Applicant: Loyola University Chicago

Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street,
829-851 N. State Street

Introduced Date: December 12, 2012

Planned Commission Date: March 21, 2013



EXISTING
EDUCATIONAL
BUILDING

GLASS W/
HORZ. FIXED
SUN SHADES

Reduced amount
of glass

Added vertical
mullion above
horizontal mullion at
all windows

MASONRY
FACADE

T/ PARAPET
ROOF

10 STORY BUILDING

189'-6"

PREFINISHED
ALUM. FRAMED
GLASS WINDOWS

GLASS W/
HORZ. FIXED
SUN SHADES

CANOPY

EXISTING
RESIDENCE

NORTH STATE
STREET

0 25 50

⊕ SOUTH ELEVATION

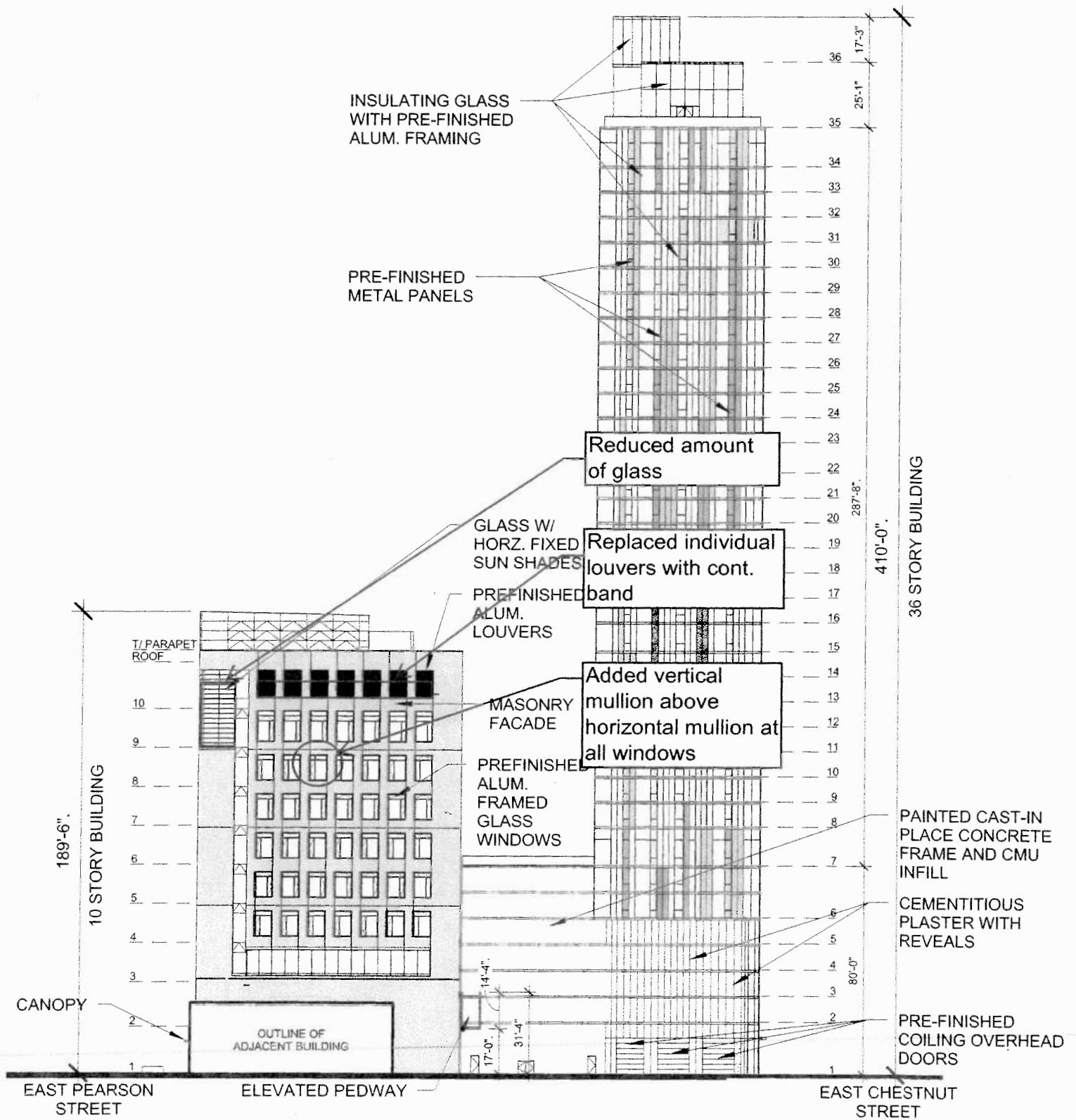
Applicant: Loyola University Chicago

Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street,
829-851 N. State Street

Introduced Date: December 12, 2012

Planned Commission Date: March 21, 2013





⊕ EAST ELEVATION

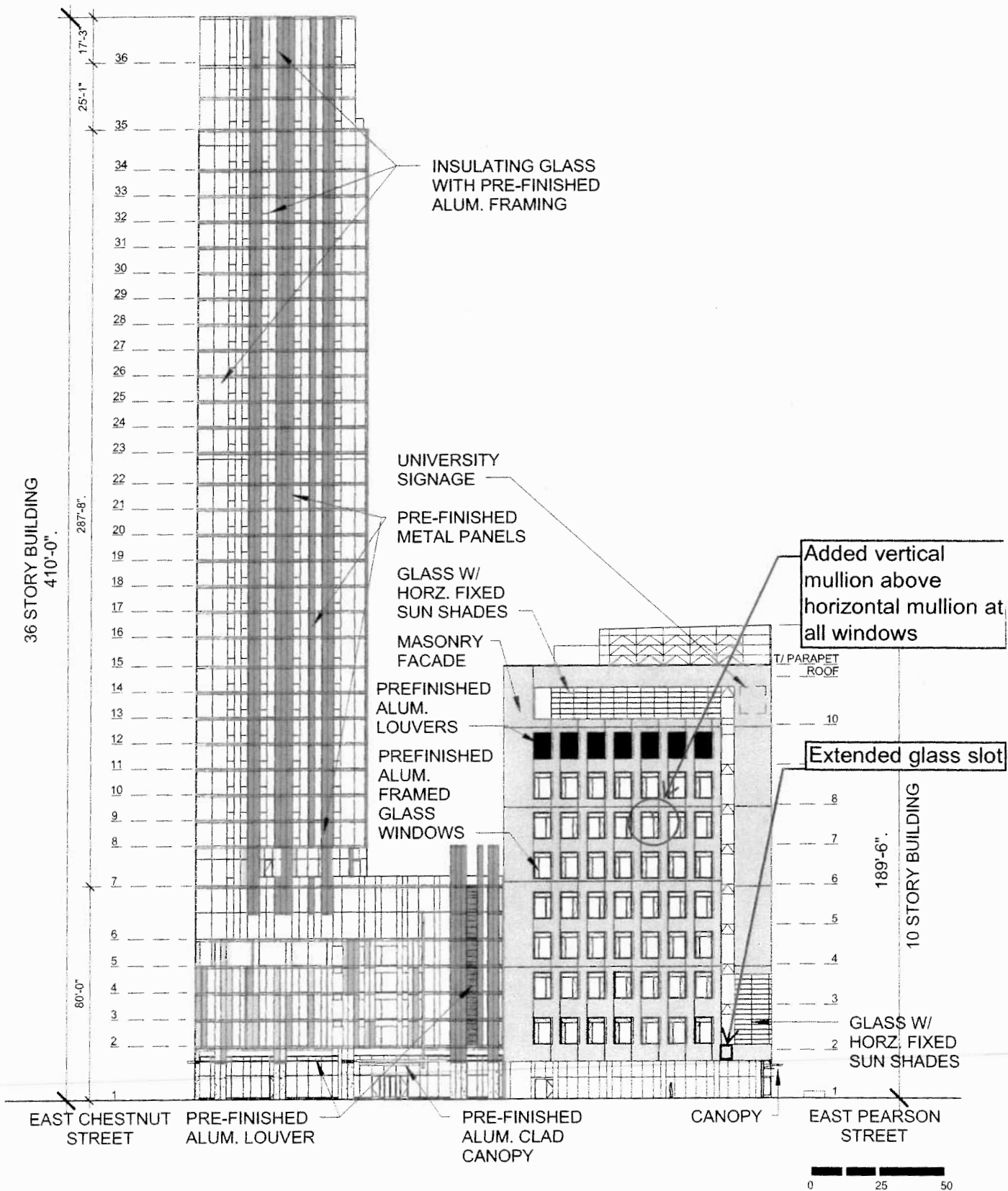
Applicant: Loyola University Chicago

Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street, 829-851 N. State Street

Introduced Date: December 12, 2012

Planned Commission Date: March 21, 2013





⊕ WEST ELEVATION

Applicant: Loyola University Chicago

Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street, 829-851 N. State Street

Introduced Date: December 12, 2012

Planned Commission Date: March 21, 2013





DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

June 3, 2013

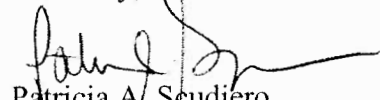
David Keller
Associate
Solomon Cordwell Buenz
625 N. Michigan Avenue
Suite 800
Chicago, IL 60611

**Re: Advisory Opinion for Institutional-Residential Planned Development No. 1213
Loyola University's Proposed Residential Building at State and Chestnut**

Dear Mr. Keller:

In response to your recent request, we have reviewed the attached drawings for compliance with the covered arcade floor area bonus. As a condition of the floor area bonus described in Statement No. 8 of Institutional-Residential Planned Development No. 1212 ("PD"), a covered arcade is being provided along the State Street frontage. The Chicago Zoning Ordinance requires that this arcade be a minimum size of 8 feet wide by 14 feet high. You are proposing a small soffit at the building entrance which due to mechanical constraints will be located 12'-8" above grade. The area of this soffit occupies approximately 3% of the total arcade ceiling area and the ceiling height above a majority of the arcade is 16'-4" which exceeds the minimum requirement of 14 feet. The proposed arcade with the entry soffit as shown on the attached drawings is in substantial compliance with the PD. If you have any questions or need additional information, please contact Teresa McLaughlin at (312) 744-4891.

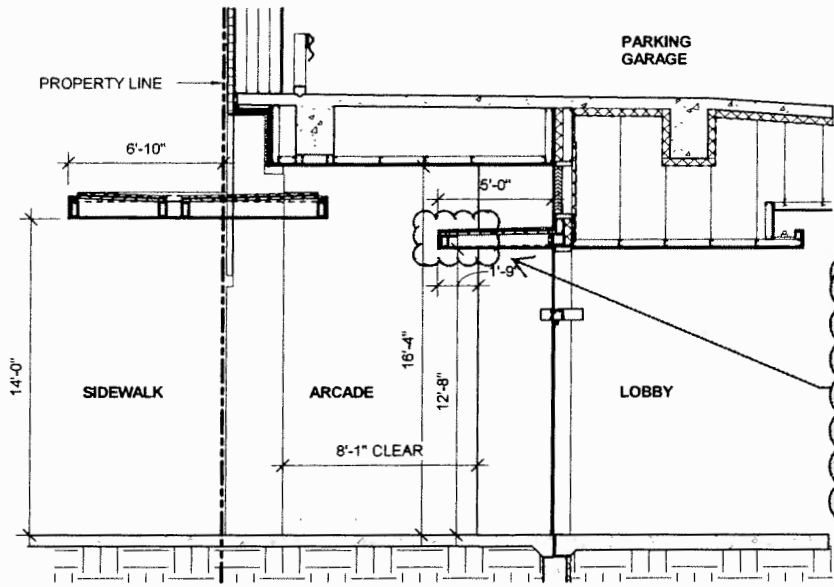
Sincerely,



Patricia A. Scudiero
Zoning Administrator

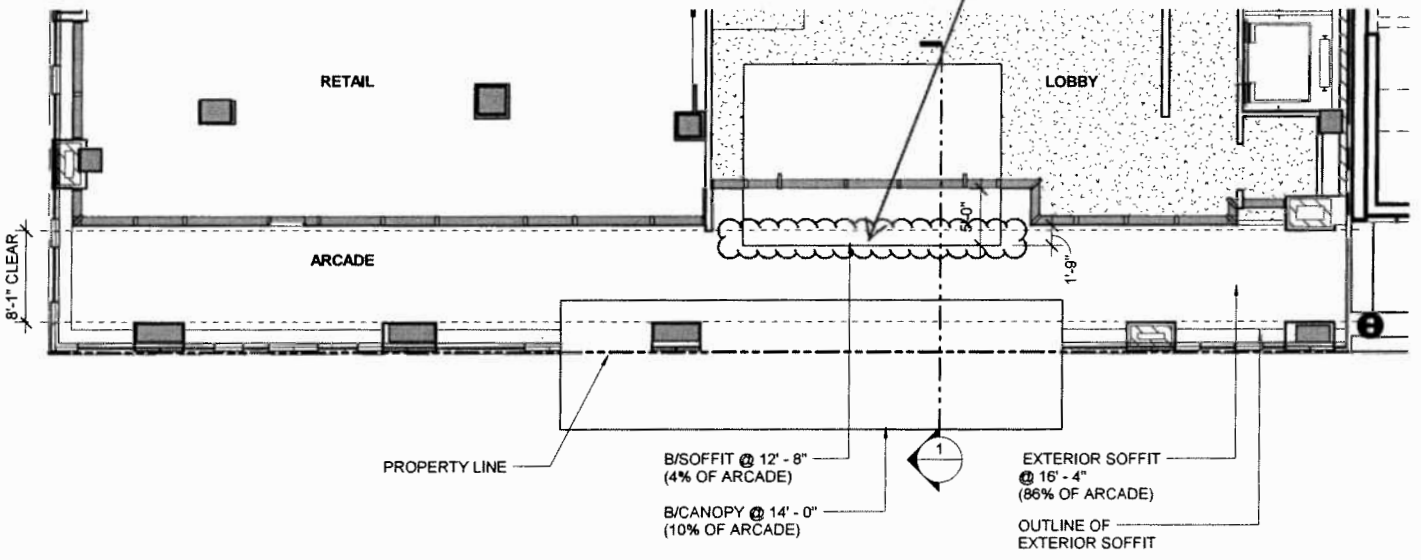
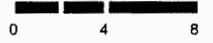
PAS: HG: tm

C: Vicki Lozano, Mike Marmo, Erik Glass, Main file



This soffit is below 14-ft and is within the 8ft wide arcade. This soffit only exists at the building entrance.

SECTION AT RESIDENTIAL BUILDING ENTRANCE



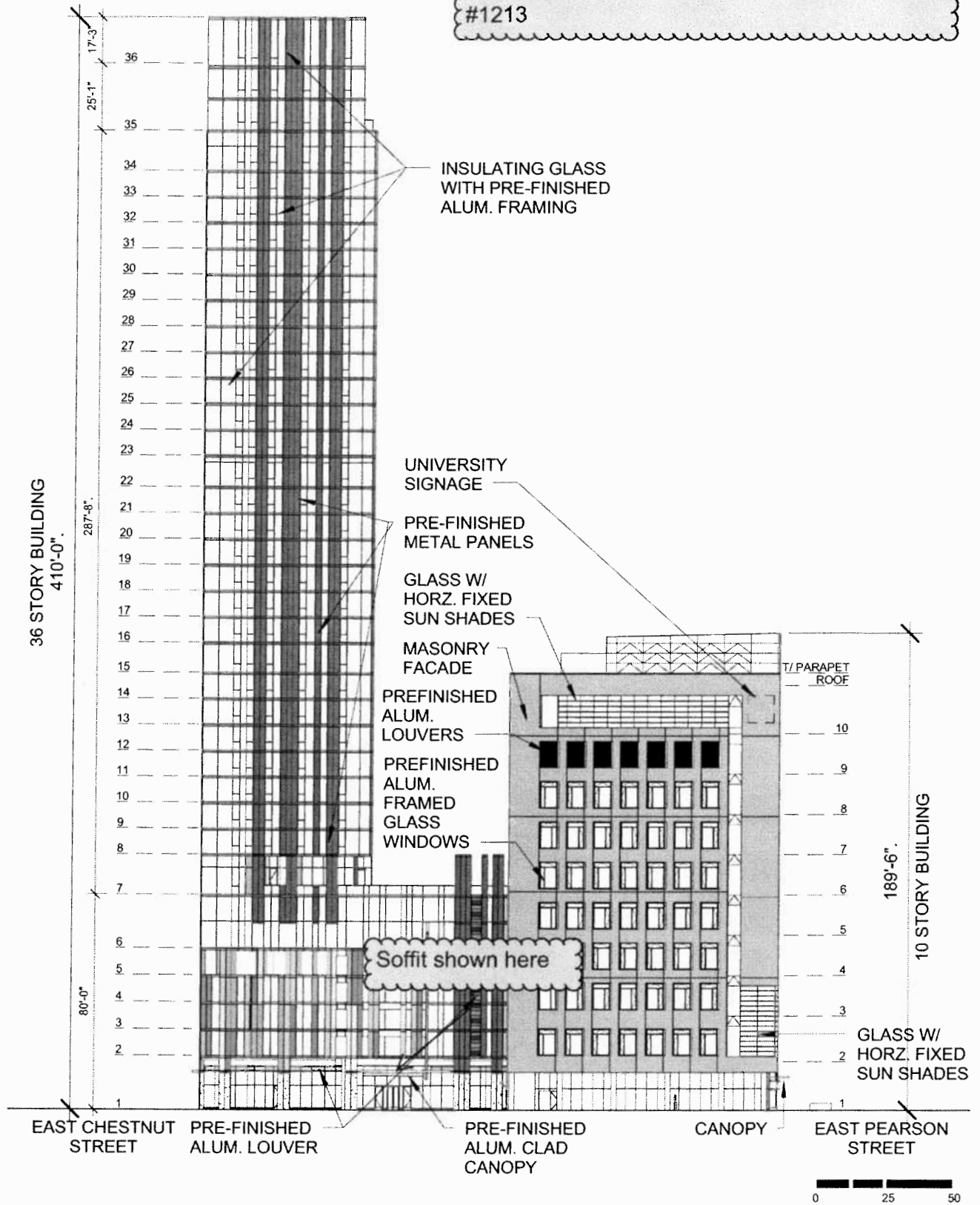
ARCADE REFLECTED CEILING PLAN AT STATE & CHESTNUT RESIDENTIAL BUILDING



Applicant: Loyola University Chicago
Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street, 829-851 N. State Street
Introduced Date: December 12, 2012
Planned Commission Date: March 21, 2013



EXHIBIT FROM INSTITUTIONAL-RESIDENTIAL PLANNED DEVELOPMENT #1213



⊕ WEST ELEVATION

Applicant: Loyola University Chicago

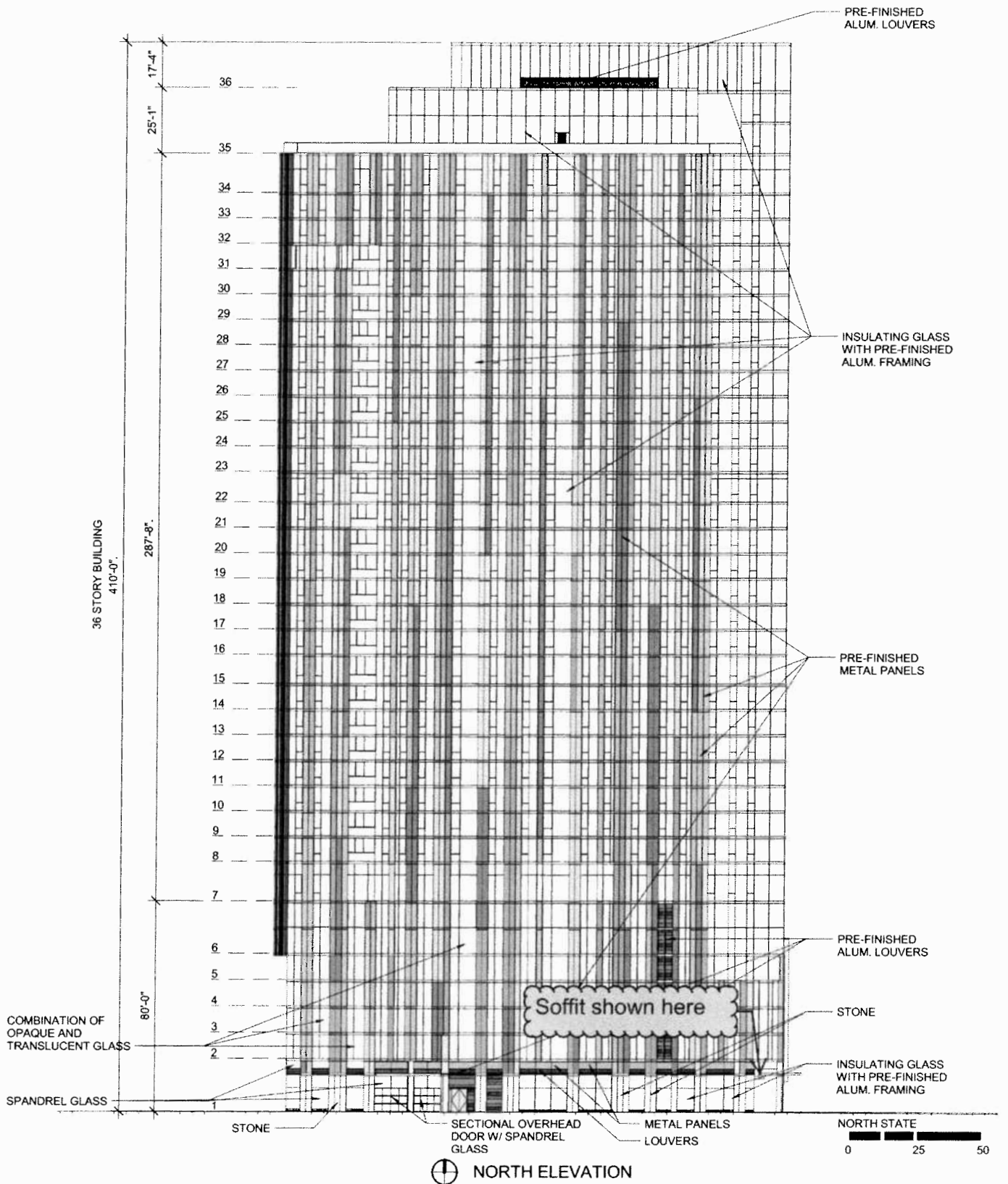
Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street, 829-851 N. State Street

Introduced Date: December 12, 2012

Planned Commission Date: March 21, 2013



EXHIBIT FROM INSTITUTIONAL-RESIDENTIAL
 PLANNED DEVELOPMENT #1213



⊕ NORTH ELEVATION

Applicant: Loyola University Chicago

Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street,
 829-851 N. State Street

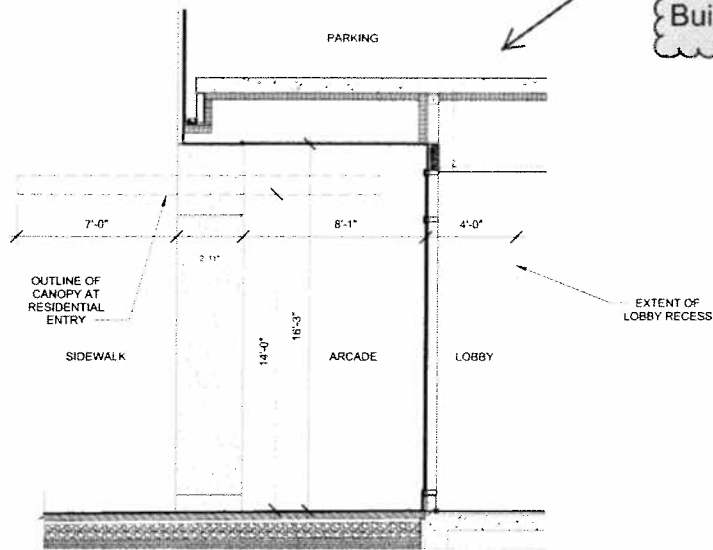
Introduced Date: December 12, 2012

Planned Commission Date: March 21, 2013

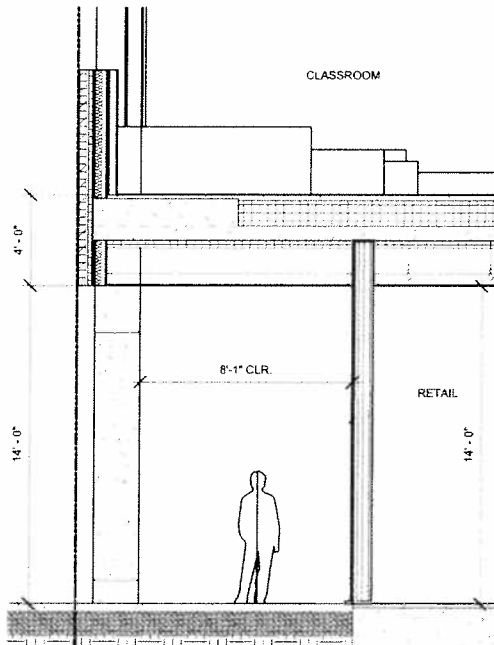


EXHIBIT FROM INSTITUTIONAL-RESIDENTIAL
 PLANNED DEVELOPMENT #1213

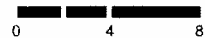
Typical section at
 Residential
 Building Arcade



ARCADE SECTION THRU STATE & CHESTNUT RESIDENTIAL BUILDING



ARCADE SECTION THRU LOYOLA SCHOOL OF BUSINESS ADMINISTRATION



⊕ ARCADE SECTION

Applicant: Loyola University Chicago
Address: 1-19 E. Chestnut Street, 2-16 E. Pearson Street,
 829-851 N. State Street
Introduced Date: December 12, 2012
Planned Commission Date: March 21, 2013



The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 1-G.
(Application No. 17632)
(Common Address: 1348 -- 1354 W. Erie St.
And 1355 W. Ancona St.)*

[O2012-8196]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 1-G in the area bounded by:

West Ancona Street; a line 188.00 feet east of North Noble Street; a line 59.00 feet north of West Erie Street; a line 216.00 feet east of North Noble Street; West Erie Street; and a line 144.00 feet east of North Noble Street,

to those of a B2-3 Neighborhood Mixed-Use District which is hereby established in the area described above.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map No. 3-E.
(As Amended)
(Application No. 17637)
(Common Address: 1 -- 19 E. Chestnut St., 2 -- 16 E.
Pearson St. And 829 -- 851 N. State St.)*

IRPD 1213

[SO2012-8201]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the DX-12 Downtown Mixed-Use District symbols and indications as shown on Map Number 3-E in the area bounded by:

East Chestnut Street; a line 203.43 feet east of and parallel to North State Street; a line 90.13 feet south of and parallel to East Chestnut Street; a line 188.76 feet east of and parallel to North State Street; a line 114.07 feet south of and parallel to East Chestnut Street; a line 155.03 feet east of and parallel to North State Street; East Pearson Street; and North State Street,

all in Cook County, Illinois, to the designation of Institutional-Residential Planned Development Number 1213, which is hereby established in the areas above described, subject to such use and bulk regulations as are set forth in the plan of development herewith attached and made part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional-Residential Planned Development No. 1213.

Plan Of Development Statements.

1. The area delineated herein as Institutional-Residential Planned Development Number 1213 ("Planned Development"), consists of approximately 38,402.30 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by Loyola University of Chicago (the "Applicant").
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees and approval by the City Council.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans (as defined in statement 4 below).

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Housing and Economic Development ("DHED") and the Chicago Department of Transportation ("CDOT"). Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

All work proposed in the public way must be designed and constructed in accordance with CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by CDOT.

4. This plan of development consists of these sixteen (16) statements; a Bulk Regulations and Data Table; an Existing Zoning and Land-Use Map; a Planned Development Boundary, Property Line and Subarea Map; a Subarea A Map; a Subarea B Map; a Generalized Land-Use Plan; a Site Plan; a Landscape Plan; an Enlarged Landscape Plan; Landscape Details; Building Elevations (North, Partial North, South, Partial South, East, and West); Arcade Section; Arcade Plan; Parking Plans (Levels 2 -- 6); Building Section; Partial Green Roof Plans 1 and 2; Bonus Worksheet form; and Chicago Builds Green form prepared by Solomon Cordwell Buenz and dated February 21, 2012. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with DHED. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. In each of the following Subareas, the following uses shall be permitted in this Planned Development:

Subarea A: Multi-unit (3+ units) Residential; on the ground floor only, all permitted uses in the DX-12 Downtown Mixed-Use District Public and Civic Use Group (except Hospital) and Commercial Use Group (except Bed and Breakfast, Hotel/Motel, Residential Storage Warehouse, and the Vehicle Sales and Service Use Category); Co-located Wireless Communication Facilities; accessory parking; and uses accessory thereto. As contemplated by Section 17-10-0503 of the Zoning Ordinance, upon the Applicant's request and only after satisfactory evidence is provided to the Commissioner of Housing and Economic Development that fewer than 152 spaces are needed to adequately serve the needs of on-site uses, the Zoning Administrator may allow, without the need for additional special use approval, that: 1) the minimum parking for Subarea A be deemed satisfied by fewer than the number of required spaces (152 spaces) and 2) up to a maximum of 45 percent of the required number of parking spaces (68 spaces) may be leased out on a daily, weekly or monthly basis to persons who are not residents, tenants, patrons, employees, or guests of the principal use.

Subarea B: Colleges and Universities; all permitted uses in the DX-12 Downtown Mixed-Use District Public and Civic Use Group (except Hospital) and Commercial Use Group (except Bed and Breakfast, Hotel/Motel, Residential Storage Warehouse, and the Vehicle Sales and Service Use Category); Co-located Wireless Communication Facilities; and uses accessory to the principal uses of the Subarea.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DHED. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of 38,402.30 square feet. A base FAR of 12.00 and additional Floor Area Ratio for proposed Floor Area Bonuses as follows:

Description	FAR
Base FAR	12.00
Affordable Housing Bonus	0.17
Arcade Bonus	0.50
Total FAR	12.67

The calculation of the additional Floor Area Ratio (FAR) obtained through the bonuses is as follows:

Arcades

$$\begin{aligned} \text{Bonus FAR} &= (\text{arcade area}/\text{Net Site Area}) \times 1.25 \times \text{Base FAR} \\ &= (1,280 \text{ square feet}/38,402 \text{ square feet}) \times 1.25 \times 12 = 0.500 \end{aligned}$$

Affordable Housing

$$\begin{aligned} \text{Bonus FAR} &= \text{bonus floor area}/\text{Net Site Area} \\ &= 6,413 \text{ square feet}/38,402 = 0.17 \end{aligned}$$

$$\begin{aligned} \text{Contribution} &= \text{bonus floor area} \times \$43.00/\text{square foot} \times .80 \\ &= 6,413 \text{ square feet} \times \$43.00/\text{square foot} \times .80 = \$220,607 \end{aligned}$$

9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by DHED. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DHED. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II Approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant will substantially comply with the City of Chicago Sustainable Development Policy set forth by DHED as of the date of this Planned Development, including a 50 percent net green roof consisting of approximately 7,183 square feet in the aggregate as shown on the Landscape Plan/Green Roof Plan for Subarea A, and a 26 percent net green roof consisting of approximately 2,368 square feet in the aggregate as shown in the Landscape Green Roof Plan for Subarea B. All buildings within both subareas shall be LEED Certified.
15. The Applicant acknowledges and agrees that the development triggers Section 2-45-110(b)(4)(iii) of the Municipal Code (the "Affordable Housing Ordinance" or "AHO"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance ("Residential Project") must: (i) develop affordable housing units as part of the Residential Project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). The Applicant further acknowledges and agrees that this Planned Development is subject to

Section 17-4-1004-B3 of the Zoning Code, which requires that the Affordable Housing Floor Area Bonus must be used by residential buildings in DX-12 districts to obtain at least 20 percent of the total requested floor area bonus by provision of on-site affordable housing or payment of a fee in lieu of providing affordable housing. Pursuant to Section 2-45-110(b)(4)(iii), the developer may elect to satisfy the AHO requirements by complying with the affordable housing floor area bonus provided for in Section 17-4-1004. Applicant has elected to comply with Section 17-4-1004. Pursuant to Section 17-4-1004-B of the Zoning Ordinance, the Applicant has requested an increase in the floor area ratio for Subarea A of the Property, as set forth in the bonus worksheet required under Section 17-4-1003-D and described above in statement 4 ("Bonus Worksheet"). In accordance with the formulas set forth in Section 17-4-1004-C and the Bonus Worksheet, the Applicant acknowledges and agrees that it must provide either affordable units in the building in Subarea A receiving the affordable housing floor area bonus ("Eligible Building") consisting of at least 1,603 square feet of floor area (the "Affordable Units"), or make a cash payment in lieu of providing affordable housing in the amount of \$220,607 ("Cash Payment"). Prior to the issuance of any building permits for the Eligible Building in Subarea A, including, without limitation, excavation or foundation permits for Subarea A, the Applicant must either make the required Cash Payment or provide a performance bond or other security in the amount of the Cash Payment ensuring construction of the Affordable Units. If the Applicant elects to construct the Affordable Units, either the Applicant or its successors in title to Subarea A must also enter into an Affordable Housing Agreement with the City pursuant to Section 17-4-1004-E9 prior to the issuance of any building permits for the Eligible Building in Subarea A, including, without limitation, excavation or foundation permits for Subarea A. The terms of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Eligible Building in Subarea A and will constitute a lien against each Affordable Unit in an amount equal to the Pro Rata Amount. The City shall execute a full release of the Affordable Housing Agreement upon the City's receipt of the Cash Payment and partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. In addition to the Affordable Housing Agreement, the Applicant acknowledges and agrees that, pursuant to Section 17-4-1003-D3, the Bonus Worksheet will serve as an official record of bonuses and amenities. The Applicant must comply with the applicable affordable housing standards and requirements set forth in Section 17-4-1004 as to Subarea A, the terms of which are incorporated herein by this reference. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Housing and Economic Development may enforce remedies for breach of the Affordable Housing Agreement as to Subarea A, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

17637

4/10/2013

REPORTS OF COMMITTEES

51805

- 16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Housing and Economic Development shall initiate a Zoning Map Amendment to rezone the property to the DX-12 Downtown Mixed-Use zoning district classification.

[Chicago Builds Green form referred to in these Plan of Development Statements unavailable at time of printing.]

[Existing Zoning and Land-Use Map; Planned Development Boundary, Property Line and Subarea Map; Subarea A Map; Subarea B Map; Generalized Land-Use Plan; Site Plan; Landscape Plan; Enlarged Landscape Plan; Landscape Details; Building Elevations; Arcade Section; Arcade Plan; Level 2 Parking Plan; Level 3 Parking Plan; Level 4 Parking Plan; Level 5 Parking Plan; Level 6 Parking Plan; Building Section Looking East; Green Roof Plan; and Detail Greenroof Plan -- Subarea A referred to in these Plan of Development Statements printed on pages 51812 through 51836 of this *Journal*.]

Bulk Regulations and Data Table; FAR Bonus Calculation Worksheet; and Affordable Housing Profile Form (Rental) referred to in these Plan of Development Statements read as follows:

Institutional-Residential Planned Development No. 1213.

Plan Of Development.

Bulk Regulations And Data Table.

Gross Site Area: 62,246 square feet (1.4290 acres) = Net Site Area: 38,402 square feet (0.8816 acre) plus area of adjoining right-of-way: 23,844 square feet (0.5474 acre).

Net Site Area Total:	38,402 square feet (0.8816 acre)
Subarea A:	22,884 square feet (0.5253 acre)
Subarea B:	15,518 square feet (0.3562 acre)

Overall Maximum Floor Area Ratio (Subarea A plus Subarea B):	12.67
Overall Maximum Buildable Area:	486,241 square feet (38,402 net site area by 12.667 FAR)
Subarea A:	
Maximum FAR Building square feet assigned to Subarea A:	348,752 square feet
Maximum Floor Area Ratio:	15.24
Subarea B:	
Maximum FAR Building square feet assigned to Subarea B:	137,489 square feet
Maximum Floor Area Ratio:	8.86
Floor Area Bonuses:	
Affordable Housing:	0.17
Arcade (along North State Street):	0.50
Maximum Percentage of Land Coverage:	Per Site Plan
Maximum Number of Dwelling Units:	
Subarea A:	367 Dwelling Units, including 132 Efficiency Units
Subarea B:	None Permitted
Number of Accessory Off-Street Parking Spaces:	
Subarea A:	Minimum 152 accessory parking spaces [See Notes a) and b)] Maximum 404 accessory parking spaces

Subarea B:	None Required
Minimum Number of Bicycle Parking Spaces:	
Subarea A:	240 Spaces
Subarea B:	0 Spaces
Minimum Periphery Setbacks:	Per Site Plan
Maximum Building Height:	
Subarea A:	410 feet
Subarea B:	189 feet, 6 inches
Minimum Number of Loading Spaces:	
Subarea A:	2 (10 feet by 25 feet)
Subarea B:	1 (10 feet by 25 feet) located in Subarea A

Note a). Minimum required on-site accessory parking is calculated:

367 dwelling units by 0.55 spaces/dwelling unit = 202 spaces - 50 spaces (25%) for locations within 600 feet of a transit station as per Section 17-10-0102-B-2 of the Zoning Code = 152 spaces.

Note b). Only as provided in statement 5, up to 45% (68 spaces) of the required minimum number of accessory parking spaces (152 spaces) may be leased out on a daily, weekly or monthly basis to persons who are not residents, tenants, patrons, employees or guests of the principal use.

FAR Bonus Calculation Worksheet.
(Page 1 of 2)

CITY OF CHICAGO
DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
APPLICATION FOR ZONING BONUS REVIEW

WORKSHEET: FAR BONUS CALCULATION

Property Address: State Street between Chestnut and Pearson Streets Zoning District: DX-12

ON-SITE BONUSES

Amenity	Amenity area (in sq.ft.)	Lot area (in sq.ft.)	Premium Factor	Base FAR	FAR Bonus calculated	FAR Bonus Cap
Formula: A B C D (A/B) * C						compare with
Affordable Housing – On-Site			4.00			20% of D (-5) 25% of D (-7 & -10) 30% of D (-12 & -16)
Formula: A B C D (A/B) * C * D						
Public Plaza and Pocket Park			1.00			6.00
Chicago Riverwalk			1.00			No Bonus Cap
Winter Garden			1.00			3.00
Through-Block Connection (Indoor)			0.66			No Bonus Cap
Through-Block Connection (Outdoor)			1.00			No Bonus Cap
Sidewalk Widening			2.00			No Bonus Cap
Arcade	1,280 sqft	38,402 sqft	1.25	12.00	0.50	2.00
Water Feature			0.30			1.00
Upper-Level Setbacks (-7 & -10 Districts)			0.30			1.00
Upper-Level Setbacks (-12 & -16 Districts)			0.40			25% of D
Lower-Level Planting Terrace			1.00			No Bonus Cap
Green Roofs			0.30			2.00
Underground Parking (Levels -1 & -2)			0.15			30% of D
Underground Parking (Level -3 or lower)			0.20			30% of D
Underground Loading			0.15			30% of D
Parking Concealed by Occupiable Space			0.40			25% of D
Total FAR Bonus On-Site Improvements					0.50	

FAR Bonus Calculation Worksheet.
(Page 2 of 2)

OFF-SITE BONUSES

Calculation of Financial Contribution

Formula: Cash contribution for 1 sq.ft. of FAR bonus = 0.8 x median cost of 1 sq. ft. of buildable floor area

Amenity	Bonused Square Feet Desired	Discount Factor	median cost of 1 sq.ft. of buildable floor area (in \$): See City Survey of Land Cost	Base FAR	Financial Contribution
	A	B	C	D	E=A*B*C
Off-Site Park or Riverwalk		0.8			
Streetscape Improvements		0.8			
Transit Station Improvements		0.8			
Pedway Improvements		0.8			
Adopt-A-Landmark		0.8			
Affordable Housing	6,413 sf	0.8	\$ 43	12.0	\$ 220,607
Chicago Public Schools		0.8			
Totals					\$ 220,607

Comparison to FAR Bonus Cap

Amenity	Total Bonused Square Feet Desired	Lot Area (in sq. ft.)	Base FAR	FAR Bonus calculated	FAR Bonus Cap:
	F	G	H	I = (F/G) * H	Compare with
Off-Site Park or Riverwalk					20% of H
Street Lighting and Landscaping					20% of H
Transit Station Improvements					20% of H
Pedway Improvements					20% of H
Adopt-A-Landmark					20% of H
Affordable Housing	6,413 sf	38,402 sf	12.0	0.17	20% of H (-5) 25% of H (-7 & -10) 30% of H (-12 & -16)
Education					25% of H (-10) 30% of H (-12 & -18)

If FAR Bonus calculated exceeds FAR Bonus Cap, the effective FAR Bonus for Off-Site Improvements is equal to the FAR Bonus Cap

Summary

Base FAR	12.00
FAR Bonus for On-Site Improvements	0.50
FAR Bonus for Off-Site Improvements	0.17
Total FAR	12.67
Total Financial Contribution	\$ 220,607

Maximum Floor Area with Base FAR (sq. ft.)	460,824 sqft
Floor Area with FAR Bonus On-Site Improvements (sq. ft.)	19,201 sqft
Floor Area with FAR Bonus Off-Site Improvements (sq. ft.)	6,413 sqft
Total Maximum Floor Area (sq. ft.)	486,438 sqft

Signature of Applicant: *Patricia Tuttle* Date: *2/11/13* Received by (Bureau of Planning & Zoning): *Frederick W. Watson* Date: *2/12/13*
 January 14, 2013 Page 2 of 2

Affordable Housing Profile (Rental).
(Page of 1 of 2)

Submit this form to the Department of Housing & Economic Development for each project that triggers an affordability requirement (including CPAN, ARO, and the Density Bonus).

This completed form should be returned (via e-mail, fax, postal service or interoffice mail), to: Kara Breems, Department of Housing & Economic Development, 121 N. LaSalle Street, Chicago, IL 60602. E-mail: Kara.Breems@cityofchicago.org; Telephone: (312) 744-6746.

For information on these programs/requirements, visit www.cityofchicago.org/hed

Date: 12/5/2012

SECTION 1: DEVELOPMENT INFORMATION

Development Name: State & Chestnut Apartment Tower / Loyola School of Business Administration
Development Address: State Street between Chestnut and Pearson Streets
Ward: 2

If you are working with a Planner at the City, what is his/her name? Frederick Deters

Type of City involvement: Land write-down
(check all that apply) Financial Assistance (If receiving TIF assistance, will TIF funds be used for housing construction?)
 Zoning increase, PD, or City Land purchase

*if yes, please provide copy of the TIF Eligible Expenses

SECTION 2: DEVELOPER INFORMATION

Developer Name: Newcastle Development Ltd
Developer Contact (Project Coordinator): Kurt Pairitz, Senior Vice President
Developer Address: 150 N Michigan Av, Suite 3610, Chicago, IL 60601
Email address: kpairitz@newcastlelimited.com May we use email to contact you? Yes No
Telephone Number: (312) 252-1400

SECTION 3: DEVELOPMENT INFORMATION

a) Affordable units required

For ARO projects: x 10%* = _____ (always round up)
Total units total affordable units required
*20% if TIF assistance is provided

For Density Bonus projects: 25,656 sqft X 25% = 6,413 sqft
Bonus Square Footage* Affordable sq. footage required

*Note that the maximum allowed bonus is 20% of base FAR in dash-5, 25% in dash-7 or -10; and 30% of base FAR in dash-12 or -16 (www.cityofchicago.org/zoning for zoning info).

b) building details

In addition to water, which of the following utilities will be included in the rent (circle applicable):

Cooking gas electric gas heat electric heat other (describe on back)

Is parking included in the rent for the: affordable units? yes no market-rate units? yes no
If parking is not included, what is the monthly cost per space? \$250 - \$275
Estimated date for the commencement of marketing: September, 2015

Affordable Housing Profile (Rental).
(Page of 2 of 2)

Estimated date for completion of construction of the affordable units: March, 2015

For each unit configuration, fill out a separate row, as applicable (see example).

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)
Example:	1 bed/1 bath	4	1	800	\$1000	759	60%
Affordable Units							
Market Rate Units						N/A	N/A

*Rent amounts determined by the "City of Chicago's Maximum Affordable Monthly Rent Chart"

SECTION 4: PAYMENT IN LIEU OF UNITS

When do you expect to make the payment -in-lieu? January, 2014 (estimated)
(typically corresponds with payment/issuance of building permits) Month/Year

For ARO projects, use the following formula to calculate payment owed:

$$\frac{\text{Number of total units in development}}{\text{Number of total units in development}} \times 10\% = \frac{\text{Number of total units in development}}{\text{round up to nearest whole number}} \times \$100,000 = \$ \text{Amount owed}$$

For Density Bonus projects, use the following formula to calculate payment owed:

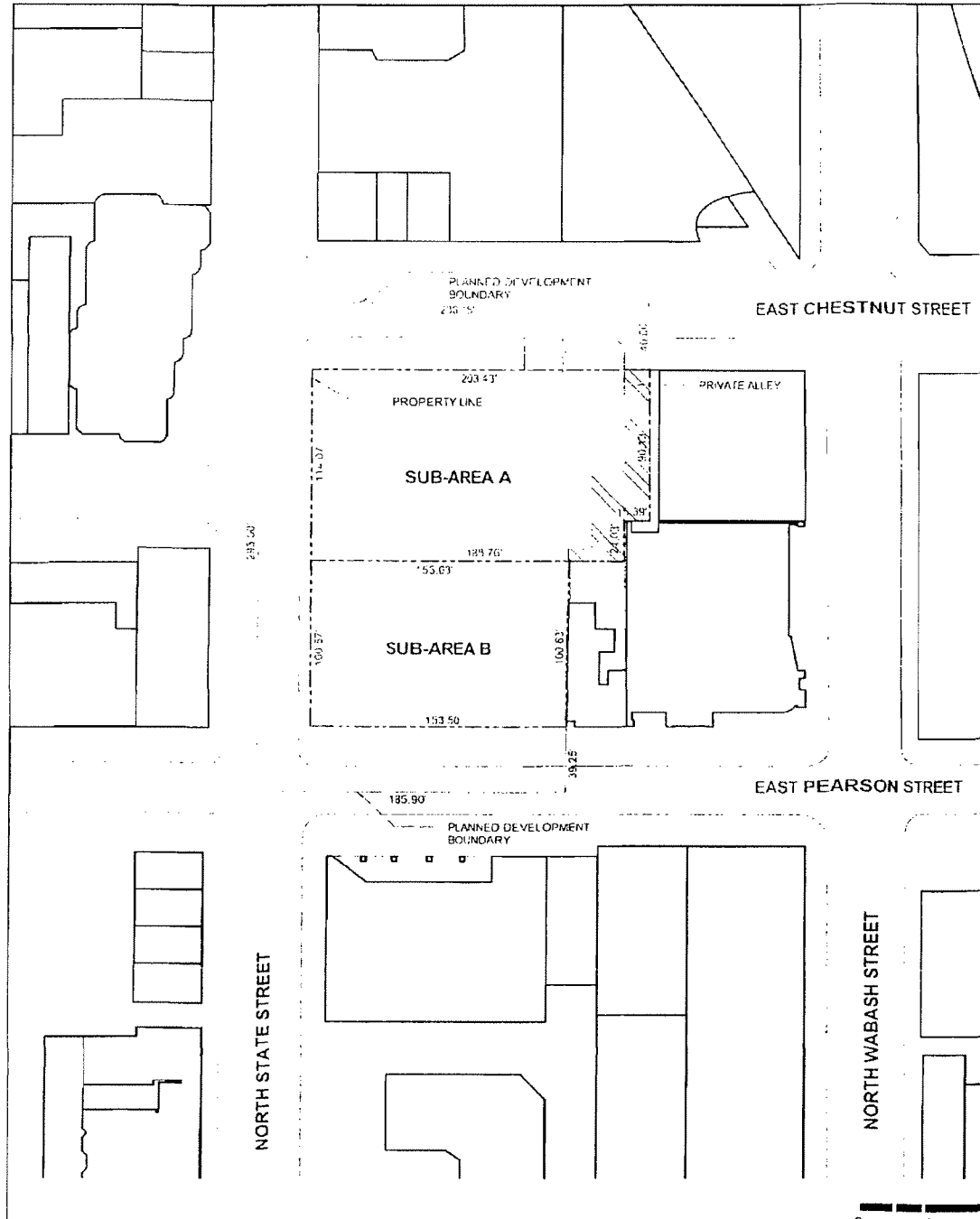
$$\frac{6,413 \text{ sqft}}{\text{Bonus Floor Area (sq ft)}} \times 80\% \times \$ \frac{43}{\text{median price per base FAR foot (from table below)}} = \$ \frac{220,607}{\text{Amount owed}}$$

Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr. on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west; Lake Shore Dr. on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

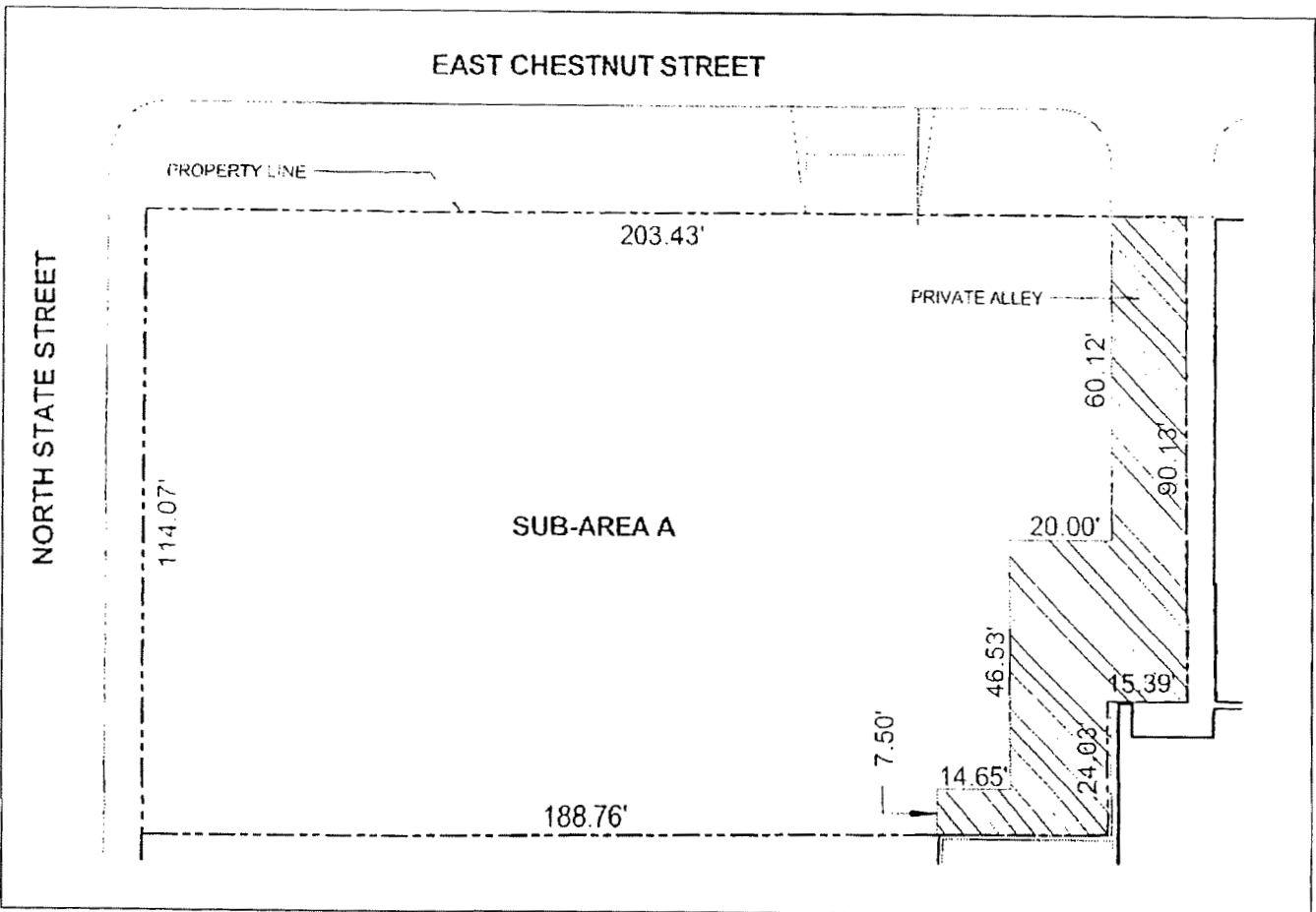
Authorization to Proceed (to be completed by Department of HED)

[Signature] 2-13-13
Kara Breems, date
Department of Housing & Economic Development

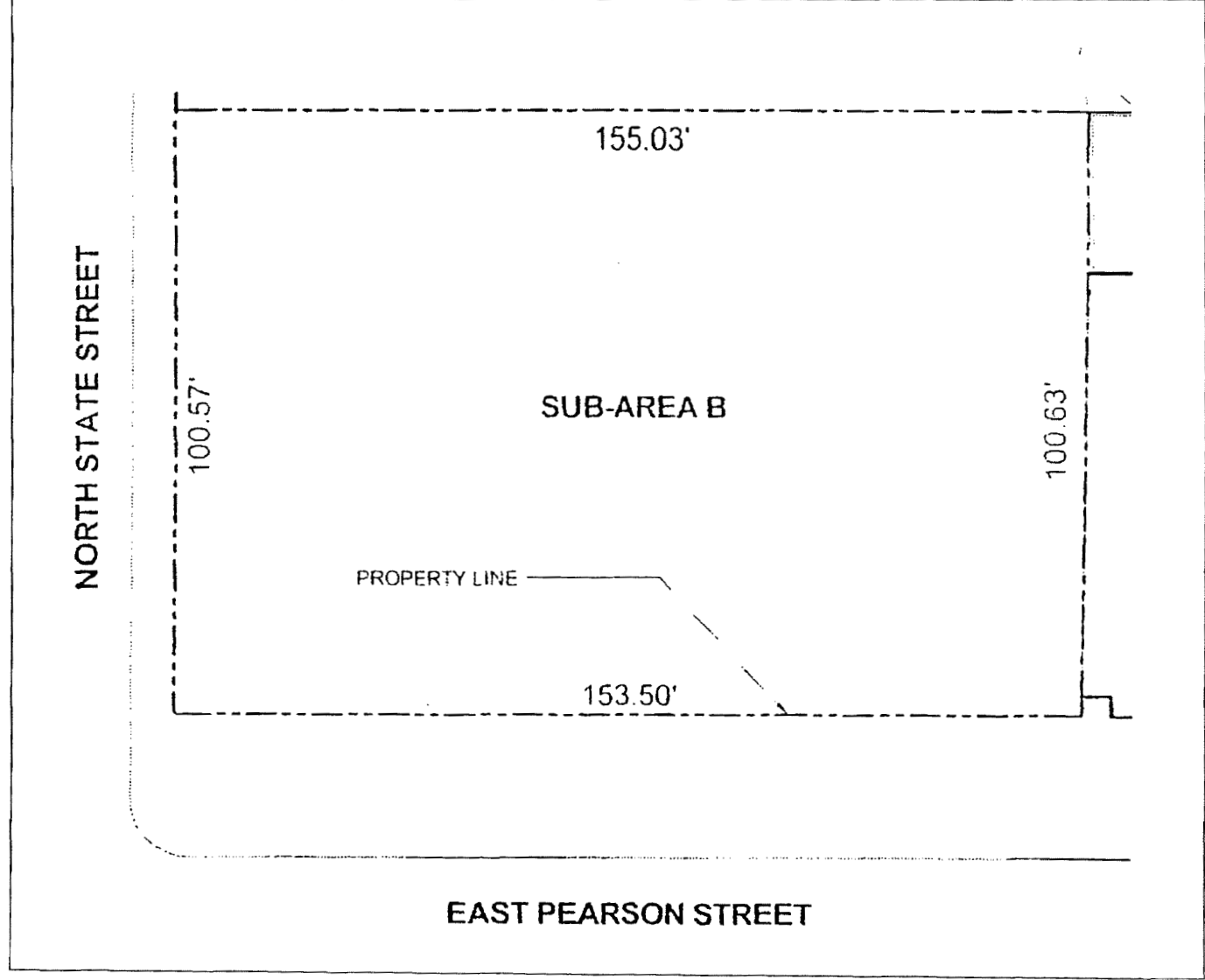
Planned Development Boundary, Property Line And Subarea Map.



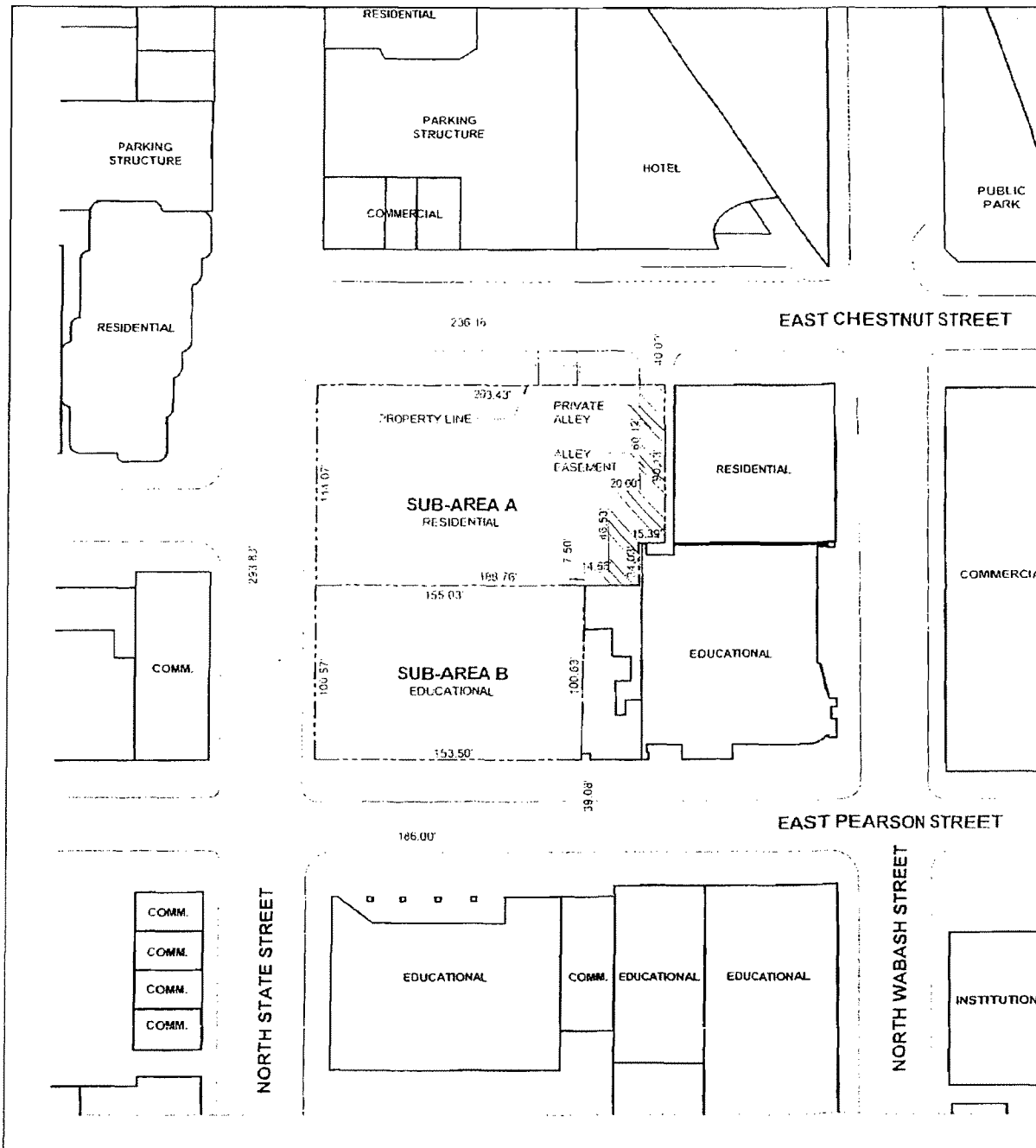
Subarea A Map.



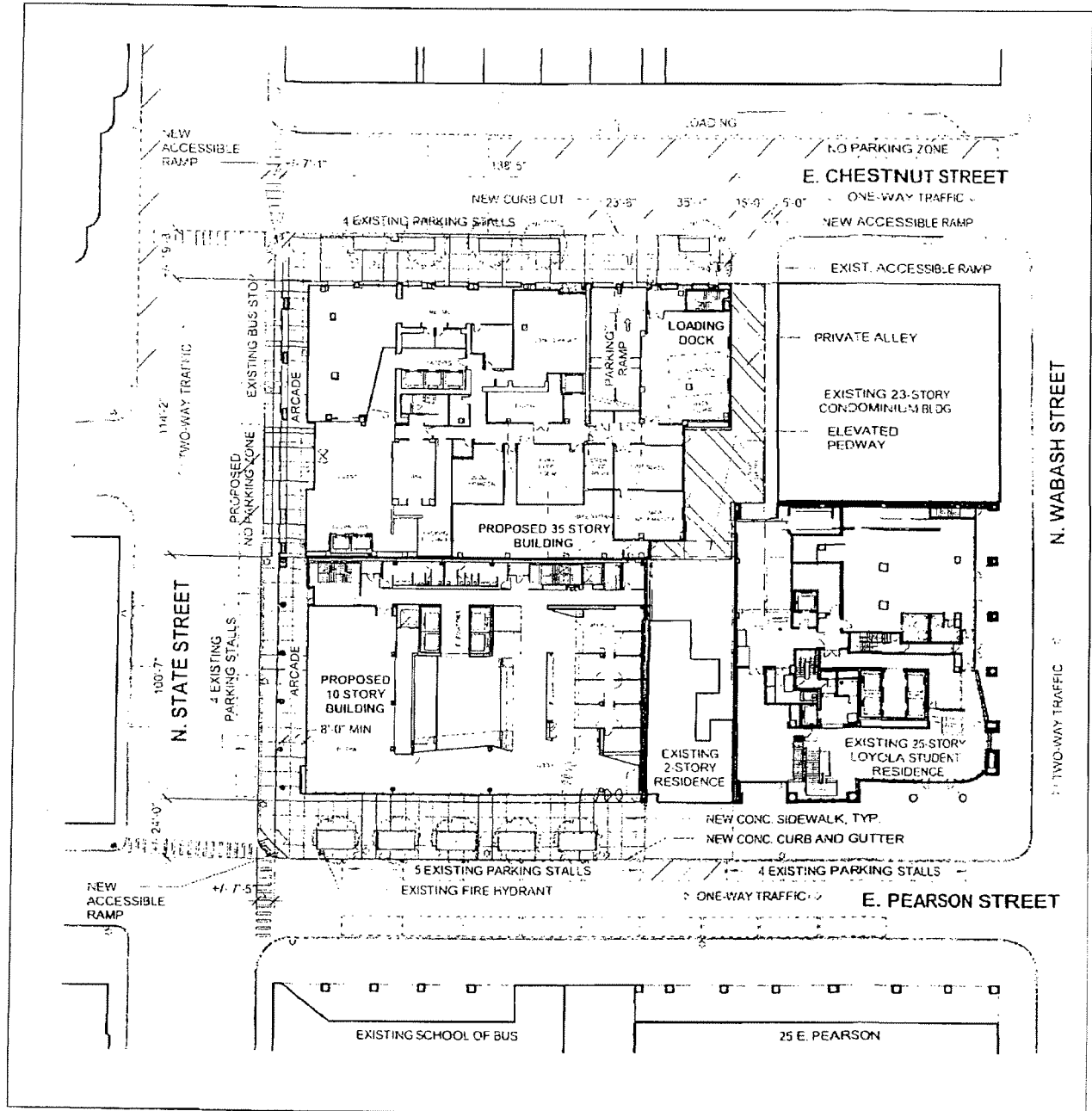
Subarea B Map.



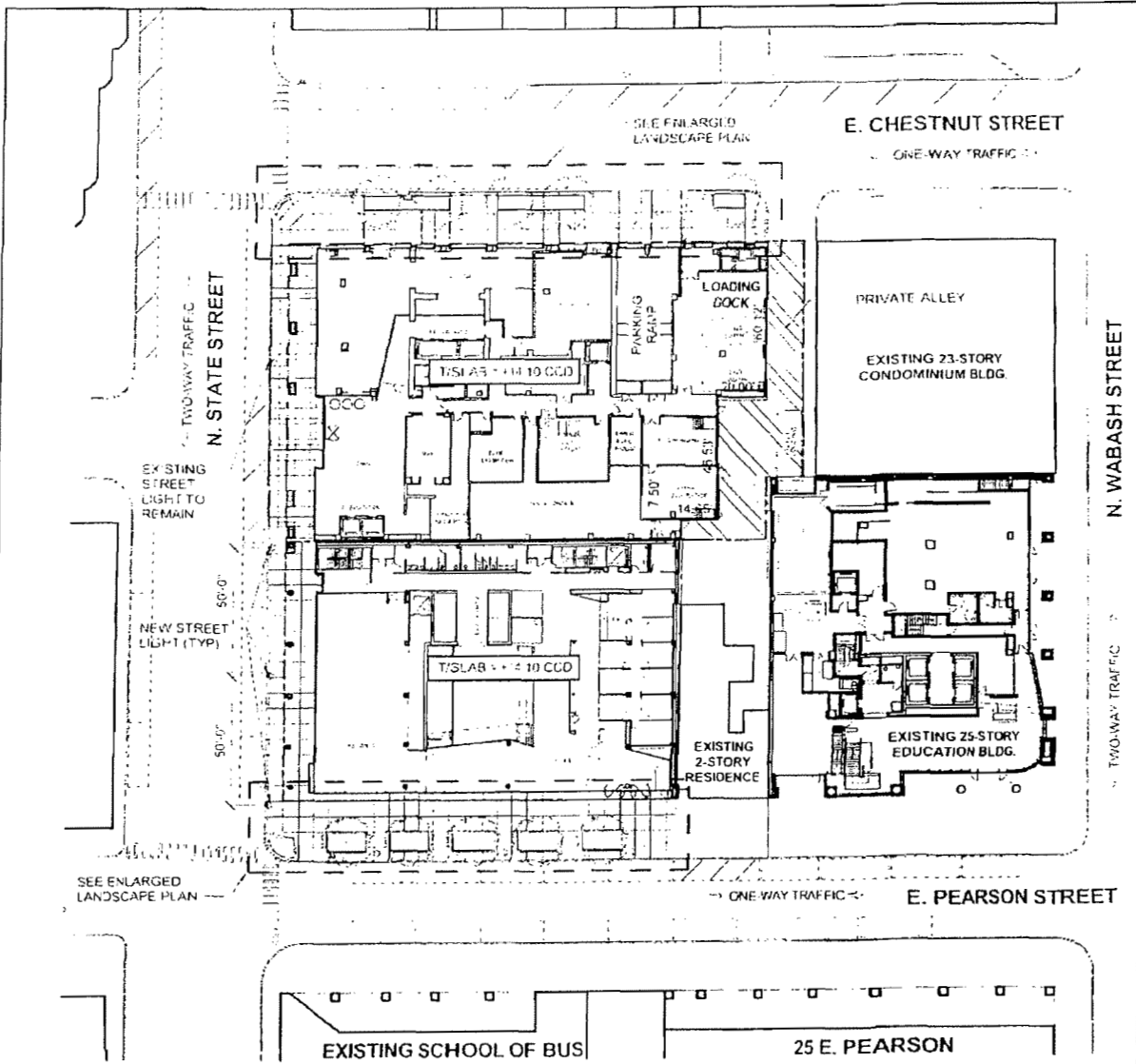
Generalized Land-Use Plan.



Site Plan.



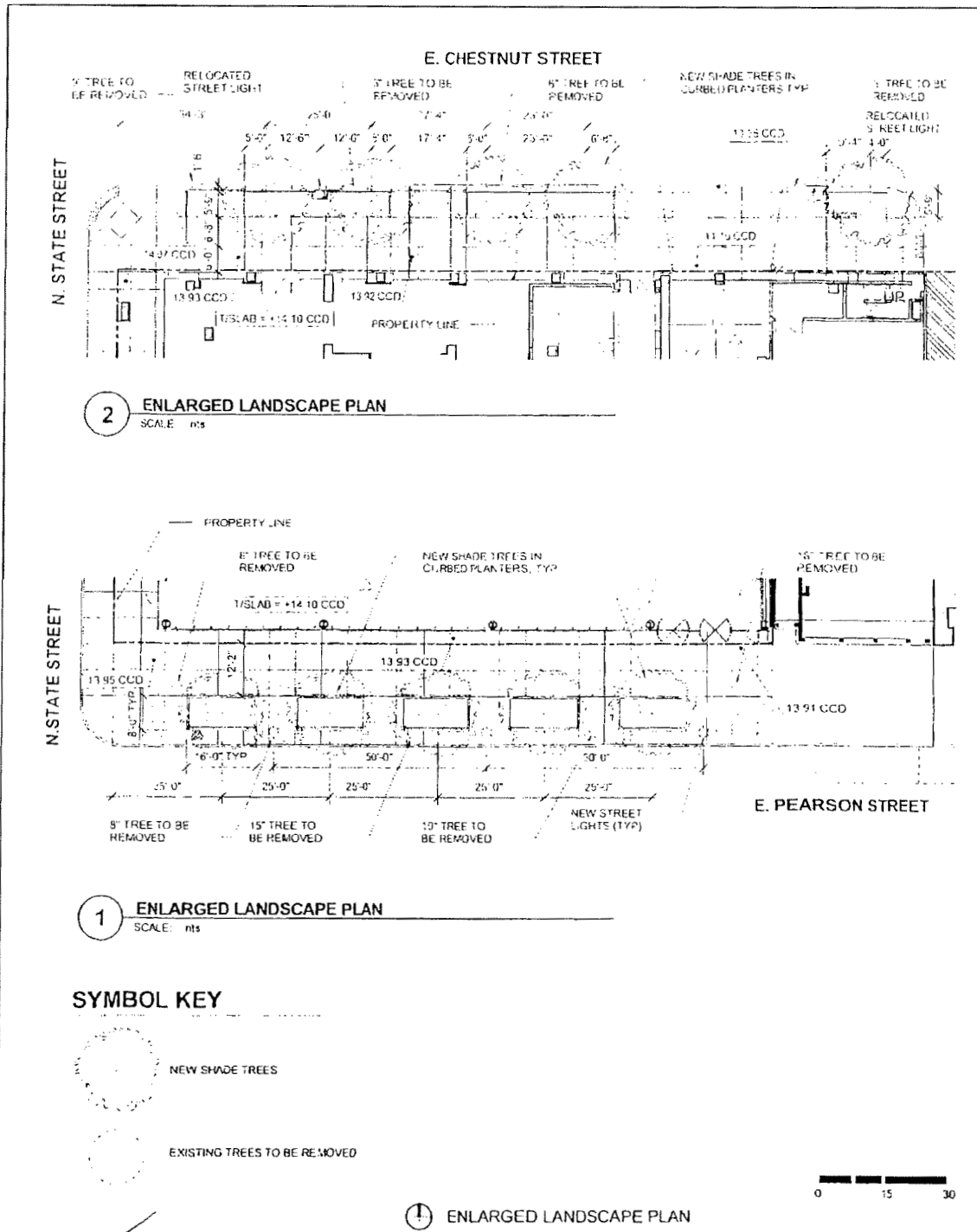
Landscape Plan.



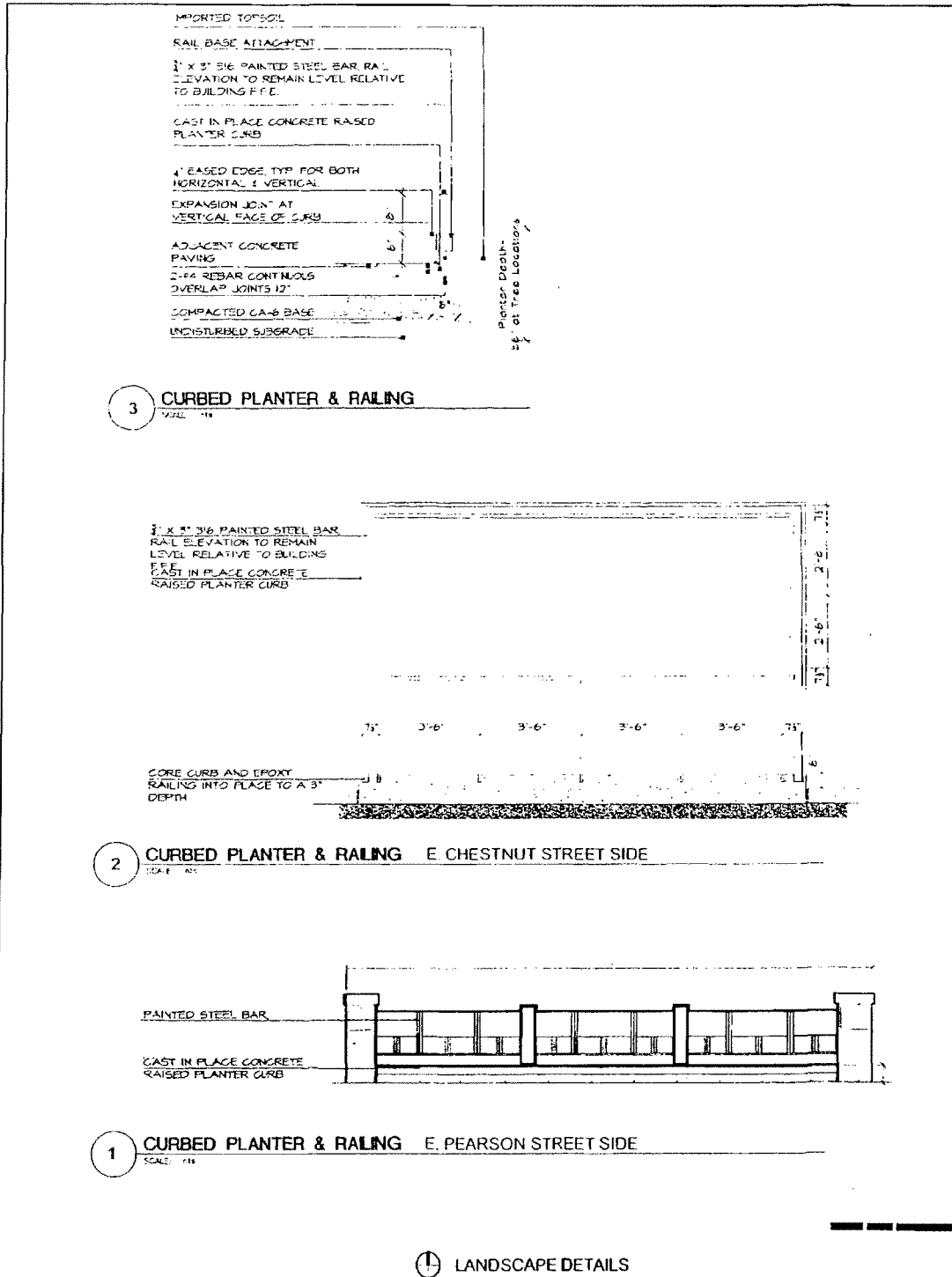
PARKWAY TREE SUMMARY		
STREET FRONTAGE	REQUIRED	PROVIDED
CHESTNUT ST	5	5
STATE ST	0*	0
PEARSON ST	5	5

Note: Sidewalk in public R.O.W. is less than 9ft wide therefore no street trees are required.

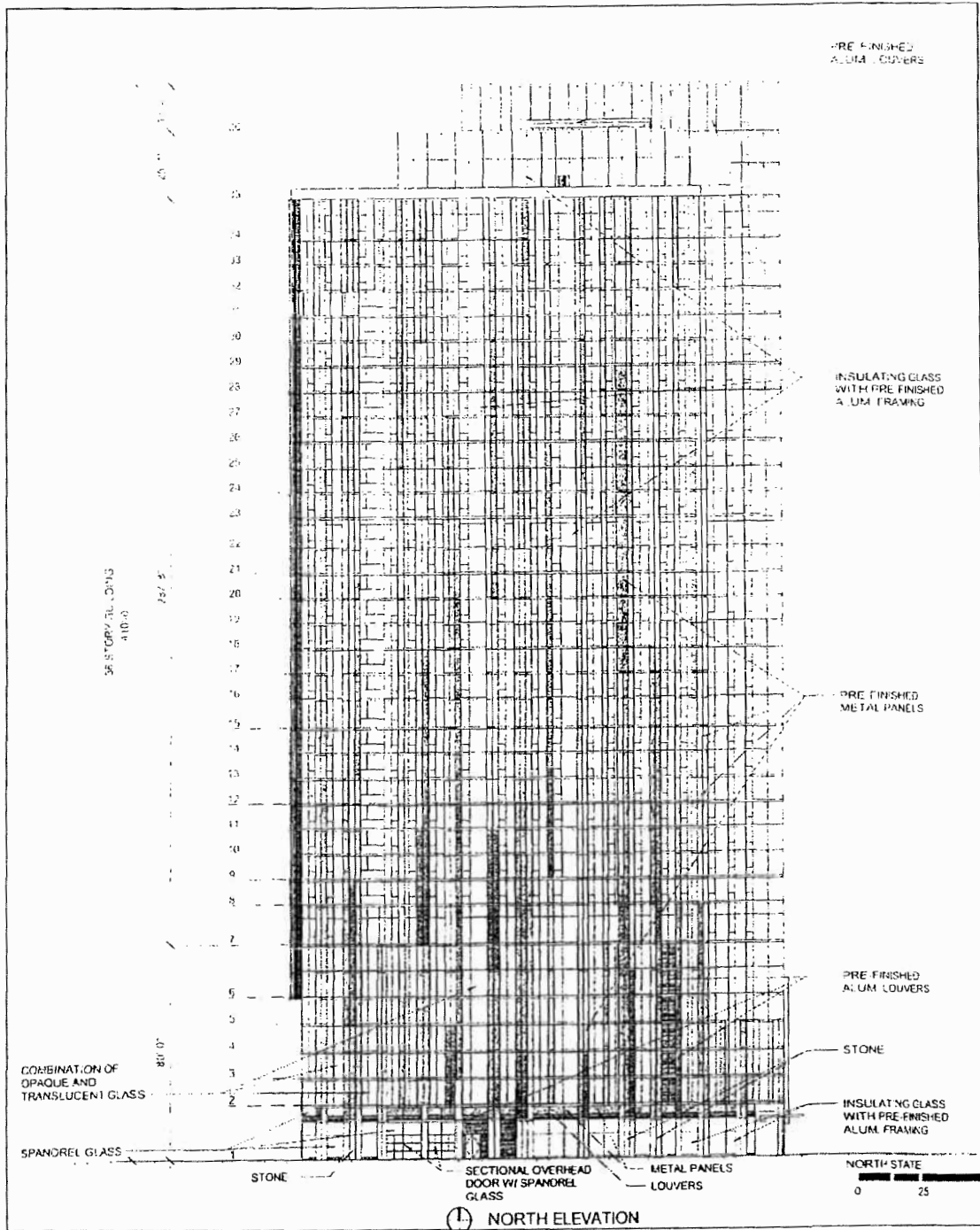
Enlarged Landscape Plan.



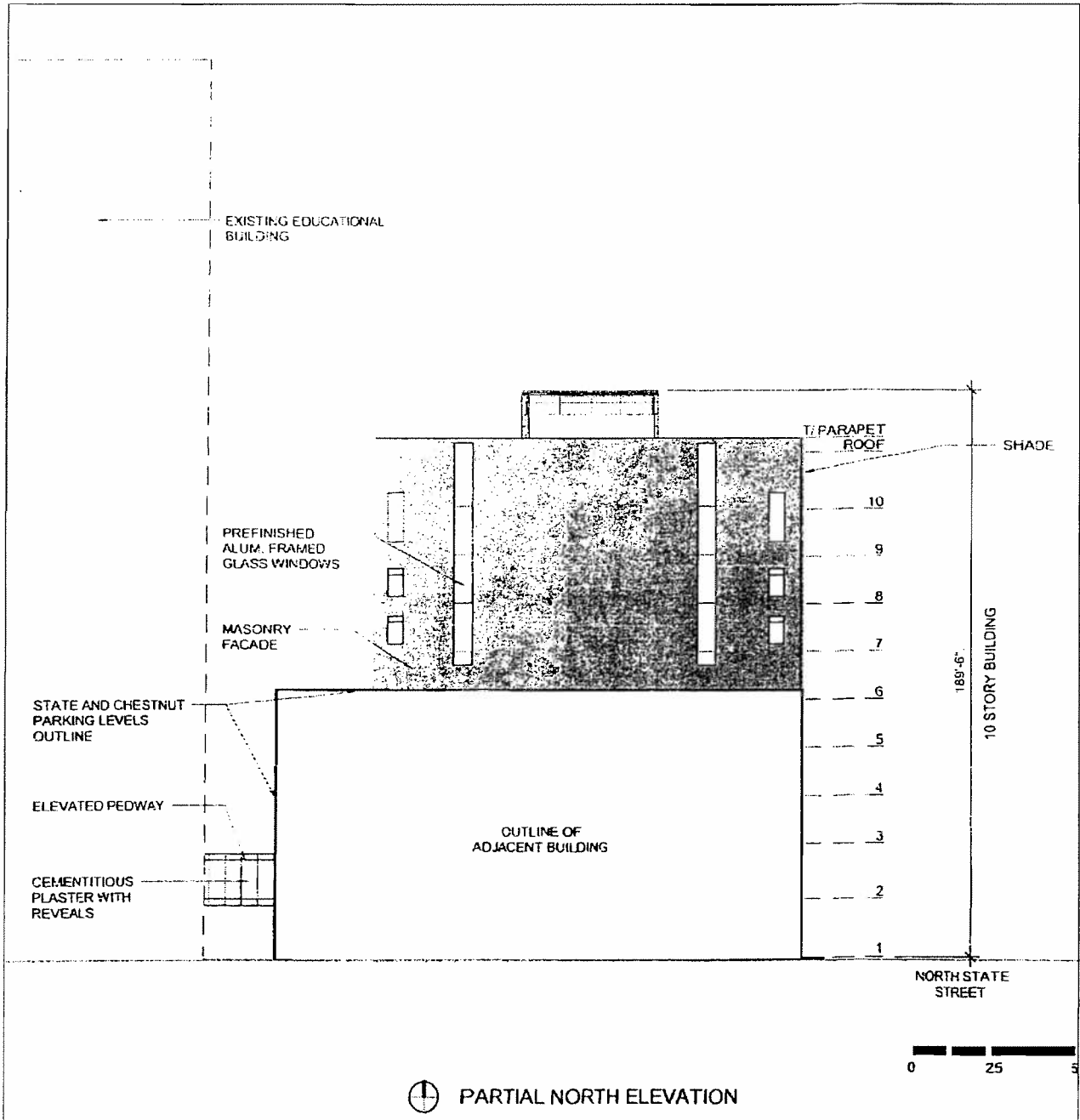
Landscape Details.



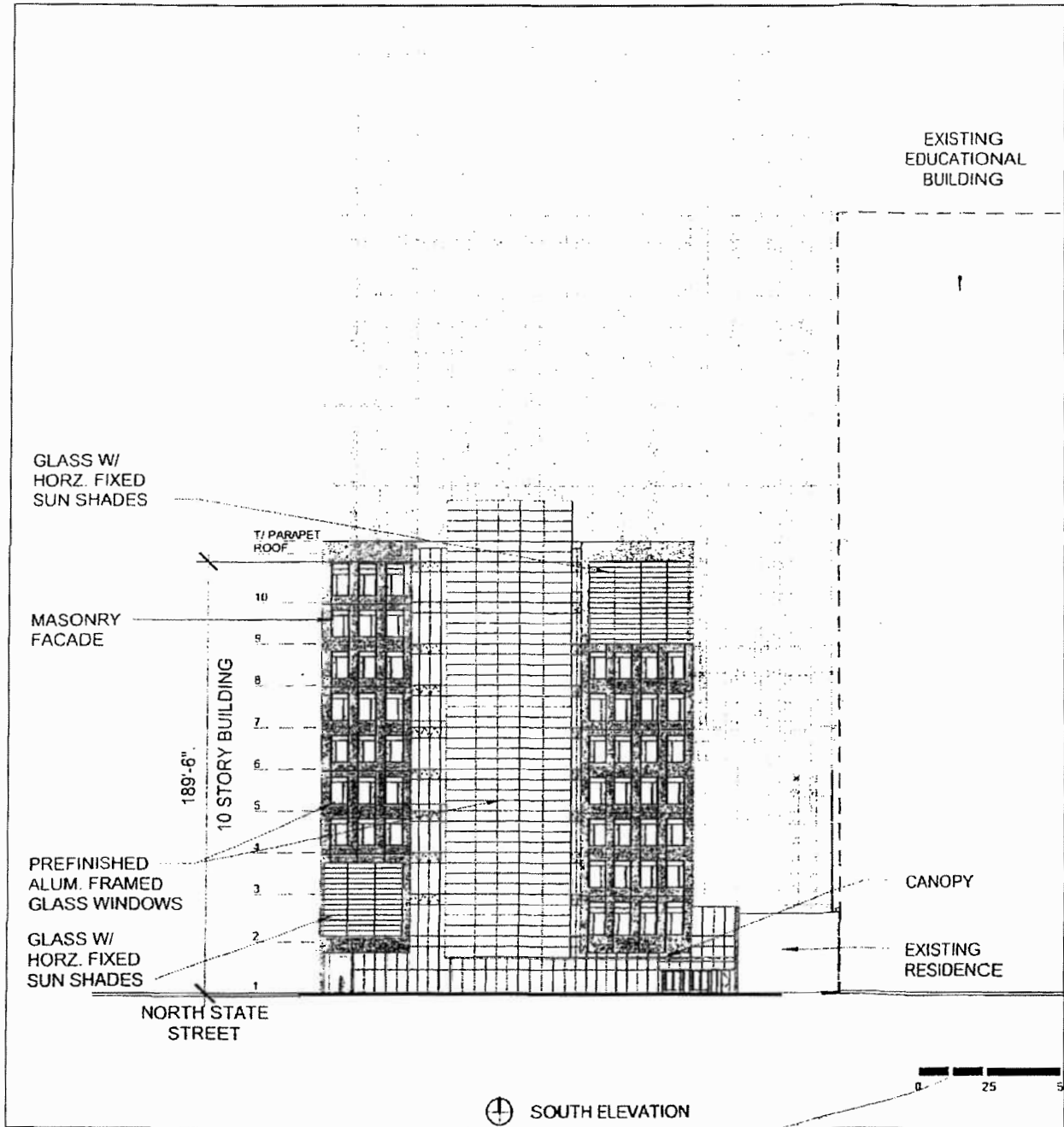
North Elevation.



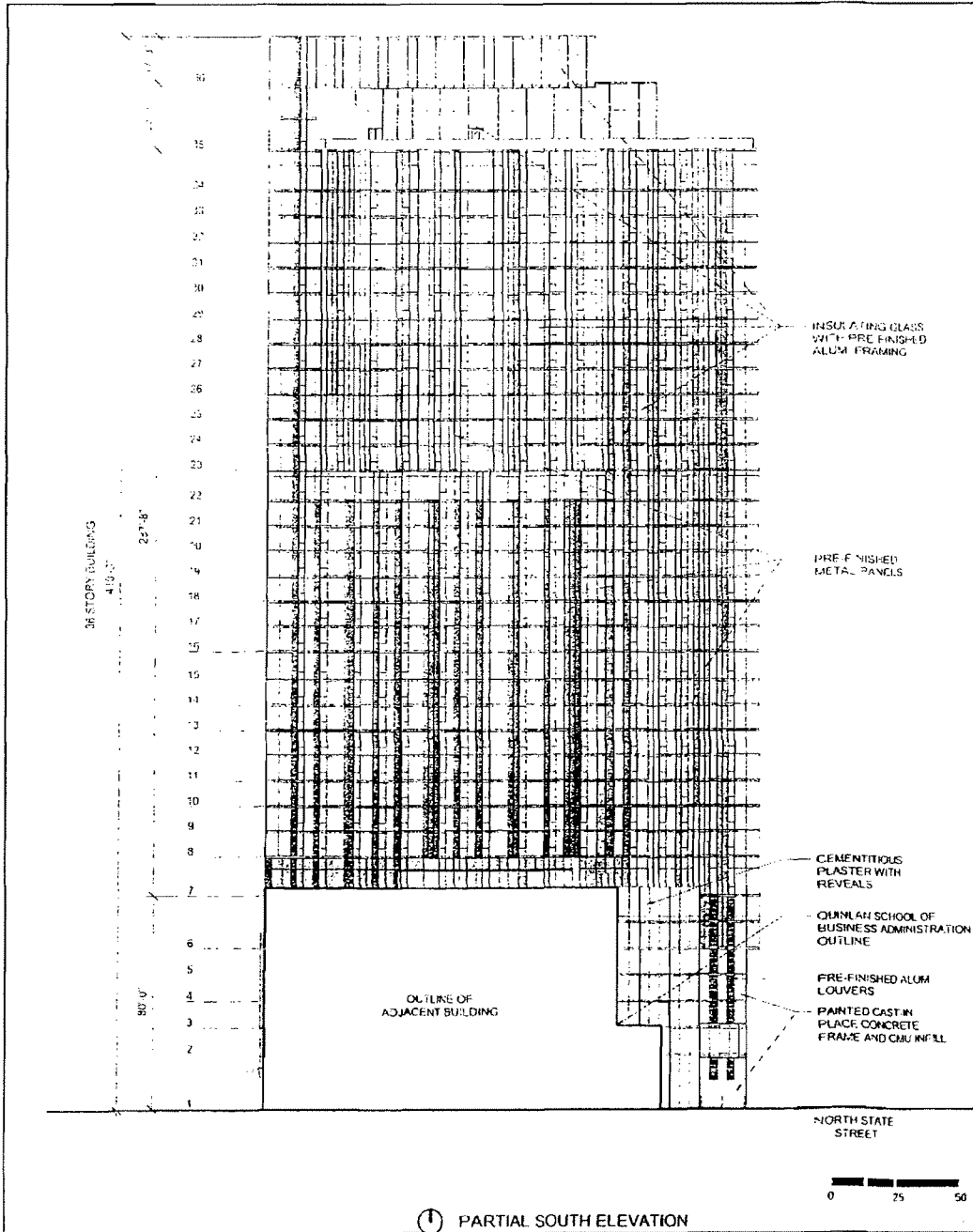
Partial North Elevation.



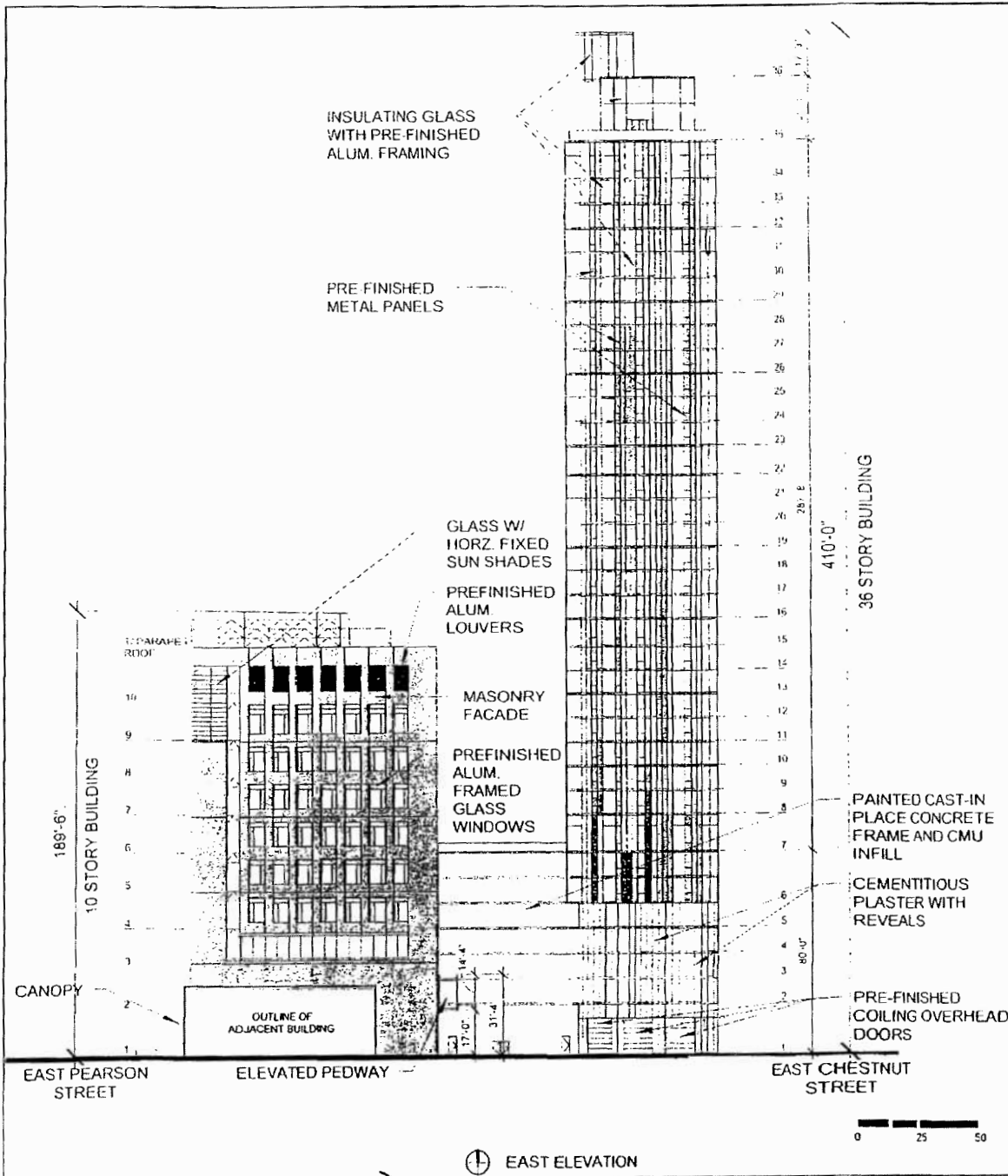
South Elevation.



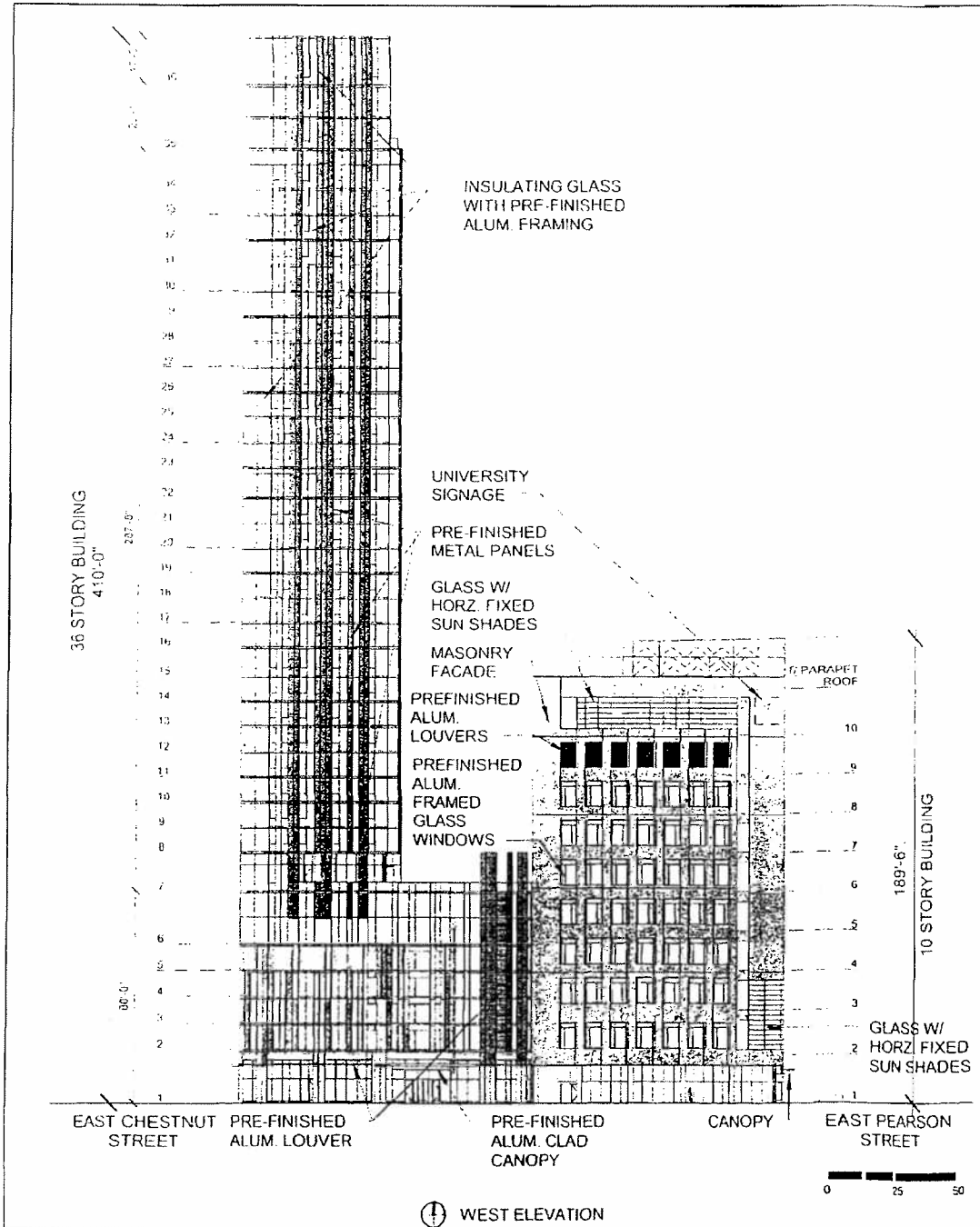
Partial South Elevation.



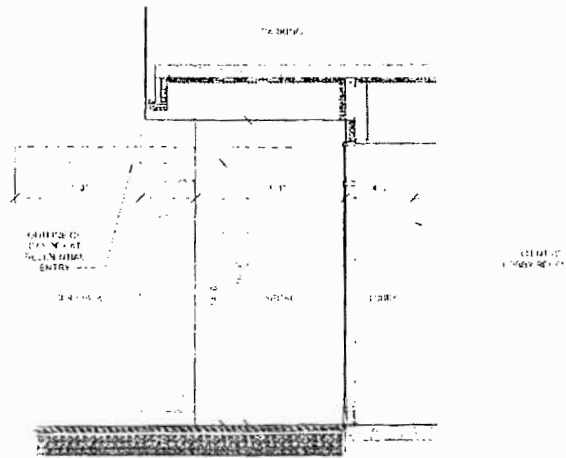
East Elevation.



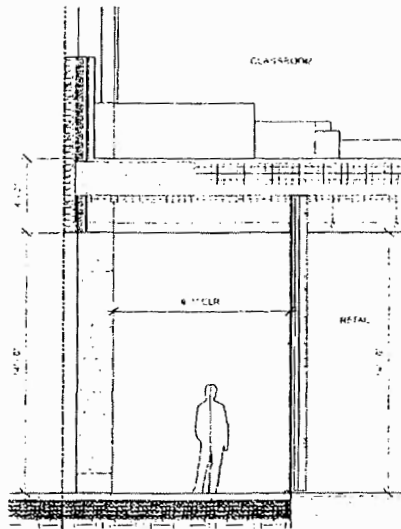
West Elevation.



Arcade Section.



ARCADE SECTION THRU STATE & CHESTNUT RESIDENTIAL BUILDING

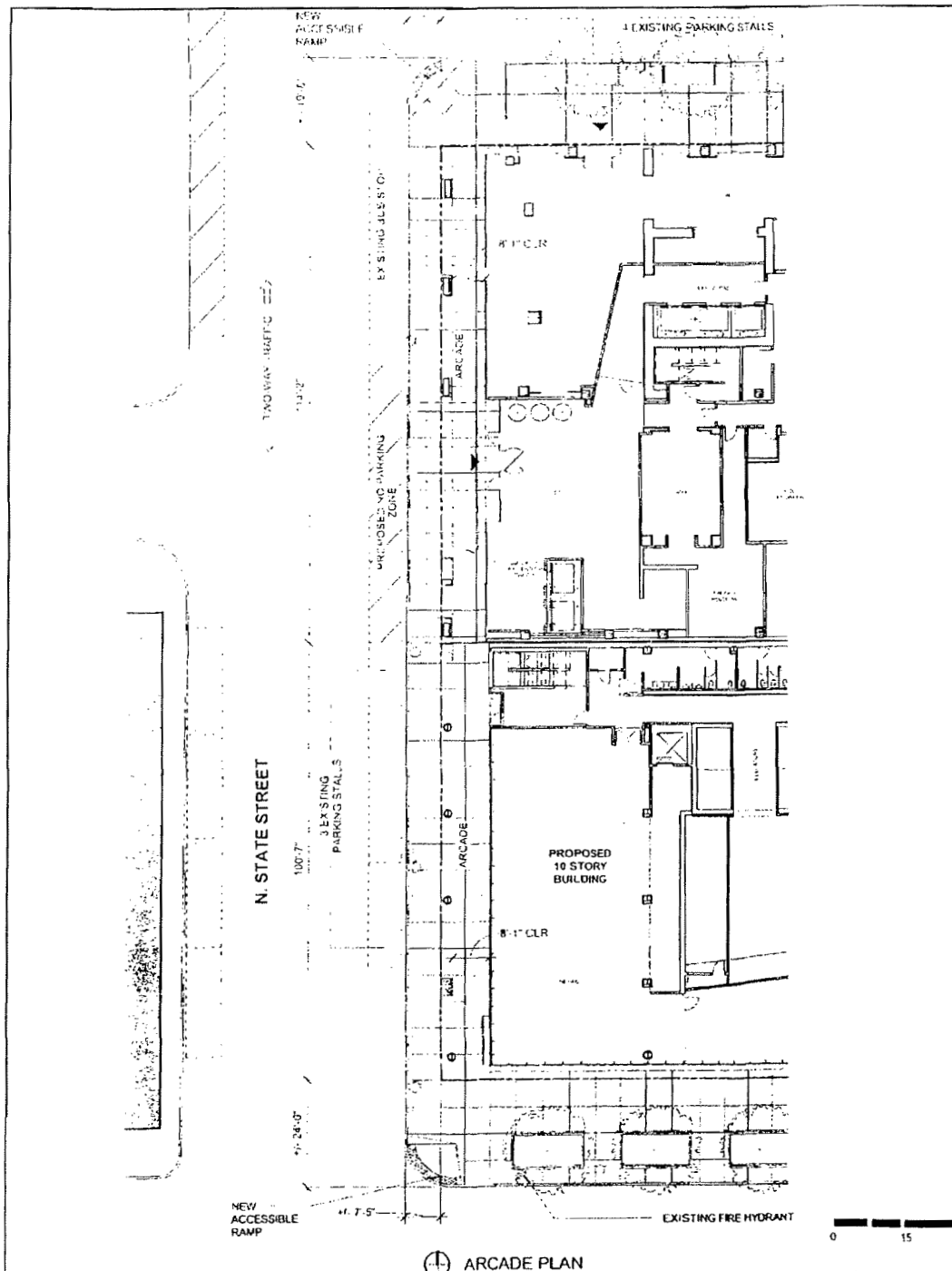


ARCADE SECTION THRU LOYOLA SCHOOL OF BUSINESS ADMINISTRATION

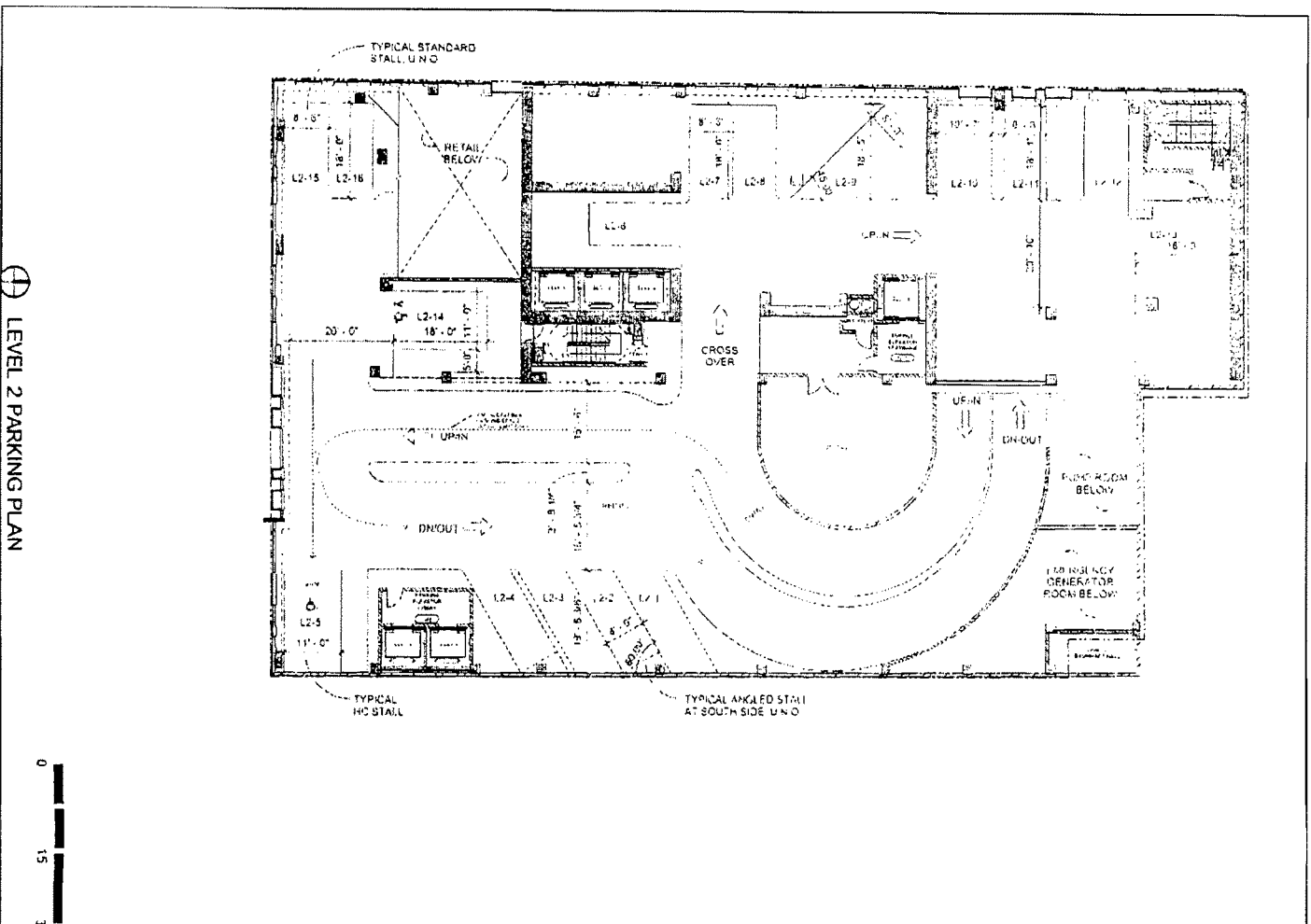
⊕ ARCADE SECTION



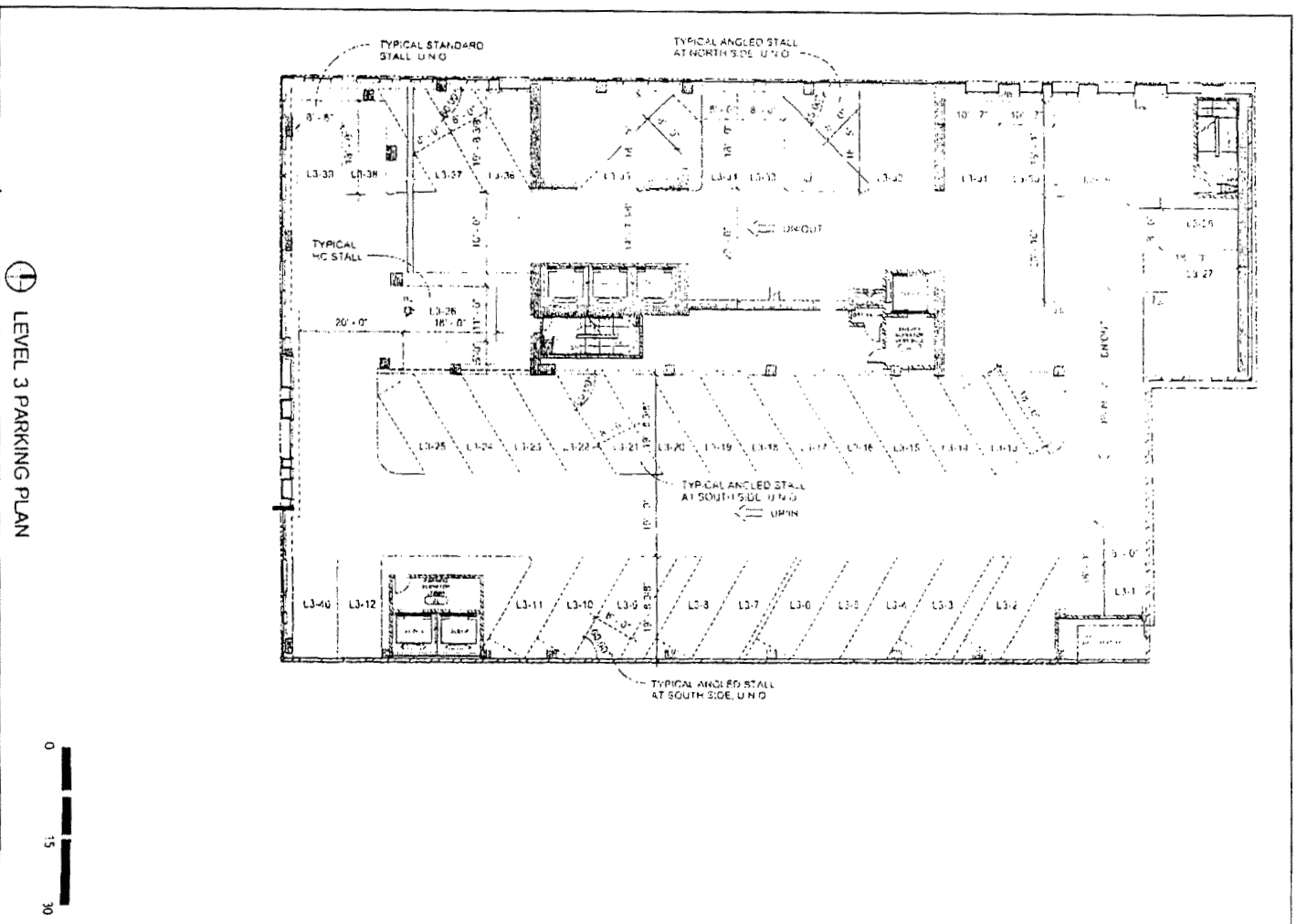
Arcade Plan.



Level 2 Parking Plan.

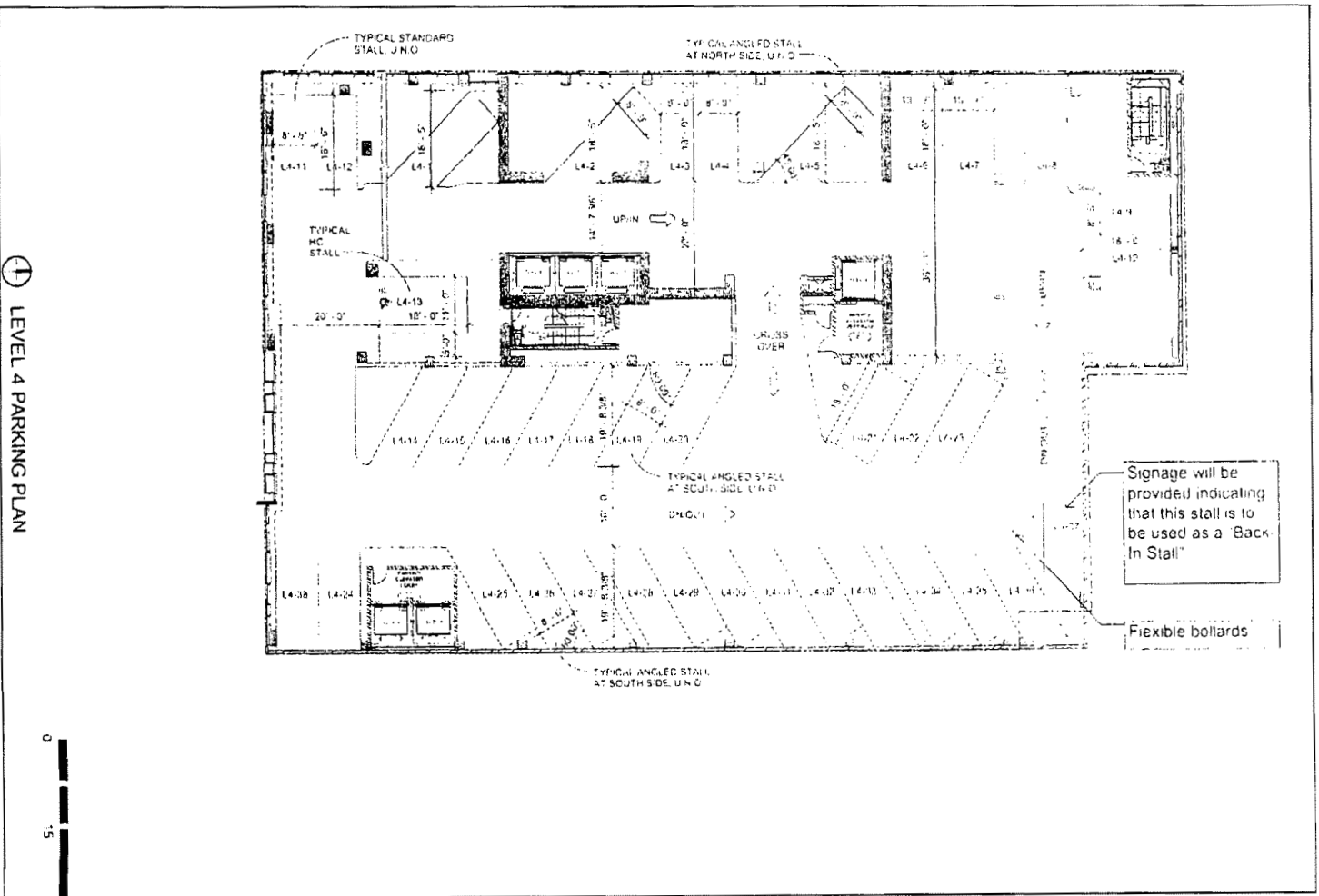


Level 3 Parking Plan.

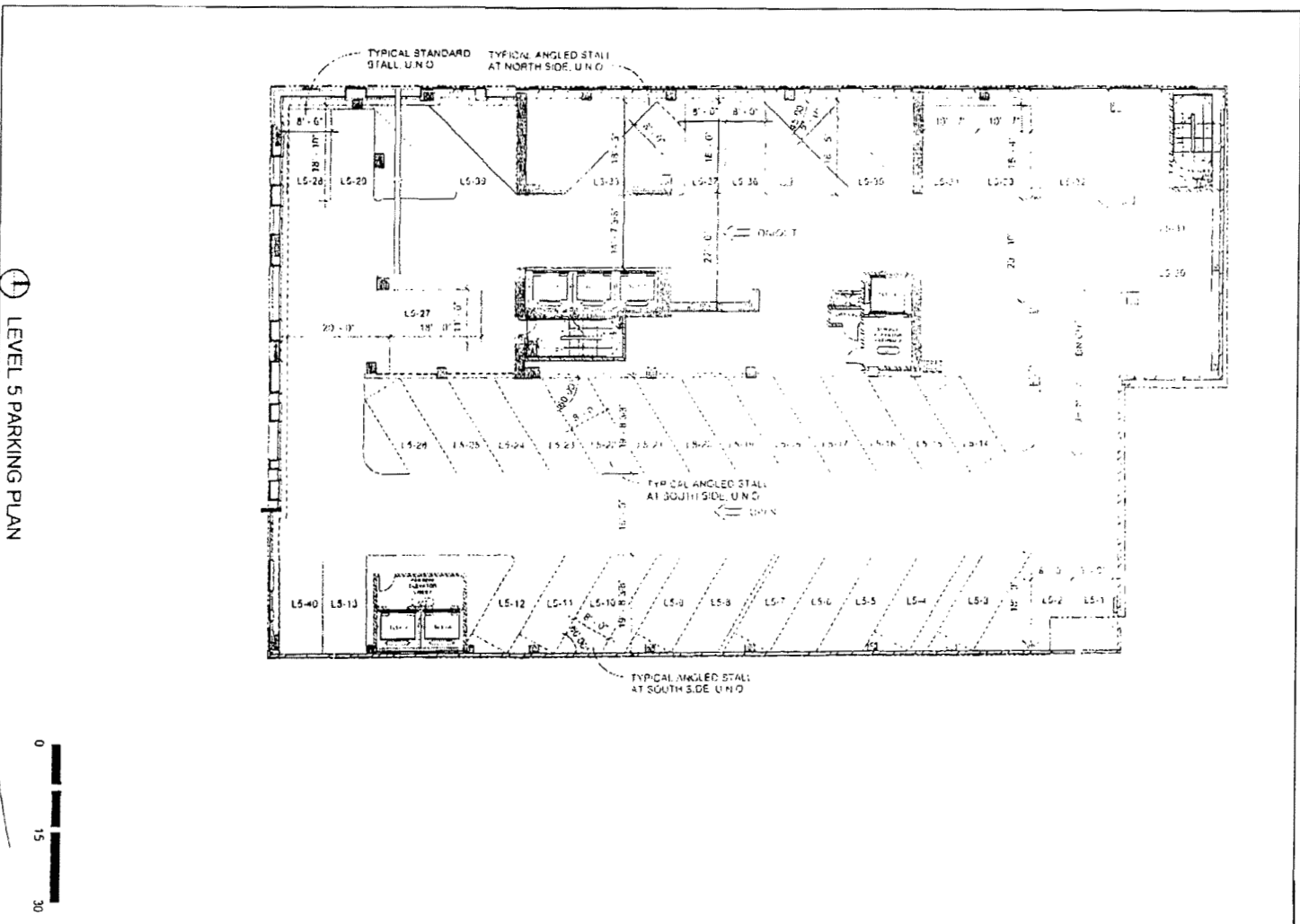


LEVEL 3 PARKING PLAN

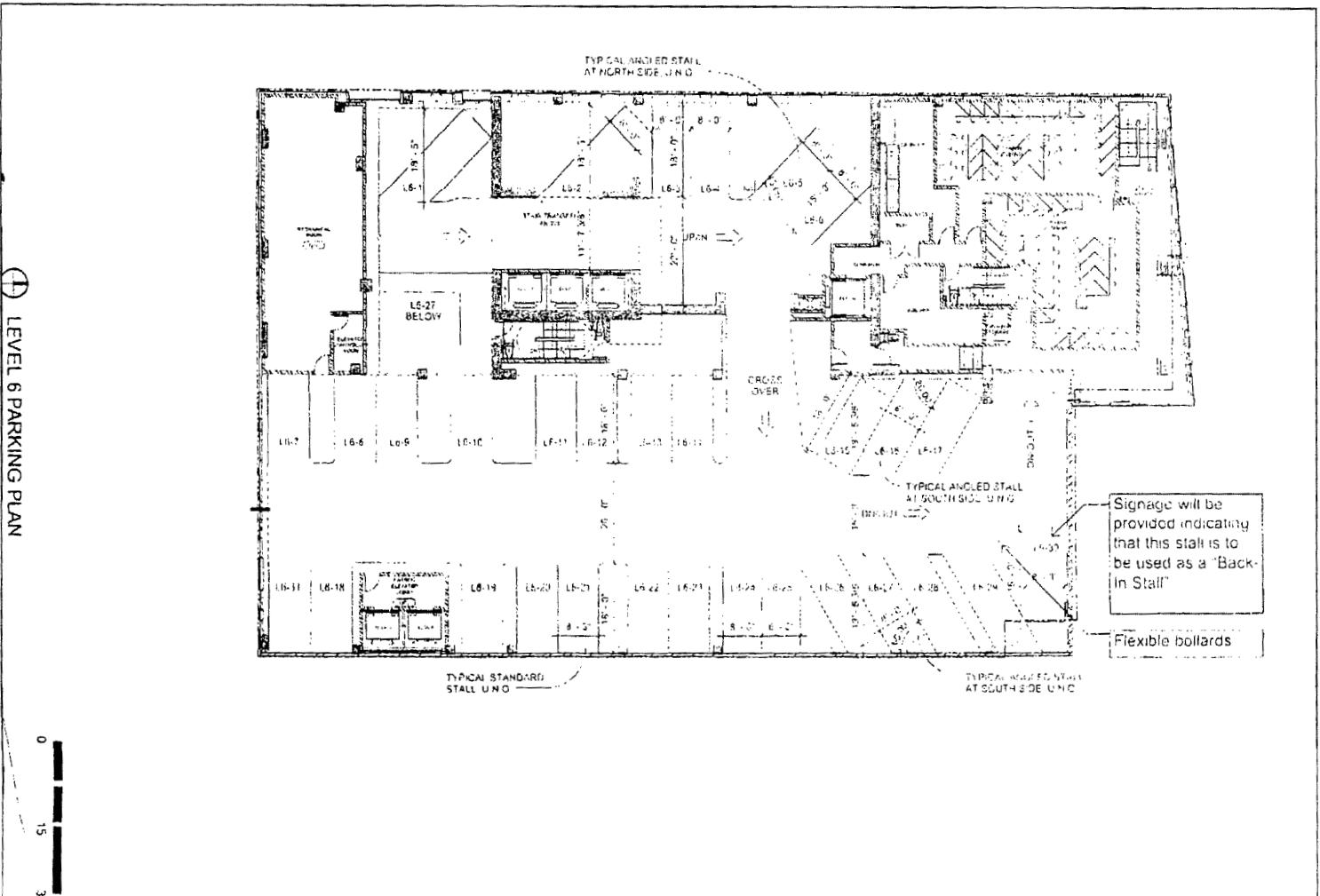
Level 4 Parking Plan



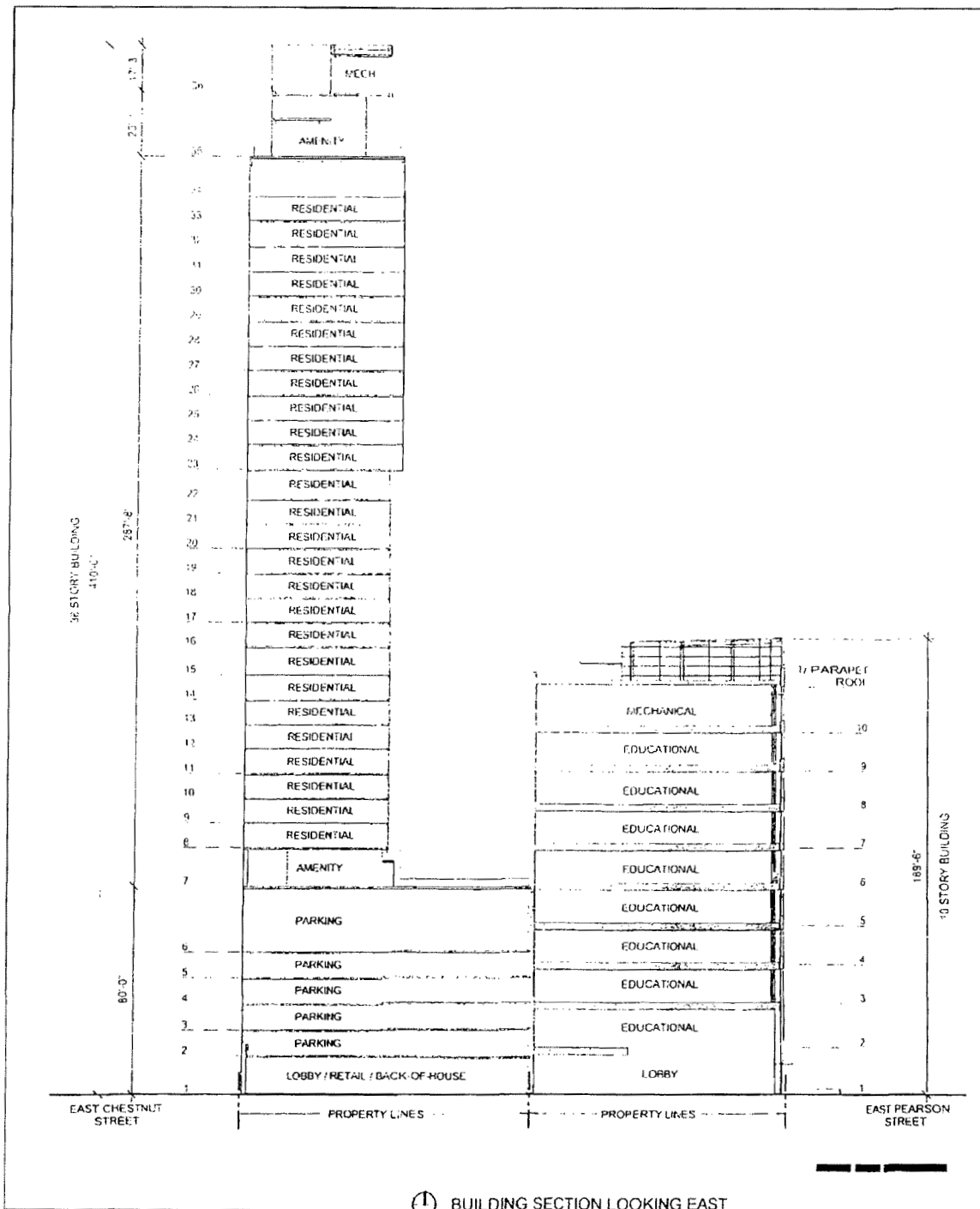
Level 5 Parking Plan.



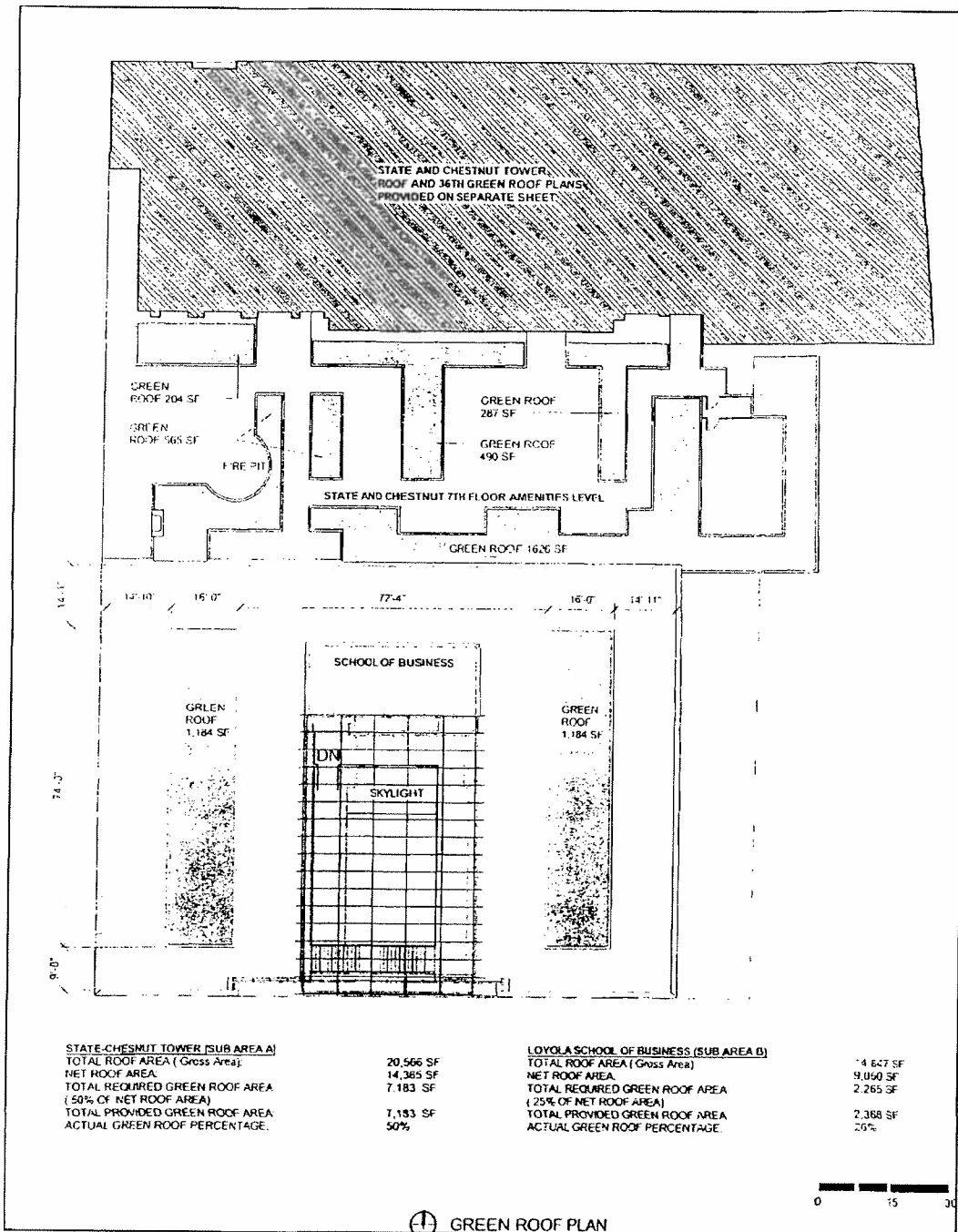
Level 6 Parking Plan



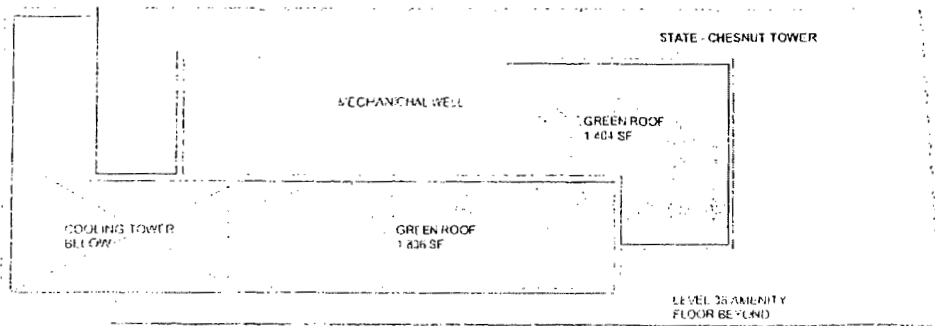
Building Section Looking East.



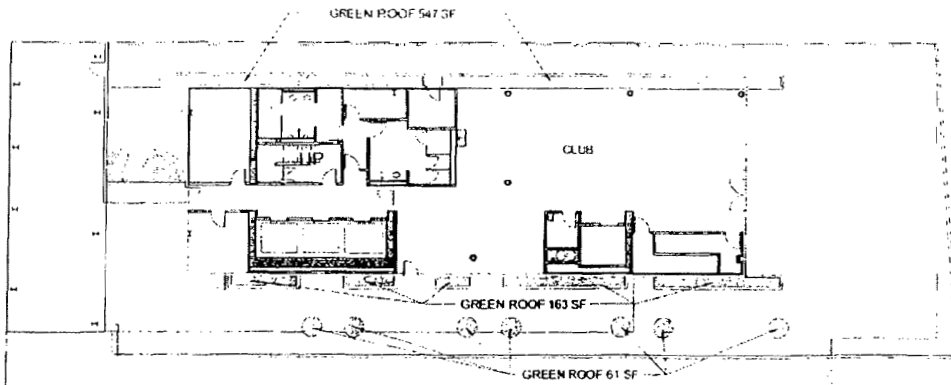
Green Roof Plan.



Detail Green Roof Plan -- Subarea A.



STATE AND CHESTNUT (SUB AREA A) GREEN ROOF PLAN



STATE AND CHESTNUT (SUB AREA A) LEVEL 36 GREEN ROOF PLAN

