

PD 1210

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17645

the public alley next north of and parallel to West Division Street; a line 128.36 feet west of and parallel to North Rockwell Street; West Division Street; and a line 228.36 feet west of and parallel to North Rockwell Street,

to those of an M1-1 Limited Manufacturing/Business Park District.

SECTION 2. This ordinance takes effect after its passage and approval.

IPD 1210

Reclassification Of Area Shown On Map No. 3-I.
(Application No. A-7871)
(Common Address: 2718 -- 2722 W. Division St.)

[O2013-413]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-1 Neighborhood Shopping District symbols and indications as shown on Map Number 3-I in the area bounded by:

the public alley next north of and parallel to West Division Street; a line 190.36 feet west of and parallel to North Washtenaw Avenue; West Division Street; and a line 240.36 feet west of and parallel to North Washtenaw Avenue,

to those of an M1-1 Limited Manufacturing/Business Park District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map No. 3-J.
(As Amended)
(Application No. 17645)
(Common Address: 3400 -- 3506 W. Division St. And
1200 -- 1216 N. Homan Ave.)

[SO2013-25]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 3-J in the area bounded by:

beginning along the easterly line of land acquired by the Chicago, Milwaukee and St. Paul Railroad Company (by deed dated June 14, 1912 and recorded September 3, 1913 per Document Number 5256488); a line from a point 475.44 feet northwesterly of West Division Street and the prior described line to a point 300 feet north of West Division Street and 716.65 feet west of North Homan Avenue (said line being a convex curved line running in a southeasterly direction along said arc of a circle having a radius of 478.34 feet and a distance of 290.95 feet from the easterly line of land acquired by the Chicago, Milwaukee and St. Paul Railroad Company); a line 300 feet north of and parallel to West Division Street; North Homan Avenue; and West Division Street, as measured running to the west along the north right-of-way line a distance of 715.80 feet from North Homan Avenue (ToB),

to those of a C3-1 Commercial, Manufacturing and Employment District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the C3-1 Commercial, Manufacturing and Employment District symbols and indications within the area hereinabove described to the designation of Institutional Planned Development Number 1210, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTIONS. 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 1210

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 1210 (the "Planned Development") consists of approximately two hundred fifty-two thousand two hundred seventeen (252,217) square feet (5.79 acres) of property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and is owned or controlled by the applicant, New Life Covenant Ministries, an Illinois not-for-profit corporation.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets, alleys or easements or any adjustment of the right-of-way shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Designated control for the purpose of this paragraph shall mean that any application to the City for any amendments to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the owners of the Property and any ground lessors. An agreement among property owners, the board of directors of any property owners association, or a covenant binding property owner, may designate the authorized party for any future amendment, modification or change.
4. This plan of development consists of seventeen (17) statements: a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map, an Existing Land-Use Map, Site Plan, Master Plan and Landscape Plan and Building Elevations prepared by BLDD Architects, Inc., and dated February 21, 2013, submitted herein. Full sized copies of the Site Plan, Master Plan and Landscape Plan and Building Elevations are on file with the Department of Housing and Economic Development ("DHED"). These and no other zoning controls shall apply to the Property. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall apply. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereto and satisfies the established criteria for approval as a Planned Development.
5. The following uses are allowed in the area delineated herein as an Institutional Planned Development: religious assembly with 1,505 seat auditorium with service uses, recreational uses with related and accessory uses and off-street parking and loading.
6. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department of Housing and Economic Development ("DHED"). Off-premises signs are prohibited within the boundary of this Planned Development.
7. Off-street parking and loading facilities shall be provided in compliance with this Planned Development subject to the review of the Department of Transportation and the approval of the Department of Housing and Economic Development ("DHED").
8. Ingress or egress shall be subject to the review and approval by the Department of Transportation (CDOT) and the Department of Housing and Economic Development (DHED). Closure of all or any public street or alley during demolition or construction

shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

9. The height of any building or any appurtenance attached shall not exceed the height established in the Bulk Regulations and Data Table and Building Elevations and shall also be subject to height limitations established by the Federal Aviation Administration (FAA).
10. The maximum permitted floor area ratio (FAR) for the parcel shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of floor area ratio calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
11. The City of Chicago established a Part II Review Fee in the Amount of \$ 0.25 per square foot for the total buildable square feet (floor area ratio). The Part II Review Fee is assessed by DHED during the actual Part II Review. The fee as determined by DHED staff at that time is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
12. The improvements on the Property, including the on-site exterior landscaping and the landscaping along the adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan/Landscape Plan. In addition, parkway trees shall be installed and maintained in accordance with the parkway tree planting provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
13. The terms, conditions and exhibits this the Planned Development ordinance may be modified administratively by the Commissioner of the Department of Housing and Economic Development upon the application for such a modification by the applicant or its successors or assigns and a determination by the Commissioner of the Department of Housing and Economic Development that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any modification of the requirements of the Planned Development by the Commissioner of Housing and Economic Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the

Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be issued by the Department of Buildings until the Director of MOPD has approved detailed construction drawings for the building or improvement proposed.

15. The applicant will comply with Rules and Regulations for the Maintenance of Stockpiles Promulgated by the Commissioner of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings pursuant to Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
16. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. All development shall be in substantial compliance with the current City of Chicago Sustainable Development policy set forth by the DHED. The proposed worship building shall provide a vegetated ("green") roof totaling a minimum of 22 percent of the net roof area or 6,200 square feet and obtain a LEED's certification.
17. Unless substantial construction of any improvements as contemplated by this Planned Development amendment has commenced within six years following adoption of this Planned Development, and unless completion thereof is diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to its prior M1-2 Limited Manufacturing/Business Park District. This six-year period may be extended for up to one additional year if, before expiration of the six-year period, the Commissioner of Housing and Economic Development determines that good cause for an extension is shown.

[Planned Development Boundary Map; Existing Zoning Map; Overall Architectural Site Plan; Enlarged East Site Plan; Enlarged West Site Plan; Landscape General Notes and Legend; Enlarged East Landscape Plan; Enlarged West Landscape Plan; First Floor Plan; North and East Elevations; and South and West Elevations referred to in these plan of Development Statements printed on pages 49214 through 49224 of this *Journal*.]

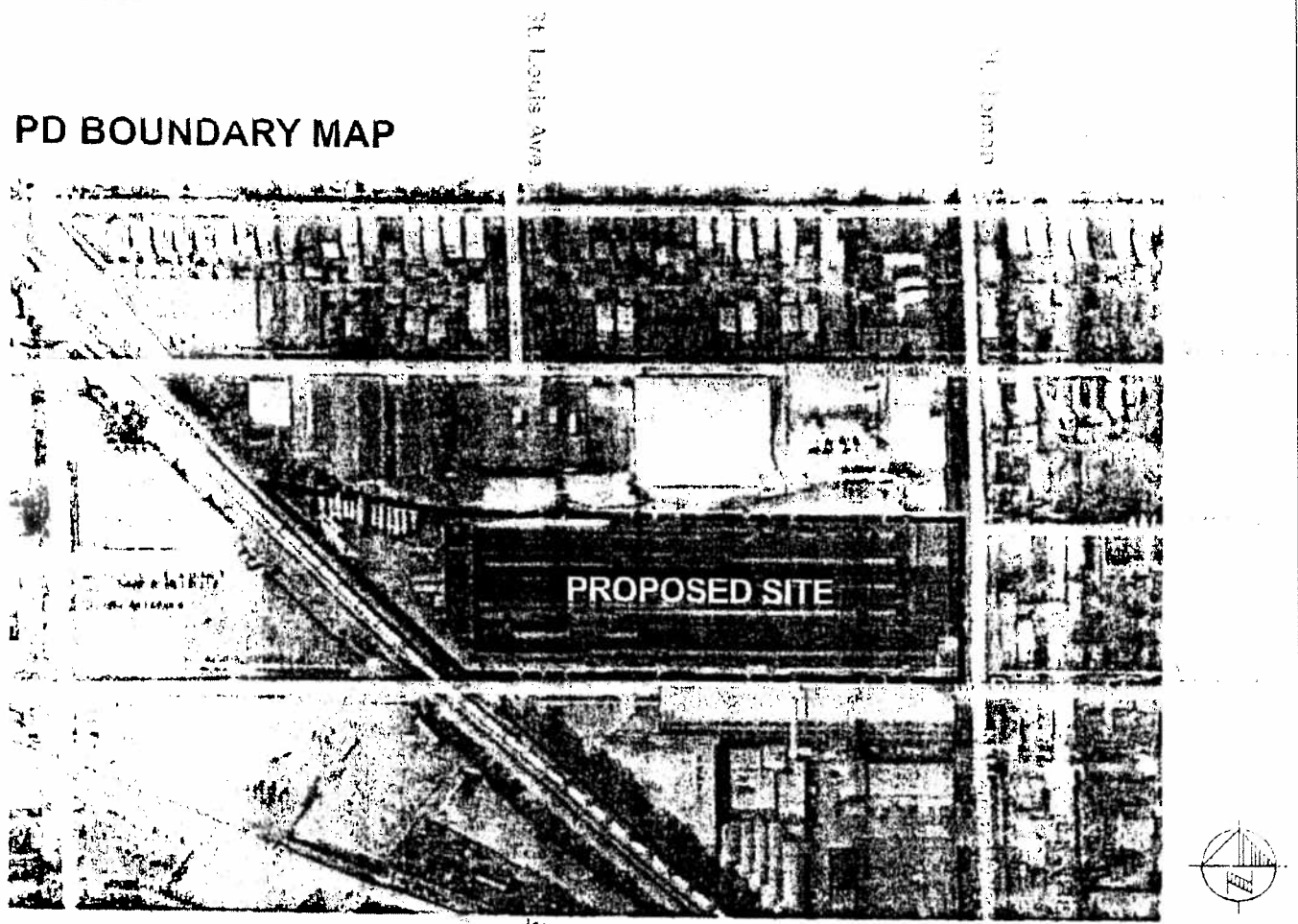
Bulk Regulations and Data Tables referred to in these Plan of Development Statements reads as follows:

*Institutional Planned Development No. 1210.**Bulk Regulations And Data Table.*

Gross Site Area:	299,557 square feet (6.88 acres)
Area in Public Right-of-Way:	47,340 square feet (1.09 acres)
Net Site Area:	252,217 square feet (5.79 acres)
Permitted Floor Area Ratio:	0.15
Permitted Uses:	Religious assembly use including a 1,505 seat auditorium, service uses, institutional uses with accessory and related uses
Minimum Number of Accessory Off-Street Parking Spaces:	188 parking spaces as required by (Section 17-10-0207-I Parking Group I)
Minimum Number of Bicycle Parking Spaces:	One per 10 auto spaces (19 spaces)
Minimum Off-Street Loading Spaces:	One space at 10 feet by 25 feet as required by Section 17-10-1101 of the CZO
Setbacks from Property Line:	In substantial compliance with the attached Site Plan
Maximum Percentage of Site Coverage:	In substantial compliance with the attached Site Plan
Maximum Building Height:	38 feet to top of parapet wall
Setbacks from Property Lines:	In substantial compliance with the attached Site Plan

Planned Development Boundary Map.

PD BOUNDARY MAP



26th Street

27th Street

PROPOSED SITE

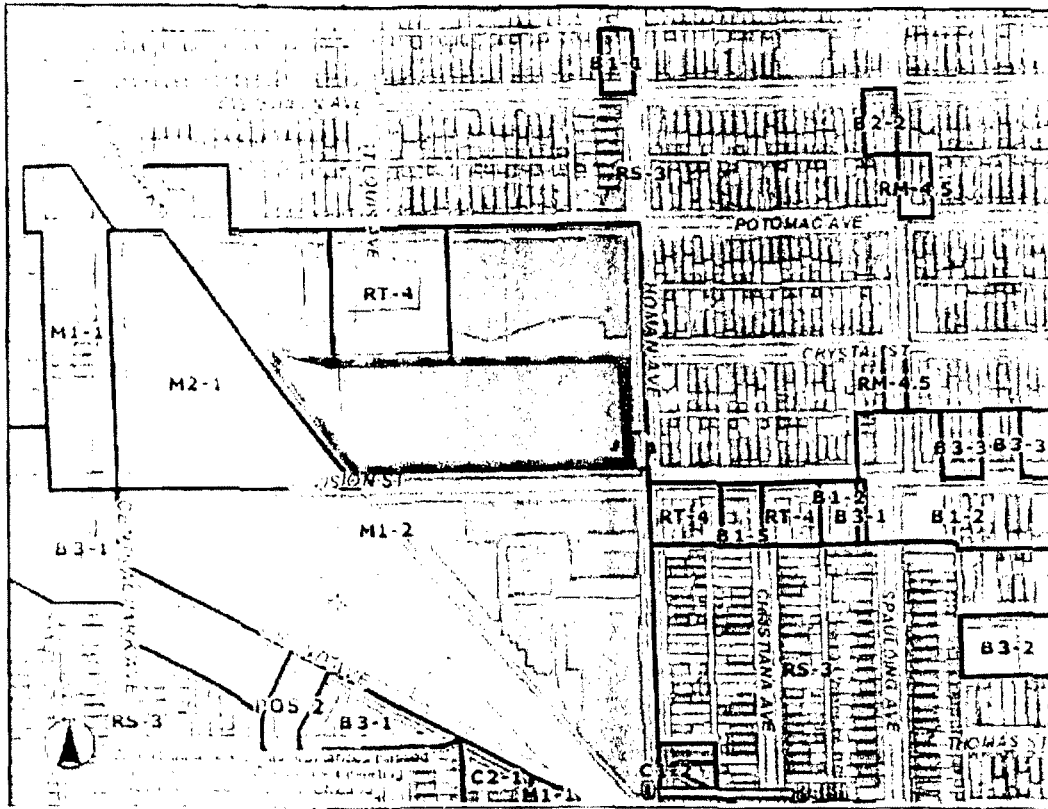
W. Grand Ave.



New Life Covenant Church, an Illinois not for profit Corporation
 3400-3506 West Division Street, 1200-16 North Homan Avenue
 Intro Date: January 17, 2013 CPC Date: February 21, 2013

Existing Zoning Map

EXISTING ZONING MAP



New Life Covenant Church Planned Development

LOCATION:
NORTHWEST CORNER OF
DIVISION AND HOMAN
(3400-3506 W. DIVISION ST.)
(1200-1216 N. HOMAN)

FUTURE ADDRESS:
3400 W. DIVISION
CHICAGO, IL 60651

LEGEND

- PD Boundary
- Zoning Boundaries
- M Manufacturing
- R Residential
- B Business
- POS Parks and Open Space



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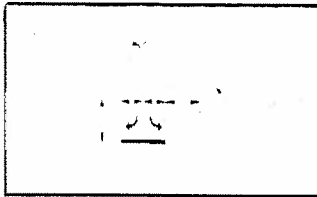
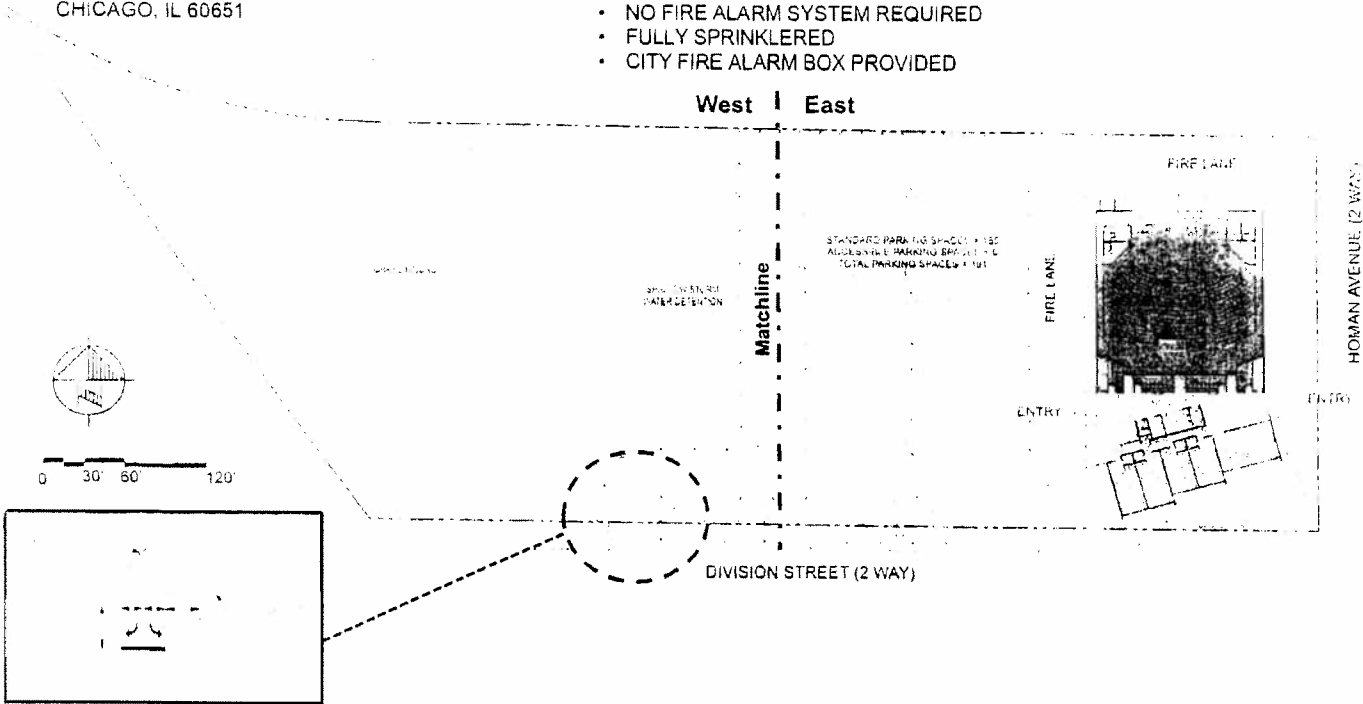
OVERALL ARCHITECTURAL SITE PLAN

LOCATION:
 NORTHWEST CORNER OF DIVISION & HOMAN
 (3400-3506 W. DIVISION ST.)
 (1200-1216 N. HOMAN)

FUTURE ADDRESS:
 3400 W. DIVISION
 CHICAGO, IL 60651

- BUILDING INFO:**
- NEW CONSTRUCTION
 - CLASS C-1, LARGE ASSEMBLY
 - TYPE 1B
 - 1 STORY, 38'-0"
 - 27,705 SF
 - > 1,000 OCCUPANTS
 - NO FIRE ALARM SYSTEM REQUIRED
 - FULLY SPRINKLERED
 - CITY FIRE ALARM BOX PROVIDED

TOTAL PARKING:
 STANDARD PARKING SPACES = 185
 ACCESSIBLE PARKING SPACES = 6
 TOTAL PARKING = 191 SPACES

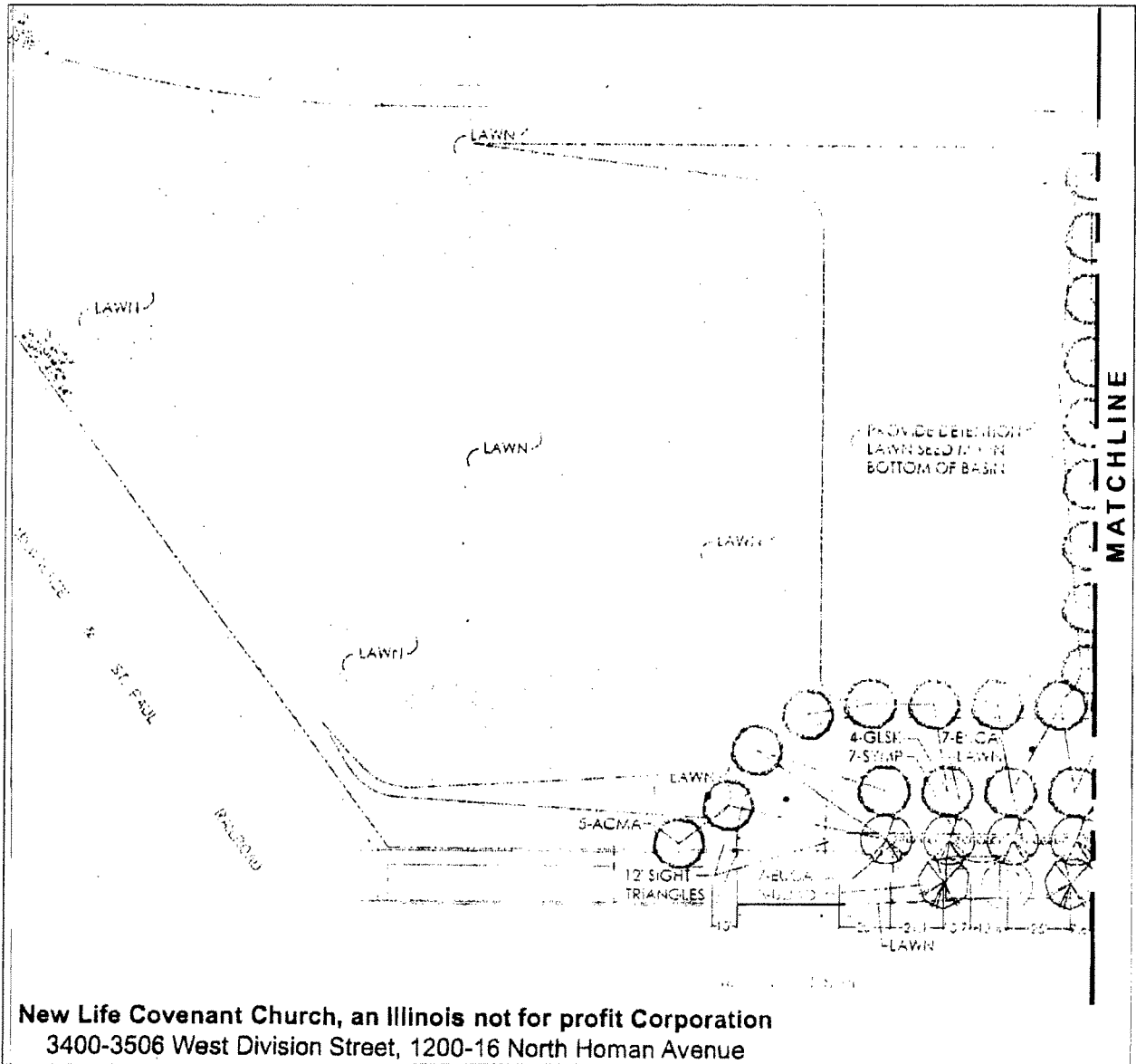


Enlarged Main Entry at Division St.

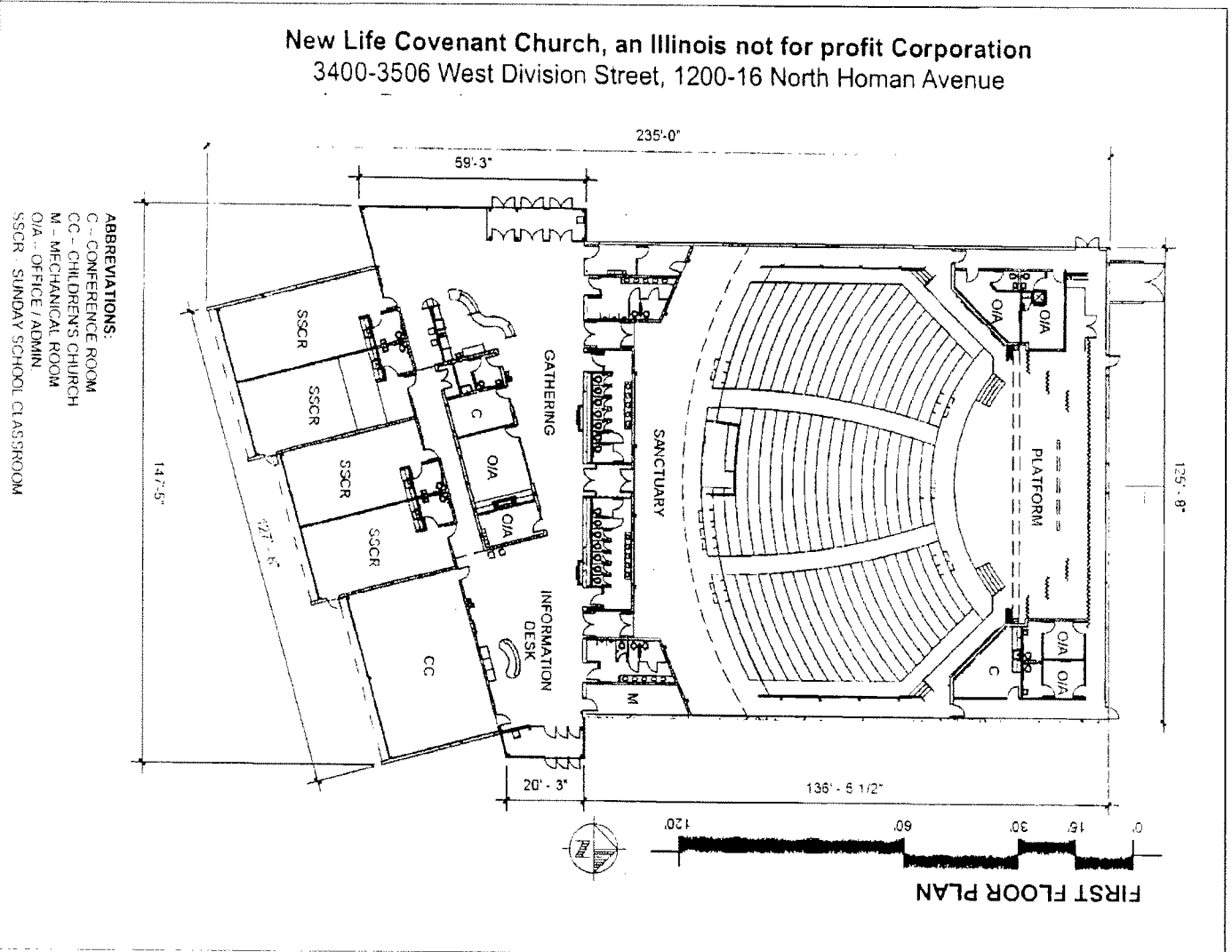
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 3400-3506 West Division Street, 1200-16 North Homan Avenue
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Overall Architectural Site Plan.

Enlarged West Landscape Plan.



First Floor Plan.



NORTH AND EAST ELEVATIONS

STRUCTURAL PRECAST PANELS
2" REVEAL

RTU BEYOND

RTU BEYOND

PRECAST PATTERN, TBD

ROOF, TYP

STOREFRONT GLAZING
SYSTEM WITH TINTED
BLUE AND GREEN
GLASS PATTERN

NORTH ELEVATION

SCULPTURAL WALL-MOUNTED CROSS
WALL-MOUNTED SUPPORTS

Potential Future Signage, Typ.

STOREFRONT GLAZING
SYSTEM WITH TINTED
BLUE AND GREEN
GLASS PATTERN

ROOF
SPANDREL

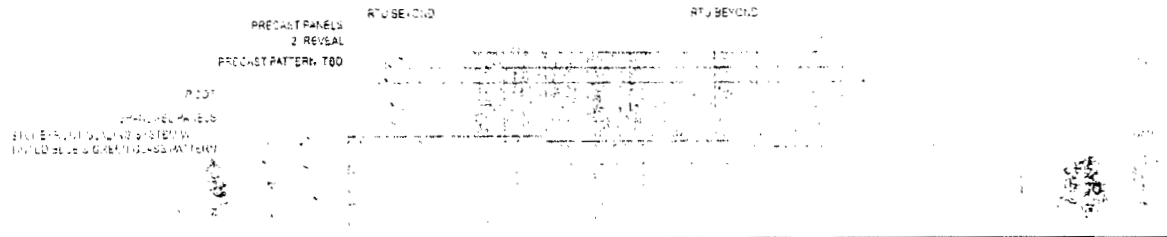
UNSHADED

EAST ELEVATION

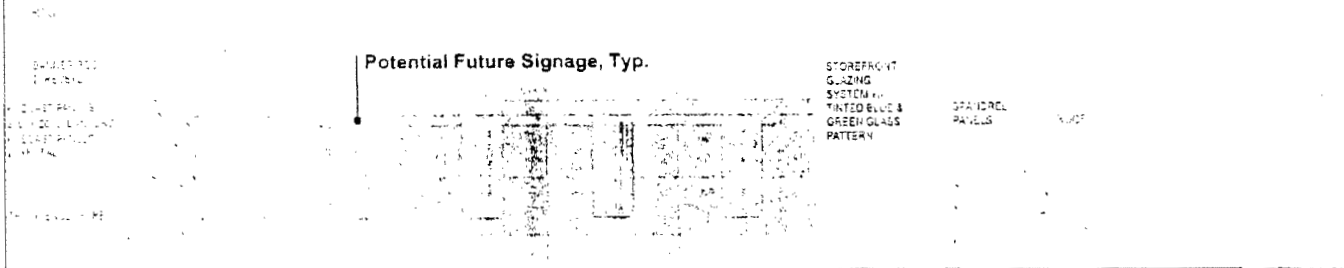
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South And West Elevations.

SOUTH AND WEST ELEVATIONS



SOUTH ELEVATION



WEST ELEVATION

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