

# PD 1198

## Table of Contents

<b>10/15/2020 Minor Change/Site Plan</b> .....	<b>2</b>
Exhibits .....	4
<b>02/29/2016 Site Plan</b> .....	<b>11</b>
Exhibits .....	13
<b>02/23/2016 Minor Change</b> .....	<b>20</b>
Exhibits .....	21
<b>10/03/2014 Minor Change</b> .....	<b>23</b>
Exhibits .....	25
<b>07/25/2012 PD Adoption</b> .....	<b>28</b>
Ordinance .....	28
Statements .....	29
Bulk Table .....	34
Exhibits .....	35



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

October 15, 2020

Mr. William Pridmore  
VP, Deputy General Counsel  
Pine Tree Commercial Realty  
814 Commerce Dr., Ste 300  
Oak Brook, IL 65023

Re: Minor Change and Site Plan Review for a new Starbucks store  
PD No. 1198, Subarea 2 - Outlot E, 4200 S. Pulaski Road

Dear Mr. Pridmore:

Please be advised that your request for a minor change to Sub area 2 of Planned Development No. 1198 ("PD 1198") and the related site plan review has been considered by the Department of Planning and Development, pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Nos. 13 and 11 of PD 1198.

On behalf of the owner of Sub-area 2, Pulaski Promenade, LLC, you are requesting a minor change to replace the 100% green roof required in Statement No. 14 with permeable pavers. With regard to this request, the Department of Planning and Development has determined that allowing the permeable pavers, as shown on the attached site plan, will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1198, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

PD 1198, Subarea 2  
Minor Change/Site Plan Review  
October 15, 2020  
Page 2

In regards to your request for site plan review, we have reviewed the attached plans and elevation drawings prepared by PFDA Architects, which were received on September 22, 2020. The proposed plans call for the construction of a 2,265 SF, one-story retail building with a drive-through facility. The scope of the project also includes providing new landscaping, an outdoor patio, new bike racks, a parking lot and new utilities. The new Starbucks store will occupy an outparcel that is 0.753 acres, and will provide 32 automobile parking spaces and 12 bike parking spaces. Other site improvements include new sidewalks and permeable pavers provided throughout the site.

Upon review of the material submitted, the Department of Planning and Development has determined that these plans satisfy the requirements of the Plan of Development, and are also in compliance with the City of Chicago's Sustainable Development Policy. In addition, the proposed plans have been submitted, reviewed and approved by the Mayor's Office of People with Disabilities, the Department of Transportation, the Fire Department, and the Department of Water Management. Accordingly, these plans are hereby approved as conforming to the Plan of Development as passed by the Chicago City Council and subsequently published in the City Council Journal on July 25, 2012.

Sincerely,



Steven Valenziano  
Assistant Zoning Administrator  
Department of Planning and Development

C: Teresa McLaughlin, Noah Szafraniec, Main file

**GENERAL NOTES**

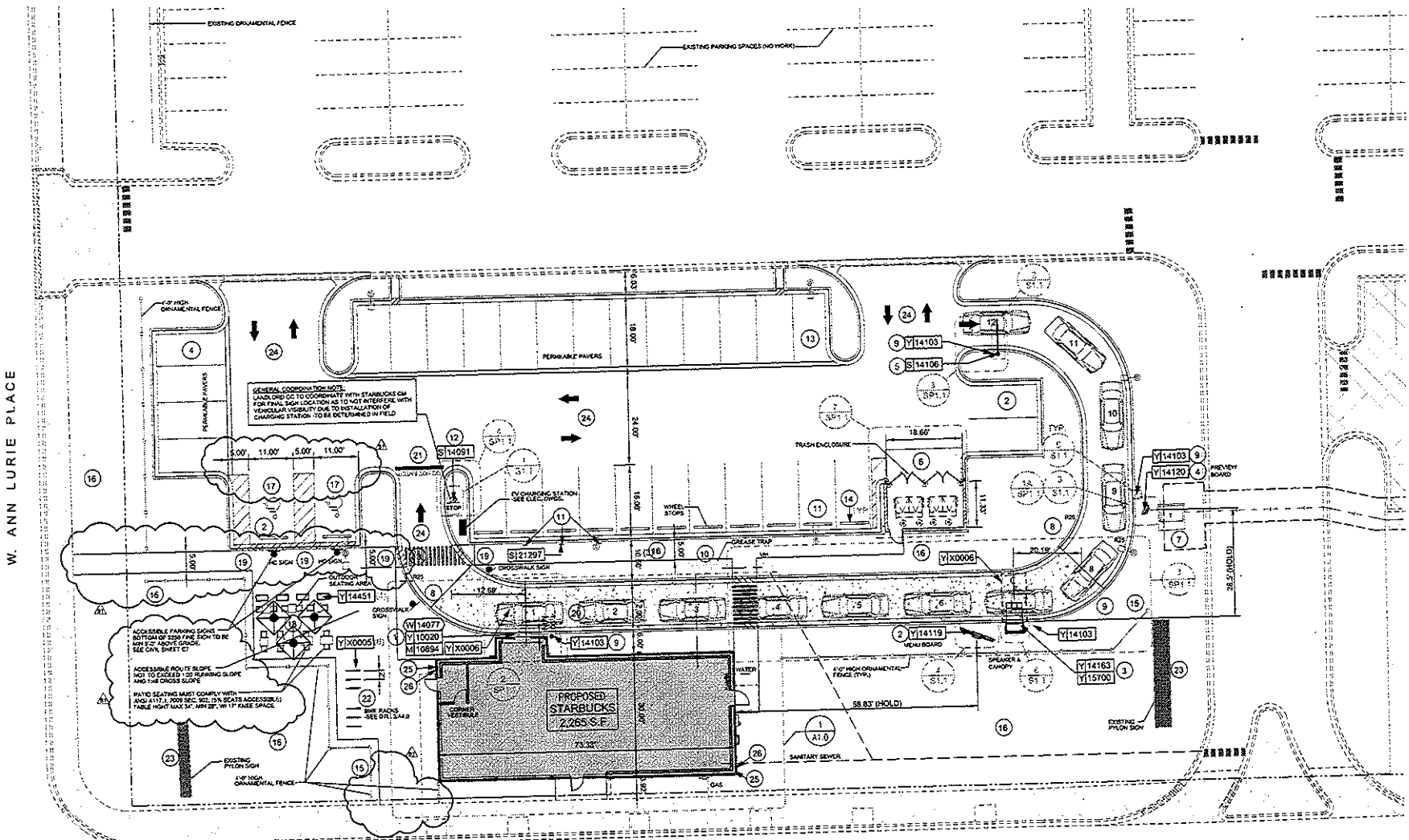
1. SEE ALL NOTES ON ALL SHEETS FOR THE PROJECT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IRC, AND ALL APPLICABLE LOCAL ORDINANCES.
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**KEYNOTES**

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**LEGEND**

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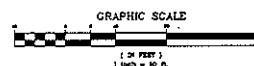
GENERAL COORDINATION NOTE  
LANDLORD CO TO COORDINATE WITH STARBUCKS GM FOR FINAL SIGN LOCATION AS TO NOT INTERFERE WITH VEHICULAR VISIBILITY DUE TO INSTALLATION OF CHANGING STATION. TO BE DETERMINED IN FIELD.

ACCESSIBLE PARKING SPACES  
BOTTOM OF SIGN FACE SHOULD BE MIN 2" ABOVE GRADE. SEE CIVIL SHEET C1.

ACCESSIBLE ROUTE SLOPE  
NOT TO EXCEED 1:20 PARKING SLOPE AND 1:48 CROSS SLOPE.  
PATIO SEATING MUST COMPLY WITH ADA 117.1.2009 SEC. 208 OR SEATING ACCESSIBLE TABLE HEIGHT MAX 34" MIN 28" W/ 1" FLARE SPACE.

**ACCESSIBILITY NOTES**  
 REFERENCE CODE: 21 (MANDATORY WITH 100% COMPLIANCE)  
 CODE CHAPTER: 105-11.2009 AMERICAN 111-1009  
 31-A (ACCESSIBILITY CODE 2011)  
 AMERICANS WITH DISABILITIES ACT - THE 2010 ADA STANDARDS FOR ACCESSIBLE CODE  
 1) PARKING TO COMPLY WITH CBC 116.1 & 116.2 PER CBC  
 MODIFICATION IS CODE 111.1.2009  
 2) CURB RAMP SHALL COMPLY WITH CBC  
 3) PARKING SIGNAGE SHALL MEET FULL COMPLIANCE WITH CBC 208.8  
 4) OUTDOOR SEATING SHALL MEET COMPLIANCE WITH CBC 1106.2.8 (5) AND 111.1.2009 802 AND 304.

**1 PROPOSED SITE PLAN**  
 SP1.0 SCALE: 1" = 10'



2803 BUTTERFIELD RD.  
 SUITE 340  
 OAK BROOK, IL 60523  
 TEL: (312) 795-1245  
 FAX: (312) 795-6123

*Pine Tree*  
**PINE TREE, LLC**  
 814 COMMERCE DRIVE  
 SUITE 300  
 OAK BROOK, IL 60523

PROJECT:  
**STARBUCKS**  
 LANDLORD BUILDING SHELL SCOPE OF WORK  
 PULASKI PROMENADE SHOPPING CENTER  
 4342 SOUTH PULASKI ROAD  
 CHICAGO, IL 60632

SHEET TITLE:  
 SITE REFERENCE PLAN

NO.	DATE	DESCRIPTION
1	08/21/20	ISSUE FOR PERMITS
2	08/21/20	FOR 5 & PRELIM
3	08/21/20	COORDINATION SET
4	08/21/20	STARBUCKS MARKUPS
5	08/21/20	REVISED



DATE: 08/21/20  
 DRAWN BY: JJS  
 CHECKED BY: JJS

SHEET:

**SP1.0**

JOB NO. 19025



# FINAL LANDSCAPE PLAN for **PROPOSED STARBUCKS** PULASKI PROMENADE SUBDIVISION LOT 2 CITY OF CHICAGO, ILLINOIS

## INDEX OF SHEETS

SHEET NO.	DESCRIPTION
L1	TITLE SHEET AND LANDSCAPE SUMMARY
L2	LANDSCAPE PLAN
L3	LANDSCAPE DETAILS
L4	LANDSCAPE SPECIFICATIONS

### City of Chicago Required Landscaping

#### STREET TREE REQUIREMENT

Not Required: Street Tree Requirement was established with original development of the Pulaski Promenade Subdivision

#### PARKING LOT AND VEHICULAR USE AREA SCREENING

Requirement: 7' wide perimeter landscaped area (2' car overhang, 5' landscaped area) with continuous screening hedge, maintained between 30"-48" ht. Trees planted at rate of one per 25' of linear frontage. No landscaping above 30' ht within a 12' sight triangle measured from the ROW.

Ornamental metal fencing around new parking lots and other vehicular use areas (4' ht. typ) to be located 5' from sidewalk in 7' perimeter landscaped area. Ornamental metal fencing required along lot lines adjacent to public streets. Wall, fence, or hedge required along side or rear lot lines of properties contiguous with residential districts and institutional uses (5' setback from property line to fence).

Pulaski Road = 265 # / 25 = (10.2) = 10 Trees with shrub row.

W. Ann Lurie Place = 66 # / 25 = (2.64) = 3 Trees with shrub row

Entrance Drive = 82 # / 25 = (3.28) = 3 Trees with shrub row

Required - 16 Trees with 30"-48" height screening hedge

On Plan - 16 Trees with 30"-48" height screening hedge

#### PARKING LOT AND VEHICULAR USE AREA INTERNAL PLANTING

Requirement: Parking Lots between 4,500 and 30,000 sq ft require 7.5% internal landscaped area. One tree per 125 sq ft of required internal planting area, exclusive of perimeter landscaped area.

#### OTHER REQUIREMENTS

- Chain link fencing not permitted.
- Hoses bibe required every 100' throughout perimeter landscaped area.
- 6' Masonry screen wall required around dumpsters with opaque, lockable gates.
- Vines planted at base.
- See Landscape Manual for setback / sight triangle requirements
- Trees set back 2' curbs, 5' building exits, walks, hydrants, above ground utilities.
- 10' buildings, 12' street lights, 20' trees (columnar), 25' existing trees, other structures, 40' bus stop (near side of intersection), 50' rail roads and viaducts, 75' bus stop (far side of intersection)

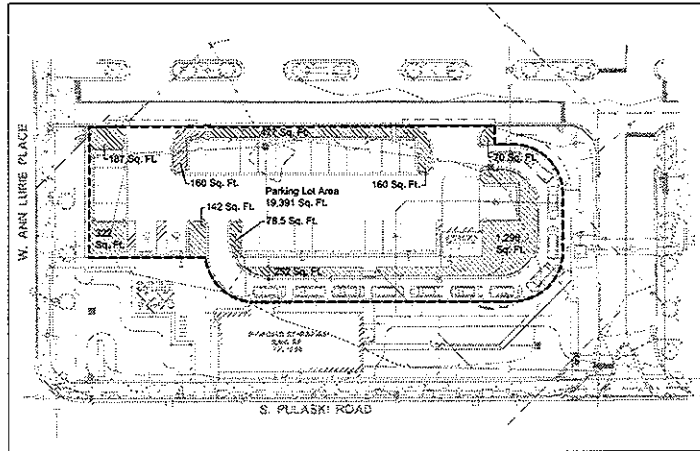
#### CHICAGO SUSTAINABLE DEVELOPMENT POLICY HANDBOOK CREDIT FOR SUSTAINABLE LANDSCAPES

##### 4.1 Working Landscapes

- Requirement: Two of the following criteria shall be met for a minimum of 5 years
1. 80% of the species types must be native (strongly species or cultivars)
  2. The landscape plan must provide at least 3 of the following plant structure types: trees, shrubs, forbs or grassmounds, excluding turf
  3. 40% of the landscaped area must be dedicated to the production of food for landscaped areas larger than 500 square feet.

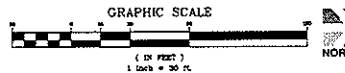
On Plan: Requesting credit for #1 and #2 of the Working Landscape requirements

1. 15 of the 24 species types are either native straight species or cultivars
- 18 / 24 = (0.75) = 75% of the species types are native
2. The landscape plan has provided trees, shrubs, and forbs, excluding turf



### VEHICULAR USE AREA PLAN

- Legend**
- Vehicular Use Area
  - Internal Landscape Island Area



#### PARKING LOT AND VEHICULAR USE AREA INTERNAL PLANTING

Internal Parking Lot Area = 19,391 Sq. Ft. of Area  
Requirement: 7.5% of Internal Parking Lot Area to be internal landscape area

7.5% x 19,391 Sq. Ft. = 1,454 Sq. Ft. Required to be internal landscape area

1,454 / 125 = (11.622) = 12 Trees

Required: 1,454 Sq. Ft. of internal landscape area and 12 Trees  
On Plan: 3,165 Sq. Ft. of internal landscape area with 12 Trees

#### Sworn statement by owner

Commits to the protection and replacement of required landscaping in the following form:

- \* Existing pathway trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged.\*

Commits to the maintenance of required landscaping in the following form:

\* The undersigned acknowledges that the landscape planting plan shown on the attached landscape plan for the property Pulaski Promenade Subdivision Lot 2, Chicago, Illinois 60632 has, to the best of the undersigned applicant's knowledge, been designed and will be installed, maintained, and replaced as required, by current and subsequent owners in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance.\*

Signature \_\_\_\_\_

Date \_\_\_\_\_

#### Sworn statement by registered landscape architect

Commits to the preparation of the landscape plan in the following form:

\* The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape planting plan and construction details shown on the attached landscape plans for the property at Pulaski Promenade Subdivision Lot 2, Chicago, Illinois 60632 has been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance.\*

Signature \_\_\_\_\_ Date 06/31/2020

Planting Date:  
"Landscape Planting to be Installed Fall 2020 and completed by December 15, 2020."

### PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
AZE A12	4	Azalea 'Fremont' 'Lafayette' TM	Alabama Blue Azalea	2.5' Cal.	B&B	
CEL DOC	6	Celastrus occidentalis	Common Honeysuckle	2.5' Cal.	B&B	
OLE SPR	2	Oleander 'Spectabilis' 'Shyline'	Shyline Honey Locust	2.5' Cal.	B&B	
GYM KEW	2	Gymnocladia dioica	Kentucky Coffeetree	2.5' Cal.	B&B	
LRT TUL	4	Liriodendron tulipifera	Tulip Tree	2.5' Cal.	B&B	
OLE RUB	2	Quercus rubra	Red Oak	2.5' Cal.	B&B	
TR RED	3	Tilia americana 'Redmond'	Redmond American Linden	2.5' Cal.	B&B	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
PIE DEN	2	Pinus glauca 'Denata'	Black Hills Spruce	6' Ht.	B&B	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
ORA VAR	1	Crataegus crus-galli 'variegata' TM	Thornless Cockspur Hawthorn	6' Ht.	B&B	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
ARD BR	15	Artemisia biennata 'Moonlight Beauty' TM	Black Chrysanthemum	5 gal.		
CEP SUS	2	Cephalanthus occidentalis 'SMOOTH' TM	Sugar Shrub Blackberry	5 gal.		
COB ART	25	Cornus sericea 'Aristic Fire'	Aristic Fire Dogwood	5 gal.		
ITE LIT	20	Itea virginica 'Lilac Henry' TM	Virgine Sweetgum	5 gal.		
PHY OPU	17	Physocarpus opulifolius 'Dart's Gold'	Yellow Pinesap	5 gal.		
YU MIF	22	Yucca filamentosa 'Blue Starfish'	Starfish Arrowwood	5 gal.		
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
JUN PFI	28	Juniperus stricta 'Kobold Compact'	Kobold Compact Pfitzer Juniper	5 gal.		
TAX DEN	18	Taxus media 'Densata'	Dense Yew	5 gal.		
TRU TEC	6	Thuja occidentalis 'Tindry'	Tindry Arborvitae	6'	B&B	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
CAL SAS	12	Calamagrostis x acutiflora 'Karl Foerster'	Foster Reed Grass	5 gal.		
SPD NET	14	Sporobolus heterostachys	Prince Dropseed	5 gal.		
SPD TAR	8	Sporobolus heterostachys 'Tara'	Prince Dropseed	5 gal.		
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
GER ROZ	23	Geranium 'Rozanne'	Rozanne Cranesbill	1 gal.		
HEM HAP	15	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
ASA CAN	131	Asarum canadense	Canadian Wild Ginger	Net		12" o.c.

### Landscape Notes:

1. Seed/ Sod limit line is approximate. Seed/ Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
2. Contractor responsible for erosion control in all seeded/ sodded areas.
3. Tree mulch rings in turf areas are 3" diameter. Contractor shall provide a mulch ring around all existing trees within the limits of work. Remove all existing grass from area to be mulched and provide a typical space out edge. Landscape Fabric shall not be installed under mulch.
4. Bedlines are to be spade cut to a minimum depth of 3". Curved bedlines are to be smooth and not segmented.
5. All planting, beds shall receive top dressing of mulch. Landscape fabric shall not be installed under mulch.
6. It is the responsibility of the contractor to locate and provide plant material as specified on this plan. The contractor may submit a request to provide substitutions for the specified plant material under the following conditions:
  - a. Any substitutions proposed shall be submitted to the project owner's representative within two weeks of the award of contract. Substitutions must meet equivalent design and functional goals of the original materials as determined by the owner's representative. Any changes must have the approval of the owner's representative.
  - b. The request will be accompanied by at least three notices from plant material suppliers that the plant material specified is not available and will not be available prior to construction.
10. Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unanticipated changes or extra work required to correct unreported discrepancies. Commencement of work shall constitute acceptance of conditions and responsibility for corrections.
11. A minimum of two working days before performing any digging, call underground service alert for information on the location of natural gas lines, electric cables, telephone cables, etc. The contractor shall be responsible for location and protection of all utilities, and repair of any damage resulting from his work at no additional cost to the owner.
12. Contractor shall promptly repair all damages to existing site at no cost to owner.
13. Refer to landscape specifications for additional conditions, standards, and notes.

Note: For Proposed Shade Trees, Parkway Trees, slow release water bags are to be used on new shade trees are established due to distance from hose bib.

Note: 4" of Shredded Bark Mulch to be provided in planting beds

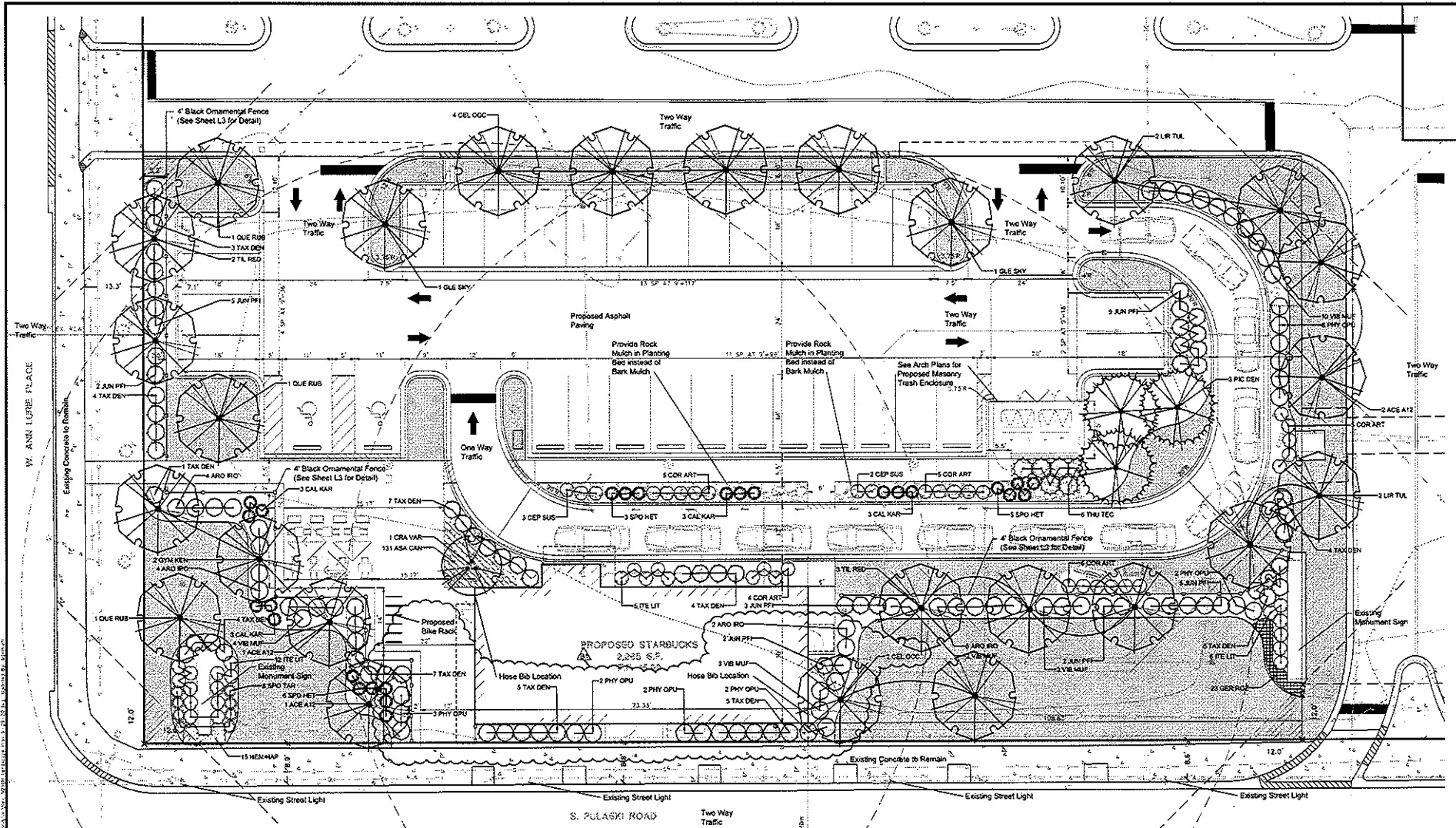


Jon Bradley Dehoff, ASLA, PLA  
Illinois Registered Landscape Architect  
#110-001632 Expires 06/31/2023

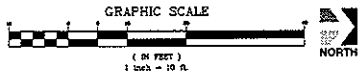


**Manhard CONSULTING**  
1100 N. Dearborn Street, Suite 200, Chicago, IL 60610  
Tel: (773) 344-1100  
Fax: (773) 344-1101  
www.manhardconsulting.com

PROPOSED STARBUCKS  
CITY OF CHICAGO, COOK COUNTY, ILLINOIS  
TITLE SHEET AND LANDSCAPE SUMMARY



- Legend**
- Turf
  - River Rock Mulch Area
  - Site Triangle Areas



Sworn statement by owner

Commits to the protection and replacement of required landscaping in the following form:

\* Existing pathway trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged.

Commits to the maintenance of required landscaping in the following form:

"The undersigned acknowledges that the landscape planing plan shown on the attached landscape plan for the property Pulaski Promenade Subdivision Lot 2, Chicago, Illinois 60632, Chicago, Illinois 60632 has, to the best of the undersigned applicant's knowledge, been designed and will be installed, maintained, and replaced as required, by current and subsequent owners in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code; the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance."

Signature \_\_\_\_\_ Date \_\_\_\_\_

Sworn statement by registered landscape architect

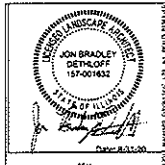
Commits to the preparation of the landscape plan in the following form:

"The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape planing plan and construction details shown on the attached landscape plans for the property at Pulaski Promenade Subdivision Lot 2, Chicago, Illinois 60632, Chicago, Illinois 60632 has been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance."

Signature *Jon Bradley Desoff* Date 08/31/2020

Planting Date:  
"Landscape Planting to be Installed Fall  
2020 and completed by December 15, 2020."

Jon Bradley Desoff, ASLA, PLA  
Illinois Registered Landscape Architect  
# 151-001932  
Expires 08/31/2021



**Manhard CONSULTING**

1100 N. LAUREL STREET, SUITE 100  
CHICAGO, ILLINOIS 60610  
TEL: 312.467.1100  
WWW.MANHARDCONSULTING.COM

City Engineer: Christopher J. White, Registered Professional Engineer - No. 018-0000000  
City Engineer: Christopher J. White, Registered Professional Engineer - No. 018-0000000  
City Engineer: Christopher J. White, Registered Professional Engineer - No. 018-0000000

**PROPOSED STARBUCKS**  
CITY OF CHICAGO, COOK COUNTY, ILLINOIS  
LANDSCAPE PLAN

SHEET  
**L2 OF L4**  
SOACH-10



GENERAL PLANTING SPECIFICATIONS:

PART 1 - GENERAL

1-01 DESCRIPTION:

- A. Provide trees, shrubs, perennials and groundcovers as shown and specified. This work includes: 1. Spreading of topsoil or soil preparation 2. Trees, shrubs, perennials and groundcovers 3. Planting mixes 4. Mulch and planting accessories 5. Fertilizer and herbicide 6. Maintenance 7. Warranty of plant material
B. The Contractor shall verify all existing conditions and dimensions in the field prior to bidding and report any discrepancies to the Owner or his/her representative.

1-02 QUALITY ASSURANCE:

- A. Comply with soil work requirements.
B. Plant names indicated must comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties which are not listed shall conform with those generally accepted by the nursery trade. Soils should be highly topsoil.
C. All plant materials shall conform to the "American Standards for Nursery Stock" (ANSI), latest edition, published by the American Association of Nurserymen, Huron, D.C.
D. All shrub material shall be grown and supplied within a 50 mile radius of the project for a minimum of two full growing seasons.

1-03 DELIVERY, STORAGE & HANDLING:

- A. Fertilizer shall be delivered in original, unopened and undamaged packaging. Containers shall display weight, analysis and manufacturer's name. Stock shall be stored in a manner that will prevent wetting and deterioration.
B. Take all precautions customarily considered proper tree practices in preparing plants for transport. Plants shall be dug, packed and transported with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock and on arrival, the certificate shall be filed with the landscape architect. All plants must be protected from drying out. If plant material cannot be planted immediately upon delivery, said material should be stored protected in a manner that is accessible to the landscape architect. Potted plants must be watered daily. No plant shall be bound with rope or wire in a manner that could strip bark or break or shear branches.
C. Plant material transported on open vehicles should be covered with a protective covering to prevent wind burn.
D. Dry, loose topsoil shall be provided for planting bed mixes. Muddy or frozen topsoil is unacceptable as working with medium in the condition will destroy its structure, making root development more difficult.

1-04 PROJECT CONDITIONS:

- A. Notify landscape architect at least seven (7) working days prior to installation of plant material.
B. It shall be the Contractor's responsibility to locate and protect all existing above and below ground utilities. Utilities can be located and marked (in Rains) by calling 311. U.S. at (800)999-0133.
C. The Contractor shall provide, at their own expense, protection against trespassing and damage to adjacent areas, planted areas, and other construction areas until the preliminary acceptance. The Contractor shall provide barriers, temporary fencing, signs, and written warning or posting as may be required to protect such areas. The Contractor shall not be responsible for any damage caused by the Owner after such warning has been issued.
D. The Contractor shall be responsible for the protection of drains, trunks and roots of existing trees, plus shrubs, lawns, paved areas and other landscaped areas that are to remain intact. Existing trees, which may be subject to construction damage, shall be located, fenced or otherwise protected before any work is started. The Owner desires to preserve those trees within and adjacent to the limits of construction except those specifically indicated to be removed on the Drawings. The contractor shall erect protective tree fencing and tree armor as indicated on the drawings and around all trees on site which are to be preserved. Protective fencing shall be erected between the limits of construction and any tree preservation shrubs shown on the Drawings.
E. A complete list of plants including a schedule of sizes, quantities and other requirements is shown on the Drawings and in the bid form. In the event that quantity discrepancies or material variations occur in the plant materials list, the planting plans shall govern.

1-05 PRELIMINARY ACCEPTANCE:

- A. All plantings shall be maintained by the Contractor for a period of 90 days after preliminary acceptance by the Owner or his/her representative. Maintenance shall include, but is not limited to: mowing and edging turf, pulling weeds, watering turf and plant material and annual flower maintenance.

1-06 WARRANTY:

- A. All plant material (including annual color), shall be warranted for one (1) year after the end of the 90 day maintenance period. The end of the maintenance period is marked by the final acceptance of the Contractor's work by the Owner or his/her representative. Plant material will be warranted against defects including death and unsatisfactory growth, except for defects resulting from abuse or damage by others, or unusual phenomena or incidences which are beyond the control of the Contractor. The warranty covers a maximum of one replacement per item.

PART 2 - PRODUCTS

2-01 PLANT MATERIALS:

- A. Plants: Provide typical of their species or variety, with normal, densely developed branches and vigorous, healthy root systems. Only sound, healthy, vigorous plants which are free from sunburn, fungal, insect, root crown, abrasions of the bark, plant diseases, mold, eggs, borers, and all forms of infestation shall be provided. All plants shall have a fully developed firm without voids and open centers.
1. Balled and burlapped plants shall have a firm natural ball of earth of sufficient diameter and depth to enclose a root system necessary for a full recovery of the plant. Root ball sizes shall comply with the latest edition of the American Standards for Nursery Stock (ANSI). Root balls that are caproot or mulchroot are unacceptable.
2. Container grown stock should be grown for an amount of time that it is sufficient length for the root system to have developed enough to hold it soil together. Firm and whole. Plants will not be loose in their containers, nor shall they be rootbound and all container grown stock will comply with the latest edition of the ANSI.
3. No evidence of wounds or pruning cuts shall be allowed unless approved by the Landscape Architect.
4. Evergreen trees shall be balled to the ground. The height of evergreen trees are determined by measuring from the ground to the first lateral branch closest to the top. Height and/or width of other trees are measured by the area of the plant not the top of the branches.
5. Shrubs and small plants shall meet the requirements for spread and/or height indicated in the plant list. The height measurement shall be taken from ground level to the average height of the top of the plant, not the longest branch. Single stem or top plants will not be accepted. Side branches shall be flushed with green and have good form to the ground. Plants shall be in a moist, vigorous condition, free from dead wood, borers or other root branch injury.
B. Toppist for seed areas shall be a minimum of 6".
C. Soil amendments shall be as follows:
1. For trees and shrubs the plant soil will be backfilled with pulverized black dirt.
2. For perennials and ornamental grasses the soil material will be as follows: CMAS General Purpose Planting Mix as specified by Midwest Trading. Topsoil with 1" of CMAS and 1/2 inch existing beds to a depth of 8". Soil mixes are available from Midwest Trading, Midwest Trading, St. Charles, IL 60174 (630)355-1950
D. Fertilizer:
1. For trees and shrubs use: 14-4-6 bromewell 17 or equivalent available from Armer Clean, Inc. Follow manufacturer's recommendation for application. Armer Clean, Inc. 543 Dotts Drive, Wheeling, IL 60090 (847)537-2177
2. For turf areas use: 6-24-16 Clean Fertility with micronutrients with minor elements 3.0 % S, 0.25% B, 0.5% Cu, 1.0% Fe, 0.05% Mn, 0.05% Mo, 10% Zn available from Armer Clean or approved equal.
E. Herbicide:
1. Round Up or approved equal
F. Mulch:
1. Bark mulch shall be finely shredded hardwood bark which has been screened and is free of any gross leaves, twigs, sticks, sawdust, wood shavings, growth or germination inhibiting ingredients, or other foreign materials. Bark mulch is available from Midwest Trading.
2. Mulchwood compost is available from Midwest Trading.
G. Water:
1. Water service will be available on the site, with the cost of water being paid by the Owner. Transporting of the water from the source to the work areas shall be the responsibility of the Landscape Contractor. All necessary hose, piping, back stop, etc. shall be supplied by the Landscape Contractor.
H. Grading:
1. States: 5/8" x 40' steel eye anchor with 4" hole
2. Cable
A. Trees under 5': flexible 1/8" galvanized spiral cable, 7/8" strand or approved equal
B. Trees 5' and over: flexible 5/16" galvanized spiral cable, 7/8" strand or approved equal
3. Turnbuckle: 5/16", eye and eye, with 4" thimble
4. Hoop: new two-ply reinforced rubber hose, minimum 1 1/2" I.D.
I. Tree wrap: Blackrap tree wrap 4" wide.
J. Twine: Soft nursery jute.

2-02 ACCESSORIES:

- A. Topsoil:
1. Topsoil shall be fertile, natural topsoil of a loamy character, without admixture of subsoil material. Topsoil shall be reasonably free from clay, lumps, coarse sand, stones, plants, roots and other foreign materials with not being over 6.5% T.S.
B. Topsoil for seed areas shall be a minimum of 6".
C. Soil amendments shall be as follows:
1. For trees and shrubs the plant soil will be backfilled with pulverized black dirt.

2-03 PLANTING PROCEDURES:

- A. Set plant material in the planting hole to proper grade and alignment. Set plants upright and plants. Set plant material 2" above the adjacent finish grade. Remove burlap from top 1/3 of root ball. Remove mulch from top 2" above the adjacent finish grade. Cut and remove soil and fill down upper half of tree burlap, open up on top. Backfill planting hole with topsoil to avoid any soil compaction.
B. Set balled and burlapped plants in the planting hole and compact 1" of soil around the base of the ball. Backfill planting hole with topsoil to avoid any soil compaction after planting to eliminate all voids and thoroughly soak the plant root ball.
C. Space groundcover plants according to dimensions given on the plant. Adjust spacing as necessary to evenly fill planting bed with indicated number of plants. Plants to within 1" of the top trunk of trees and shrubs at the edge of the plant bed, whenever it occurs. Plants to within 1" of edge of bed.
D. Mulching:
1. Install 4" depth of mulch around all tree and shrub beds as indicated on drawings or planting details. Mulch shrub planting areas as continuous beds. Do not place mulch directly against tree trunk. Mulch must be created in a leveled area around trunk.
2. Mulch perennial, groundcover and annual planting beds with 2" mulchwood compost. Water mulched areas thoroughly after planting mulch.
E. Tree wrapping is not required, unless the Contractor feels it is necessary due to characteristics of a particular species or past experience with the species. The landscape architect will be notified as to which trees are to be wrapped and shall inspect the trunk(s) before wrapping. Tree wrap will not be used to cover damage or defects. When wrapping is done, trunk(s) will be wrapped tightly with approved tree wrapping tape that is not less than 4" wide, and securely tied with suitable cord at the top, bottom and 2" intervals along the trunk. Wrap from ground to the height of the last branch.
F. Stakes and spacing of trees is optional. If the Contractor chooses to stake all or part of the tree, the stake shall use the method specified in the planting details. One (1) stake is to be used on trees of 1" caliper and under, or 4' height and under. Two (2) stakes are to be used on trees of 1" to 2 1/4" caliper. One (1) stake or two (2) stakes are to be used on trees of 2 1/4" to 3" caliper. One (1) stake or two (2) stakes are to be used on trees of 3" to 4" caliper. Stakes are to be driven at least 18" below the planting hole. Stakes and attachments shall be removed after three months for young planted material and by the following day for fully planted stock by the Contractor. Staking and tying shall be done immediately after tree planting or staking operation.
G. Seeding of specified lawn areas on plans will be treated as follows:
1. Topsoil shall be spread over all areas to be seeded to a minimum depth of 6" when compacted (to be performed by others).
2. Seed mixture and application rate - use Premium seed mix as supplied by Armer Clean, Inc. Apply at a rate of 5 lbs/1000 sq. ft.
3. Apply fertilizer and covermats at the rate specified per seed mix listings. In lieu of soil test results, apply 1/2" one (2) tons of ground agricultural limestone and 1000 lbs. 10-10-10 or equivalent analysis fertilizer per acre. At least 40% of the fertilizer nitrogen shall be of an organic origin.
4. Soil preparation areas where vehicular traffic has compacted the soil shall be loosened/aerified to a minimum depth of 6" above topsoil and seeding. Fine grading of all seeded areas is required. Minimum size of stone for backfilling is 1".
5. Watering seeded areas shall be done to ensure proper germination. Once seeds have germinated, watering may be decreased but the seedlings must never be allowed to dry out completely. Frequent watering should be continued approximately four (4) weeks after germination or until grass has become sufficiently established to warrant mowing on an "as needed" basis.
6. Turf is being established on a variety of slope conditions. It shall be the Contractor's responsibility to determine and implement suitable procedures to stabilize the turf as part of his/her work. Seeded areas will be accepted when all areas show a uniform stand of the specified grass in healthy condition and are at least 90 days have elapsed since the completion of this work. The Contractor shall submit with his/her bid a description of the methods and procedures he/she intends to use.
H. Erosion Control Blanket
1. Erosion Control Blanket shall be installed per manufacturer's recommendation in all areas shown on the plan.
2. Install 5-15 Erosion Control Blanket as manufactured by North American Green or approved equal.
3. Blanket should be permeated with applied topsoil.
4. Stakes should be 8" in width, applied at two (2) per square yard minimum.
5. Suitable erosion control practices shall be maintained by the CONTRACTOR in accordance with Swales Urban Manual and all applicable Soil Erosion and Sedimentation Control ordinances and the ANSI.
I. Seeding of specified lawn areas on plans will be completed as follows:
1. Rake soil surface to remove soil to completely remove any old turf no more than one day prior to laying soil.
2. Mixture prepared surface immediately prior to laying soil. Water thoroughly and allow surface moisture to dry before planting seeds. Do not create a muddy soil condition.

PART 3 - INSTALLATION OF PLANT MATERIAL

3-01 FIELD VERIFICATION:

- A. Examine proposed planting areas and conditions of installation. Do not start planting work until satisfactory conditions are corrected.

3-02 PREPARATION:

- A. All planting techniques and methods shall be consistent with the latest edition of Horticulture Standards of Nurserymen, Inc. and as detailed on these Drawings.
B. Planting shall be performed by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.
C. All underground utilities must be located and marked clearly.
D. Apply Round-Up or approved equivalent to kill any existing vegetation in all areas to be planted. Confirm length of waiting period between chemical application and plant installation with manufacturer. Do not begin planting operations until prescribed post-application waiting period has elapsed. Take extreme care to avoid chemical drift to adjoining properties of landscape plantings.

- E. Prior to all planting, install all access to be landscaped to prepare for plant installation to a minimum depth of 12". Eliminate uneven areas and low spots. Maintain lines, levels, profiles and contour. Changes in grade are to be gradual. Slopes above 4:1 level. Remove all debris, weeds and undesirable plants and their roots from areas to be planted. Remove all concrete slabs larger than 2' in diameter.
F. Topsoil shall be spread over the site at a minimum depth of 6". For those areas which are indicated as shrub or natural areas on the Drawings, a topsoil depth of 16" is recommended where possible.
G. It shall be the responsibility of the landscape contractor to prepare all seeded areas by grading and raising prior to planting seed. Soil shall be loosened and aerated to a minimum depth of 6". Fine grading of all seeded areas is required. Maximum size of stone or topsoil lump is 1".
H. Locate all plant material as indicated or as approved in the field by the Landscape Architect. If obstructions are encountered which are not shown on the drawings, then do not proceed with planting operations until alternate plant locations have been selected.
I. Planting holes shall be constructed as shown on the planting details. Holes shall be hand dug or machine dug. Great care will be taken to not encroach the hole deeper than the root ball and the diameter shall be a minimum of two times the root ball width. Remove any materials encountered in excavation that may be injurious to plant growth, including stones larger than 2" in diameter or other debris. Soil to be used as topsoil should be pulverized.
J. Provide pre-mixed planting mixes for use around root systems and root balls of the plants. The mixes are outlined in section B of part 2-02.
K. Prior to planting, provide additional topsoil to all planting beds to bring the finish grade of the bed to 2" above lawn grade and to finish grade of adjacent hard surface grade.
L. Add 2" thickness of mulchwood compost to all annual, perennial and groundcover beds. Finish grade bed and install plants.

3-03 PLANTING PROCEDURES:

- A. Set plant material in the planting hole to proper grade and alignment. Set plants upright and plants. Set plant material 2" above the adjacent finish grade. Remove burlap from top 1/3 of root ball. Remove mulch from top 2" above the adjacent finish grade. Cut and remove soil and fill down upper half of tree burlap, open up on top. Backfill planting hole with topsoil to avoid any soil compaction.
B. Set balled and burlapped plants in the planting hole and compact 1" of soil around the base of the ball. Backfill planting hole with topsoil to avoid any soil compaction after planting to eliminate all voids and thoroughly soak the plant root ball.
C. Space groundcover plants according to dimensions given on the plant. Adjust spacing as necessary to evenly fill planting bed with indicated number of plants. Plants to within 1" of the top trunk of trees and shrubs at the edge of the plant bed, whenever it occurs. Plants to within 1" of edge of bed.
D. Mulching:
1. Install 4" depth of mulch around all tree and shrub beds as indicated on drawings or planting details. Mulch shrub planting areas as continuous beds. Do not place mulch directly against tree trunk. Mulch must be created in a leveled area around trunk.
2. Mulch perennial, groundcover and annual planting beds with 2" mulchwood compost. Water mulched areas thoroughly after planting mulch.
E. Tree wrapping is not required, unless the Contractor feels it is necessary due to characteristics of a particular species or past experience with the species. The landscape architect will be notified as to which trees are to be wrapped and shall inspect the trunk(s) before wrapping. Tree wrap will not be used to cover damage or defects. When wrapping is done, trunk(s) will be wrapped tightly with approved tree wrapping tape that is not less than 4" wide, and securely tied with suitable cord at the top, bottom and 2" intervals along the trunk. Wrap from ground to the height of the last branch.
F. Stakes and spacing of trees is optional. If the Contractor chooses to stake all or part of the tree, the stake shall use the method specified in the planting details. One (1) stake is to be used on trees of 1" caliper and under, or 4' height and under. Two (2) stakes are to be used on trees of 1" to 2 1/4" caliper. One (1) stake or two (2) stakes are to be used on trees of 2 1/4" to 3" caliper. One (1) stake or two (2) stakes are to be used on trees of 3" to 4" caliper. Stakes are to be driven at least 18" below the planting hole. Stakes and attachments shall be removed after three months for young planted material and by the following day for fully planted stock by the Contractor. Staking and tying shall be done immediately after tree planting or staking operation.

- G. Seeding of specified lawn areas on plans will be treated as follows:
1. Topsoil shall be spread over all areas to be seeded to a minimum depth of 6" when compacted (to be performed by others).
2. Seed mixture and application rate - use Premium seed mix as supplied by Armer Clean, Inc. Apply at a rate of 5 lbs/1000 sq. ft.
3. Apply fertilizer and covermats at the rate specified per seed mix listings. In lieu of soil test results, apply 1/2" one (2) tons of ground agricultural limestone and 1000 lbs. 10-10-10 or equivalent analysis fertilizer per acre. At least 40% of the fertilizer nitrogen shall be of an organic origin.
4. Soil preparation areas where vehicular traffic has compacted the soil shall be loosened/aerified to a minimum depth of 6" above topsoil and seeding. Fine grading of all seeded areas is required. Minimum size of stone for backfilling is 1".
5. Watering seeded areas shall be done to ensure proper germination. Once seeds have germinated, watering may be decreased but the seedlings must never be allowed to dry out completely. Frequent watering should be continued approximately four (4) weeks after germination or until grass has become sufficiently established to warrant mowing on an "as needed" basis.
6. Turf is being established on a variety of slope conditions. It shall be the Contractor's responsibility to determine and implement suitable procedures to stabilize the turf as part of his/her work. Seeded areas will be accepted when all areas show a uniform stand of the specified grass in healthy condition and are at least 90 days have elapsed since the completion of this work. The Contractor shall submit with his/her bid a description of the methods and procedures he/she intends to use.
H. Erosion Control Blanket
1. Erosion Control Blanket shall be installed per manufacturer's recommendation in all areas shown on the plan.
2. Install 5-15 Erosion Control Blanket as manufactured by North American Green or approved equal.
3. Blanket should be permeated with applied topsoil.
4. Stakes should be 8" in width, applied at two (2) per square yard minimum.
5. Suitable erosion control practices shall be maintained by the CONTRACTOR in accordance with Swales Urban Manual and all applicable Soil Erosion and Sedimentation Control ordinances and the ANSI.

- I. Seeding of specified lawn areas on plans will be completed as follows:
1. Rake soil surface to remove soil to completely remove any old turf no more than one day prior to laying soil.
2. Mixture prepared surface immediately prior to laying soil. Water thoroughly and allow surface moisture to dry before planting seeds. Do not create a muddy soil condition.

- 3. Sod shall be laid within 24 hours from the time of striping. Do not plant dormant sod or if the ground is frozen.
4. Lay sod to form a solid mass with tightly tied joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to substrate or soil. Work other soil into minor cracks between pieces of sod; remove excess to avoid unsightly appearance of adjacent sod.
5. Place top elevation of sod 1/2 inch below adjoining existing or paving.
6. Water sod thoroughly with a fine spray immediately after planting.
7. After sod and soil have dried, roll seeded areas to ensure a good bond between the sod and soil, and to remove minor depressions and irregularities.
8. Seeded slopes 3:1 or greater shall be staked to prevent erosion and washout.
9. Warranty period for a period of one (1) year from the end of the 90 day maintenance period. If soil fails or heave, rips and full growth as determined by the Landscape Architect, the Contractor will repeat site preparation operations and re-plant affected areas at the Contractor's expense.
10. Note: Sod shall be a premium Kentucky Bluegrass blend, and is required in all areas indicated on the plans as well as areas which have been affected by construction. Sod can be placed as long as water is available and the ground surface can be properly prepared. Sod shall not be laid on frozen or snow-covered ground. Sod shall be strongly rooted, not less than two (2) years old and free of weeds and undesirable mow grasses. Sod should be machine cut or pad harvested of 3/4" (that or more) thick, including top growth and roots. Provide only sod capable of vigorous growth and development when planted (viable, not dormant). Provide sod of uniform pad sizes with maximum 5% deviation in either length or width. Block sods or pads with uneven ends will not be acceptable. Sod pads incapable of supporting their own weight when expanded, together with a firm grass on the upper 10% of pad will not be accepted.

3-04 MAINTENANCE:

- A. All plantings shall be maintained by the Contractor for a period of 90 days after preliminary acceptance by the Owner or his/her representative. Maintenance shall include, but is not limited to: mowing and edging turf, pulling weeds, watering turf areas and plant material and annual flower maintenance. The Contractor will reset settled plants to proper grade and position. Dead material will be removed. Stakes and guy wires will be tightened and replaced as required.
B. The Contractor shall protect the property of the Owner and the work of other contractors. The Contractor shall also be directly responsible for damage caused by the activities and for the day removal of all trash and debris from his/her work area to the satisfaction of the landscape architect.

3-05 ACCEPTANCE:

- A. The Contractor shall protect the property of the Owner and the work of other contractors. The Contractor shall also be directly responsible for damage caused by the activities and for the day removal of all trash and debris from his/her work area to the satisfaction of the landscape architect.

3-06 SITE CLEAN-UP:

- A. The Contractor shall protect the property of the Owner and the work of other contractors. The Contractor shall also be directly responsible for damage caused by the activities and for the day removal of all trash and debris from his/her work area to the satisfaction of the landscape architect.

Sworn statement by owner

Committee to the protection and replacement of required landscaping in the following form:

\* Existing pathway trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged.

Committee to the maintenance of required landscaping in the following form:

"The undersigned acknowledges that the landscape planting plan shown on the attached landscape plan for the property Pulkas Promenade Subdivision Lot 2, Chicago, Illinois 60632, Chicago, Illinois 60632 has, to the best of the undersigned applicant's knowledge, been designed and will be installed, maintained, and replaced as required, by current and subsequent owners in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance."

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

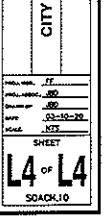
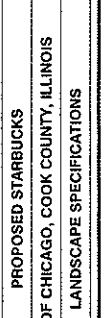
Sworn statement by registered landscape architect

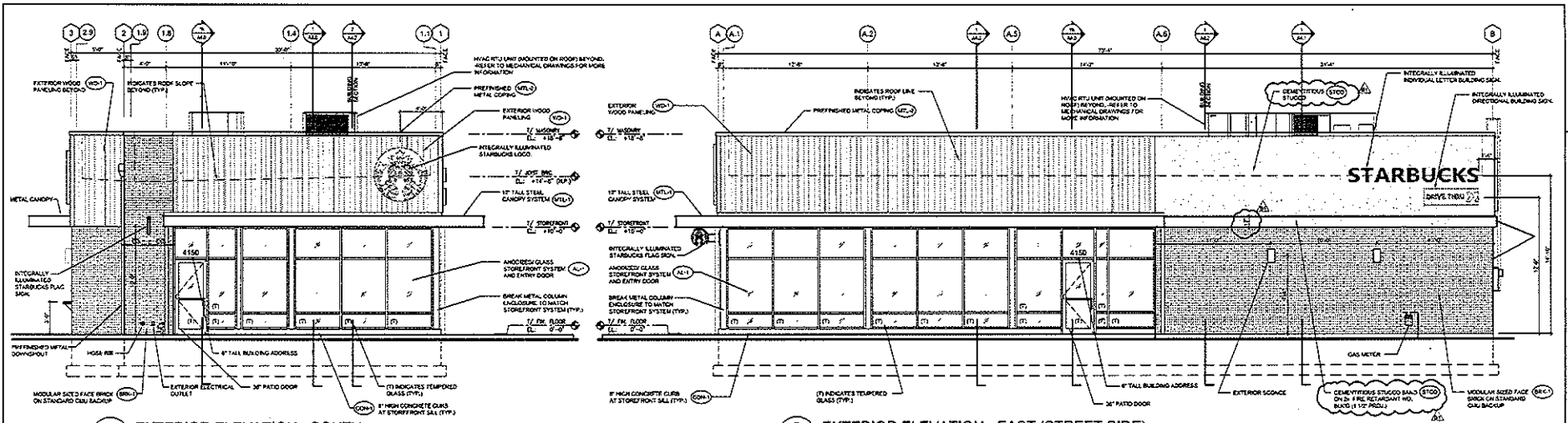
Committee to the preparation of the landscape plan in the following form:

"The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape planting plan and construction details shown on the attached landscape plan for the property Pulkas Promenade Subdivision Lot 2, Chicago, Illinois 60632, Chicago, Illinois 60632 has been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance."

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

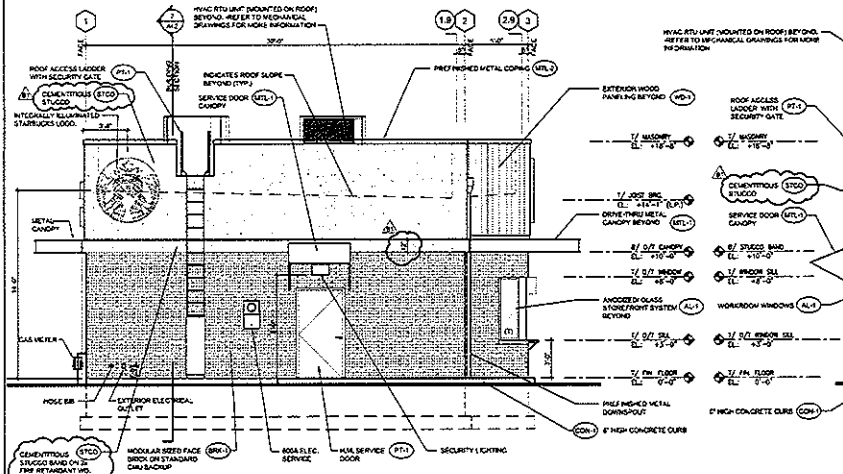
John Bradley DeChoff, ASLA, PLA Registered Professional Landscape Architect #157-001632 Expires 06/31/2021



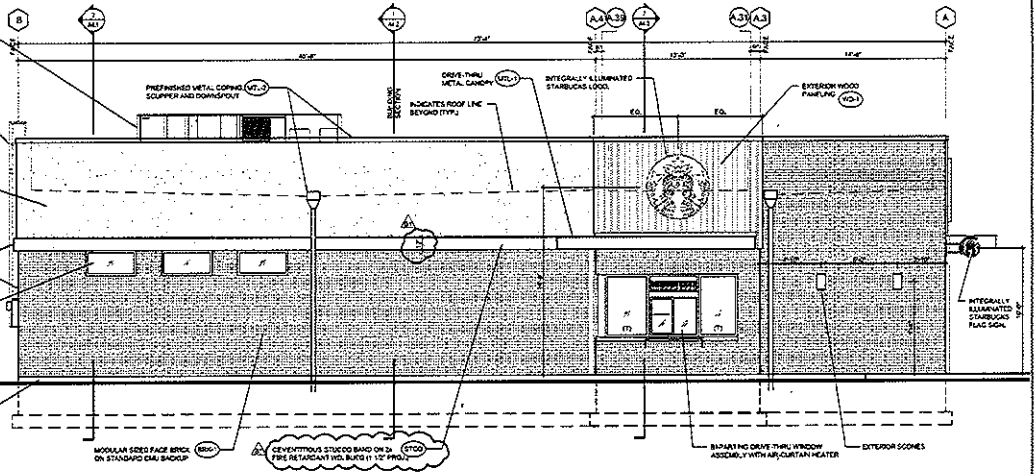


**1 EXTERIOR ELEVATION - SOUTH**  
SCALE: 1/4" = 1'-0"

**2 EXTERIOR ELEVATION - EAST (STREET SIDE)**  
SCALE: 1/4" = 1'-0"



**3 EXTERIOR ELEVATION - NORTH**  
SCALE: 1/4" = 1'-0"



**4 EXTERIOR ELEVATION - WEST (DRIVE-THRU SIDE)**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**  
1. PROVIDE ABBREVIATIONS FOR BUILDING SIGNAGE, COORDINATE LOCATION WITH SIGNAGE MANUFACTURER FOR BUILDING SIGNAGE.  
2. PROVIDE SIGNAGE CONNECTIONS ON INSIDE FACE OF WALL.  
3. 3/4" W/ 1/2" HANGING ADDRESS FOR EXTERIOR SIGNAGE. EXTEND BUILDING 1/4" W/ 1/2" BEYOND EDGE OF S/GANGE.

MATERIAL LEGEND			
SYMBOL	MATERIAL/COLOR/TEXTURE	MANUFACTURER	FRESH-STYLE
BRK-1	MODULAR SIZE FACE BRICK	MATERIALS (848) 68-8470	
ST00	CEMENTITIOUS STUCCO FINISH SYSTEM ON METAL LATH	RELIANT LINER DEL. (800) 221-7063	
WD	EXTERIOR WOOD SINGING S/GANGE	RELIANT LINER DEL. (800) 221-7063	SEAL FACE AND BACK OF TRUCK 1/2" WIDE x 1/2" RANDOM LENGTHS
AL-1	FLAT BRICK: UNGRADED FLAT BRICKS (31 STOREFRONT) SYSTEM WITH DOUBLE FINE INSULATING LATH W/ GLASS - REINFORCED AS REQUIRED	KAMMEER COMPANY, INC. 1377 EAST INDUSTRIAL DRIVE, PULASKI, IL 61743 (815) 773-3700	WOODGRO
MT-1	PREFINISHED METAL FLASHING CLADDING	PAC-GLAS PREFERRED 100 TONNE ROAD, EL GORDO, ILLINOIS, IL 60007 (800) PAC-GLAS	POWDERCOAT
MT-2	FRG INSULATED CONTINUOUS GLAZING AND SCRAPING/SCAFFOLD SYSTEM	PAC-GLAS PREFERRED 100 TONNE ROAD, EL GORDO, ILLINOIS, IL 60007 (800) PAC-GLAS	PH-BLISHED
PT-1	SERVICE DOOR: ROOF LOUVER, ETC. COLOR: MATCH RALPHATZ MATTE	BENJAMIN MOORE & CO. (855) 724-8602	PAINTED
CON-1	CONCRETE CURB	CONCRETE SYSTEMS	CAST-IN-PLACE



2803 BUTTERFIELD RD.  
SUITE 340  
OAK BROOK, IL 60523  
TEL: (312) 795-1245  
FAX: (312) 795-6123

*Pine Tree*  
PINE TREE, LLC  
814 COMMERCE DRIVE  
SUITE 300  
OAK BROOK, IL 60523

PROJECT:

**STARBUCKS**  
LANDLORD BUILDING SHELL SCOPE OF WORK  
PULASKI PROMENADE SHOPPING CENTER  
4242 SOUTH PULASKI ROAD  
CHICAGO, IL 60632

SHEET TITLE:  
EXTERIOR ELEVATIONS AND MATERIAL LEGEND

NO.	DATE	DESCRIPTION
04.12.20		SHELL & CIVIL SUBMITTAL
04.12.20		COORDINATION UPDATES
04.12.20		DOOR/SLATE
04.12.20		FOR E&S & PERMIT
05.01.20		COORDINATION SET
05.21.20		STARBUCKS MARKUPS
07.05.20		PERMIT



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DRAWN BY: CHECKED BY:

SHEET:

**A3.0**

JOB NO. 19035



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

February 29, 2016

Donna Pugh  
Foley & Lardner  
321 N. Clark Street  
Chicago, Illinois 60654

Re: **Site Plan Approval for Business Planned Development #1198 – Subarea 4 - Outlot I -  
4150 S. Pulaski Road**

Dear Ms. Pugh:

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan submitted for the project identified above. The project consists of the construction of a one-story Wendy's restaurant with drive thru and approximately 35 parking spaces at 4150 S. Pulaski Road within PD #1198. The building is proposed to be approximately 3,487 square feet with a height of approximately 24'3". In accordance with PD #1198 and DPD's Minor Change approval letter (2-24-16), the project will achieve LEED certification and will substitute permeable pavers for a green roof.

The request for approval includes the following attached documents:

- C-2 – Geometric Plan (12-10-2015)
- AS1.2 – Architectural Site Details (12-4-2015)
- AS1.1 – Architectural Site Details (12-4-2015)
- L-1 – Landscape Plan (12-10-2015)
- A2.1 – Exterior Elevations (12-4-2015)
- A2.2 – Exterior Elevations (12-4-2015)
- Site Plan (2-4-2016)

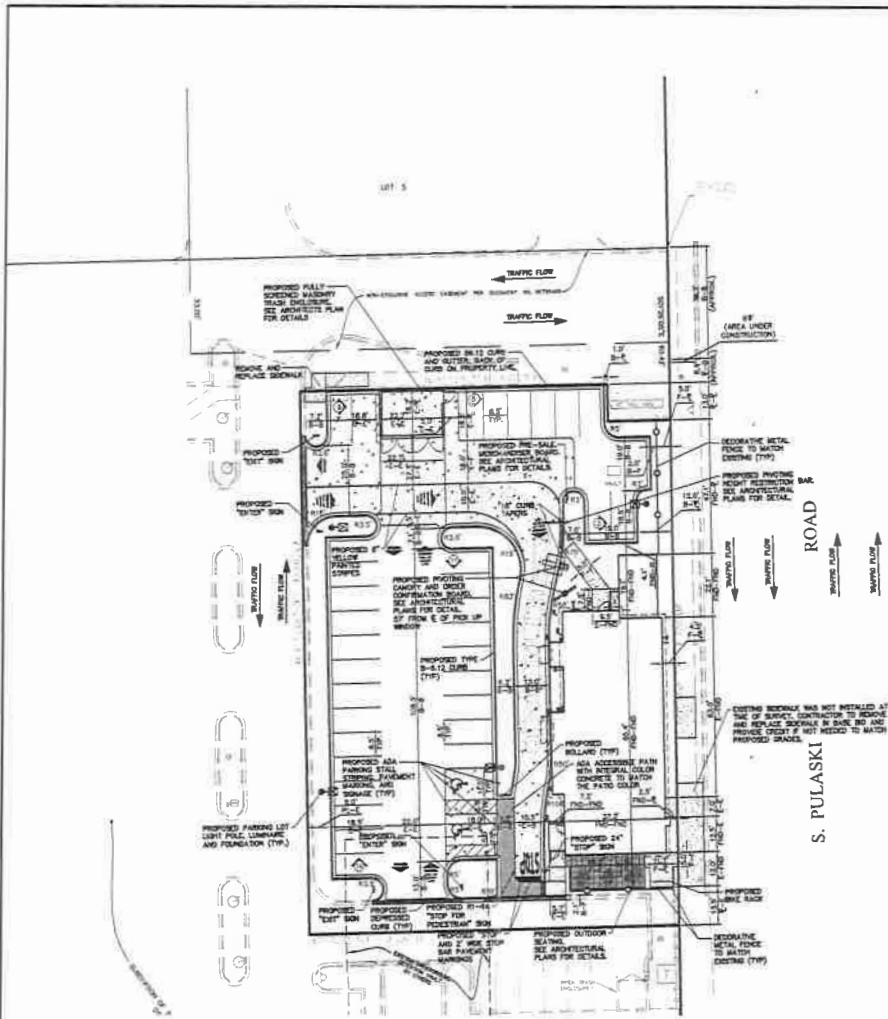
Upon review of the materials submitted, DPD has determined that the site plan is consistent with, and satisfies, the requirements of the planned development. Accordingly, this site plan submittal for PD #1198 is hereby approved as conforming to the planned development as passed by the Chicago City Council (7-25-2012). This approval does not include any signage, which must be reviewed separately.

Sincerely,

  
Patricia A. Scudiero,  
Zoning Administrator

Originated by: Dan Klaiber

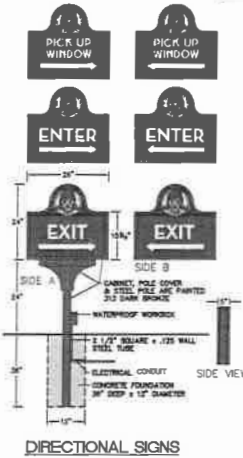
cc: Mike Marmo (DPD)  
Erik Glass (DPD)  
Planned Development files



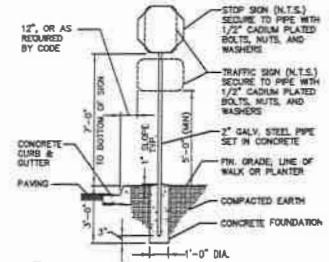
FLAT WORK QUANTITIES	
8x12 CURB AND GUTTER	847.6 L.F.
5" CONCRETE	1002 S.Y.
6" CONCRETE	530.6 S.Y.
8" CONCRETE	80.6 S.Y.
CONCRETE PATIO	35.8 S.Y.
ASPHALT PAVEMENT	862.8 S.Y.

\*ALL QUANTITIES ARE APPROXIMATE AND SHOULD BE VERIFIED BY CONTRACTOR.

**NOTE:**  
REGARDING THE PROJECT, MOPD APPROVES OF THE PLANS WILL COMPLY WITH THE CITY'S CODES AND REQUIREMENTS.



- WENDY'S YELLOW PAINT PROGRAM**
- POSTS, POLES, GUIDE WIRES AND/OR SUPPORTS SHALL BE PAINTED IN YELLOW FROM GROUND TO 36" IN MINIMUM HEIGHT. BOLLARDS SHALL BE COMPLETELY PAINTED.
  - A 2" YELLOW STRIPE SHALL BE PAINTED ON THE TOP AND EACH SIDE OF THE HANDICAP BARRIERS FOR THE FIRST 3' OF INCLINE STARTING FROM THE LOWER SURFACE LEVEL.
  - A 2" YELLOW STRIPE SHALL BE PAINTED ON THE TOP AND SIDES OF ALL STEPS.
  - TRAFFIC FLOW ARROWS SHALL BE PAINTED INTO AND OUT OF THE PARKING LOT.
  - A 2" OUTLINE SHALL BE PAINTED ON THE SIDES OF ALL CURBS THAT REPRESENT A POSSIBLE HAZARD.
  - THE OUTSIDE BORDER OF VEHICLE TRAFFIC FLOW USED BY DRIVE THRU CUSTOMERS SHALL BE OUTLINED WITH A 4" SOLID YELLOW STRIPE.
  - THE WORDS "PICK UP WINDOW" AND TRAFFIC FLOW ARROWS DIRECTING VEHICLES INTO AND OUT OF THE PICK-UP WINDOW LANE SHALL BE PROVIDED IN YELLOW.
  - PARKING STOPS OR BLOCKS SHALL BE PAINTED YELLOW ON THE TOP.
  - SIDEWALK CURBS DIRECTLY IN THE TRAVEL PATH OF THE BUILDING ENTRANCES OR EXITS SHOULD BE IDENTIFIED WITH A TWO INCH YELLOW STRIPE ON THE TOP EDGE OF THE CURB FOR A LENGTH OF 3 FEET.
  - ADA CROSSWALKS SHALL BE PAINTED WITH 4" YELLOW PAINT PER THE GEOMETRIC PLAN.
  - ALL CURBS THAT EXTEND FROM THE PARKING LOT ENTRANCE TO ANY PUBLIC OR PRIVATE ROADWAY SHOULD BE PAINTED YELLOW WITH A 2" STRIP ON THE TOP AND SIDE OF THE CURB.



**NOTE:**  
TRAFFIC SIGNS TO BE HIGHWAY STANDARD AND TO CONFORM TO CURRENT STATE, LOCAL CODES AND REGULATIONS

TRAFFIC "STOP" SIGN (R1-1) DETAIL

**GENERAL NOTES:**  
1. THESE PLANS ARE BASED ON THE ALTA/ACSM LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #24-011 DATED 08/17/15) PREPARED BY COMPASS SURVEYING LTD 281 UNDER WOODS PARKWAY, STE 100, ALTOONA, IL 62902 (630) 820-8100  
2. PRIOR CONSTRUCTION, CONTRACTOR SHOULD CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

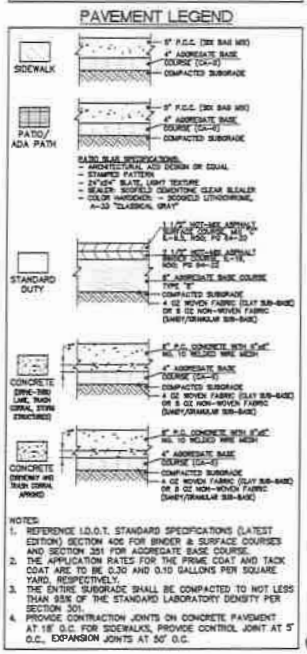
**ON-SITE PARKING DATA**

PROPOSED REGULAR SPACES	33
PROPOSED ADA ACCESSIBLE SPACES	2
PROPOSED TOTAL SPACES	35

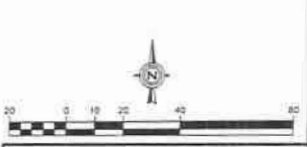
**SITE DATA**

LOT AREA	=	24,414 S.F. (0.56 AC)
BUILDING AREA	=	3,467 S.F.
IMPERVIOUS AREA	=	23,437 S.F. (0.47 AC)(100)
PERVIOUS AREA	=	3,877 S.F. (0.09 AC)(100)
FAR	=	0.143

**GEOMETRIC PLAN NOTES:**  
1. PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE EASTERN PROPERTY LINE.  
2. ALL RADIIUS DIMENSIONS ARE TO BACK OF CURB.  
3. SEE ARCH. PLANS FOR DWAIT BUILDING DIMENSIONS.  
4. ALL STRIPING TO BE DOUBLE COATED 4" YELLOW PAINT UNLESS OTHERWISE NOTED.



- NOTES:**
- REFERENCE I.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION) SECTION 406 FOR BINDER & SURFACE COURSES AND SECTION 201 FOR AGGREGATE BASE COURSE.
  - THE APPLICATION RATES FOR THE PRIME COAT AND TACK COAT ARE TO BE 0.30 AND 0.10 GALLONS PER SQUARE YARD, RESPECTIVELY.
  - THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE STANDARD LABORATORY DENSITY PER SECTION 201.
  - PROVIDE CONTRACTION JOINTS ON CONCRETE PAVEMENT AT 16' O.C. FOR SIDEWALKS, PROVIDE CONTROL JOINT AT 5' O.C., EXPANSION JOINTS AT 50' O.C.



GEOMETRIC PLAN

DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_

Prepared For: \_\_\_\_\_

Wendy's International, Inc.  
40 Shuman Boulevard, Suite 130  
Naperville, IL 60563  
WENDY'S - CHICAGO  
4150 South Pulaski Road - Outlot #1  
Chicago, Illinois

Prepared By: **Walmark Engineering, Ltd.**  
2014 Copyright Walmark Engineering, Ltd. All Rights Reserved.  
PHONE: 630-335-1000 FAX: 630-335-1001 WWW: walmarkeng.com

CHECKED BY: E. PERRY  
DESIGN BY: M. WARDEN  
DRAWN BY: K. PRICE  
DATE: DECEMBER 10, 2015  
SCALE: 1" = 20'  
PROJECT NO.: 15-002

C-2

GEOMETRIC PLAN

SITE NUMBER: 10420  
 BASE MODEL: NOK HNE200  
 ASSET TYPE: CDRP  
 CLASSIFICATION: NEW BUILD  
 OWNER: WENDY'S INTERNATIONAL  
 BASE VERSION: 2011 JUN 11 095  
 UPGRADE CLASSIFICATION:  
 COMP: NEW PLUS  
 PROJECT YEAR: 2011  
 FURNITURE PACKAGE: 2011  
 DESIGN BULLETIN: 20-0148

**Wallin • Gomez Architects, Ltd.**  
 771 South Dearborn Street  
 Suite 600  
 Chicago, IL 60605  
 Tel: 312-427-4700  
 Fax: 312-427-0911  
 e-mail: wga@wga.com

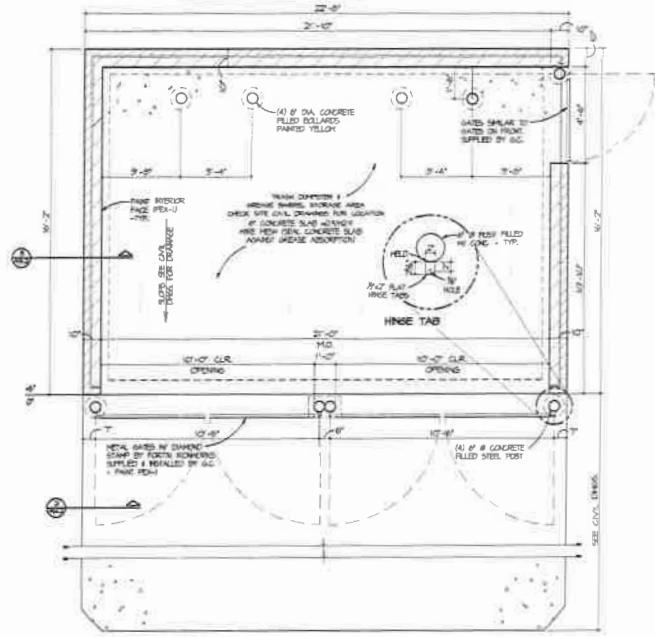
**Wendy's.**  
 STORE #10420  
 42ND & PULASKI  
 CHICAGO, IL 60632

DATE: 06/11/11  
 1042011 - ISSUED FOR PERMIT & BID  
 PROJECT NUMBER: 1042011  
 SCALE: AS SHOWN  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 NOTES: PERMISSIVE CONTRACT DOCUMENTS AND SPECIFICATIONS. IF THIS SET IS USED OR REPRODUCED FOR ANY PURPOSES NOT INTENDED BY THE ORIGINAL CONTRACTOR, THE USER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMISSIONS FROM THE ORIGINAL CONTRACTOR. THESE DRAWINGS HAVE BEEN PREPARED BY ARCHITECT DONALD J. WALLIN AND HIS FIRM UNDER AN AUTHORITY AND IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND SIGNATURE OF THE ARCHITECT DONALD J. WALLIN. EXPIRES: 06/11/11

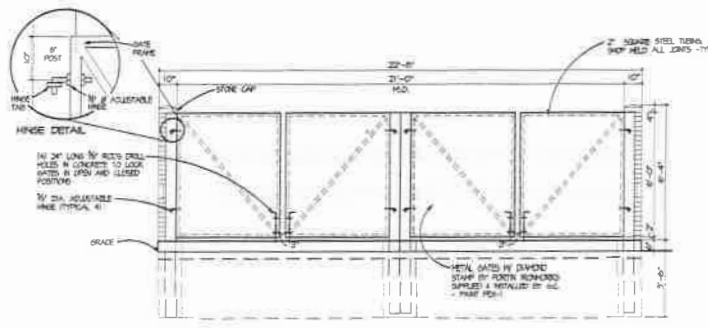
STATE OF ILLINOIS  
 DONALD J. WALLIN  
 ARCHITECT  
 LICENSE NO. 000000000  
 EXPIRES 06/11/11  
 ARCHITECTURAL SITE DETAILS

**AS1.2**

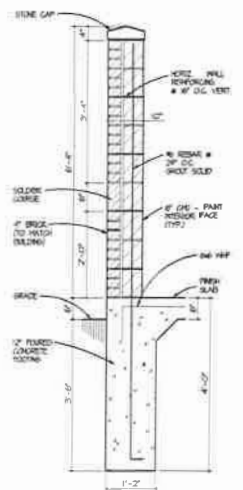
**TRASH ENCLOSURE SLAB SPEC**  
 1. CONCRETE SLAB TO BE A MINIMUM OF 6" THICK - VERIFY SLAB REQUIREMENTS WITH GEOTECHNICAL ENGINEER  
 2. CONCRETE COLOR INTERIOR - SCOPED LITHOCHROME A-20 "CLASSICAL GRAY" APPLY FOR MANUFACTURERS RECOMMENDATIONS  
 3. CONCRETE EXTERIOR - SCOPED LITHOCHROME A-20 "CLASSICAL GRAY" APPLY FOR MANUFACTURERS RECOMMENDATIONS



**01 TRASH ENCLOSURE PLAN**  
 SCALE: 3/8" = 1'-0"

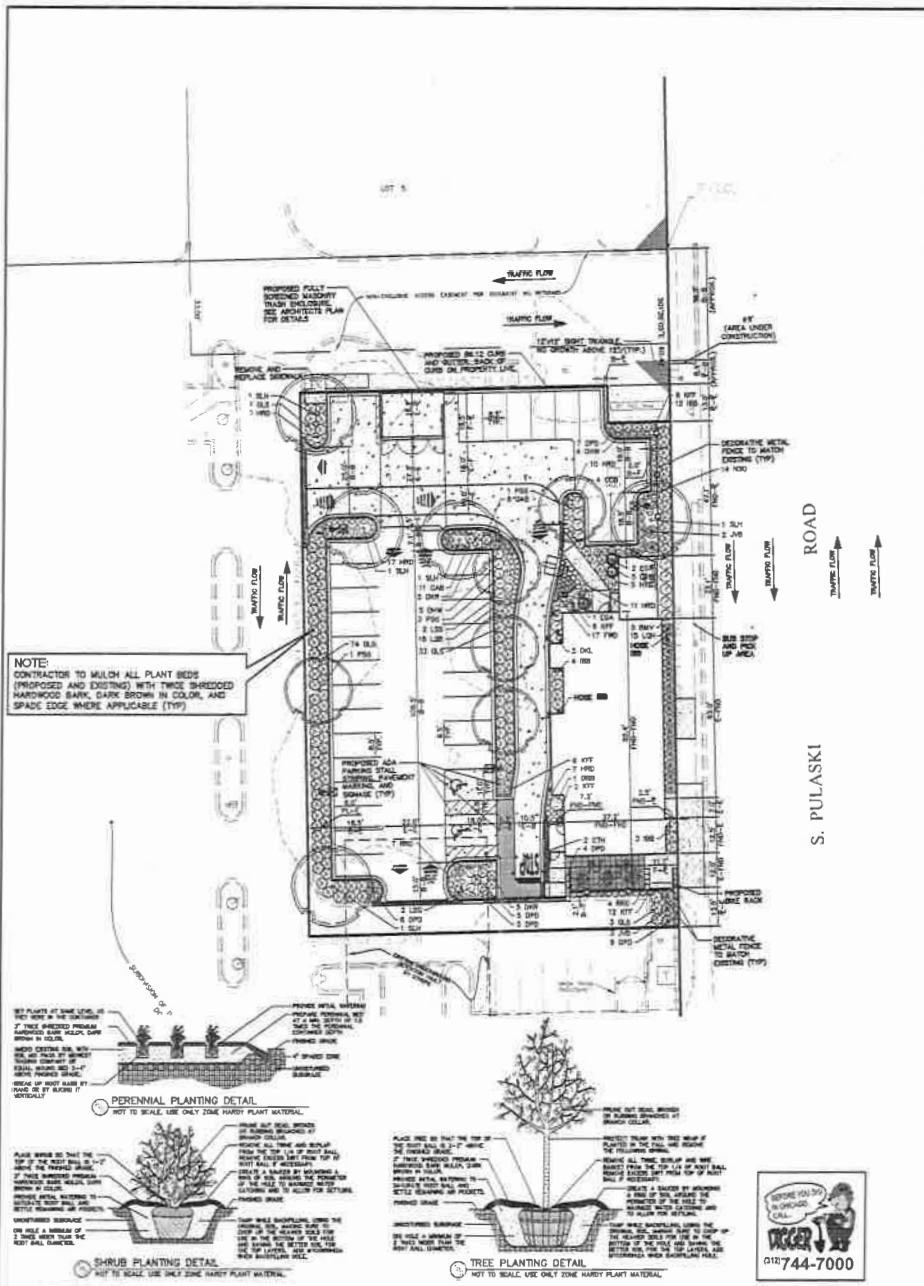


**02 TRASH ENCLOSURE FRONT ELEVATION**  
 SCALE: 3/8" = 1'-0"



**03 TRASH ENCLOSURE DETAIL**  
 SCALE: 1/2" = 1'-0"





- ### LANDSCAPE NOTES
1. ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND PURCHASED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
  2. PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR. CONTRACTOR MUST NOTIFY ALL MATERIAL QUANTITIES AS DETICED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
  3. SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
  4. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
  5. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER - SEE NOTE 5.
  6. ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE, STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  7. A MIXTURE OF 30% MUSHROOM COMPOST, 30% SAND AND 60% TOPSOIL SHALL BE INSTALLED WITH ALL PERENNIAL, ANNUAL AND SHRUB PLANTING PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE REAPPLIED IN BOTH THE TOPSOIL AND MUSHROOM COMPOST MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
  8. CONTRACTOR TO PROVIDE THROUGHOUT METAL WATERING OF ALL PLANTINGS WITH 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
  9. ALL PLANT BED AREAS ARE TO BE MULCHED WITH 2" OF DOUBLE SHROUDED HARDWOOD MULCH AND SHALL BE EXPANDED WITH A SPREAD EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURVES.
  10. ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLENDED BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNOTTING. IF TURF SEEDS AND SOIL OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL PROVIDE SEED MIXTURE TO MATCH SOIL.
  11. AREAS TO BE SOAKED SHALL BE WITH AN "APPROVED TURFGRASS SOIL" OF PREMIUM GRADE. SOIL SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LONG ENOUGH TO PRODUCE THE SEED. THE MIXTURE FOR 2 YEAR GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOIL SHALL BE FREE OF DISEASE, WEEDS, AND OTHER PLANT MATERIAL. SOIL SHALL BE LEAF COLOR, TEXTURE, AND SCENT. SOIL SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVESTING. SOIL SHOULD NOT EXCEED 90 DEGREES (F) OR MORE THAN 50 DEGREES (F). SOIL SHALL BE MOISTURE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1/2" OF SOIL IS REQUIRED) BUT SOIL THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT MAINTENANCE. SOIL SHALL BE LAID IN STRIPES ALONG WITH TYPICAL STRIPES EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOIL STRIPES SHALL BE USED ON ALL SLOPES 1:1 OR GREATER.
  12. THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL OBSERVED HEREON OR OBSERVED IN THE FIELD.
  13. ALL TRANSPORTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM ITS ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNDESIRABLE TO TRANSPORT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONSULTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
  14. CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEED PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
  15. CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
  16. THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND AROUND BY THE LANDSCAPE ORDNANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
  17. BECOMING SHALL BE RESPONSIBLE FOR EXAMINING THE SITE TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
  18. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLAN.
  19. IF IRRIGATION IS REQUIRED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS-BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
  20. IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE SYSTEM. CONTRACTOR SHALL PROVIDE THE OWNER AN AS-BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
  21. PROVIDE TOPSOIL, PE-Spread FOR THE FOLLOWING UNLESS OTHERWISE NOTED:
    - A. 4" MINIMUM IN GRASS OR SOIL AREAS
    - B. 6" MINIMUM IN PLANTING AREAS
    - C. 30" MINIMUM IN LANDSCAPE ISLANDS

### LANDSCAPE STATEMENTS (OCCUPANT & LANDSCAPE DESIGNER)

**WARRANTY STATEMENT BY OCCUPANT:**  
THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANNING SHOWN ON THE LANDSCAPE PLAN FOR THIS PROPERTY AT 4155 S. PULASKI ROAD IS THE PROPERTY OF THE UNDERSIGNED OCCUPANT'S KNOWLEDGE. HAS BEEN DESIGNED AND WILL BE INSTALLED MAINTAINED AND PROTECTED AS DESCRIBED BY CONTRACT AND SUBSEQUENT OCCUPANT IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 12, CHAPTER 32 OF THE ILLINOIS COMPILATION STATUTES (LOCAL ORDINANCES). THE UNDERSIGNED OCCUPANT AGREES TO MAINTAIN THE LANDSCAPE SYSTEM AND TO MAINTAIN THE LANDSCAPE SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 12, CHAPTER 32 OF THE ILLINOIS COMPILATION STATUTES (LOCAL ORDINANCES) AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

*Kenneth M. Price*  
OCCUPANT SIGNATURE      12/10/15      DATE

**DESIGN STATEMENT:**  
EXISTING PLANTING AND ON-SITE EXISTING TREES ARE TO BE PROTECTED UNLESS PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CONTRACT AND SUBSEQUENT OCCUPANT IF DAMAGED.

*Kenneth M. Price*  
OCCUPANT SIGNATURE      12/10/15      DATE

**INSTALLATION STATEMENT:**  
LANDSCAPE INSTALLATION INCLUDING ANY DETAILS IN CONSTRUCTION SHALL BE COMPLETED BY JUNE 15TH, 2016.

**LANDSCAPE DESIGNER STATEMENT:**  
THE UNDERSIGNED LANDSCAPE DESIGNER, ACKNOWLEDGES THAT THE LANDSCAPE PLANNING PLAN AND CONSTRUCTION DETAILS IN THIS PLAN HAVE BEEN DESIGNED, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, AS BEING IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 12, CHAPTER 32 OF THE ILLINOIS COMPILATION STATUTES (LOCAL ORDINANCES) AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

*Kenneth M. Price, I.A.*  
LANDSCAPE DESIGNER SIGNATURE      12/10/15      DATE  
LICENSE # 127-00486 - EXPIRES 8/27/17

### GENERAL NOTES:

1. THESE PLANS ARE BASED ON THE ALTA/ACSM LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #102111 DATED 09/11/13) PREPARED BY COMPASS SURVEYING LTD. 3831 SINGER WOODS PARKWAY, STE 100, ALHAMBRA, IL 60005 (312) 850-8100.
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

### ON-SITE PARKING DATA

PROPOSED REGULAR SPACES	33
PROPOSED ADA ACCESSIBLE SPACES	2
PROPOSED TOTAL SPACES	35

### SITE DATA

LOT AREA	= 24,414 S.F. (0.56 AC)
BUILDING AREA	= 3,487 S.F.
IMPERVIOUS AREA	= 20,437 S.F. (0.47 AC)(84%)
PERVIOUS AREA	= 3,977 S.F. (0.09 AC)(16%)
FAIR	= 0.143

### CHICAGO LANDSCAPE CALCULATIONS

TOTAL VEHICULAR USE AREA (VUA) = 15,093 S.F.  
 INTERIOR LANDSCAPED AREA PROVIDED = 1,132 S.F. (7.5%)  
 INTERIOR LANDSCAPED AREA REQUIRED = 3,107 S.F. (20.6%)  
 (DOES NOT INCLUDE "7" SETBACK)

7. LANDSCAPE SETBACK AND RED. FENCING ARE PROVIDED  
 INTERIOR TREES CALCULATION (1,132/125) = 9 PROVIDED  
 INTERIOR TREES PROVIDED = 9 PROVIDED

### PLANT LIST

#### SHADE, ORNAMENTAL AND CONIFEROUS TREES

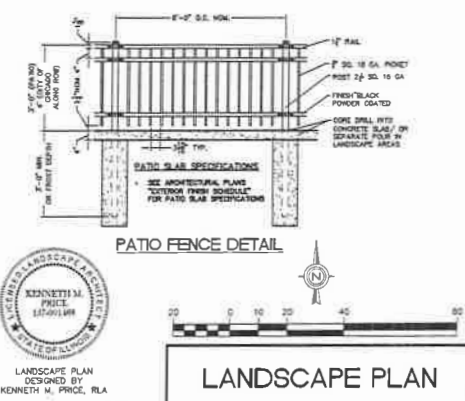
QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
9	PSC	<i>Gleditsia triacanthos</i> 'Sawyer'	Promenade Sawtooth Oak	2 1/2"
9	SLH	<i>Gleditsia triacanthos</i> var. 'Inermis 'Skyline'	Skyline Honeylocust	2 1/2"
3	EGA	<i>Thuja occidentalis</i> 'Tri-angul'	Emerald Green Arborvitae	5"

#### FLOWERING AND EVERGREEN SHRUBS

QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
10	IBB	<i>Amelanchier canadensis</i>	Witch Hazel	5 Gal
1	DBB	<i>Burynum xulmifolium</i> 'Concord'	Dwarf Burning Bush	5 Gal
15	LGH	<i>Hydrangea paniculata</i> 'SM-PL-OP'	Limelight Panicle Hydrangea	3 Gal
115	LOH	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Sumac	5 Gal
15	OKR	<i>Rosa 'Radical'</i>	Double Knock Out Rose	3 Gal
4	DCB	<i>Symphoricarpos x chanae</i> 'M'	Chaney Corallberry	5 Gal
3	DKL	<i>Syringa merrillii</i> 'Palmer'	Dwarf Korean Lilac	5 Gal
9	BBV	<i>Viburnum acerifolium</i> 'Chickadee'	Blue Muffin Viburnum	5 Gal
9	ZVB	<i>Viburnum x juddii</i>	Judd Viburnum	5 Gal
9	DBW	<i>Wegelia x 'Dawn Moon'</i>	Dawn Horse Weigela	3 Gal

#### PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS

QTY.	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
14	RRS	<i>Chamaecrista nuttalliana</i>	Northern Oak Grass	1 Gal
17	FVO	<i>Dianthus gratiopolitanus</i> 'Fire-trail'	Firetrail Dianthus	1 Gal
11	RRS	<i>Hemiphrasia 'Roses Returns'</i>	Roses Returns Daylily	1 Gal
55	RRS	<i>Hemiphrasia x 'Happy Returns'</i>	Happy Returns Daylily	1 Gal
4	LSS	<i>Perovskia atrorubra</i> 'Little Spire'	Little Spire Russian Sage	1 Gal
18	LSB	<i>Rudbeckia speciosa</i> (Alpida) var. sulcata	Shoney Black Eyed Susan	1 Gal
36	KFF	<i>Calliopsis x scutifolia</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 Gal
19	CAB	<i>Schizachyrium scoparium</i> 'Coville'	Carolina Blue Bluestem	1 Gal
38	DDP	<i>Sporobolus heterophyllus</i> 'Coville'	Dwarf Prairie Dropseed	1 Gal
2	CTH	<i>Thymus praecox</i> 'Coccoloba'	Creeping Thyme	12 Per Pot



LANDSCAPE PLAN  
DESIGNED BY  
KENNETH M. PRICE, I.A.

Prepared For:

Wendy's International, Inc.  
40 Shuman Boulevard, Suite 130  
Naperville, IL 60563  
WENDY'S - CHICAGO  
#150 South Pulaski Road - Chicago, IL  
Chicago, Illinois

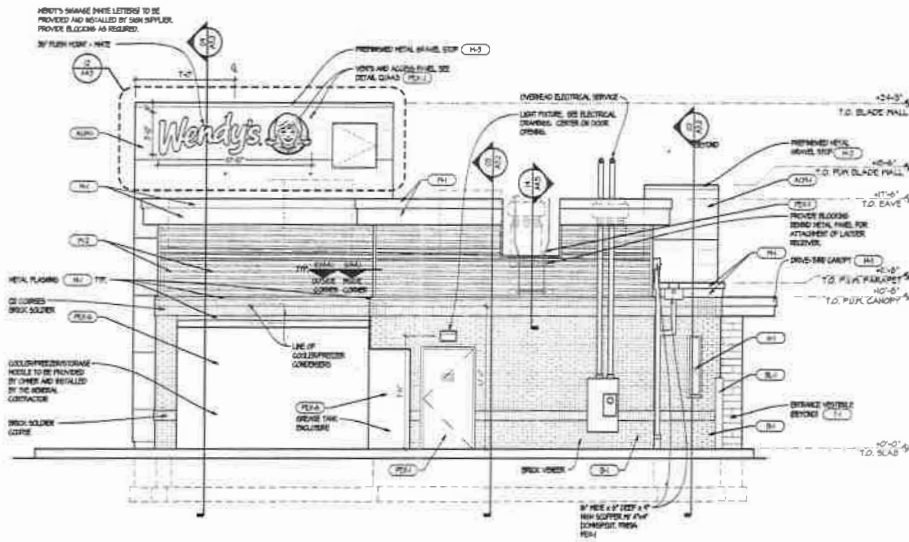
Prepared By:

Wendy's  
#150 South Pulaski Road - Chicago, IL 60607

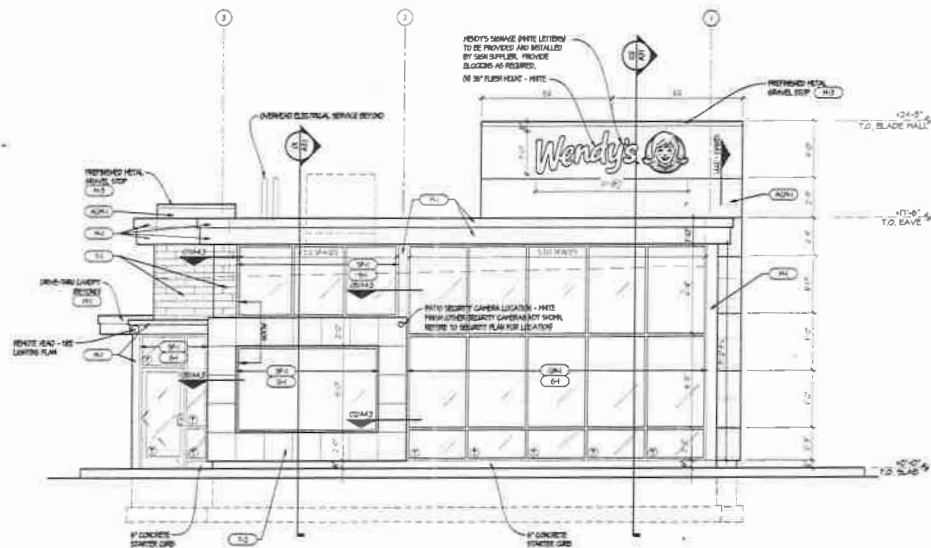
CHICAGO BY E. FERRY  
DESIGN BY: MANKEN  
DRAWN BY: K. PRICE  
DATE: OCTOBER 10, 2015  
SCALE: 1" = 20'  
PROJECT NO: 14-102

LANDSCAPE PLAN

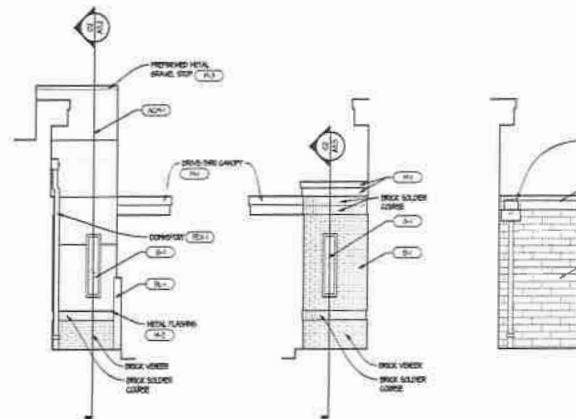
L-1



**02 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**01 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**03 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**04 AUX. SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**05 AUX. NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**EXTERIOR FINISHES LEGEND**

NOTE: REFER TO MATERIALS RESPONSIBILITY SCHEDULE ON SHEET A-01 FOR SPECIFICATIONS OF EXTERIOR MATERIALS AND FINISHES.

- (A01) METAL COMPONENT PANELS (RED)
- (B1) BRICK
- (B-1) COLLAR COVER - RED
- (D1) 7' LORE ISOLATED GLASS
- (D-2) 7' ISOLATED SPANDREL GLASS
- (D-3) 4\"/>

**ENVELOPE COMPLIANCE**

ROOF	R-20
WALLS	R-2
FLOORS	R-15, 21, 25, 30, 35
GLASS DOORS	R-15, 21, 25, 30, 35

**SITE NUMBER:** 10420  
**BASE MODEL:** WCA 10/2005  
**ASSEMBLY TYPE:** CORP  
**CLASSIFICATION:** NEW BUILD  
**OWNER:** WENDY'S INTERNATIONAL  
**BASE VERSION:** 2015 JUN 01 (R0)  
**UPGRADE CLASSIFICATION:**  
 CORP NEW BUILD  
**PROJECT YEAR:** 2015  
**FURNITURE PACKAGE:** 2014  
**DESIGN BULLETIN:** 08121415

**Wallin + Gomez Architects, Ltd.**  
 711 South Dearborn Street  
 Suite 608  
 Chicago, IL 60605  
 Tel: 312-427-1722  
 Fax: 312-427-9811  
 e-mail: admin@wga.com

**Wendy's**  
 STORE # 10420  
 42ND & PULASKI  
 CHICAGO, IL 60632

DATE:	10/11/15
SCALE:	AS SHOWN FOR PLAN & SD
DATE:	10/11/15
SCALE:	15098
DATE:	10/11/15
SCALE:	DJW

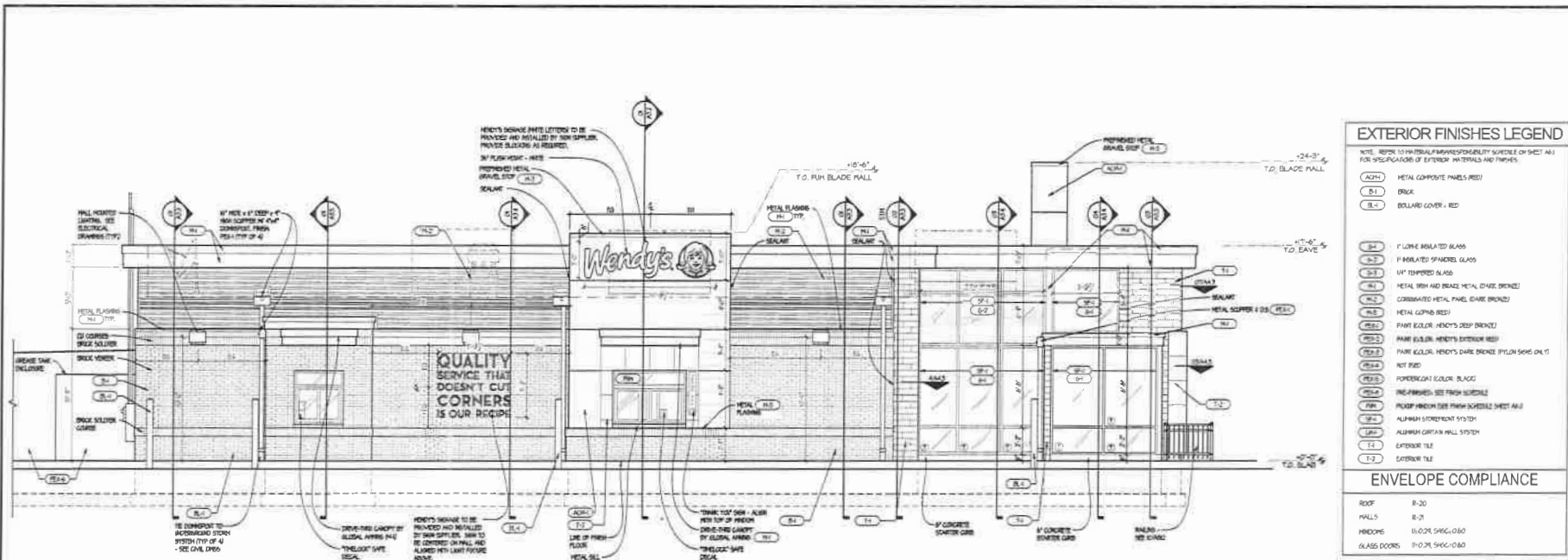
NOTES: THE CONTRACTOR SHALL VERIFY AND REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS IN THE EXISTING RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

THIS DRAWING HAS BEEN PREPARED BY AND FOR THE USE OF THE ARCHITECT AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

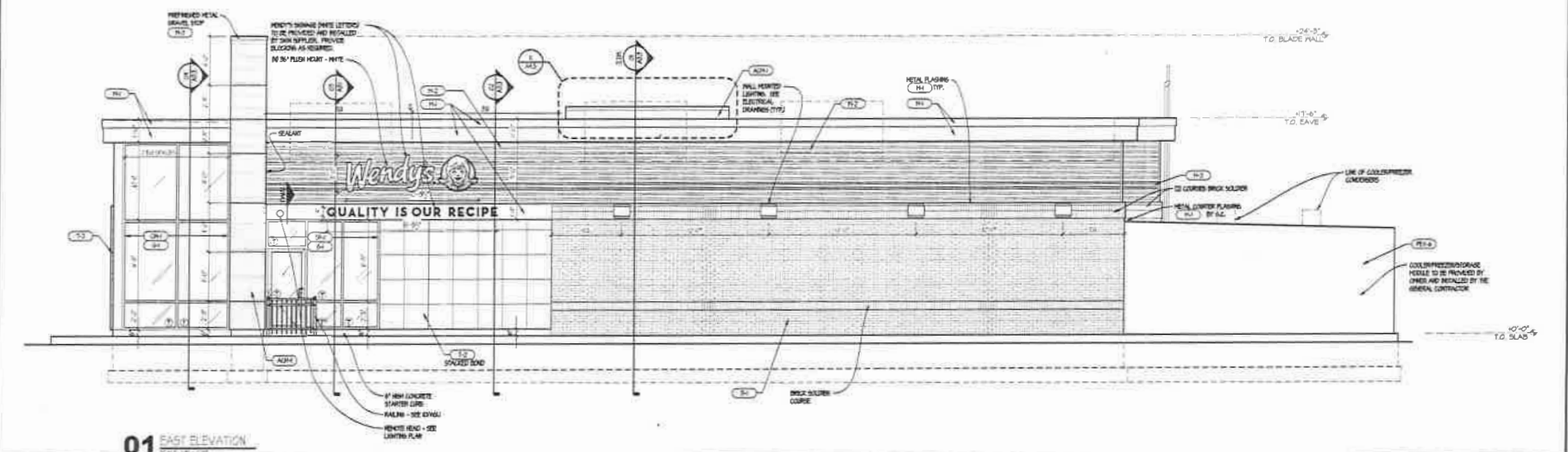
STATE OF ILLINOIS  
 DONALD J. WALLIN  
 ARCHITECT  
 EXPIRES 12/31/2018

EXTERIOR ELEVATIONS

**A2.1**



**02 WEST ELEVATION**



**01 EAST ELEVATION**

**EXTERIOR FINISHES LEGEND**

- NOTE: REFER TO MATERIAL RESPONSIBILITY SCHEDULE ON SHEET A01 FOR SPECIFICATIONS OF EXTERIOR MATERIALS AND FINISHES.
- (A01) METAL COMPOSITE PANELS (RED)
  - (B.1) BRICK
  - (B.2) BOLLARD COVER (RED)
  - (B.3) 1" LONE ISOLATED GLASS
  - (B.4) 1" INSULATED SPANGLER GLASS
  - (B.5) 1/4" TYPED GLASS
  - (B.6) METAL WITH BRASS METAL (DAVE BRONZE)
  - (B.7) CORRUGATED METAL PANEL (DAVE BRONZE)
  - (B.8) METAL COMPOSITE PANEL (RED)
  - (B.9) PAINT COLOR: WENDY'S DEEP BRONZE
  - (B.10) PAINT COLOR: WENDY'S SUGARCOE RED
  - (B.11) PAINT COLOR: WENDY'S DAVE BRONZE (BY LON SONS ON IT)
  - (B.12) NET RED
  - (B.13) FORMER COLOR: BLUES
  - (B.14) FINE-GRANULAR SAND FRESH SURFACES
  - (B.15) PROF. FINISH (SEE FRESH SURFACES SHEET A01)
  - (B.16) ALUMINUM STRETCH 1/2" THK
  - (B.17) ALUMINUM GRANITE WALL SYSTEM
  - (T.1) EXTERIOR TILE
  - (T.2) EXTERIOR TILE

**ENVELOPE COMPLIANCE**

ROOF	R-20
WALLS	R-7
FLOORS	10.0-21 5/8" (0.60)
GLASS DOORS	10.0-21 5/8" (0.60)

SHEET NUMBER: 15022  
 BASE MODEL: NDK MEE022  
 ASSET TYPE: COMM  
 CLASSIFICATION: NEW BUILD  
 OWNER: WENDY'S INTERNATIONAL  
 BASE LOCATION: 2015 JUN 01 (R3)  
 UPDATES CLASSIFICATION:  
 COMM NEW BUILD  
 PROJECT YEAR: 2015  
 FURNITURE PACKAGE: 2014  
 DESIGN ROLLUTINS: 09 01-15

**Wallin-Gomez Architects, Ltd.**  
 214 South Dearborn Street  
 Chicago, IL 60605  
 Tel: 312-427-4702  
 Fax: 312-427-4811  
 www.wallin-gomez.com

**Wendy's**  
 STORE #10420  
 42ND & PULASKI  
 CHICAGO, IL 60632

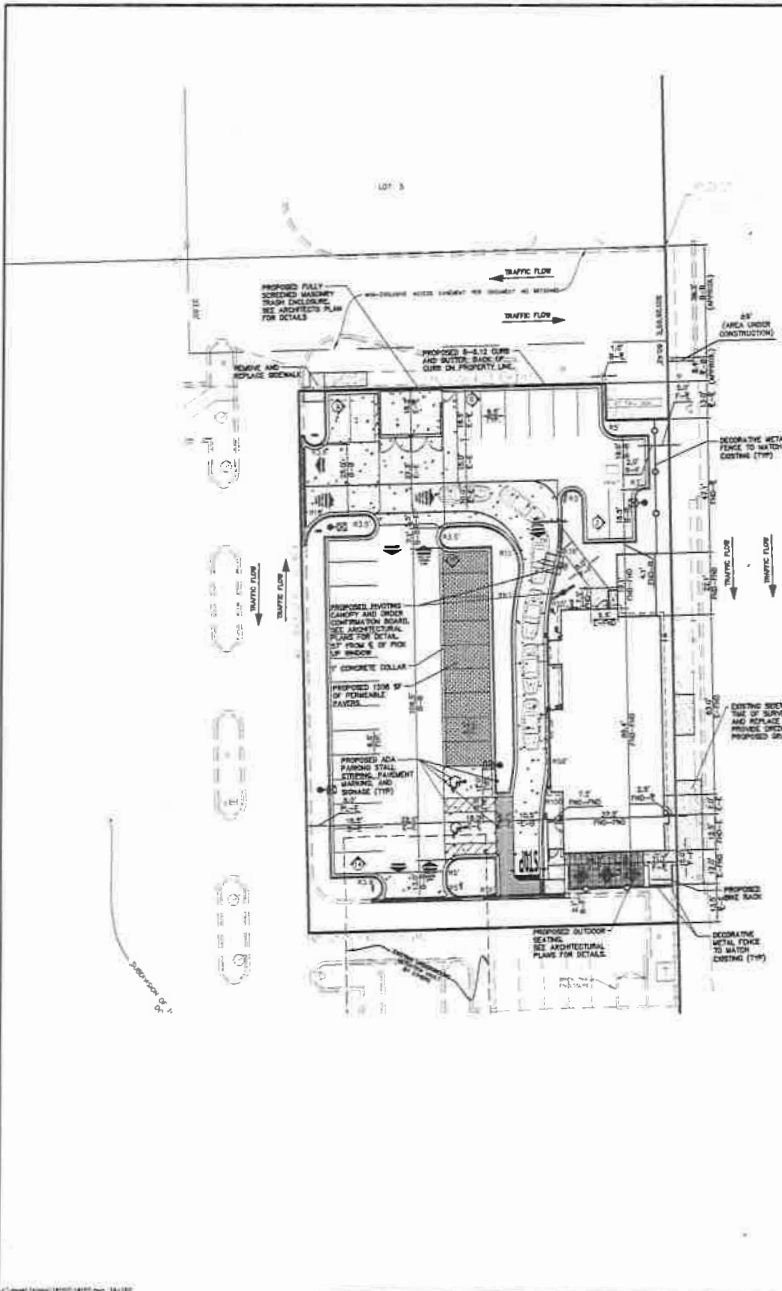
DATE	BY	APP
15/04/20	WALLIN	WALLIN
15/04/20	WALLIN	WALLIN
15/04/20	WALLIN	WALLIN

NOTE: THE EXISTING SIGNAGE IS TO BE REMOVED AND REINSTALLED PER THE ARCHITECT'S REQUIREMENTS. IT SHALL NOT BE USED OR REPRODUCED OR RECREATED IN ANY MANNER OR IN ANY MEDIUM WITHOUT THE WRITTEN CONSENT OF WALLIN-GOMEZ ARCHITECTS, LTD.  
 THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF WALLIN-GOMEZ ARCHITECTS, LTD. AND SHALL BE KEPT IN CONFIDENTIALITY WITH THE EXCEPT OF THE EXISTING SIGNAGE AND EXISTING WALLS.



EXTERIOR ELEVATIONS

**A2.2**



S. PULASKI ROAD

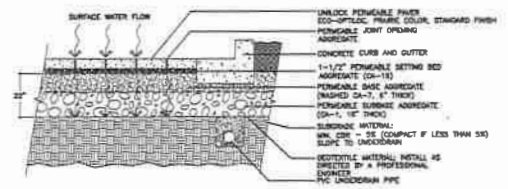
**GENERAL NOTES:**  
 1. THESE PLANS ARE BASED ON THE ALTA/ACSM LAND TITLE AND TOPOGRAPHIC SURVEY (SURVEY PROJECT #16201) DATED 08/17/10.  
 PREPARED BY: COMPASS SURVEYING LTD 3031 GINGER WOODS PARKWAY, STE 100, AURORA, IL 60009 (530) 820-8100  
 2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

**ON SITE PARKING DATA**

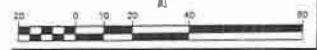
PROPOSED REGULAR SPACES	33
PROPOSED ADA ACCESSIBLE SPACES	2
PROPOSED TOTAL SPACES	35

**SITE DATA**

LOT AREA	=	24,414 S.F. (0.56 AC)
BUILDING AREA	=	3,487 S.F.
PERVIOUS AREA	=	20,437 S.F. (0.47 AC)(84%)
PERVIOUS AREA	=	3,977 S.F. (0.09 AC)(16%)
FAR	=	0.143



Permeable Pavers with Curb and Gutter



SITE PLAN

DATE	DESCRIPTION
12/18	ISSUED PERMEABLE PAVERS

Prepared For:

Wendy's International, Inc.  
 40 Shurman Boulevard, Suite 130  
 Naperville, IL 60563  
**WENDY'S - CHICAGO**  
 4150 South Pulaski Road - Outlot #1  
 Chicago, Illinois

Prepared By:



CHECKED BY: R. PERRY  
 DESIGN BY: MANKEN  
 DRAWN BY: A. PERCE  
 DATE: DECEMBER 14, 2015  
 SCALE: 1" = 20'  
 PROJECT NO.: 14-102

1 of 1



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

February 23, 2016

Donna J. Pugh  
Foley & Lardner LLP  
321 N. Clark St., Suite 2800  
Chicago, IL 60654-5313

**Re: Administrative Relief request for Business Planned Development No. 1198  
Sub-Area 4, Outlot I, Proposed Wendy's Restaurant at 4150 S. Pulaski Road**

Dear Ms. Pugh:


Please be advised that your request for a minor change to Business Planned Development No. 1198 ("PD 1198") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 1198.

Your client, Wendy's Restaurant, is seeking administrative relief to replace the green roof with a comparable amount of permeable paving. The proposed Wendy's at 4150 S. Pulaski Rd., and on Outlot I (formerly identified as Outlot G) will have many roof penetrations and therefore, not much room for plantings. They are proposing to create 1,208 square feet of permeable paving (calculated based on the attached "Green Roof Offset" matrix) as shown on the attached Site Plan, dated February 4, 2016. The owner of all of the property within PD 1198, Pulaski Promenade LLC, has provided their consent to this request.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed substitution of permeable pavers in place of a green roof will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 1198, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Dan Klaiber, Michael Berkshire, Main file

# Green Roof Offsets Planned Development

Project:

Wendy's - 4150 S. Pulaski Rd

date:

2/8/2016

PD #1198 (Amendment / new)

Volume Control Strategy					
Green Roof			At-grade Volume Control BMP		
Square Feet of Green Roof Required *	3487	SF	Square Feet of (BMP type)	1208	SF
%*	100%		Square Feet of (BMP type) (add if more than one)		
Type	12				
Volume of Water Green Roof would have held **	291	CF	Volume of Water BMP(s) will hold	842	CF

\* See City of Chicago Sustainable Development Policy matrix:

[http://www.cityofchicago.org/dam/city/depts/zlup/Sustainable\\_Development/Publications/GreenMatrix2011DHED.pdf](http://www.cityofchicago.org/dam/city/depts/zlup/Sustainable_Development/Publications/GreenMatrix2011DHED.pdf)

\*\* Assume 25% void ratio in green roof soil medium. (ie: for 4" green roof, 1" \* SF = Volume (CF) of water stored.)

Assume \_% void ratio in topsoil. (ie: for 4" topsoil, \_\_\_ " \* SF = Volume (CF) of water stored.)

**Narrative:**

A green roof is required for the development of Outlot #1 of the Pulaski Promenade per PD1198. The proposed building is a 3487 square foot quick service restaurant. Due to the nature of the proposed building and use, the building has many roof penetrations for equipment such as HVAC units, grill exhausts hoods, condensing units and fryer exhausts. These penetrations take up a great deal of space on the roof leaving very little room for plantings. Also, due to the nature of the facility, the exhaust coming out of the vents is very warm can be greasy. The heat along with the oils on the roof would create a very messy situation and would make it very difficult to grow any plant materials. Therefore, we are proposing to substitute the green roof with permeable pavers on the property. The proposed permeable pavers will be constructed with a stone base material containing voids that are sized to accommodate more stormwater than the voids in a green roof would have held. Therefore, we believe that this is a more favorable solution than providing a green roof for this development and will provide more benefits to the environment than a typical green roof would have provided.





DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

October 3, 2014

Sylvia C. Michas  
Chico & Nunes, P.C.  
333 W. Wacker Drive  
Suite 1420  
Chicago, IL 60606

**Re: Administrative Relief request for Business Planned Development No. 1198  
4064-4200 South Pulaski Road**

Dear Ms. Michas:

Please be advised that your request for a minor change to Business Planned Development No. 1198 ("PD 1198"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 1198.

Your client and the owner of all of the property within PD 1198, Pulaski Promenade LLC, is seeking an administrative relief due to the withdrawal of the anchor tenant and a reduction in the main retail building from approximately 135,967 square feet to 116,386 square feet. This reduction has resulted in the following modifications:

1. A decrease in parking from 616 spaces to 574 spaces, which still exceeds the minimum number of parking spaces required (566).
2. An increase in the number of loading docks from four internal docks to seven internal docks, which exceeds the minimum number of loading spaces required (4).
3. Slight modifications to the curb cuts along South Karlov Avenue, and as approved by the Department of Transportation on August 25, 2014.

The following attached drawings shall be inserted into the main file: Proposed Driveway Location Exhibit, Driveway Access & Dimension Plan, and Landscape Plan. Please note that based on these modifications, additional green space has been added so that the interior tree count can now be met.

With regard to your request, the Department of Planning and Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 1198, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

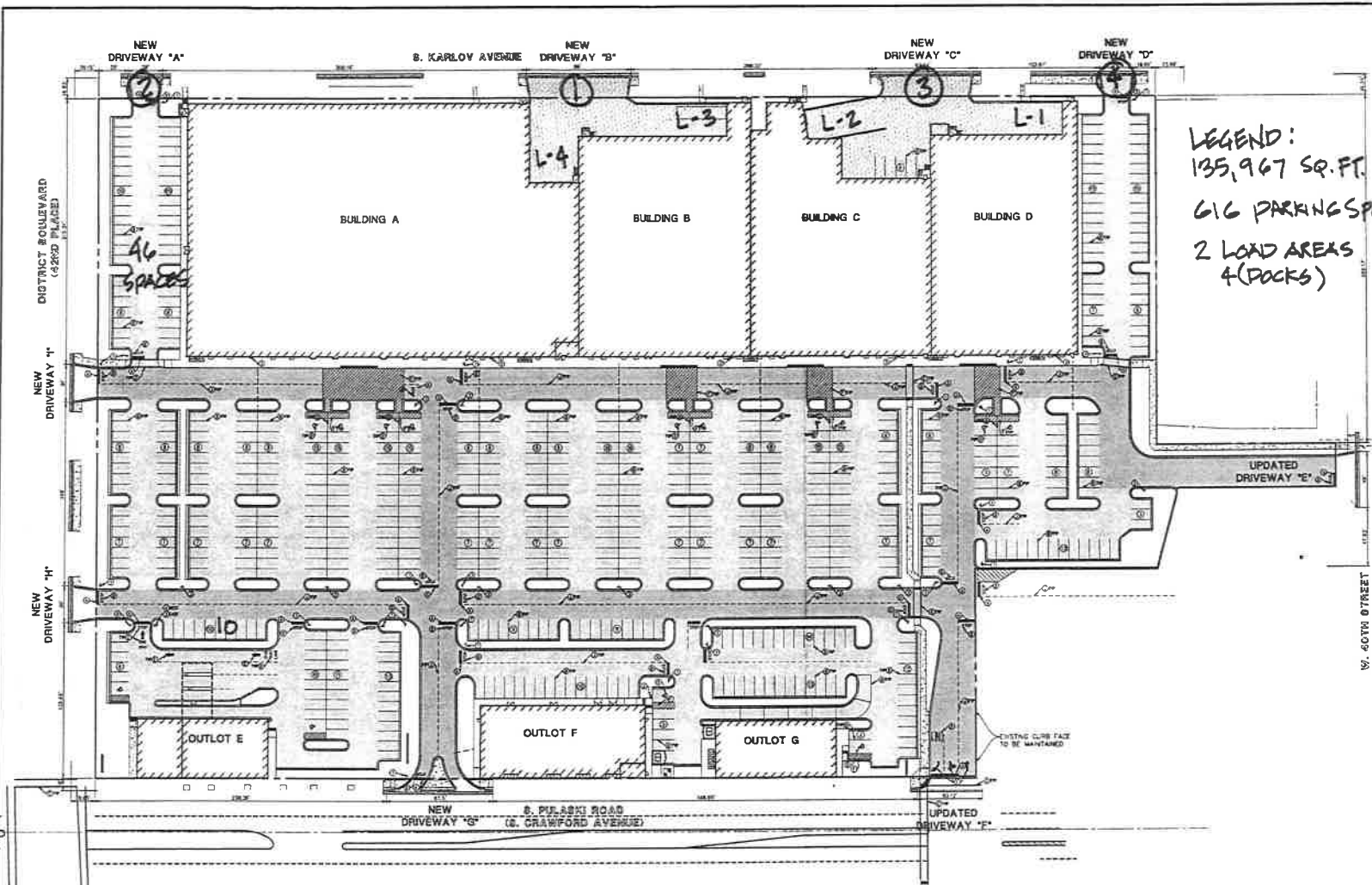
Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Ron Daye, Fred Deters, Main file



**LEGEND:**  
 135,967 SQ. FT.  
 616 PARKING SPACES  
 2 LOAD AREAS  
 4 (DOCKS)



- SOIL LEGEND**
- ① 1" - 1" STOP SIGN
  - ② 1" - 2" SAND/CLAY FILLING SOIL
  - ③ FINE SAND - NO FILLING SOIL
  - ④ 2" - 1" 20' (1) 1" 1" SOIL

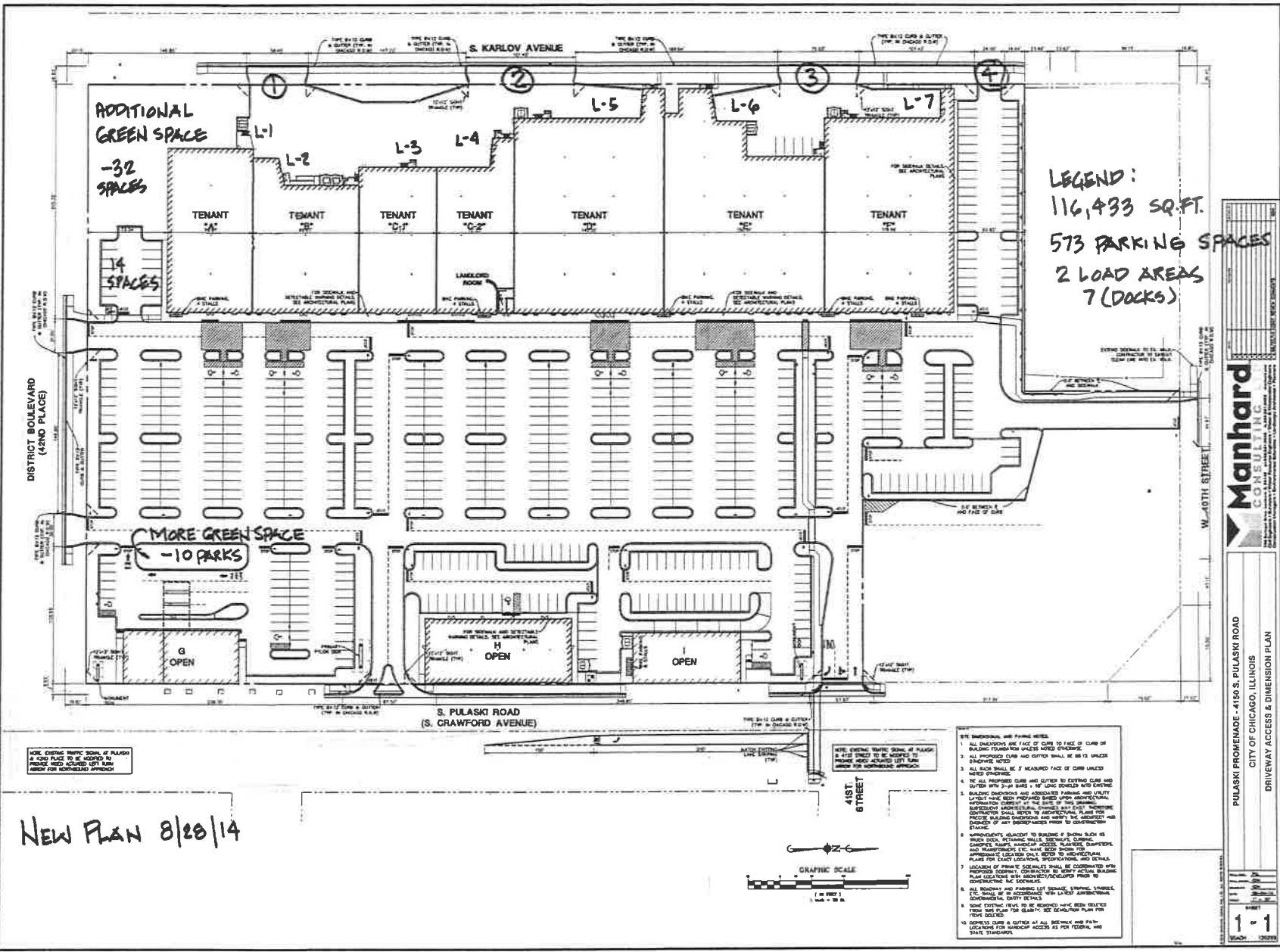
- PAVEMENT MARKING LEGEND**
- ① 2" - 1" WHITE STOP BAR
  - ② 4" - 1" YELLOW LINE
  - ③ 8" - 1" SOLID MARK
  - ④ LETTERS AND SYMBOLS PAVEMENT MARKINGS
  - ⑤ TRAFFIC FLOW DIRECTIONAL MARKING
  - ⑥ 4" - 1" YELLOW INTERMITTENT 12 FT SPACED 2" R.C.
  - ⑦ 4" - 1" YELLOW (OR WHITE) MARKS

- NOTES:**
1. ALL INTERSECTIONS ARE FACE OF CURB TO FACE OF CURB UNLESS NOTED OTHERWISE.
  2. FOR INTERSECTIONS, SEE SPECIFICATIONS TO VERIFY CURB AND PAVEMENT TYPES, BUT NOT DIMENSIONS. SEE CURB AND PAVEMENT TYPES AND DIMENSIONS ON THE CURB AND PAVEMENT TYPES AND DIMENSIONS SHEET.
  3. FOR ADDITIONAL INFORMATION, SEE PLANS FOR PRELIMINARY SITE PLAN, PLANS FOR FINAL DESIGN, AND PLANS FOR FINAL CONSTRUCTION.

- PAVEMENT LEGEND**
- TRUCKING DRIVE PAVEMENT**
- 1 1/2" GRANULAR SURFACE COURSE, 1/2" - 3/4" NORMAL, MAX 2.5% FINE
  - 1 1/2" GRANULAR SURFACE COURSE, 1/2" - 3/4" NORMAL, 1/2" - 3/4" FINE
  - 8" AGGREGATE BASE COURSE, TYPE 8 (CA-4)
- STANDARD DRIVEWAY PAVEMENT**
- 2" GRANULAR SURFACE COURSE, 1/2" - 3/4" NORMAL, MAX 2.5% FINE
  - 2" GRANULAR SURFACE COURSE, 1/2" - 3/4" NORMAL, 1/2" - 3/4" FINE
  - 8" AGGREGATE BASE COURSE, TYPE 8 (CA-4)
- DRIVEWAY PAVEMENT**
- 1" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, MAX 2.5% FINE
  - 2" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, 1/2" - 3/4" FINE
  - 8" COMPACTED AGGREGATE BASE, TYPE 8 (CA-4)
- DRIVEWAY INTERLOCK ASPHALT**
- 1" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, MAX 2.5% FINE
  - 2" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, 1/2" - 3/4" FINE
  - 4" COMPACTED AGGREGATE BASE, TYPE 8 (CA-4)
- DRIVEWAY INTERLOCK**
- 1" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, MAX 2.5% FINE
  - 2" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, 1/2" - 3/4" FINE
  - 4" COMPACTED AGGREGATE BASE, CA-4
- DRIVEWAY INTERLOCK**
- 1" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, MAX 2.5% FINE
  - 2" COMPACTED SAND/CLAY FILLING SOIL, 1/2" - 3/4" NORMAL, 1/2" - 3/4" FINE
  - 4" COMPACTED AGGREGATE BASE, CA-4

**Manhard CONSULTING**  
 CONSULTING ENGINEERS, ARCHITECTS, PLANNERS, AND ENVIRONMENTAL SCIENTISTS  
 1000 N. LAKE STREET, SUITE 1000, CHICAGO, ILLINOIS 60610  
 TEL: (312) 462-1000 FAX: (312) 462-1001  
 WWW: WWW.MANHARDCONSULTING.COM

PULASKI FIDELITY  
 CITY OF CHICAGO, ILLINOIS  
 PROPOSED DRIVEWAY LOCATION EXHIBIT



USE EXISTING METRIC SCALE OF PULASKI AT THIS PLACE TO BE ADJUSTED TO MATCH AND ACQUIRED LEFT HAND DRIVE FOR REVERSE APPROACH

NEW PLAN 8/28/14

LEGEND:  
 116,433 SQ.FT.  
 573 PARKING SPACES  
 2 LOAD AREAS  
 7 (DOCKS)

- SEE ARCHITECTURAL AND FINISH NOTES
1. ALL DIMENSIONS ARE FACE TO FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE
  2. ALL PROPOSED CURB AND DRIVEWAYS SHALL BE 18" TO 24" UNLESS OTHERWISE NOTED
  3. ALL SLOPE SHALL BE 1% UNLESS FACE OF CURB UNLESS NOTED OTHERWISE
  4. ALL EXISTING CURBS AND DRIVEWAYS TO EXISTING CURB AND DRIVEWAYS WITH 2-4" SLOPE + 1% LONG CORNER WITH EXISTING BUILDING SIDEWALKS AND ASSOCIATED FURNISHES AND UTILITIES LAYOUT HAVE BEEN PROVIDED BASED UPON ARCHITECTURAL INFORMATION SUPPLIED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE EXISTING CONDITIONS AND HAS NOTED ANY DISCREPANCIES. THE CLIENT SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY AND COMPLETENESS OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OF THIS PLAN.
  5. ALL EXISTING DIMENSIONS TO BUILDING OR SHOW SUCH AS INTERIOR ROOMS, WALLS, CEILING, CORNER, CANTILEVER, RAMP, STAIRCASE, ACCESS, PLUMBING, COMPRESSOR, AND MECHANICAL ETC. ARE TO BE SHOWN FOR INFORMATION LOCATIONS ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
  6. LOCATIONS OF PRIVATE SERVICES SHALL BE COORDINATED WITH PROPOSED CONTRACTOR BY VERY EARLY DESIGN PHASE AND LOCATIONS SHALL BE INDICATED PRIOR TO CONSTRUCTION OF THIS PLAN.
  7. ALL DIMENSIONS AND FINISHES TO EXISTING STRUCTURE, UTILITIES, ETC. SHALL BE IN ACCORDANCE WITH LATEST AMERICAN CONSTRUCTION CODES AND STANDARDS.
  8. SOME EXISTING UTILITIES TO BE SHOWN HAVE BEEN LOCATED FROM THE CITY OF CHICAGO. SEE EXISTING PLAN FOR THE EXACT LOCATION OF UTILITIES.
  9. ALL DIMENSIONS AND FINISHES TO EXISTING STRUCTURE, UTILITIES, ETC. SHALL BE IN ACCORDANCE WITH LATEST AMERICAN CONSTRUCTION CODES AND STANDARDS.

**Manhard**  
 CONSULTING  
 1100 N. LAKE STREET, SUITE 1000  
 CHICAGO, ILLINOIS 60610  
 TEL: 312.467.1000  
 FAX: 312.467.1001  
 WWW.MANHARDCONSULTING.COM

PULASKI PROMENADE - 4150 S. PULASKI ROAD  
 CITY OF CHICAGO, ILLINOIS  
 DRIVEWAY ACCESS & DIMENSION PLAN

1" = 1'



17139

a line 197.50 feet south of and parallel to West Addison Street; North Halsted Street; a line 297.50 feet south of and parallel to West Addison Street; and the public alley next west of and parallel to North Halsted Street,

to those of a C1-2 Neighborhood Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map No. 10-J.  
(Application No. 17499)  
(Common Address: 4400 S. Archer Ave.)

[O2012-3731]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District and C2-2 Motor Vehicle-Related Commercial District symbols as shown on Map Number 10-J in the area bounded by:

a line 106.04 feet north of and parallel to the south boundary line of the east/west public alley next northwest of South Archer Avenue; South Sawyer Avenue; South Sawyer Avenue; South Archer Avenue; South Spaulding Avenue; South Spaulding Avenue; the east/west public alley next northwest of South Archer Avenue; and the public alley next east of and parallel to South Spaulding Avenue,

to those of a C2-1 Motor Vehicle-Related Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map No. 10-K.  
(As Amended)  
(Application No. 17139)

(Common Address: 4078 -- 4201 S. Pulaski Rd., 4000 -- 4054 W. 42<sup>nd</sup> St.  
(Ann Lurie Pl.), 4061 -- 4211 S. Karlov Ave., And 4027 W. 40<sup>th</sup> St.)

BPD 1198

[SO2010-5911]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-3 Light Industry District symbols and indications as shown on Map Number 10-K in the area bounded by:

South Karlov Avenue; a line 146.84 feet south of and parallel to West 40<sup>th</sup> Street; a line 282.00 feet east of and parallel to South Karlov Avenue; West 40<sup>th</sup> Street; a line 317 feet east of and parallel to South Karlov Avenue; a line beginning at a point 317 feet east of South Karlov Avenue and 129.43 feet south of West 40<sup>th</sup> Street running for a distance of 62.27 feet to a point 146.85 feet south of West 40<sup>th</sup> Street and 168.22 feet west of South Pulaski Road; a line 168.22 feet west of South Pulaski Road; a line 723.00 feet north of and parallel to West Ann Lurie Place; South Pulaski Road; and West Ann Lurie Place,

to those of a C3-1 Commercial Manufacturing and Employment District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the C3-1 Commercial Manufacturing and Employment District symbols and indications as shown in the area described above in Section 1 to those of a Business Planned Development and a corresponding use district is hereby established in the area above described.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Business Planned Development No. 1198.*

*Plan Of Development Statements.*

1. The area delineated herein as Business Planned Development Number 1198, ("Planned Development") consists of a net site area of approximately four hundred sixty thousand seven hundred (460,700) square feet (plus or minus ten point five eight (10.58) acres) of real property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property"), and is owned or controlled by the applicant, IBT Group , LLC ("Applicant") for purposes of this Planned Development.
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assigns or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the owner(s) of the individual subareas, their successors and assigns and the legal titleholders and any ground lessors. All rights

granted hereunder to the owner(s) of the individual subareas shall inure to the benefit of the owner's successors and assigns, and if different than owner, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any application for an amendment, modification or change (legislative, administrative or otherwise) to this Planned Development is made, shall be under single ownership or single designated control. "Single designated control" is defined in Section 17-8-0400 of the Chicago Zoning Ordinance. The subareas herein shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400.

4. This plan of development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Subarea Map; Site Plan(s); a Pedestrian Access Plan; Landscape Plans (Landscape Plan; Landscape Schedules; and Landscape Notes); Vehicular Use Area Plan; and Building Elevations (Subarea 1 -- Overall; Materials Legend; Typical Material and Color Key; Subarea 1 -- Retail A; Subarea 1 -- Retail B; Subarea 1 -- Retail C; Subarea 1 -- Retail D; and Subarea 3 -- Retail F), all dated July 19, 2012 prepared by Sorce Architecture, PC and Countryside Landscape Architects and Contractors which are all incorporated herein. Full-size sets of the Site Plan, Landscape Plan, and Building Elevations are on file with the Department of Housing and Economic Development ("DHED"). This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code in Chicago) and all requirements thereof and satisfies the established criteria for approval of a Planned Development. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.
5. The following uses shall be permitted within the area delineated herein as Business Planned Development Number 1198 and the subareas thereof: all uses permitted in the Commercial Use Group of the C3 Commercial, Manufacturing and Employment District, except: Tavern, Liquor Store (package goods), Body Art Services, Liquor Sales (as accessory), Poultry (including slaughtering and retail sales), the entire Vehicle Sales and Service Use Category except Auto Supply/Accessory Sales and auto rental and accessory uses, the entire Industrial Use Category except for Artisan, Limited (catering and shared kitchen only), Day Labor Employment agency, Employment Agencies, Contractor/Construction Storage Yard and General (laundry or dry cleaning plant only). The following Special Uses shall be permitted: Drive-Through Facility, Inter-Track Wagering Facility, and Private Club. All other uses shall be prohibited.
6. Identification and on-premises business signs shall be permitted within the Planned Development subject to the review and approval of the Department of Housing and Economic Development ("DHED"). Temporary signs, such as construction and marketing signs shall be permitted within the Planned Development subject to review and approval of the Department of Housing and Economic Development ("DHED"). Off-premises signs shall not be permitted within the Planned Development.

7. Off-street parking and loading facilities shall be constructed and maintained in compliance with this Planned Development, subject to the review and approval of the Department of Transportation and the Department of Housing and Economic Development ("DHED").
8. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Housing and Economic Development ("DHED"). Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in accordance with the Municipal Code of the City of Chicago.
9. For purposes of height measurement, the definitions in the City of Chicago Zoning Ordinance shall apply. The maximum permitted floor area ratio ("FAR") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of FAR calculations and floor area measurements, the definitions in the City of Chicago Zoning Ordinance shall apply.
11. The improvements on the Property and any adjacent public rights-of-way shall be designed, constructed and maintained in substantial conformance with the exhibits attached hereto and with the landscaping and screening provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Development of the Property is intended to take place in phases. The first Part II application for development in a given subarea shall encompass all of the improvements for that entire subarea.

Prior to the Part II approval (per Section 17-13-0610 of the Chicago Zoning Ordinance) in Subareas 2 and 4, the Applicant shall submit a site plan, landscape plan and building elevations for the specific subarea(s) for review and approval by the Zoning Administrator. Review and approval by the Zoning Administrator is intended to assure that specific development components substantially conform with the Planned Development and to assist the City in monitoring ongoing development. The site plan provided shall include all dimensioned and planned street rights-of-way.

No Part II approval for any portion of Subareas 2 or 4 of the Property shall be granted until Site Plan approval has been granted. If the Subarea Site Plan Approval Submittals substantially conform to the provisions of the Planned Development, the Zoning Administrator shall approve the submittal in a prompt and timely manner.

Following approval by the Zoning Administrator, the approved Subarea Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the Planned Development.

After approval of the Subarea Site Plan, changes or modifications may be made pursuant to the provisions of Statement 13. In the event of any inconsistency between approved plans and the terms of the Planned Development, the terms of the Planned Development shall govern.

Any Subarea Site Plan Approval Submittals shall, at a minimum, provide the following information:

- a fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations with all heights and materials indicated;
- fully-dimensioned landscape plan(s); and
- statistical information applicable to the subject subarea, including floor area, the applicable floor area ratio, uses to be established, building heights and setbacks.

Any Subarea Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the Planned Development.

12. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner that promotes, enables and maximizes universal access throughout the Property. Therefore, at the time when building permits are sought for the construction of new site improvements, the plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
13. The requirements of this Planned Development as they apply to a specific subarea may be modified administratively by the Zoning Administrator upon written application by the owner(s) of the subarea and a determination by the Zoning Administrator that the requested modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this Planned Development by the Zoning Administrator shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.
14. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. All new construction within the

Planned Development shall be designed, constructed, and maintained in substantial conformance with the Chicago Sustainable Development Policy in effect at the time of construction. All buildings shall be certified under the Leadership Energy and Environmental Design ("LEED") Green Building Rating System.

The Applicant shall also provide vegetated ("green") roof totaling one hundred percent (100%) of the net roof area of buildings constructed within the Planned Development. The term ("Net Roof Area") shall be defined as the total area of the roof minus any required perimeter setbacks, rooftop structures and roof-mounted equipment. The combined 100 percent of net roof area equals approximately one hundred twenty-seven thousand nine hundred ten (127,910) square feet of green roof area.

15. The Applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by Commissioner of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
16. Upon Part II Review, a Part II Review fee shall be assessed by the Department of Housing and Economic Development ("DHED") pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance. The fee as determined by the staff at the time is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a Zoning Map Amendment to rezone the property to a C3-1 Commercial, Manufacturing and Employment District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Subarea Map; Overall Site Plan; Enlarged Site Plan; Pedestrian Access Plan; Overall Landscape Plan; Enlarged Landscape Plan; Landscape Schedules; Landscape Notes; Vehicular Use Area Plan; Building Elevations: Subarea 1 -- Overall; Material Legend; Typical Material and Color Key; Building Elevations: Subarea 1 -- Retails A, B, C and D; and Building Elevations: Subarea 3 -- Retail F referred to in these Plan of Development Statements printed on pages 31807 through 31832 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Business Planned Development No. 1198**Bulk Regulations And Data Table.*

Gross Site Area: 544,000 square feet (12.49 acres) - Area Remaining in Public Right-of-Way: 83,300 square feet (1.91 acres) = Net Site Area (Total: 460,700 square feet (10.58 acres))

## Net Site Area (by Subarea):

Subarea 1:	380,037 square feet (8.74 acres)
Subarea 2:	32,803 square feet (0.76 of an acre)
Subarea 3:	21,809 square feet (0.50 of an acre)
Subarea 4:	26,051 square feet (0.60 of an acre)

## Maximum Floor Area Ratio:

(Total and Each Subarea)	0.5
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## Allowed Uses:

All uses identified in Statement Number 5
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## Maximum Permitted

Number of Residential Units:	0
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## Minimum Number of

Off-Street Parking Spaces:	566
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## Minimum Number of

Loading Spaces:	4 at 10 feet by 50 feet
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## Minimum Number of

Bicycle Storage Spaces:	50
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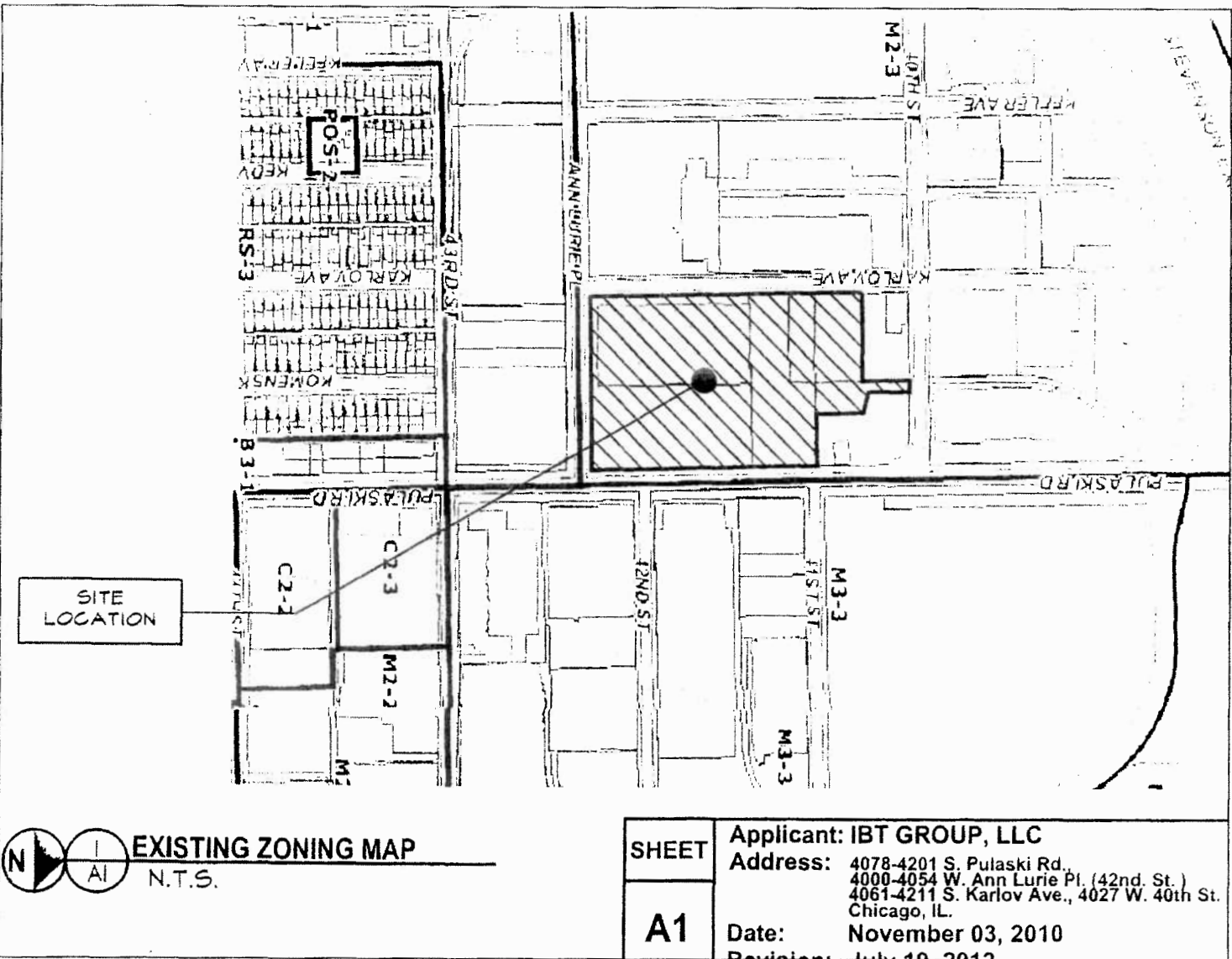
## Maximum Building Height:

31 feet, 6 inches
-------------------

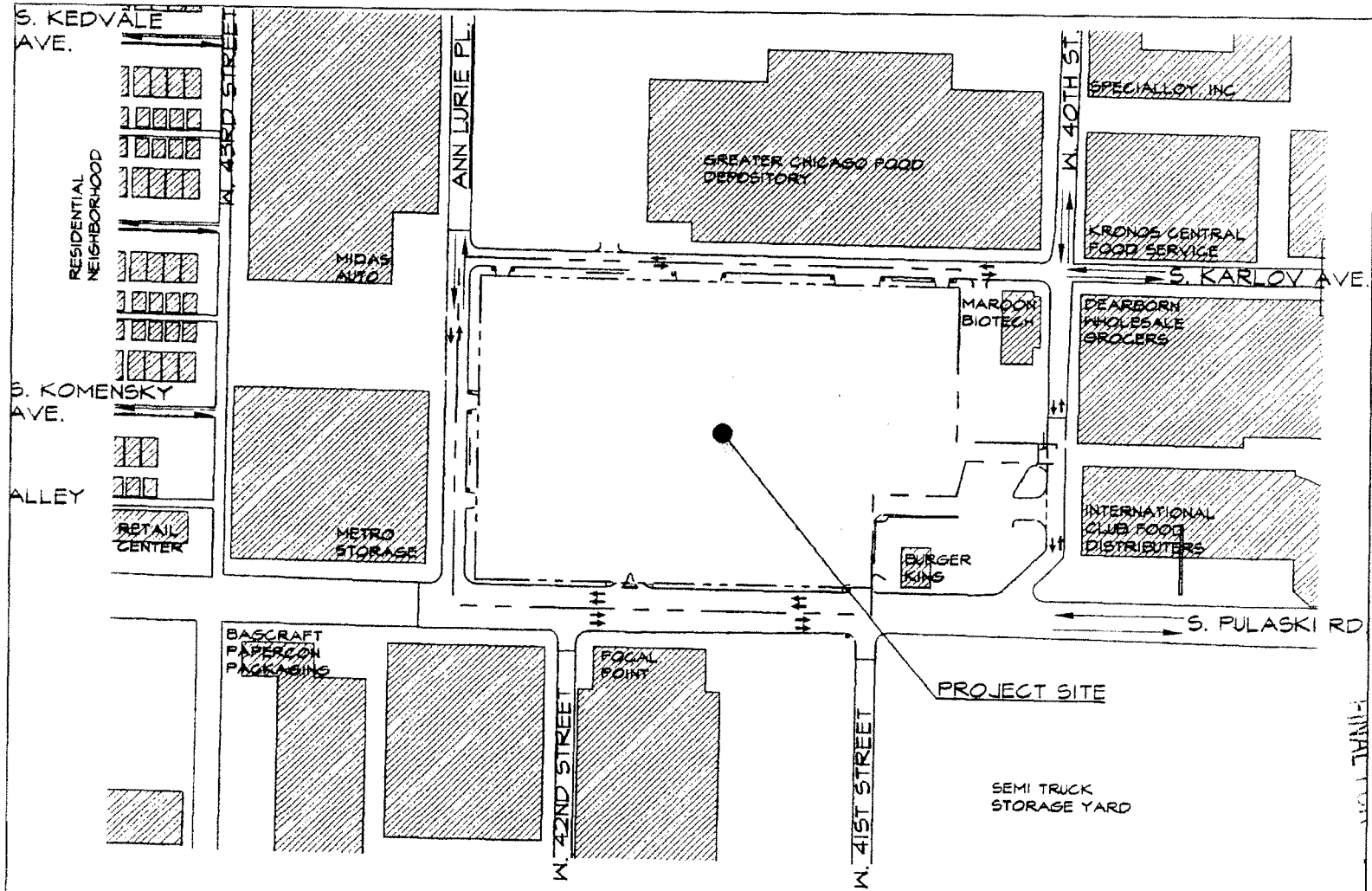
## Green Roof Area:

127,910 square feet
---------------------

Existing Zoning Map.



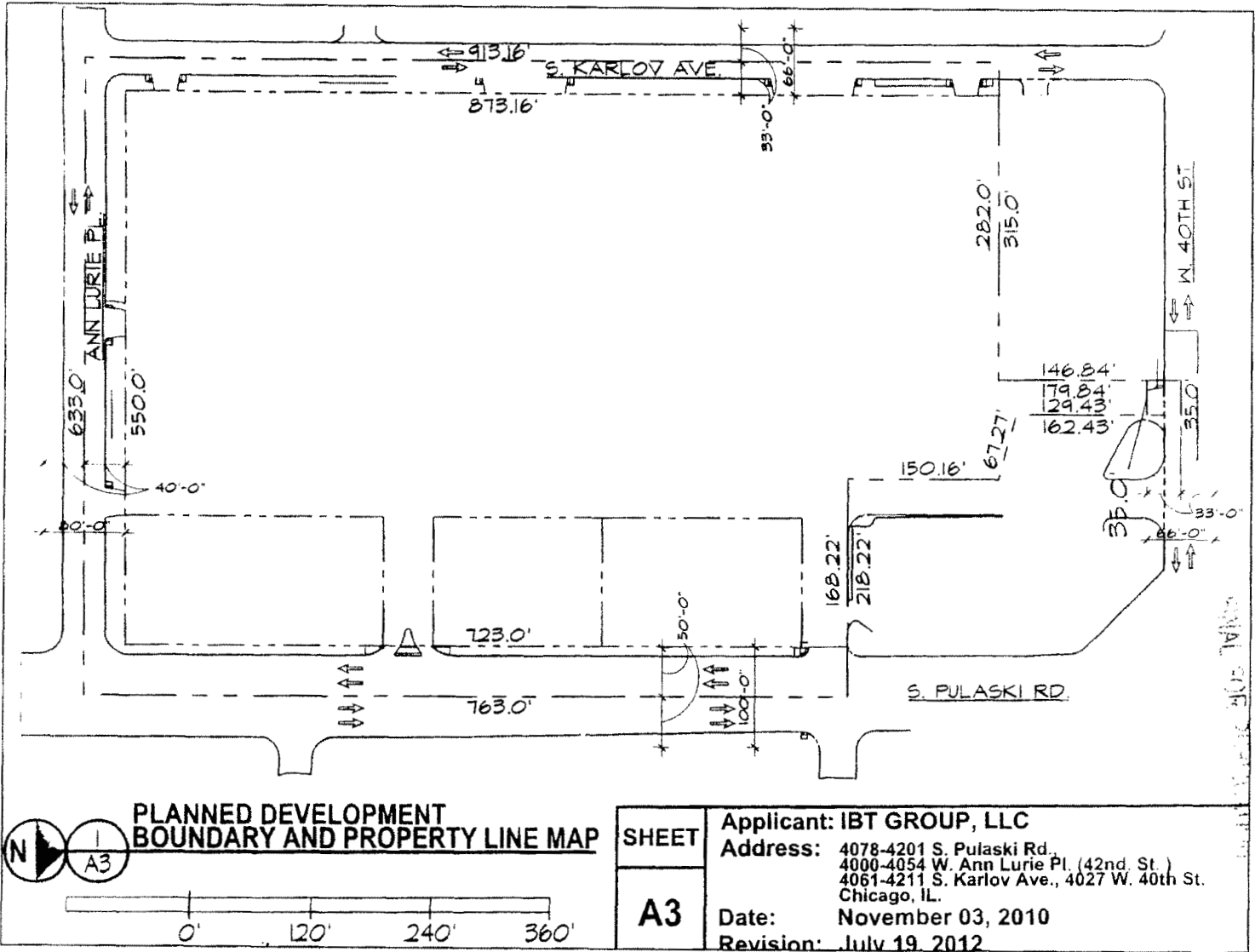
Existing Land-Use Map.



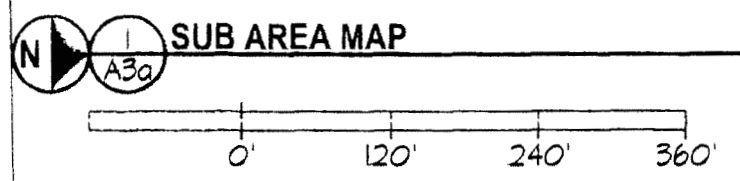
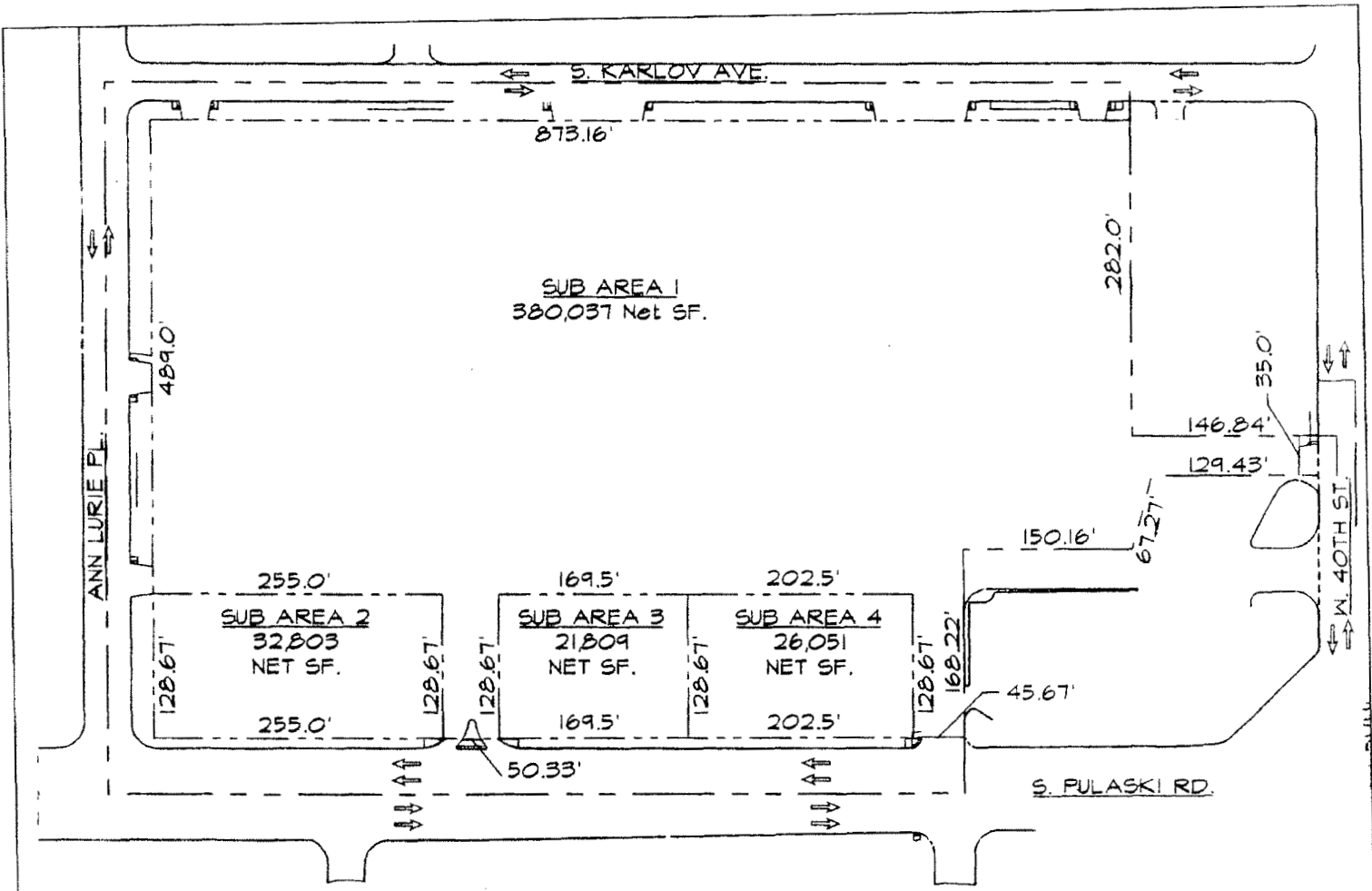

**EXISTING LAND USE MAP**  
 SCALE: N.T.S.

<b>A2</b>	<b>Applicant:</b> IBT GROUP, LLC <b>Address:</b> 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
	<b>Date:</b> November 03, 2010 <b>Revision:</b> July 19, 2012

Planned Development Boundary  
And Property Line Map.

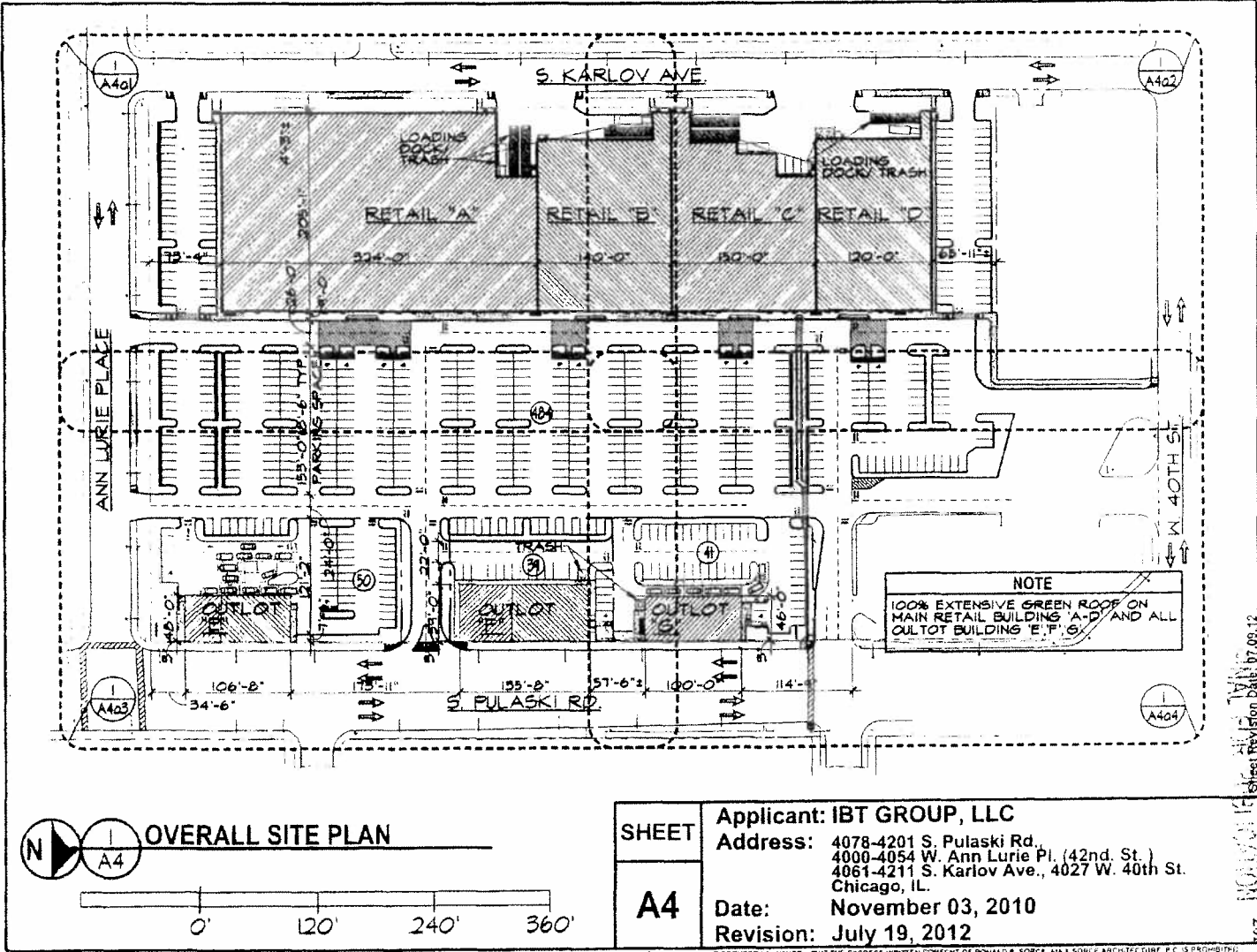


Subarea Map.



<b>SHEET</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
<b>A3a</b>	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

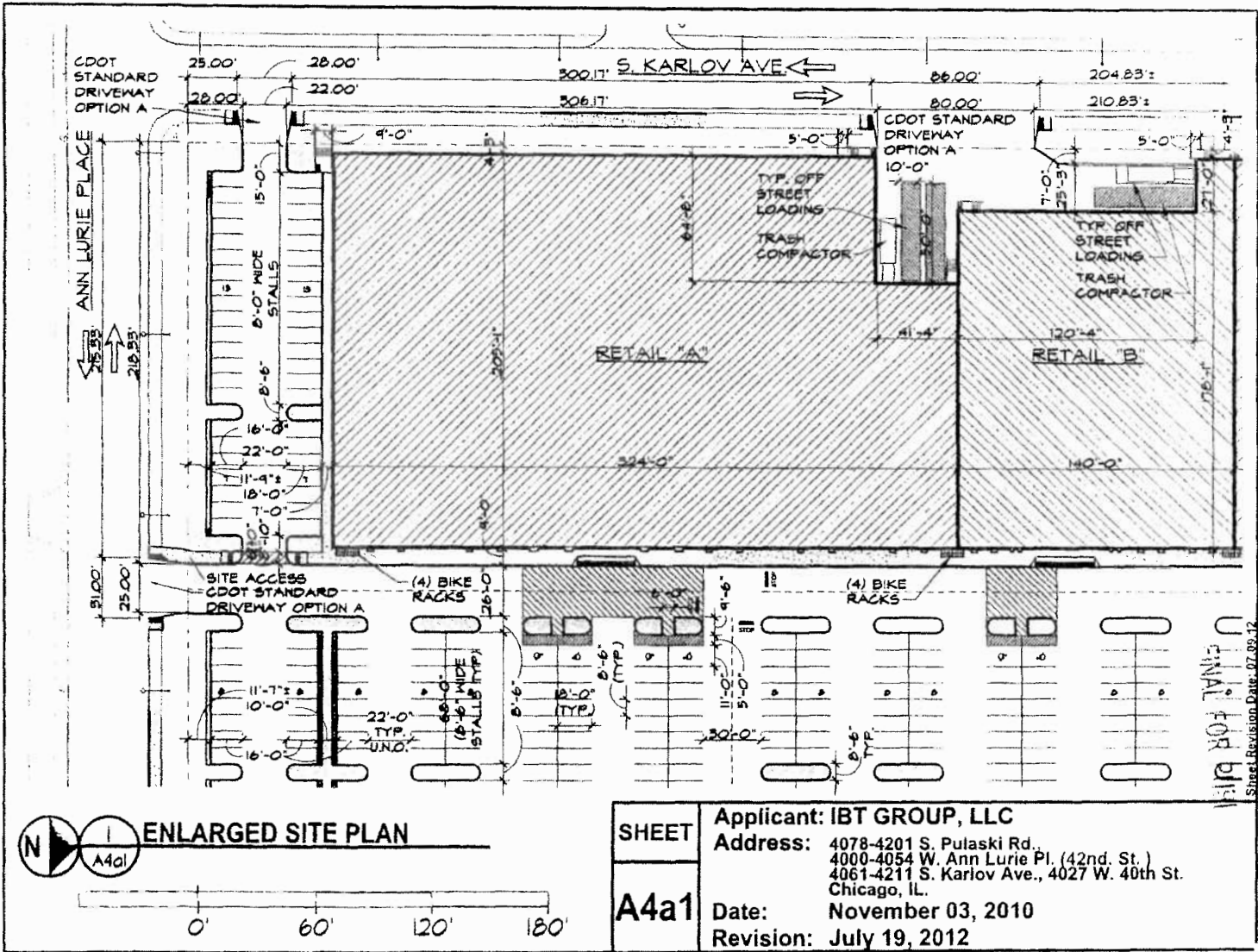
Overall Site Plan.



<b>SHEET</b>  <b>A4</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

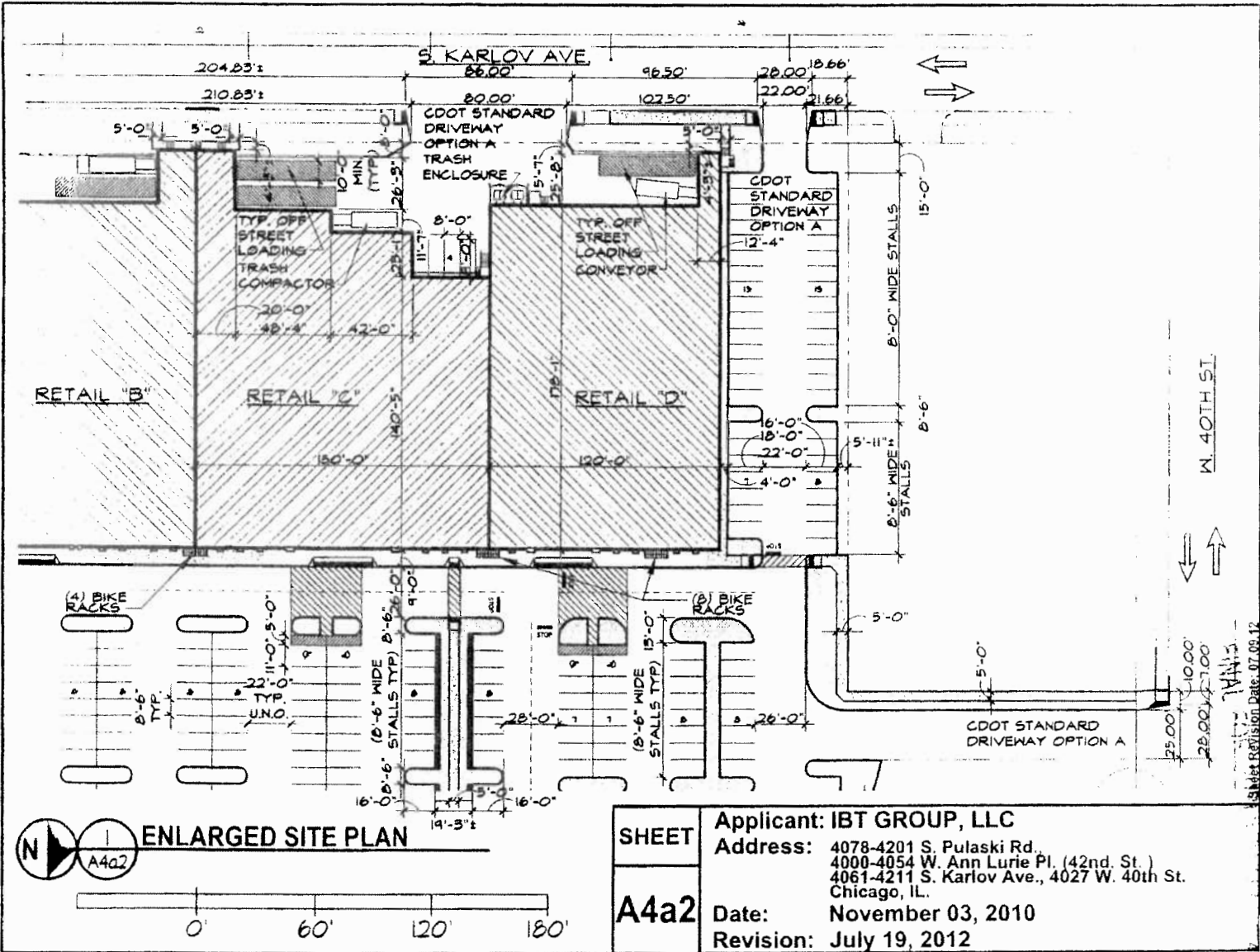
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Enlarged Site Plan.  
(Page 1 of 4)



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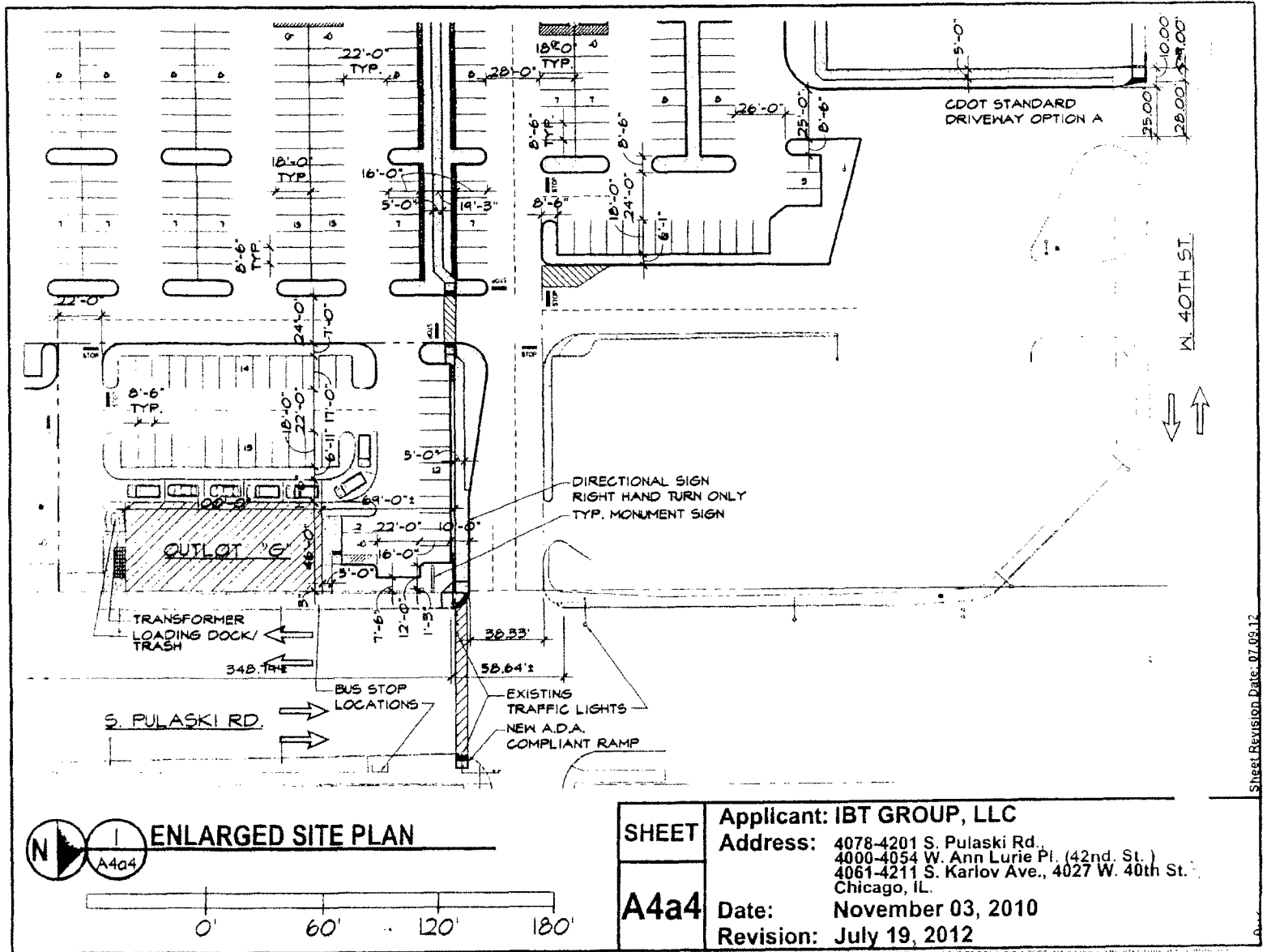
Enlarged Site Plan.  
(Page 2 of 4)



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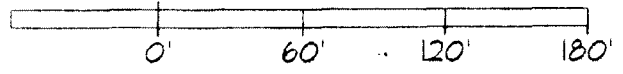
Enlarged Site Plan.  
(Page 4 of 4)



Sheet Revision Date: 07.09.12



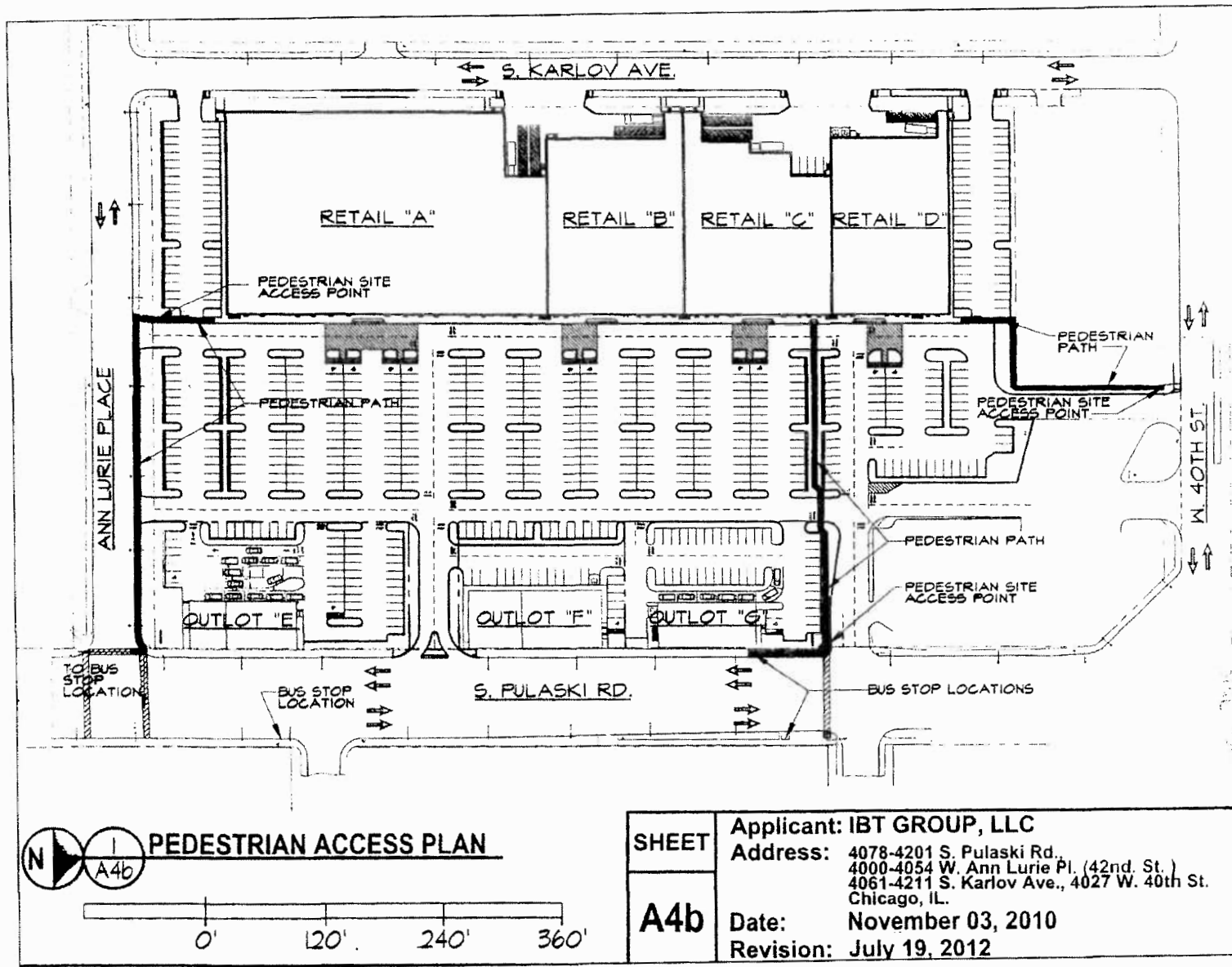
ENLARGED SITE PLAN



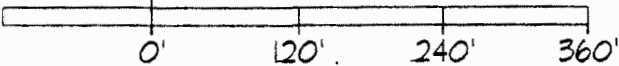
<b>SHEET</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St., Chicago, IL.
<b>A4a4</b>	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

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Pedestrian Access Plan.

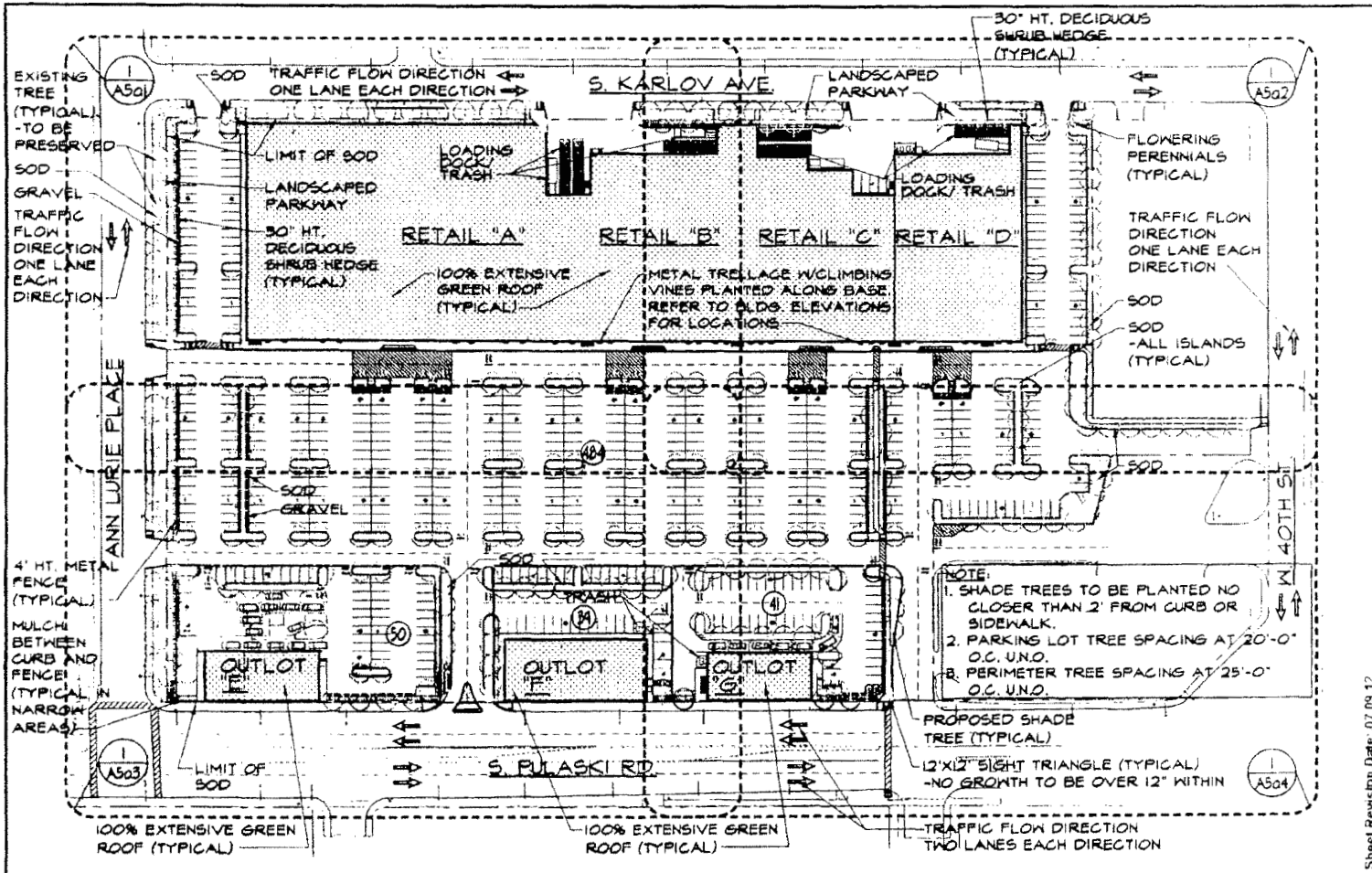


**PEDESTRIAN ACCESS PLAN**

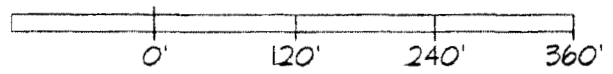


<b>SHEET</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd., 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
<b>A4b</b>	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

Overall Landscape Plan.



OVERALL LANDSCAPE PLAN

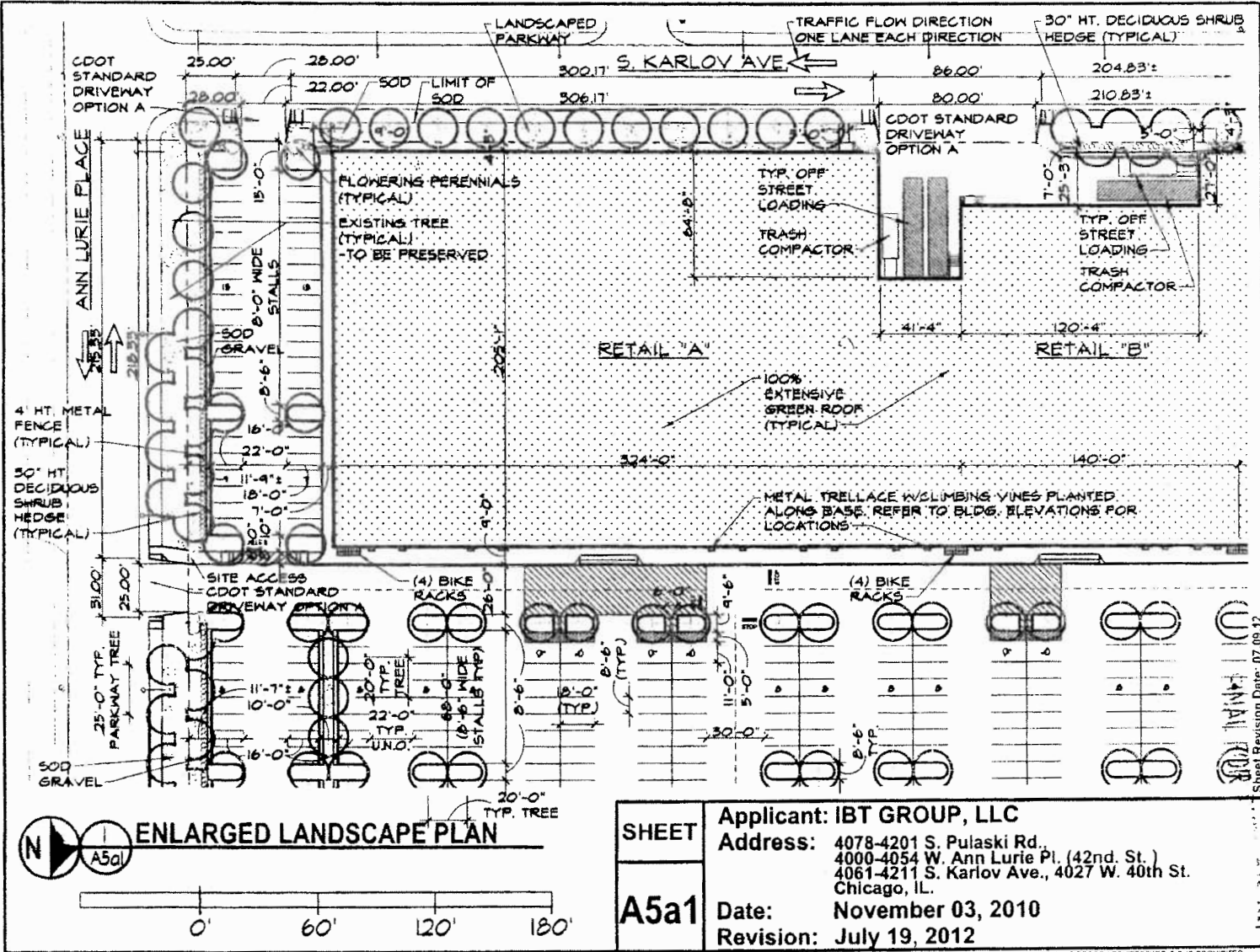


<b>SHEET</b>  <b>A5</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

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Sheet Revision Date: 07.09.12

Enlarged Landscape Plan.  
(Page 1 of 4)

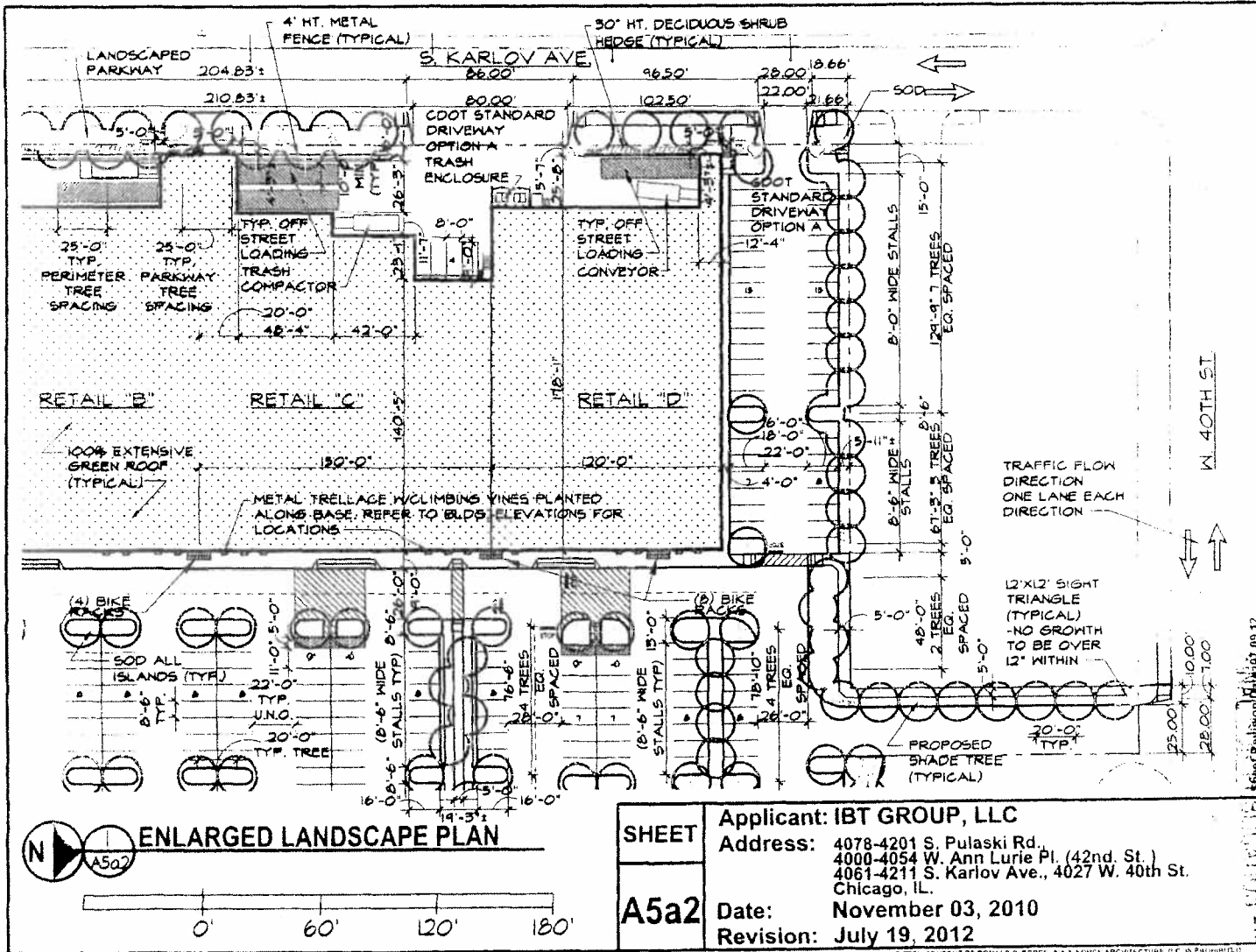


**ENLARGED LANDSCAPE PLAN**

<b>SHEET</b>  <b>A5a1</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

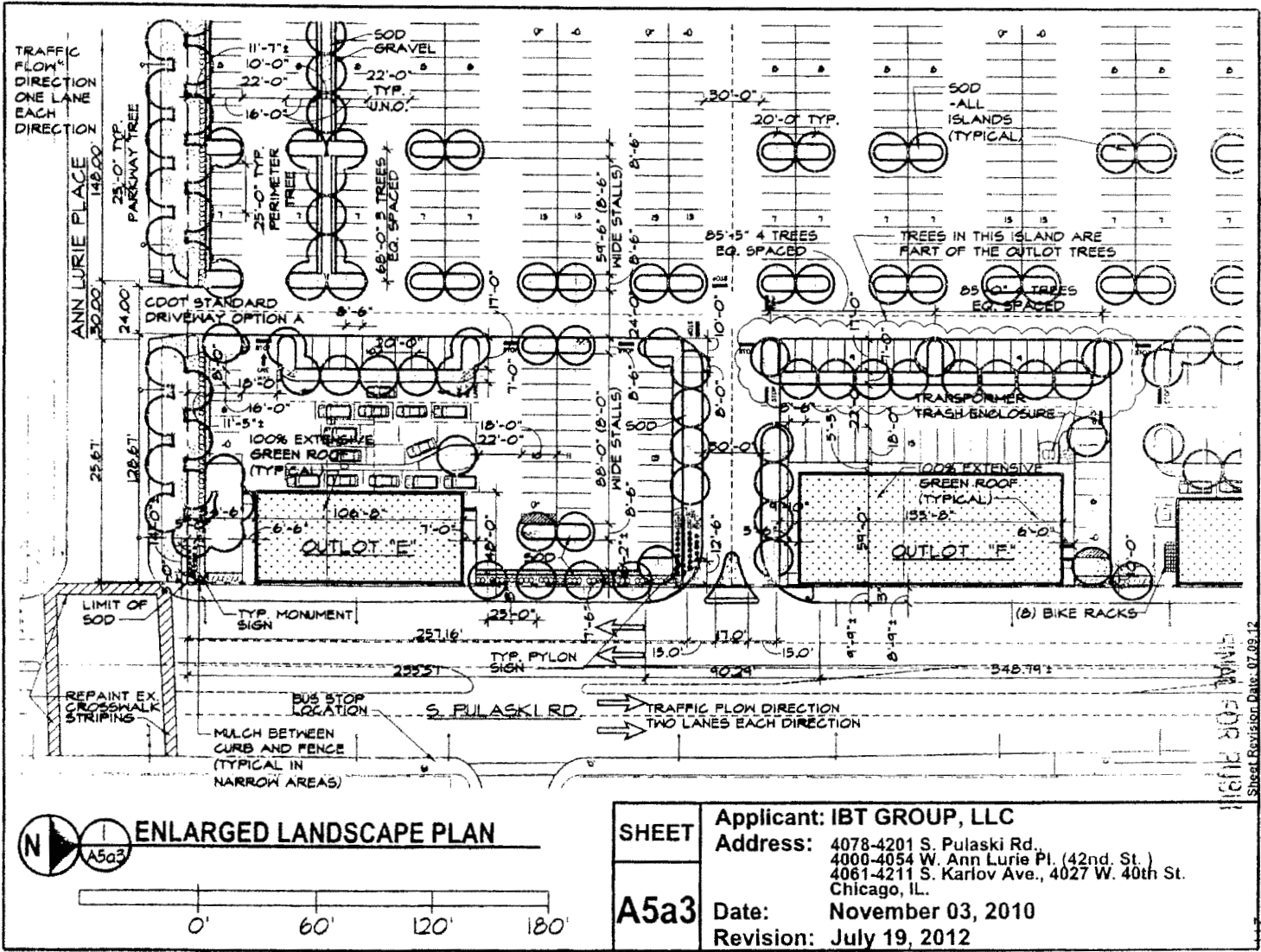
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Enlarged Landscape Plan.  
(Page 2 of 4)



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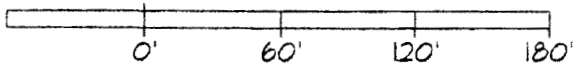
Enlarged Landscape Plan.  
(Page 3 of 4)



Sheet Revision Date: 07.09.12

FOR PLS

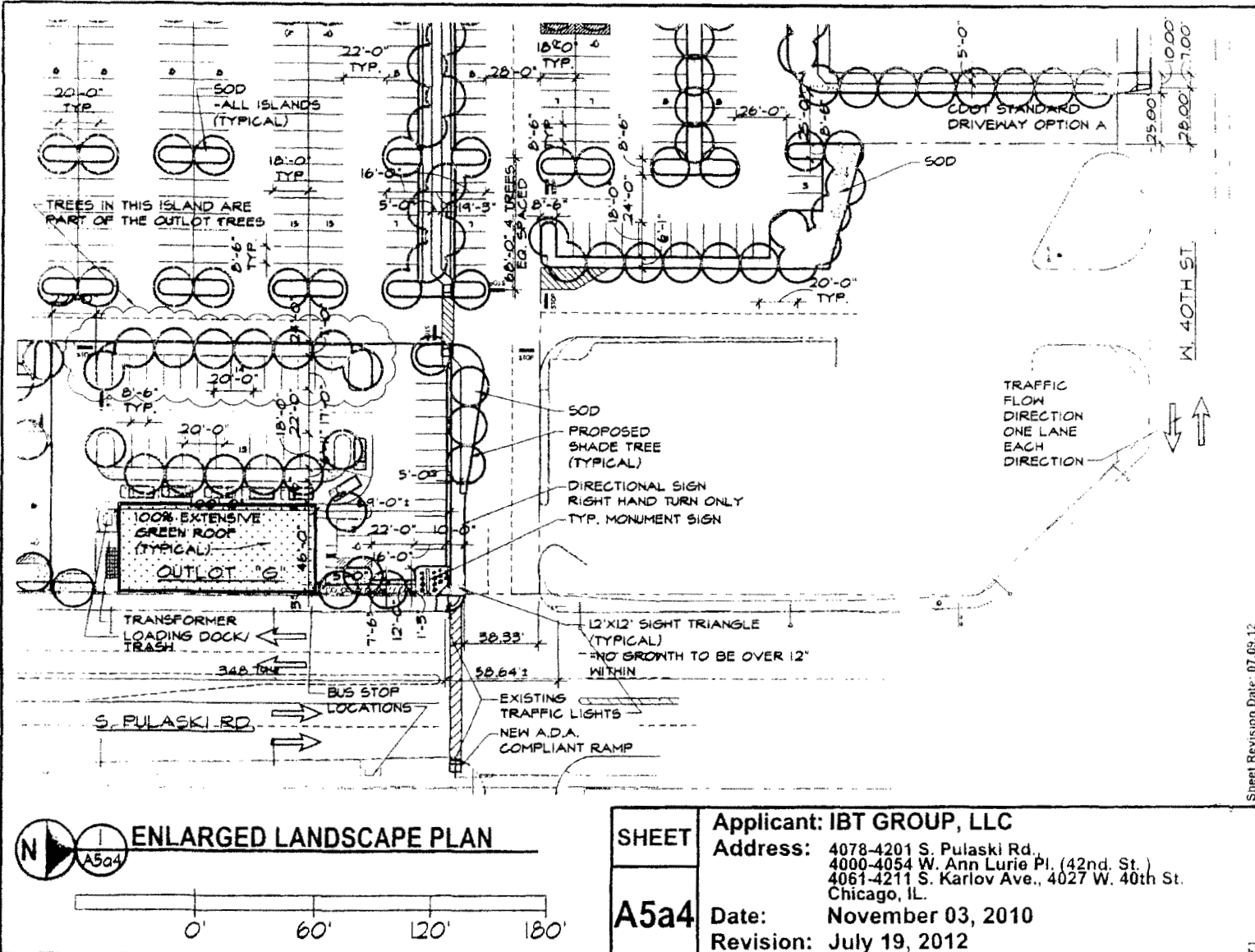
ENLARGED LANDSCAPE PLAN



SHEET	Applicant: IBT GROUP, LLC
	Address: 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
A5a3	Date: November 03, 2010
	Revision: July 19, 2012

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Enlarged Landscape Plan.  
(Page 4 of 4)



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Landscape Schedules.

# PLANT SCHEDULE

KEY	COMMON/LATIN NAME	SIZE	CONDITION	SPACING
NOTE: ALL PLANT MATERIAL TO BE SELECTED FROM THE FOLLOWING SPECIES.				
SHADE TREES				
HL	THORNLESS HONEYLOCUST GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	2.5" CAL.	B & B	SPECIMEN
HB	COMMON HACKBERRY CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	2.5" CAL.	B & B	SPECIMEN
SM	SUGAR MAPLE ACER SACCHARUM	2.5" CAL.	B & B	SPECIMEN
RL	REDMOND AMERICAN LINDEN TILIA AMERICANA	2.5" CAL.	B & B	SPECIMEN
SW	SWAMP WHITE OAK QUERCUS BICOLOR	2.5" CAL.	B & B	SPECIMEN
DECIDUOUS SHRUBS				
AC	ALPINE CURRANT RIBES ALPINUM 'GREEN MOUND'	24" SPR.	B & B	3' O.C.
AV	ARROWWOOD VIBURNUM VIBURNUM DENTATUM 'CHICAGO LUSTRE'	30" HT. 5' HT.	B & B	4' O.C.
DL	DWARF KOREAN LILAC SYRINGA MEYERI 'PALIBIN'			SPECIMEN (ON STANDARD)
CV	COMPACT CRANBERRY VIBURNUM VIBURNUM TRILOBUM 'COMPACTUM'	30" HT.	B & B	30" O.C. (HEDGE)
TS	BIRCH LEAF SPIREA SPIREA BETULIFOLIA 'TOR'	24" SPR.	B & B	3' O.C.
EVERGREEN SHRUBS				
AJ	COMPACT ANDORRA JUNIPER JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	24" SPR.	B & B	3' O.C.
TY	TAUNTON YEW TAXUS X MEDIA 'TAUNTONII'	24" SPR.	B & B	3' O.C.

KEY	COMMON/LATIN NAME	SIZE	CONDITION	SPACING
GROUNDCOVERS, PERENNIALS AND ORNAMENTAL GRASSES				
DH	HAPPY RETURNS DAYLILY HEMEROCALLIS SPECIES	1 GAL.	CONTR.	2' O.C.
KG	KARL FOERSTER FEATHER REED GRASS CALAMAGROSTIS X ACUTIFLORA	3 GAL.	CONTR.	3' O.C.
SOD	SOD (BLUEGRASS VARIETY)	S.Y.		
VN	VERIEGATED PORCELAIN VINE AMPELOPSIS BREVIDUNCULATA 'ELEGANS'	1 GAL.	CONTR.	4' O.C. (ALONG TRELLIS)

PLANTING TIME TO BE JUNE. 15, 2011

## V.U.A. CALCULATION

VEHICULAR USE AREA	283,699	S.F.
PROPOSED INTERIOR LANDSCAPE AREA (11.0%)	31,130	S.F.
REQUIRED INTERIOR TREES (1/125 SF) 28,370 SF / 125 = 226.9	227	TREES
PROPOSED PARKING LOT INTERIOR TREES	195	TREES
PROPOSED PARKING LOT PERIMETER TREES	31	TREES
PROPOSED PARKWAY TREES	40*	TREES

\*INCLUDES 2 EXISTING TREES



## LANDSCAPE SCHEDULES

SHEET	<b>Applicant: IBT GROUP, LLC</b>
	<b>Address: 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.</b>
<b>A5b</b>	<b>Date: November 03, 2010</b>

## PLAN NOTES

1. ALL PROPOSED SHUB BEDS TO RECEIVE 3" THC. SHREDDED HARDWOOD MULCH.
2. REPAIR ALL EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION (SOD).
3. LIMIT OF SOD = PROPERTY LINE (UNLESS OTHERWISE NOTED).
4. THE CONTRACTOR SHALL LOCATE THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
5. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. PLANT MATERIAL QUANTITIES SHOWN ON THE PLAN TAKE PRECEDENCE TO THOSE OF THE PLANT LIST.
6. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOC. OF NURSERYMEN OR EQUIVALENT. NO "PARK GRADE" MATERIAL SHALL BE ACCEPTED.
7. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
8. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK SHALL BE ACCEPTED IF IT IS ROOT BOUND. ALL WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
9. ALL PLANTINGS SHALL BE WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. WATER THOROUGHLY TO ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT BALL.
10. CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF KNITTING.
11. IMPORTED TOPSOIL (PLANTING AREAS) AND SPREADING BY EXCAVATING CONTRACTOR.
12. ALL PROPOSED TREES OUTSIDE PLANTING BED AREAS SHALL RECEIVE A 5' DIA. MULCH RING AT BASE.
13. ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE NOTED. IT IS THE CONTRACTOR'S OPTION TO STAKE TREES, BUT HIS RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL END OF GUARANTEE PERIOD. IF STAKING OF TREES IS NOT PERFORMED, REMOVAL OF TOP 1/3 OF BURLAP AND ROPES IS UNNECESSARY (REMOVE ALL NON-BIODEGRADABLE MATERIAL).
14. INFORMATION CONTAINED IN "PLAN NOTES" TAKES PRECEDENCE OVER INFORMATION IN "DETAILS"
15. VERIFY SITE CONDITIONS AND INFORMATION ON DRAWINGS.
16. PROMPTLY REPORT ANY DISCREPANCIES AND/OR DEVIATIONS FROM THE INFORMATION SHOWN ON THE PLAN.
17. THE OWNER IS NOT RESPONSIBLE FOR UNAUTHORIZED CHANGES OR EXTRA WORK REQUIRED TO CORRECT UNREPORTED DISCREPANCIES.
18. ALL PLANTING BED EDGES TO BE CULTIVATED. PREPARE ALL GROUND COVER BEDS W/4" THC. SAND AND COMPOST MIX PRIOR TO PLANTING. MIX INTO EX. TOPSOIL. PLANTING AREAS TO BE FREE OF ALL DEBRIS TO A DEPTH OF 6" IN TURF AREAS, 24" IN SHRUB AREAS AND 36" IN TREE AREAS.
19. REMOVE ALL DEBRIS AND INSTALL CLEAN TOPSOIL IN THESE AREAS (IF NECESSARY) -SEE NOTE 11.
20. LOWEST BRANCHES OF PARKWAY TREES TO BE 7'-0" ABOVE ROOT BALL. HOSE BIBBS TO BE LOCATED EVERY ONE HUNDRED (100) FEET THROUGHOUT PERIMETER LANDSCAPE AREA.
21. TREE GRATES TO BE MODEL R-8811 AS MFR. BY NEENAH FOUNDRY COMPANY 630/653-5440. INSTALL PER MFR. RECOMMENDATIONS. EXIST. CONCRETE TO BE SAW CUT/REMOVED TO ACCOMODATE FRAME AND GRATE.

Sheet Revision Date: 07.09.12



### LANDSCAPE NOTES

**SHEET**

**Applicant: IBT GROUP, LLC**

**Address:** 4078-4201 S. Pulaski Rd.  
4000-4054 W. Ann Lurie Pl. (42nd. St.)  
4061-4211 S. Karlov Ave., 4027 W. 40th St.  
Chicago, IL.

**A5c**

**Date: November 03, 2010**

**Revision: July 19, 2012**

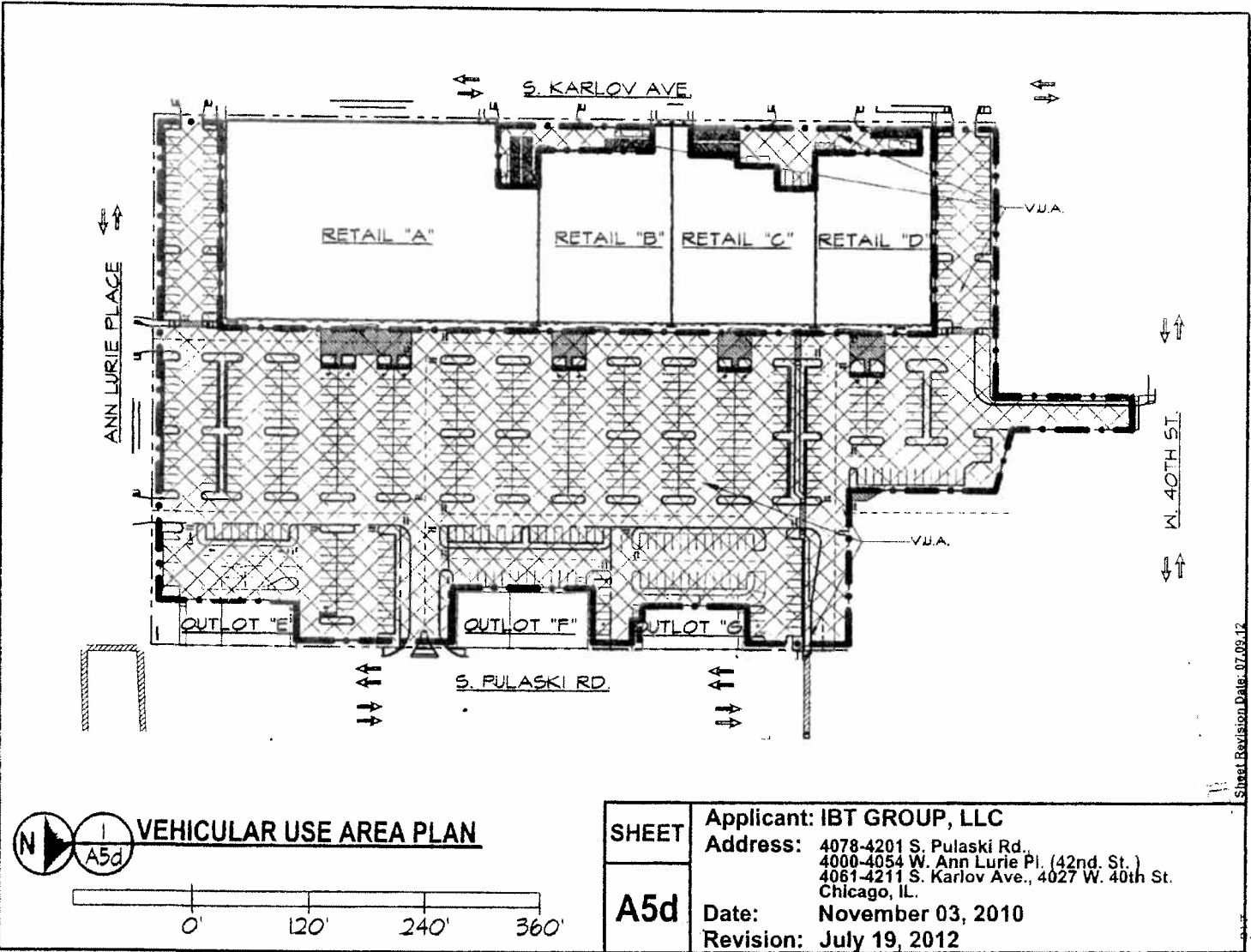
7/25/2012

REPORTS OF COMMITTEES

31823

Landscape Notes.

Vehicular Use Area Plan.

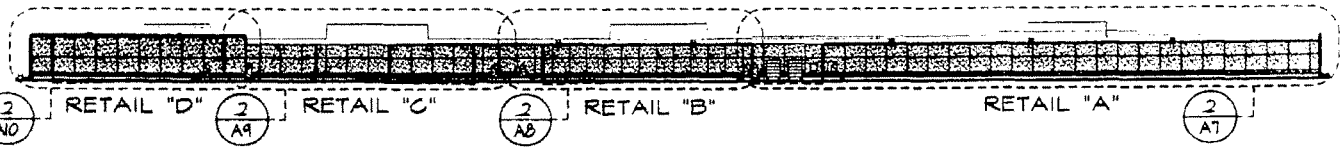


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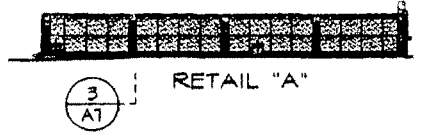
Building Elevations: Subarea 1 -- Overall.



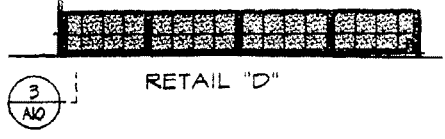
1 EAST ELEVATION KEY (FACING PULASKI)  
A6



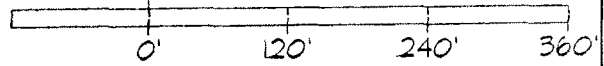
2 WEST ELEVATION KEY (FACING KARLOV)  
A6



3 SOUTH ELEVATION KEY (FACING ANN LURIE)  
A6











4 NORTH ELEVATION KEY (FACING 40TH)  
A6



**BUILDING ELEVATIONS: SUB AREA 1 - OVERALL**

<b>SHEET</b>  <b>A6</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd, 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

Materials Legend.

BUILDING MATERIAL LEGEND	
<p><b>A</b></p>  <p>BRICK VENEER 'INTERSTATE BRICK' 4"X12" UTILITY, COLOR: ARCTIC WHITE</p>	<p><b>G</b></p> <p>STEEL LATTICE AWNING PREFINISHED, COLOR: BLACK</p>
<p><b>B</b></p>  <p>BRICK VENEER 'INTERSTATE BRICK' 8"X16" DOUBLE MONARCH, COLOR: ARCTIC WHITE</p>	<p><b>H</b></p> <p>LIGHT GAUGE STEEL COPING PREFINISHED, COLOR: CLEAR ANODIZED</p>
<p><b>C</b></p>  <p>BRICK VENEER 'INTERSTATE BRICK' 4"X12" UTILITY, COLOR: GOLDEN BUFF</p>	<p><b>I</b></p> <p>LIGHT GAUGE STEEL AWNING PREFINISHED, COLOR: CLEAR ANODIZED</p>
<p><b>D</b></p>  <p>BRICK VENEER 'INTERSTATE BRICK' 4"X12" UTILITY COLOR: CANYON ROSE</p>	<p><b>J</b></p> <p>10' HIGH ALUMINUM STOREFRONT SYSTEM 'US ALUMINUM' IT451 PREFINISHED, COLOR: CLEAR ANODIZED</p>
<p><b>E</b></p>  <p>BRICK VENEER 'INTERSTATE BRICK' 8"X12" DOUBLE UTILITY COLOR: CANYON ROSE</p>	<p><b>K</b></p>  <p>STAMPED PRECAST PANEL COLOR: SIM. CANYON ROSE REFER TO ELEVATIONS FOR BRICK PATTERN LOCATIONS</p>
<p><b>F</b></p> <p>EXPOSED STRUCTURAL STEEL SHERWIN WILLIAMS SEMI GLOSS COLOR: BLACK SURFACE PREP SSPC-SP2 (1) COAT ALL SURFACE ENAMEL PRIMER (2) COAT A-100 EXTERIOR LATEX FINISH</p>	<p><b>L</b></p>  <p>METAL PLANT TRELLIS WALL MOUNTED COLOR: GREY</p>
	<p><b>M</b></p>  <p>PREFINISHED METAL SCREEN WALL MOUNTED COLOR: GREY</p>



**MATERIALS LEGEND**

SHEET

**A6a**

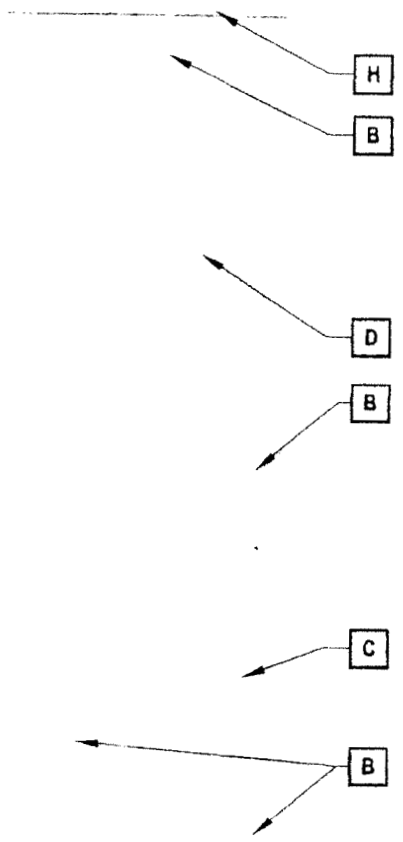
**Applicant: IBT GROUP, LLC**









**Address:** 4078-4201 S. Pulaski Rd.,  
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Chicago, IL.

**Date: November 03, 2010**

**Revision: July 19, 2012**

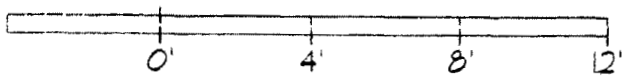
Typical Material And Color Key.



BUILDING MATERIAL LEGEND	
<b>A</b>  BRICK VENEER 'INTERSTATE BRICK' 4"X12" UTILITY, COLOR: ARCTIC WHITE	<b>G</b> STEEL LATTICE AWNING PREFINISHED, COLOR: BLACK
<b>B</b>  BRICK VENEER 'INTERSTATE BRICK' 8"X16" DOUBLE MONARCH, COLOR: ARCTIC WHITE	<b>H</b> LIGHT GAUGE STEEL COPING PREFINISHED, COLOR: CLEAR ANODIZED
<b>C</b>  BRICK VENEER 'INTERSTATE BRICK' 4"X12" UTILITY, COLOR: GOLDEN BUFF	<b>I</b> LIGHT GAUGE STEEL AWNING PREFINISHED, COLOR: CLEAR ANODIZED
<b>D</b>  BRICK VENEER 'INTERSTATE BRICK' 4"X12" UTILITY COLOR: CANYON ROSE	<b>J</b> 10' HIGH ALUMINUM STOREFRONT SYSTEM US ALUMINUM' 1T451 PREFINISHED, COLOR: CLEAR ANODIZED
<b>E</b>  BRICK VENEER 'INTERSTATE BRICK' 8"X12" DOUBLE UTILITY COLOR: CANYON ROSE	<b>K</b>  STAMPED PRECAST PANEL COLOR: SIM. CANYON ROSE REFER TO ELEVATIONS FOR BRICK PATTERN LOCATIONS
<b>F</b> EXPOSED STRUCTURAL STEEL SHERWIN WILLIAMS SEMI GLOSS COLOR: BLACK SURFACE PREP SSPC-SP2 (1) COAT ALL SURFACE ENAMAL PRIMER (2) COAT A-100 EXTERIOR LATEX FINISH	<b>L</b>  METAL PLANT TRELLIS WALL MOUNTED COLOR: GREY
	<b>M</b>  PREFINISHED METAL SCREEN WALL MOUNTED COLOR: GREY

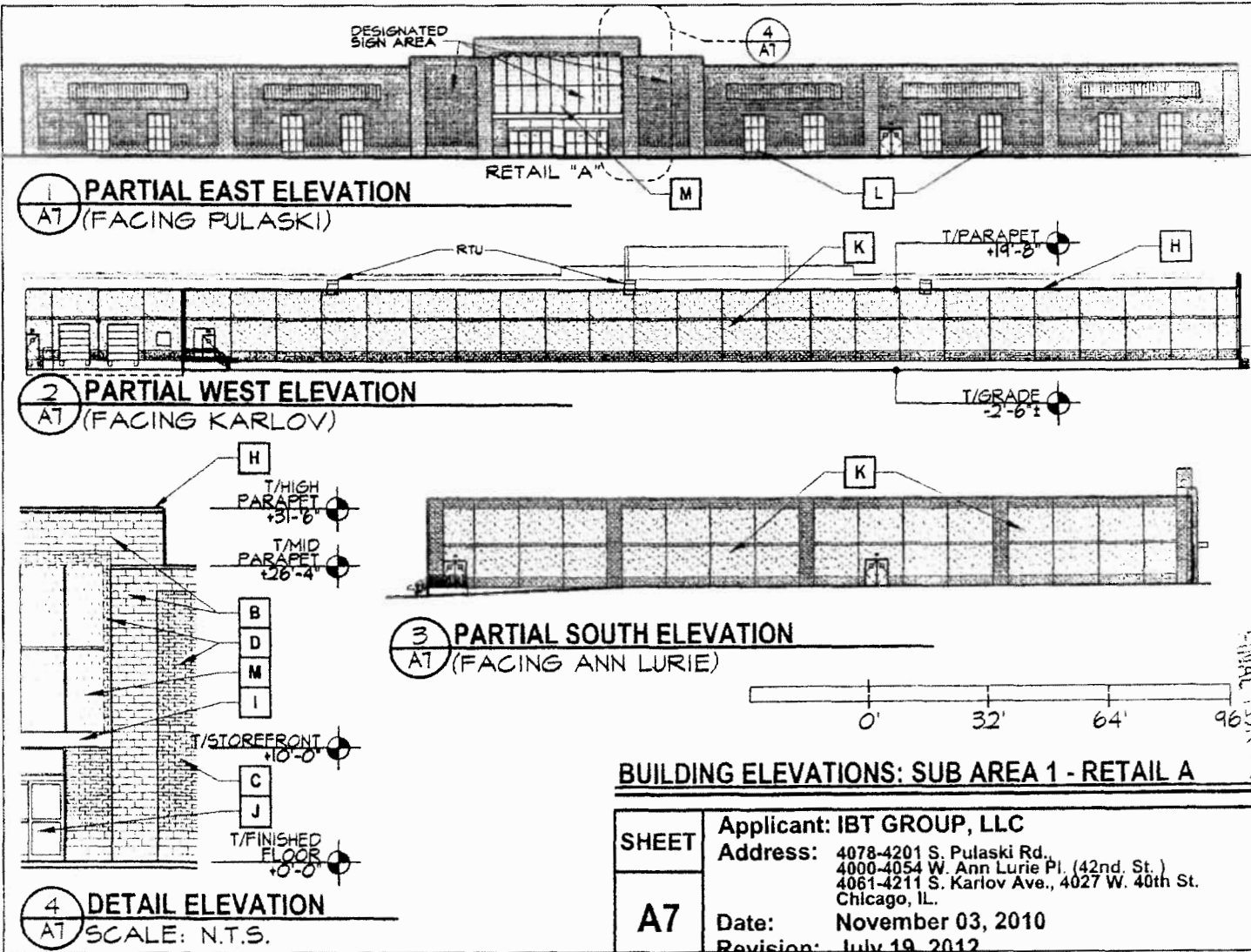
A6b

**TYP. MATERIAL AND COLOR KEY**

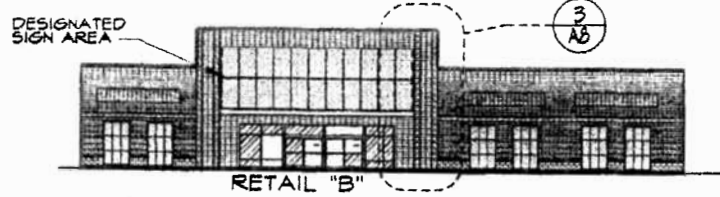


<b>SHEET</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd., 4000-4054 W. Ann Lurie Pl. (42nd. St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
<b>A6b</b>	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 10, 2012

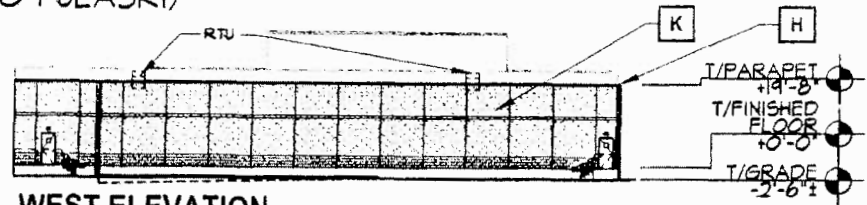
Building Elevations: Subarea 1 -- Retail A.



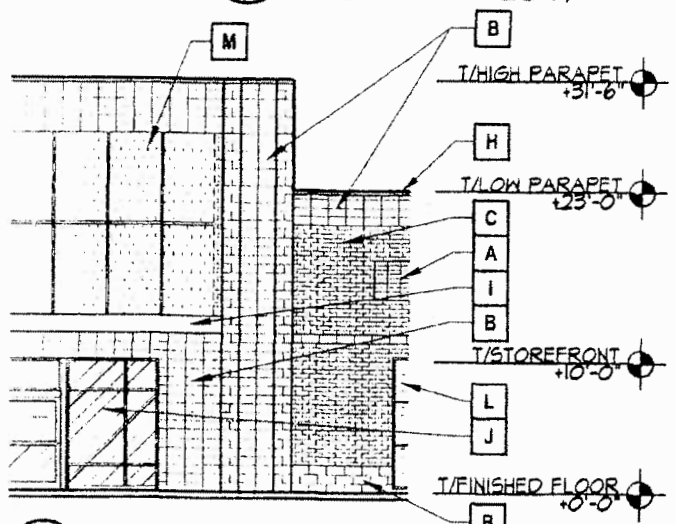
Building Elevations: Subarea 1 -- Retail B.



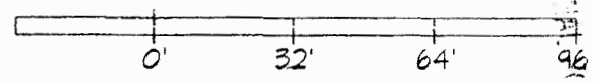
1 PARTIAL EAST ELEVATION (FACING PULASKI)



2 PARTIAL WEST ELEVATION (FACING KARLOV)



3 DETAIL ELEVATION SCALE: N.T.S.



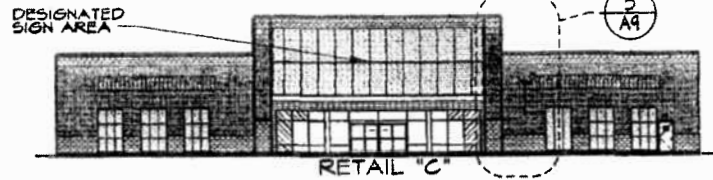
BUILDING ELEVATIONS: SUB AREA 1 - RETAIL B

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A8	Date: November 03, 2010
	Revision: July 19, 2012

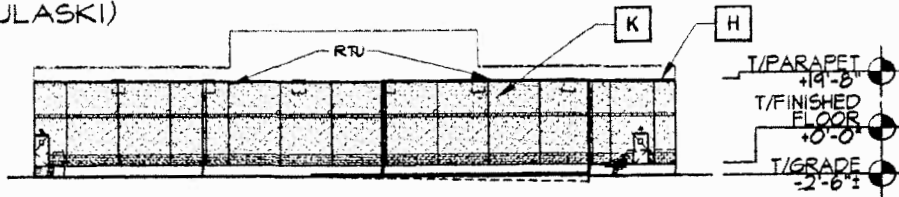
Sheet Revision Date: 07.09.12

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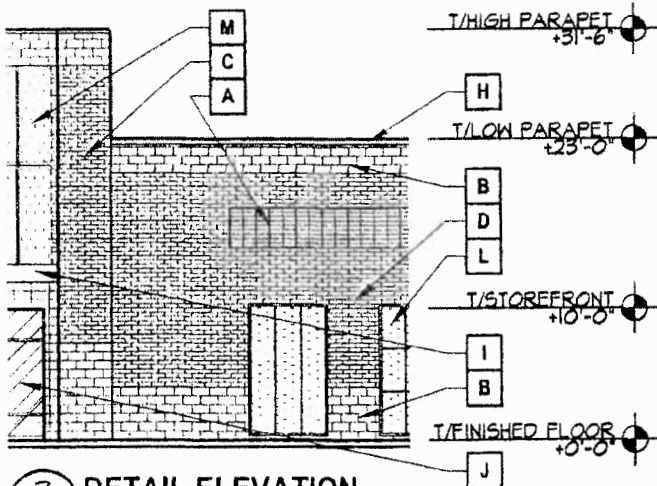
Building Elevations: Subarea 1 -- Retail C.



1 PARTIAL EAST ELEVATION  
A9 (FACING PULASKI)



2 PARTIAL WEST ELEVATION  
A9 (FACING KARLOV)



3 DETAIL ELEVATION  
A9 SCALE: N.T.S.



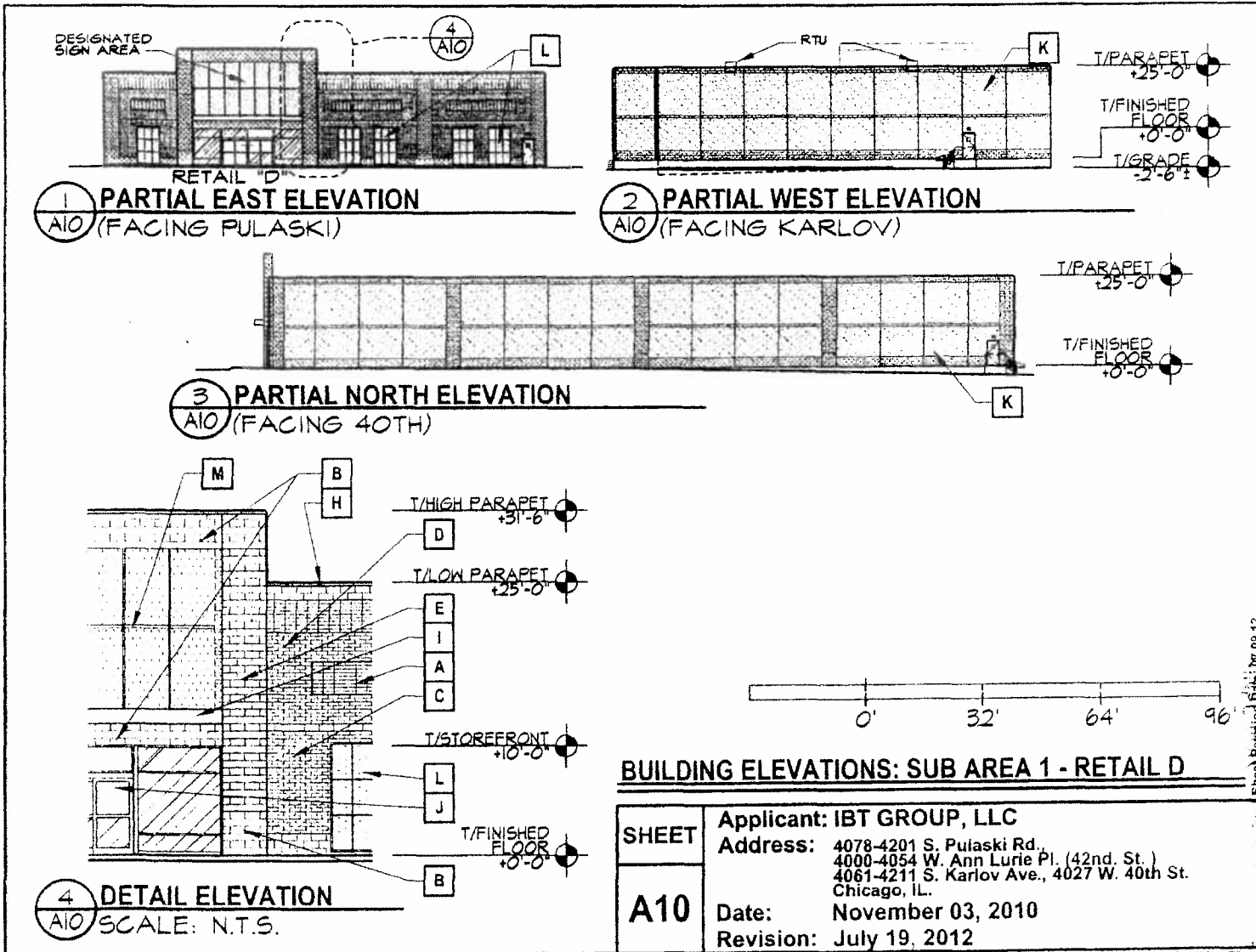
**BUILDING ELEVATIONS: SUB AREA 1 - RETAIL C**

<b>SHEET</b>	<b>Applicant:</b> IBT GROUP, LLC
	<b>Address:</b> 4078-4201 S. Pulaski Rd. 4000-4054 W. Ann Lurie Pl. (42nd St.) 4061-4211 S. Karlov Ave., 4027 W. 40th St. Chicago, IL.
<b>A9</b>	<b>Date:</b> November 03, 2010
	<b>Revision:</b> July 19, 2012

Sheet Revision: Date: 07.09.12  
DRAWING FOR PERMITS

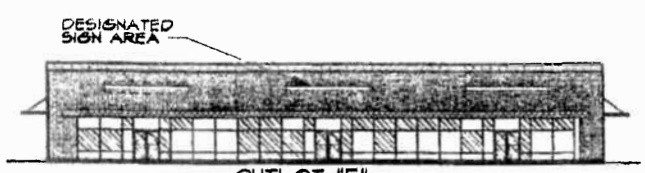
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Building Elevations: Subarea 1 -- Retail D.

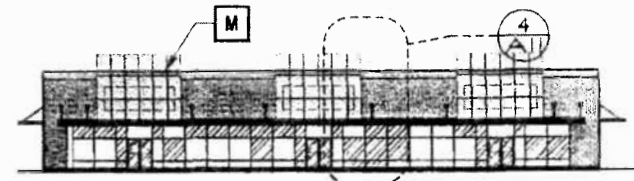


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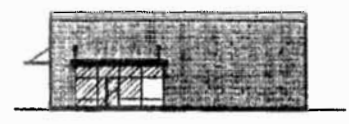
Building Elevations: Subarea 3 -- Retail F



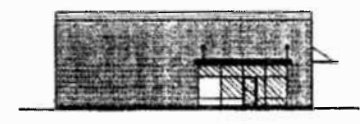
**1 PARTIAL EAST ELEVATION (OUTLOT)**  
All (FACING PULASKI)



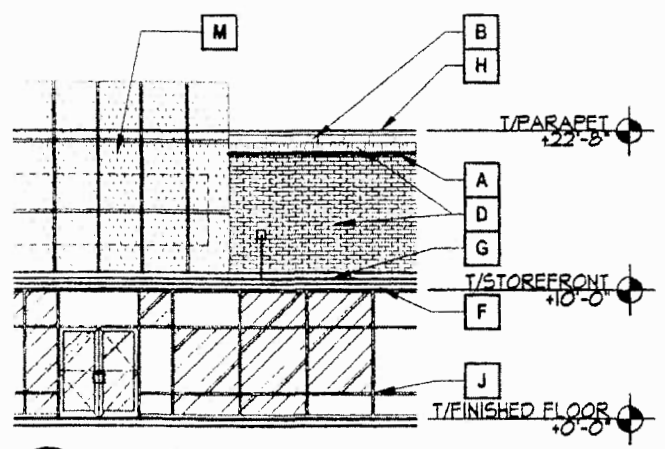
**2 PARTIAL WEST ELEVATION (OUTLOT)**  
All (FACING KARLOV)



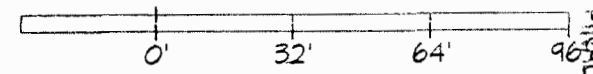
**3 PARTIAL SOUTH ELEVATION (OUTLOT)**  
All (FACING ANN LURIE)



**4 PARTIAL NORTH ELEVATION (OUTLOT)**  
All (FACING 40TH)



**5 DETAIL ELEVATION**  
All SCALE: N.T.S.



**BUILDING ELEVATIONS: SUB AREA 3 - RETAIL F**

<b>SHEET</b>	<b>Applicant:</b> IBT GROUP, LLC
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