

# PD 1197

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17218

*Reclassification Of Area Shown On Map No. 1-H.*

(Application No. 17467)

(Common Address: 2206 W. Erie St.)

[O2012-2198]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 1-H in the area bounded by:

the public alley next north of and parallel to West Erie Street; a line 48 feet west of and parallel to North Leavitt Street; West Erie Street; and a line 72 feet west of and parallel to North Leavitt Street,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and approval.

RPD 1197

*Reclassification Of Area Shown On Map No. 2-I.*

(As Amended)

(Application No. 17218)

(Common Address: 2534 -- 2560 W. Van Buren St.,  
2535 -- 2561 W. Jackson Blvd., And 300 -- 344 S. Maplewood Ave.)

[SO2011-1486]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RM5 Residential Multi-Unit District symbols and indications as shown on Map Number 2-I in the area bounded by:

West Jackson Boulevard; South Maplewood Avenue; West Van Buren Street; and vacated South Rockwell Street,

to those of Residential Planned Development Number 1197, which is hereby established in the area described above and subject to such use and bulk regulations set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance takes effect after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential Planned Development Number* 1197.

*Plan Of Development Statements.*

1. The area delineated herein as Residential Planned Development Number 1197 (the "Planned Development") consists of a net site area of approximately one hundred twenty-eight thousand nine hundred four (128,904) square feet (two and ninety-six hundredths (2.96) acres) of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the applicant, Maple Jack, LLC, an Illinois limited liability company (the "Applicant").
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assign or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; a Site Plan; a Right-of-Way Adjustment Plan; Building Elevations; Landscape Plan; a Green Roof Plan; and a Chicago Builds Green form, all prepared by Landon Bone Baker, dated July 19, 2012, submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Housing and Economic Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto and satisfies the established criteria for approval as a planned development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following uses are permitted on the Property under this Planned Development: multi-unit residential; two-flats; townhouses; recreational uses, parking and accessory uses including management offices and common space.
6. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department of Housing and Economic Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For purposes of FAR calculations and measurements, the definitions of the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 128,904 square feet.
9. Upon review and determination, "Part II Review" pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Housing and Economic Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. All buildings must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Housing and Economic Development. The Applicant shall provide a 50 percent green roof (17,842 square feet) over the net roof area of the residential buildings.
15. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Housing and Economic Development shall initiate a Zoning Map Amendment to rezone the property to RM5 Residential Multi-Unit District.

[Existing Zoning Map; Planned Development Boundary and Property Line Map;  
Site Plan; Right-of-Way Adjustment Plan; Landscape Plan; Street Elevations;  
Building Elevations; Greenroof; and Chicago Builds Green Forms  
referred to in these Plan of Development Statements  
printed on pages 31699 through 31716  
of this *Journal*.]

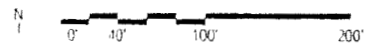
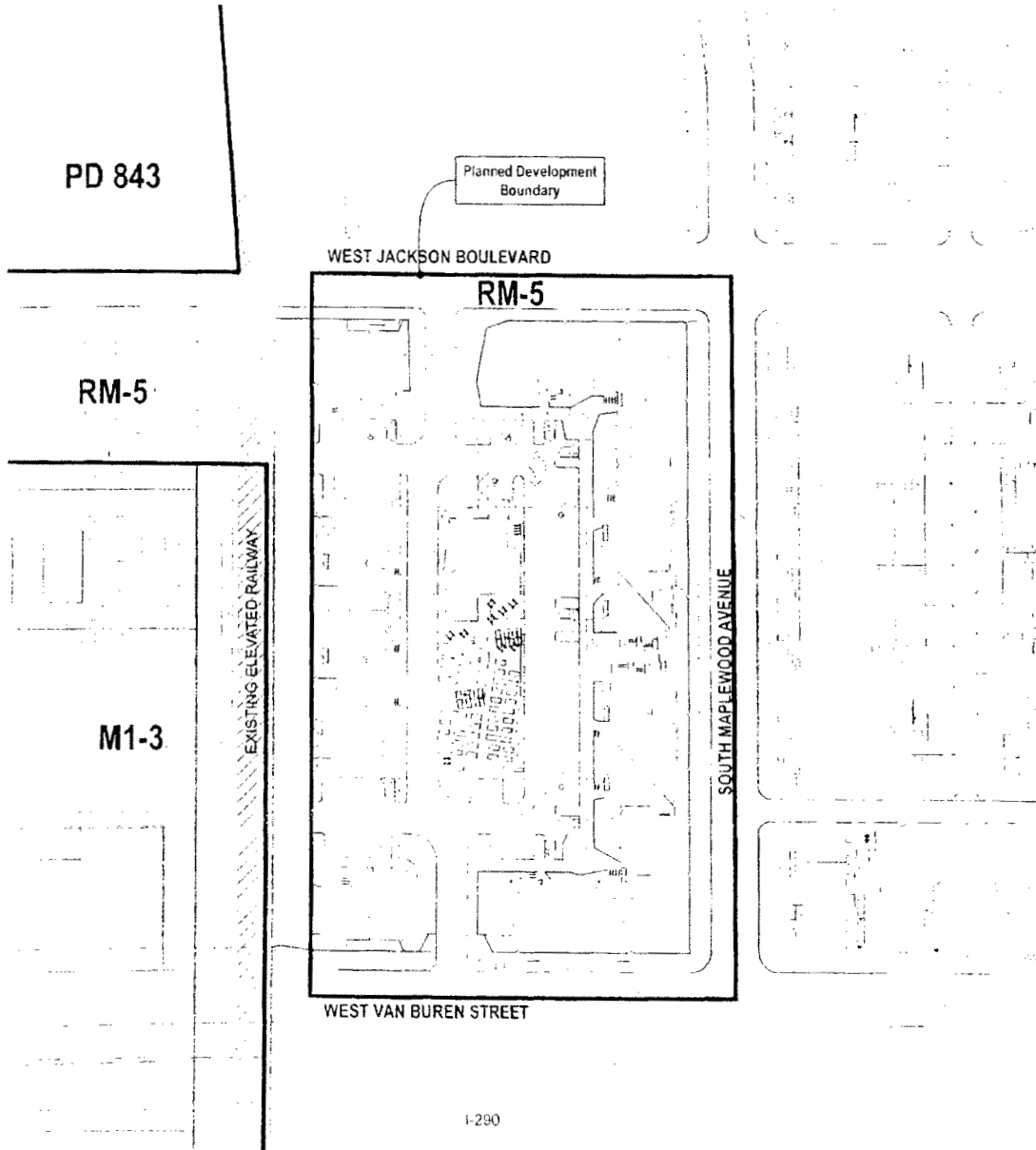
Bulk Regulations Table referred to in these Plan of Development Statements reads as follows:

*Residential Planned Development Number 1197.*

*Bulk Regulations Table.*

Gross Site Area:	164,717 square feet (3.78 acres)
Net Site Area:	128,904 square feet (2.96 acres)
Maximum Permitted Floor Area Ratio:	1.2
Maximum Number of Residential Units:	76 units
Minimum Off-Street Parking Spaces:	60
Minimum Number of Off-Street Loading Spaces:	0
Minimum Bicycle Parking Spaces:	32
Maximum Site Coverage:	In substantial accordance with the Site Plan
Setbacks from Property Line:	In substantial accordance with the Site Plan.
Maximum Building Height:	40 feet

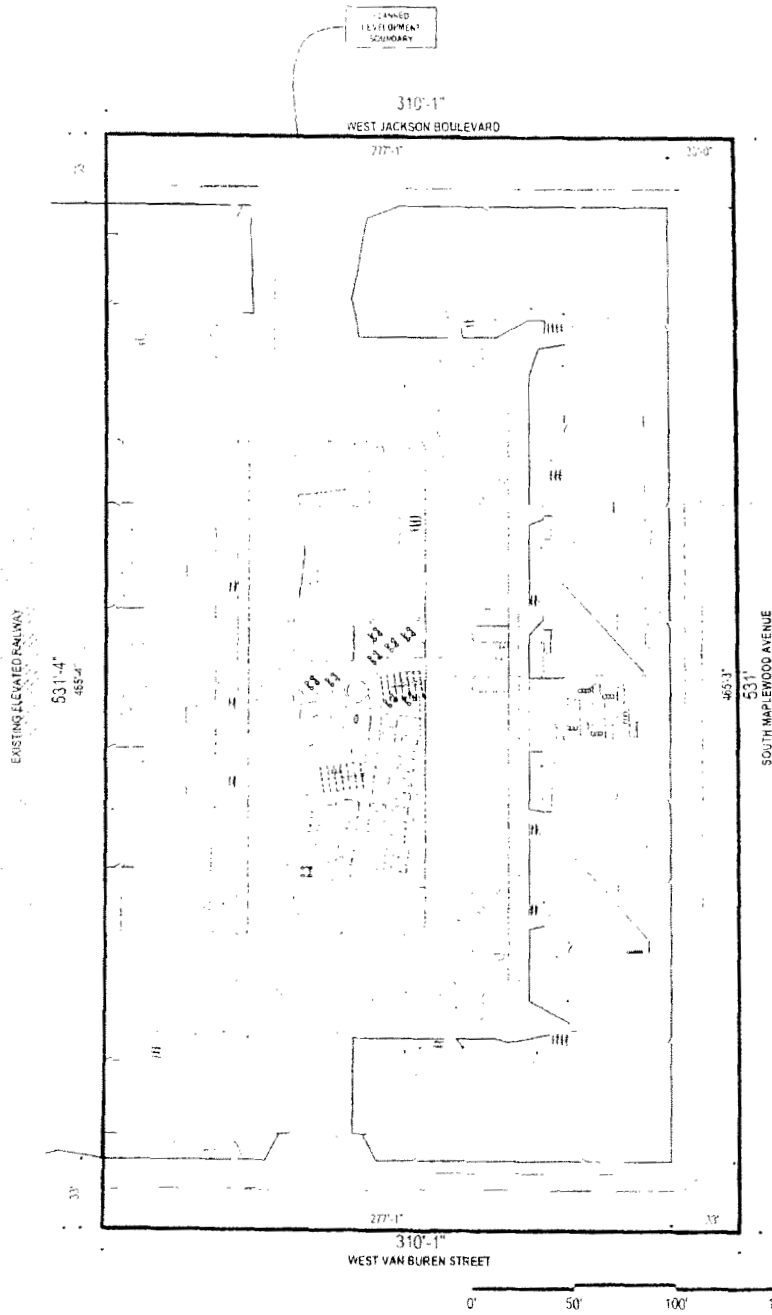
Existing Zoning Map.



Applicant **Maple Jack, LLC**  
 City of Chicago Planning Authority  
 Lunder-Bore Gower Architects, Ltd.

**City Gardens**  
 Existing Zoning Map  
 Revised Date 07/19/12

Planned Development Boundary And Property Line Map.

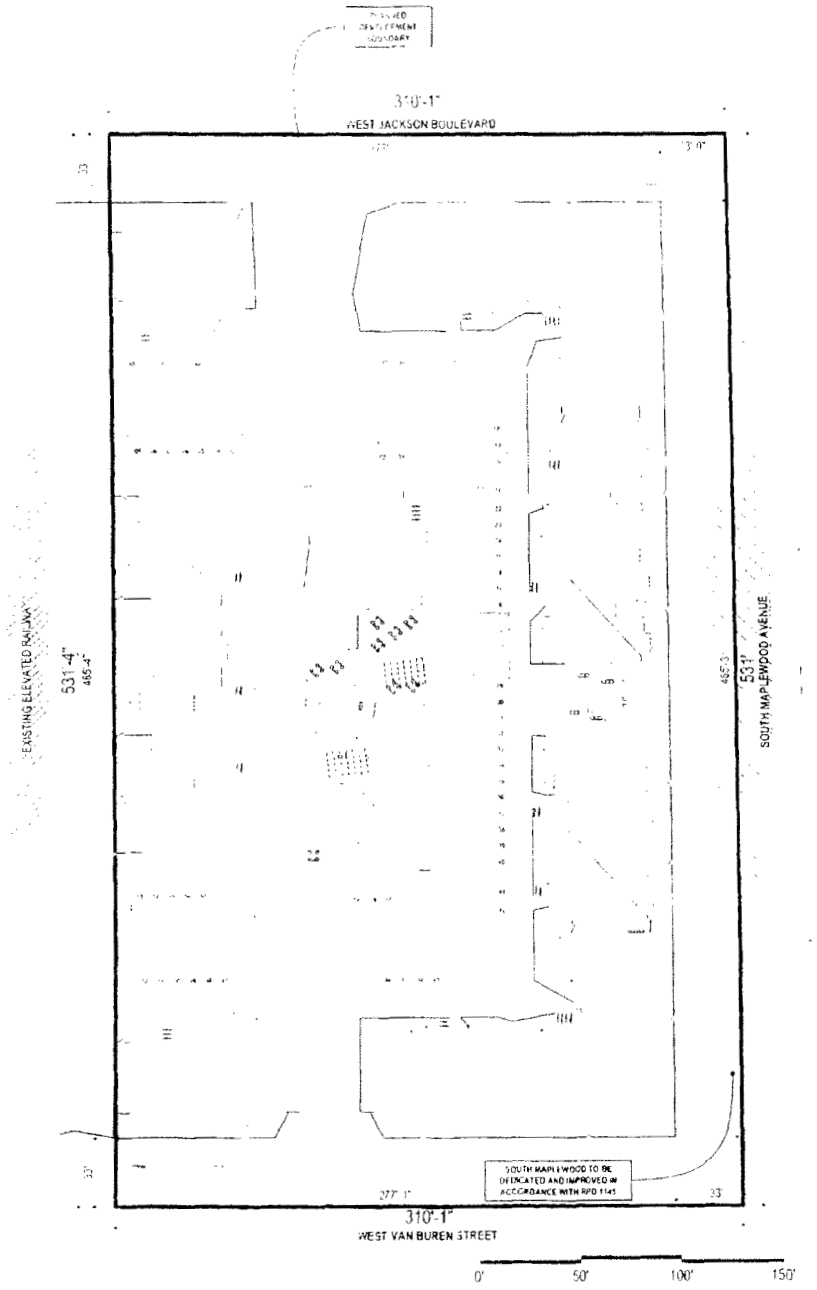


Applicant: **Maple Jack, LLC**  
 111 North Dearborn Street, Suite 400  
 Chicago, IL 60610  
 Contact: Ben Baker, Architect, Ltd

**City Gardens**  
 PD Boundary & Property Line Map  
 Revised Date: 07/19/12



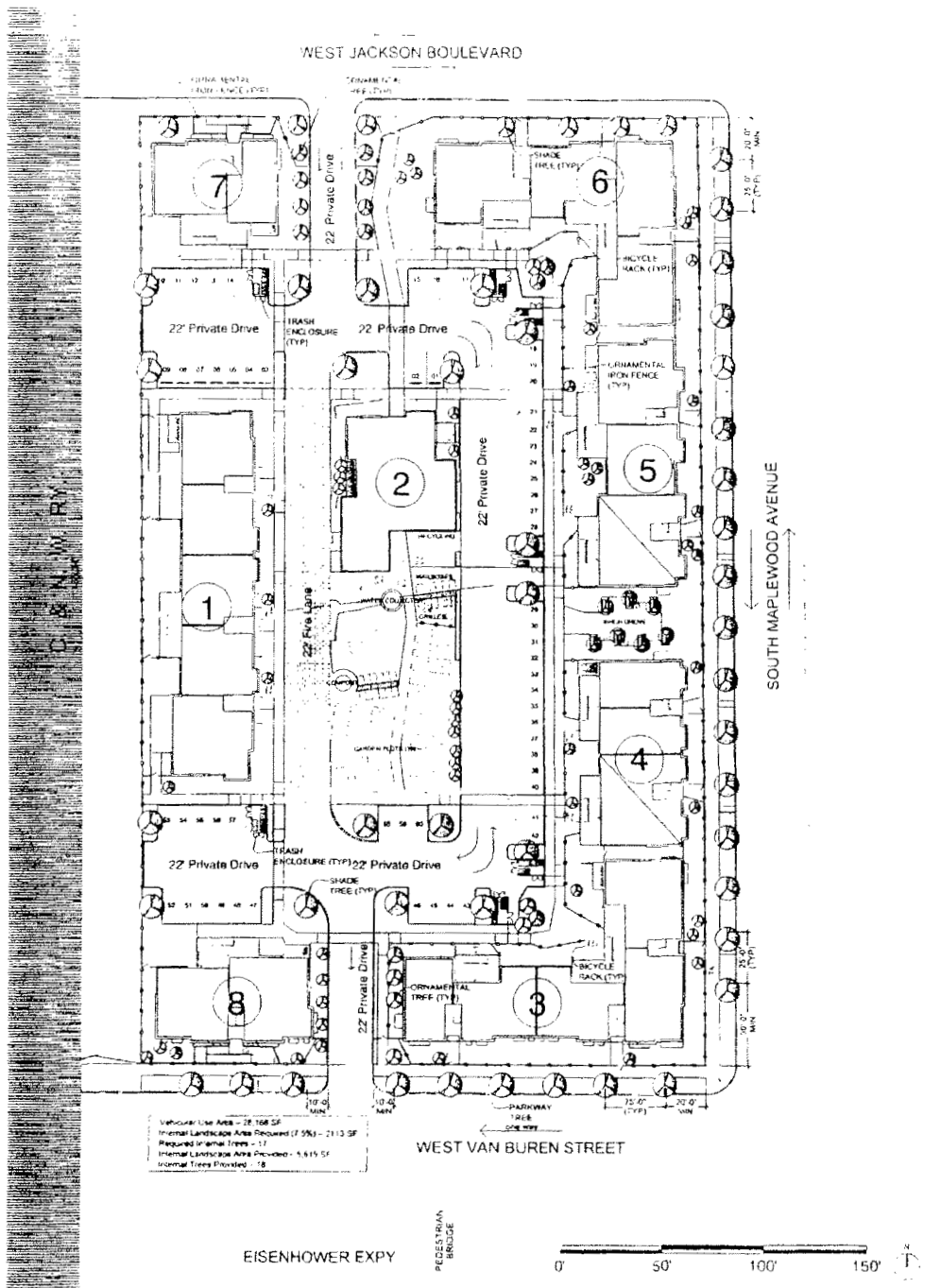
Right-Of-Way Adjustment Plan.



Applicant: **Maple Jack, LLC**  
City of Chicago Planning Authority  
Traci Ann Bone Baker Architects, Ltd

**City Gardens**  
Right-Of-Way Adjustment Plan  
Revised Date: 07/19/12

Landscape Plan.



Vehicular Use Area - 28,166 SF  
 Internal Landscape Area Required (7.5%) - 2113 SF  
 Required Internal Trees - 11  
 Internal Landscape Area Provided - 4,815 SF  
 Internal Trees Provided - 8

Applicant: **Maple Jack, LLC**  
 On Behalf of: **Maple Housing Authority**

**City Gardens**  
 Landscape Plan  
 07/19/12

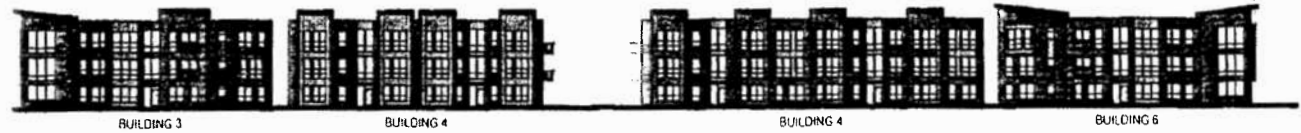
Street Elevations.



BUILDING 6  
W. VAN BUREN ST.



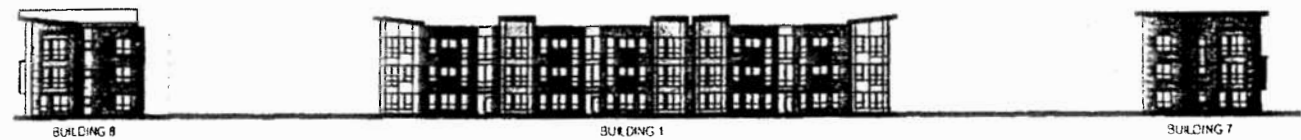
BUILDING 6  
W. JACKSON ST.



BUILDING 3  
S. MAPLEWOOD AVE.

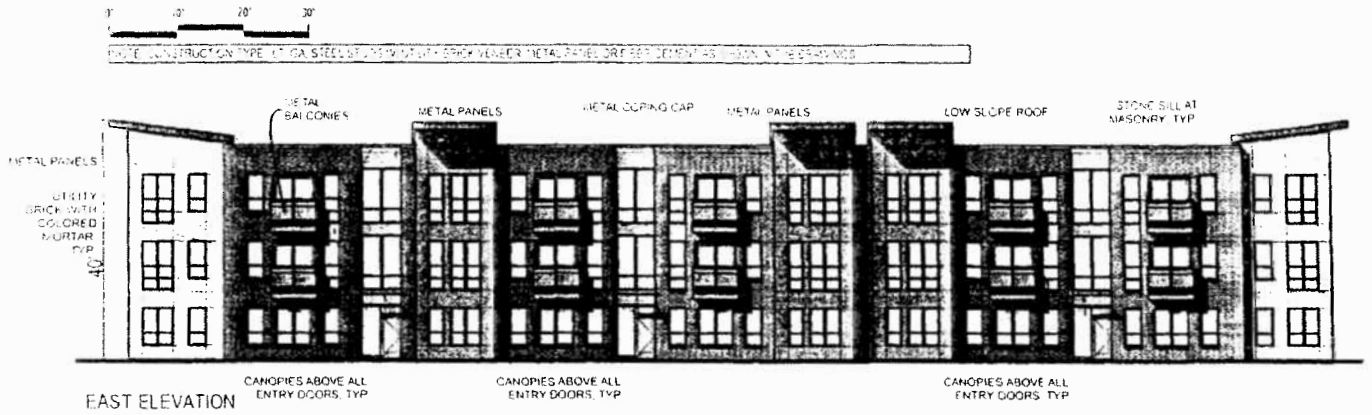


BUILDING 6  
IN COURTYARD TOWARDS THE EAST

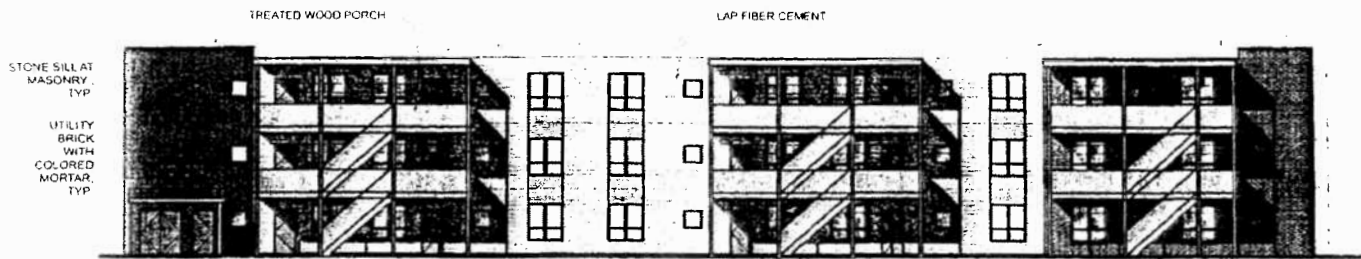


BUILDING 8  
IN COURTYARD TOWARDS THE WEST

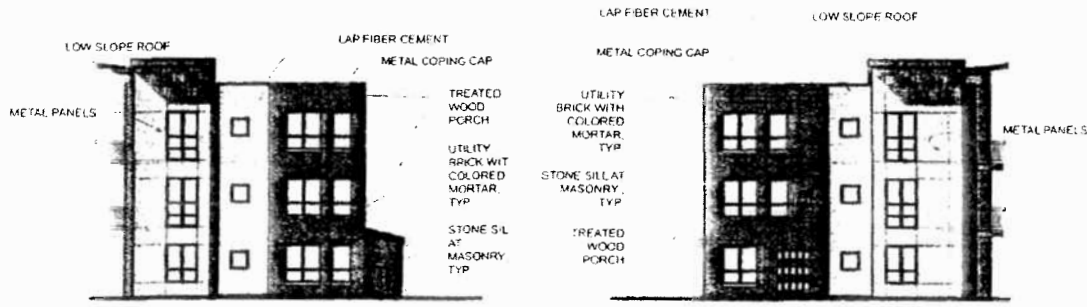
Building 1 -- Elevations.



EAST ELEVATION



WEST ELEVATION



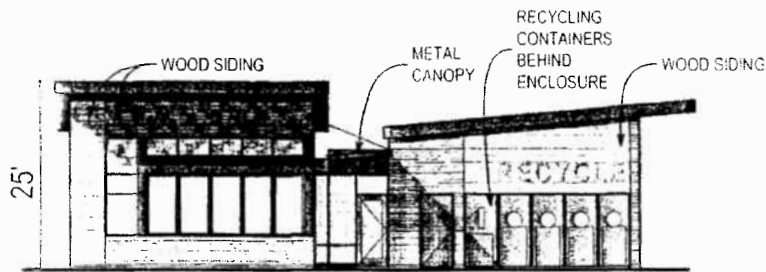
NORTH ELEVATION

SOUTH ELEVATION

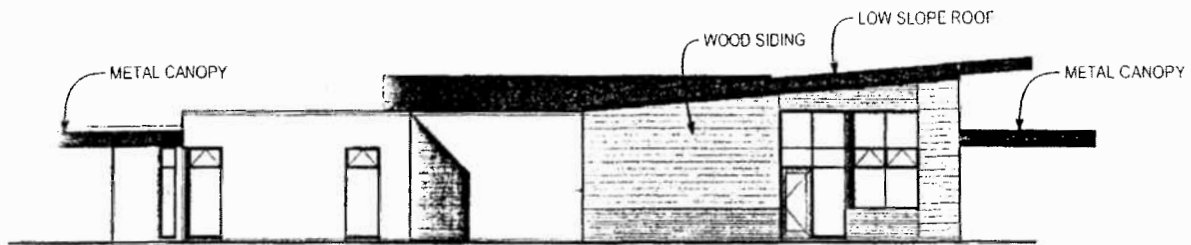
Building 2 -- Elevations.



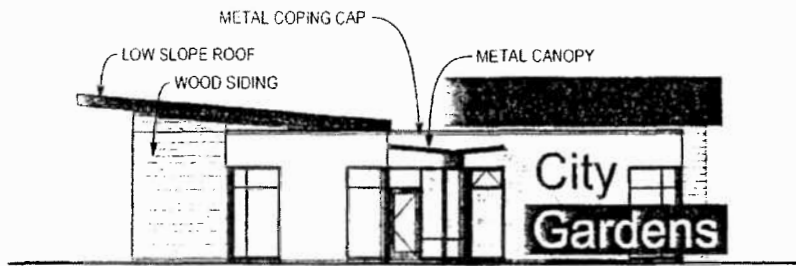
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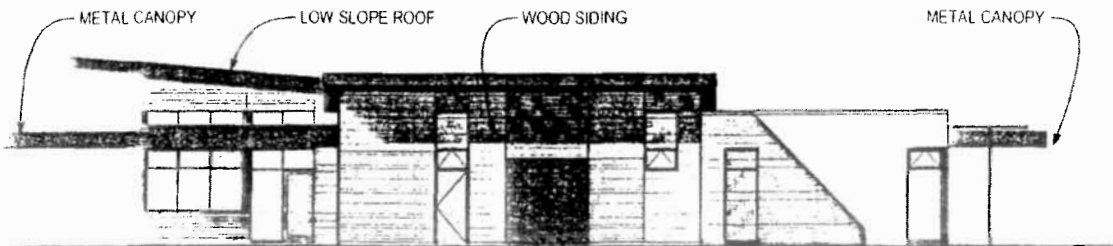
SOUTH ELEVATION



WEST ELEVATION

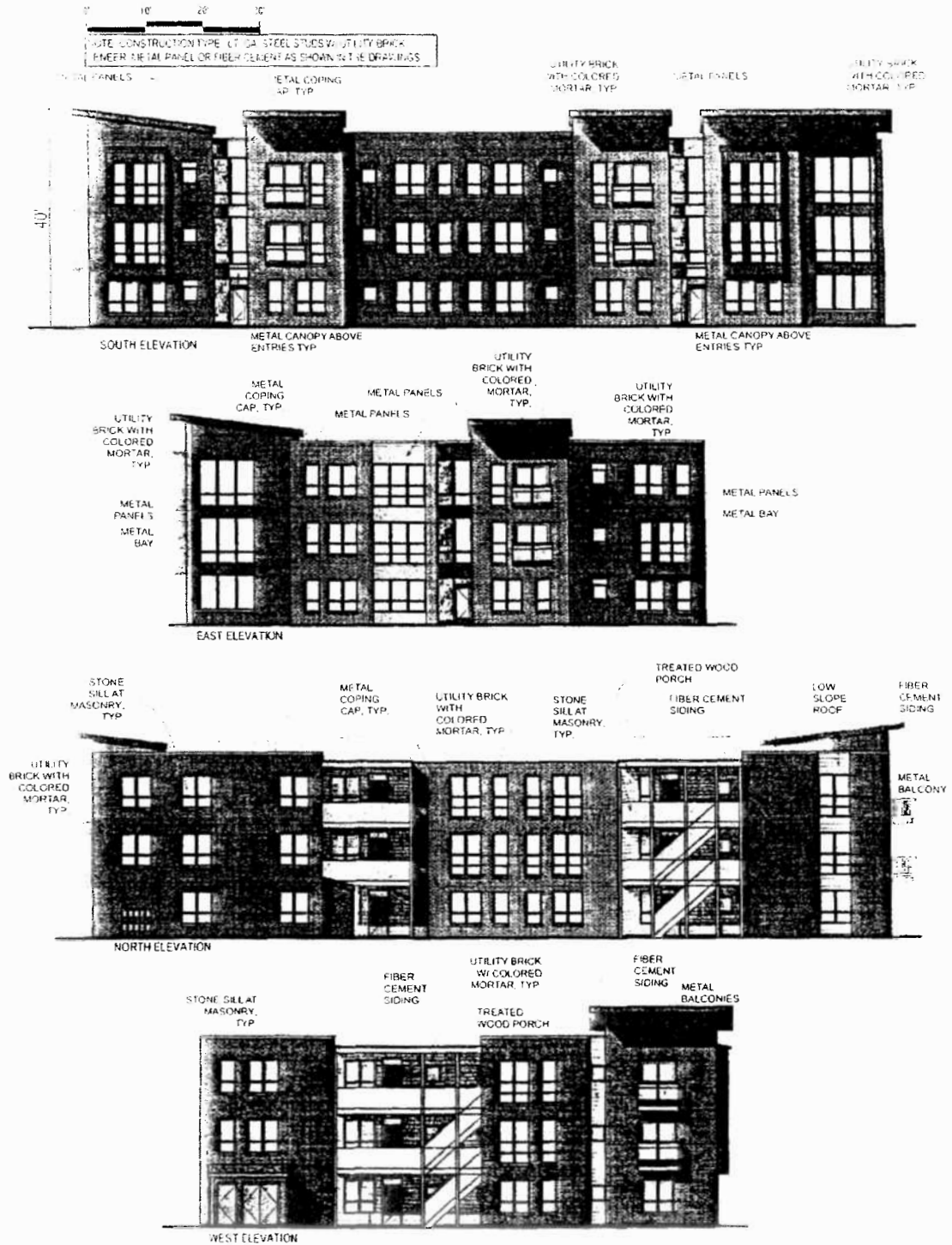


NORTH ELEVATION

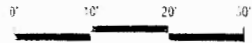


EAST ELEVATION

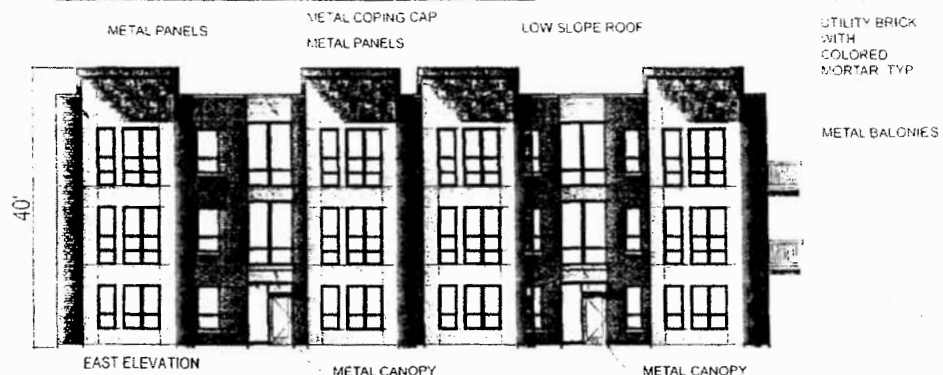
Building 3 -- Elevations.



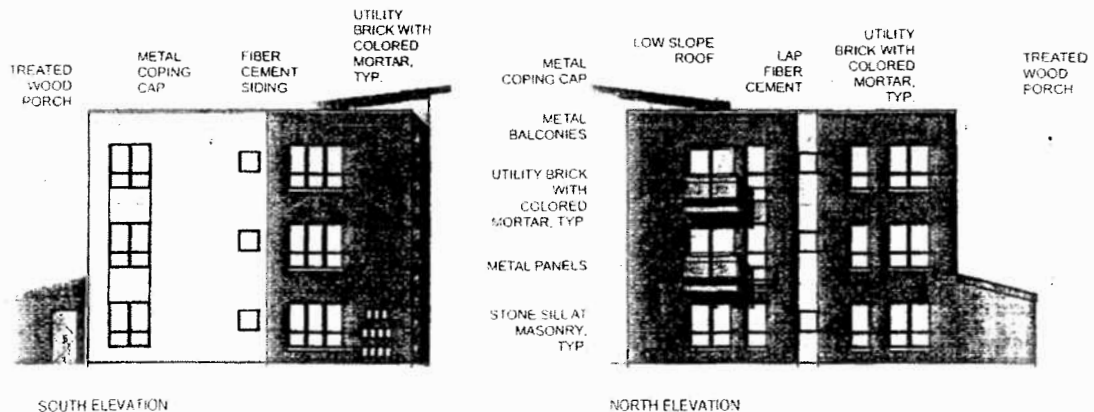
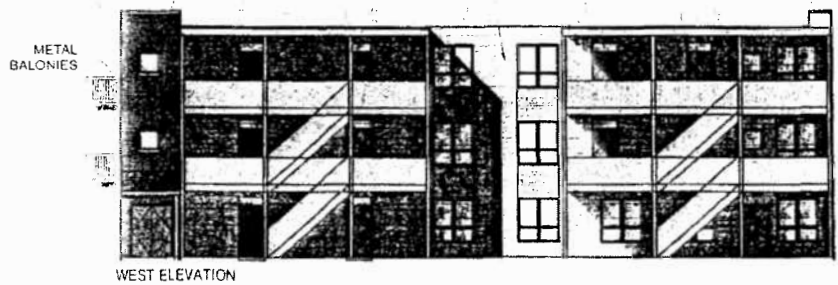
Building 4 -- Elevations.



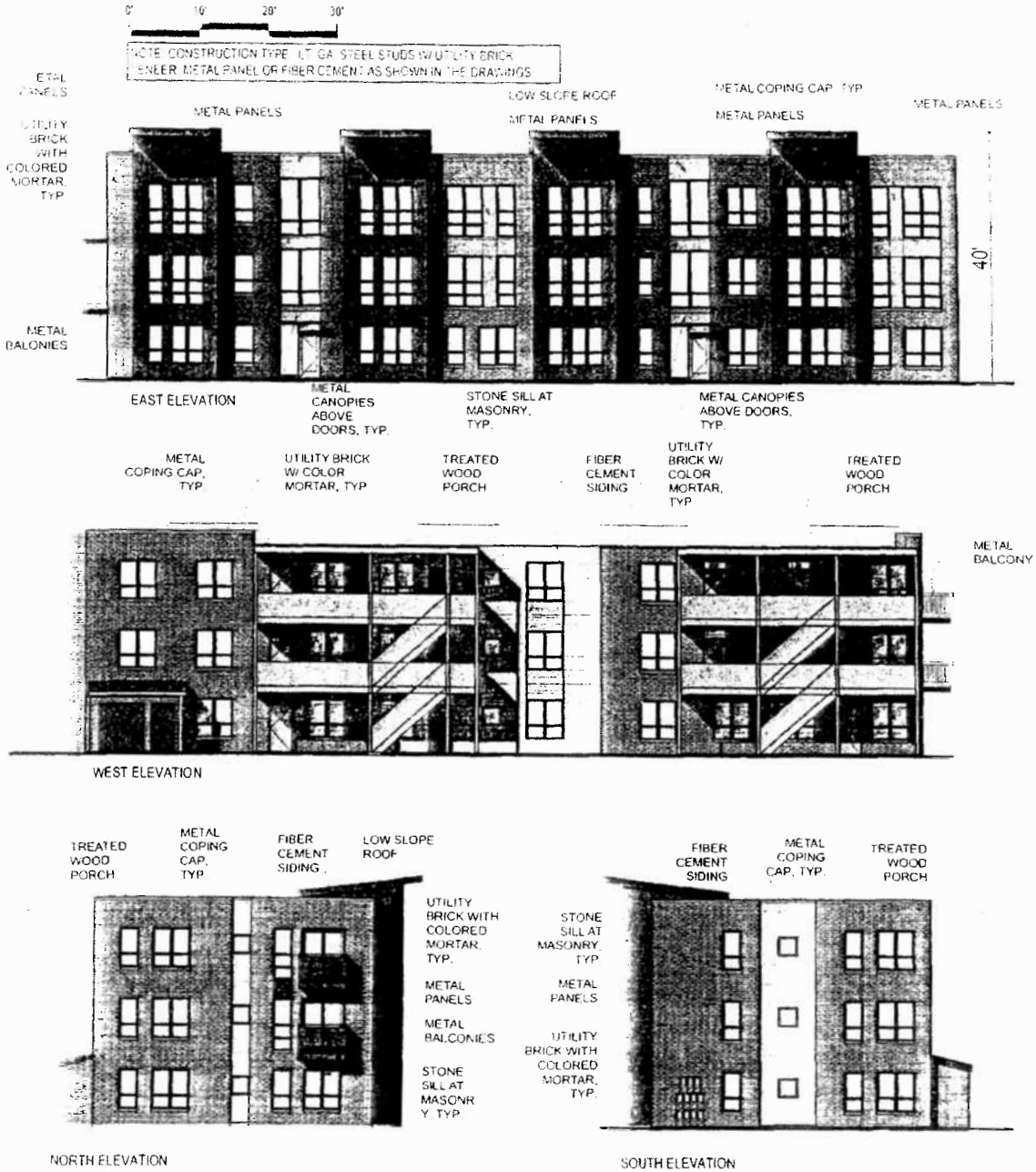
NOTE: CONSTRUCTION TYPE: 1. T. GA. STEEL STUDS WITH UTILITY BRICK  
2. REFER METAL PANEL OR FIBER CEMENT AS SHOWN IN THE DRAWINGS



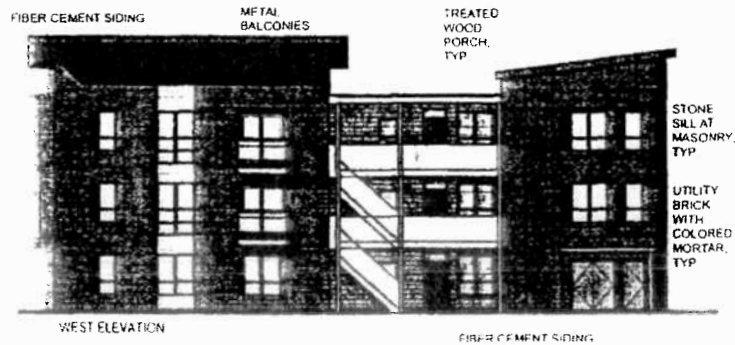
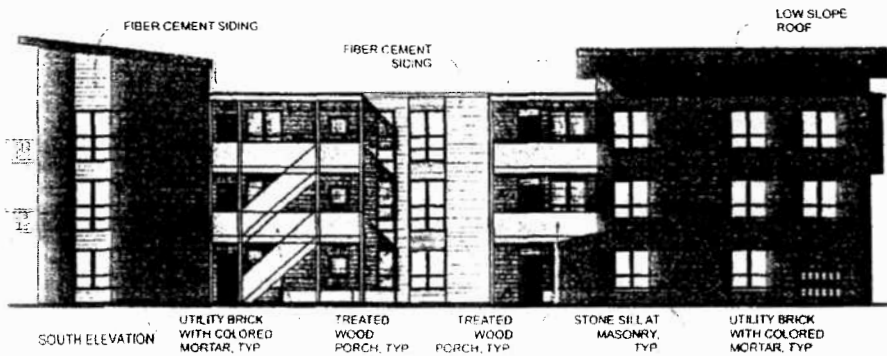
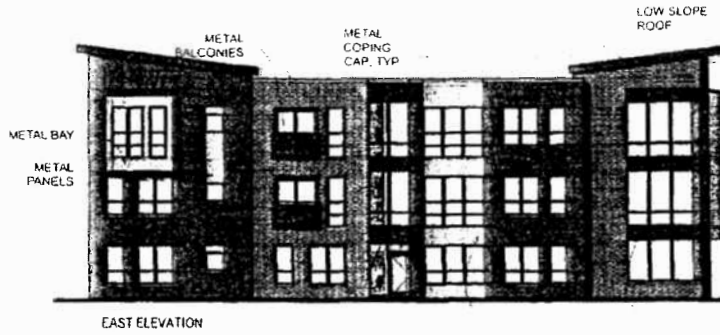
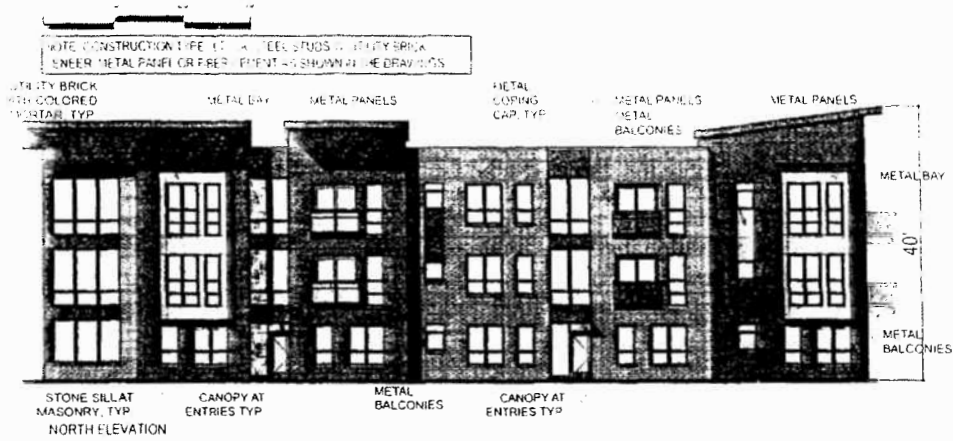
STONE SILLS AT ALL MASONRY, TYP.  
UTILITY BRICK W/ COLORED MORTAR  
TREATED WOOD PORCH  
LAP FIBER CEMENT  
TREATED WOOD PORCH



Building 5 -- Elevations.



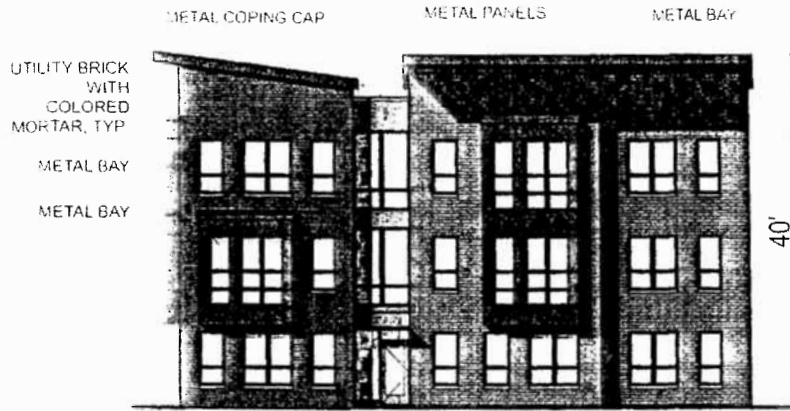
Building 6 -- Elevations.



Building 7 -- Elevations.



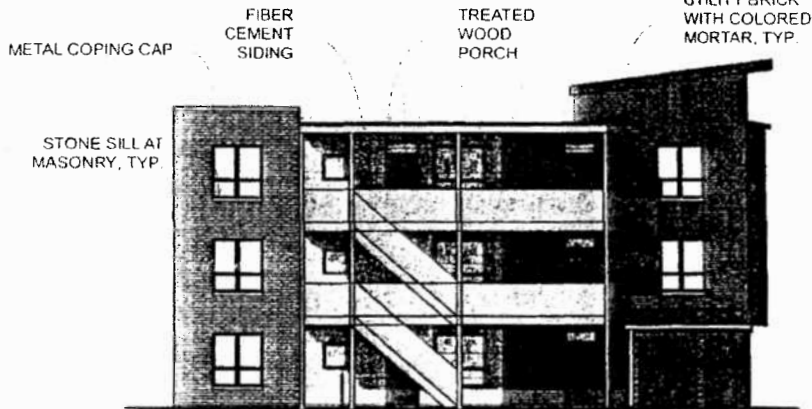
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 CENTER, METAL PANEL OR FIBER CEMENT AS SHOWN IN THE DRAWINGS



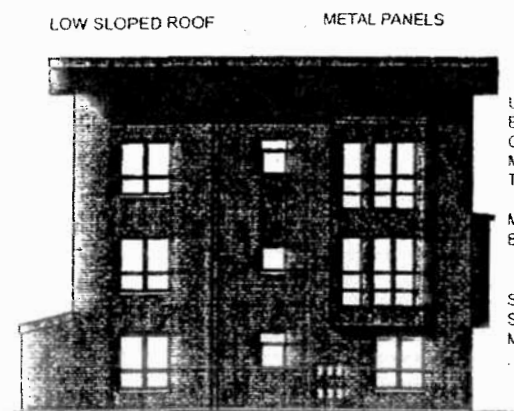
NORTH ELEVATION

METAL CANOPIES ABOVE DOORS, TYP.

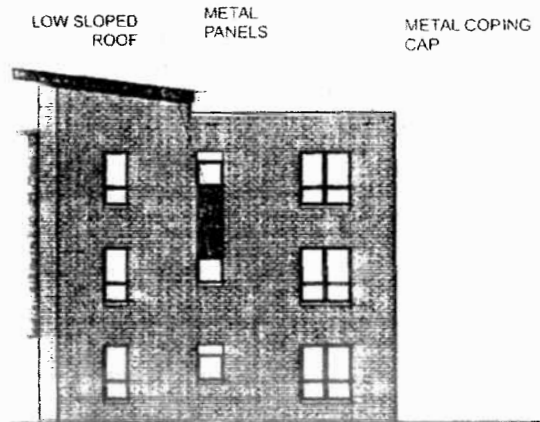
STONE SILL AT MASONRY, TYP.



SOUTH ELEVATION



EAST ELEVATION

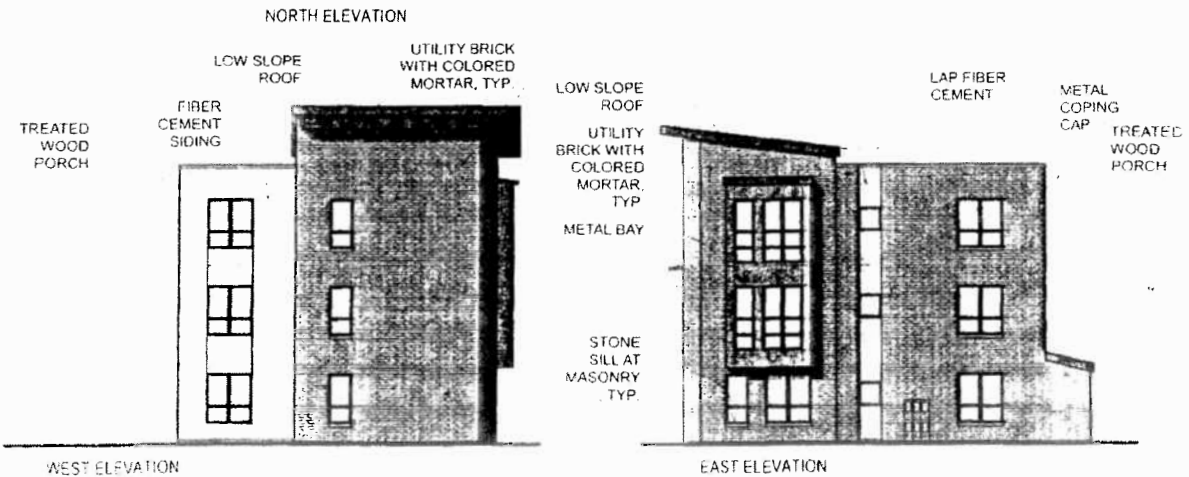
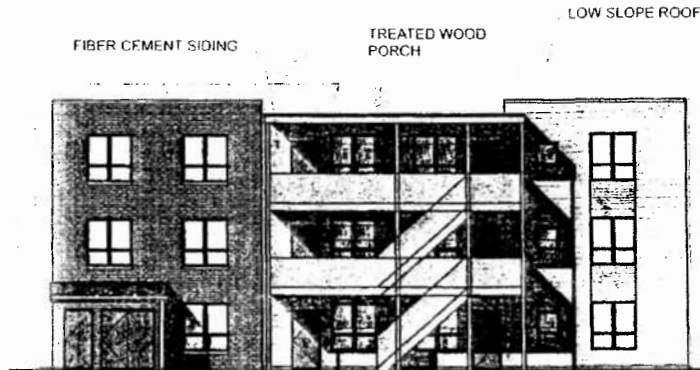
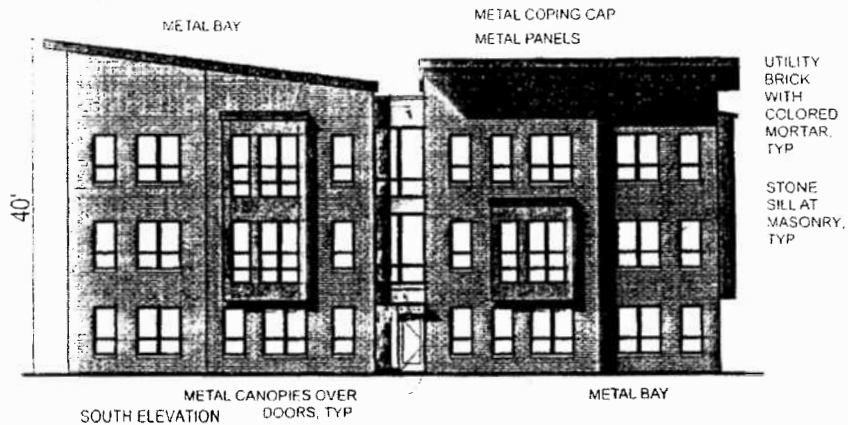


WEST ELEVATION

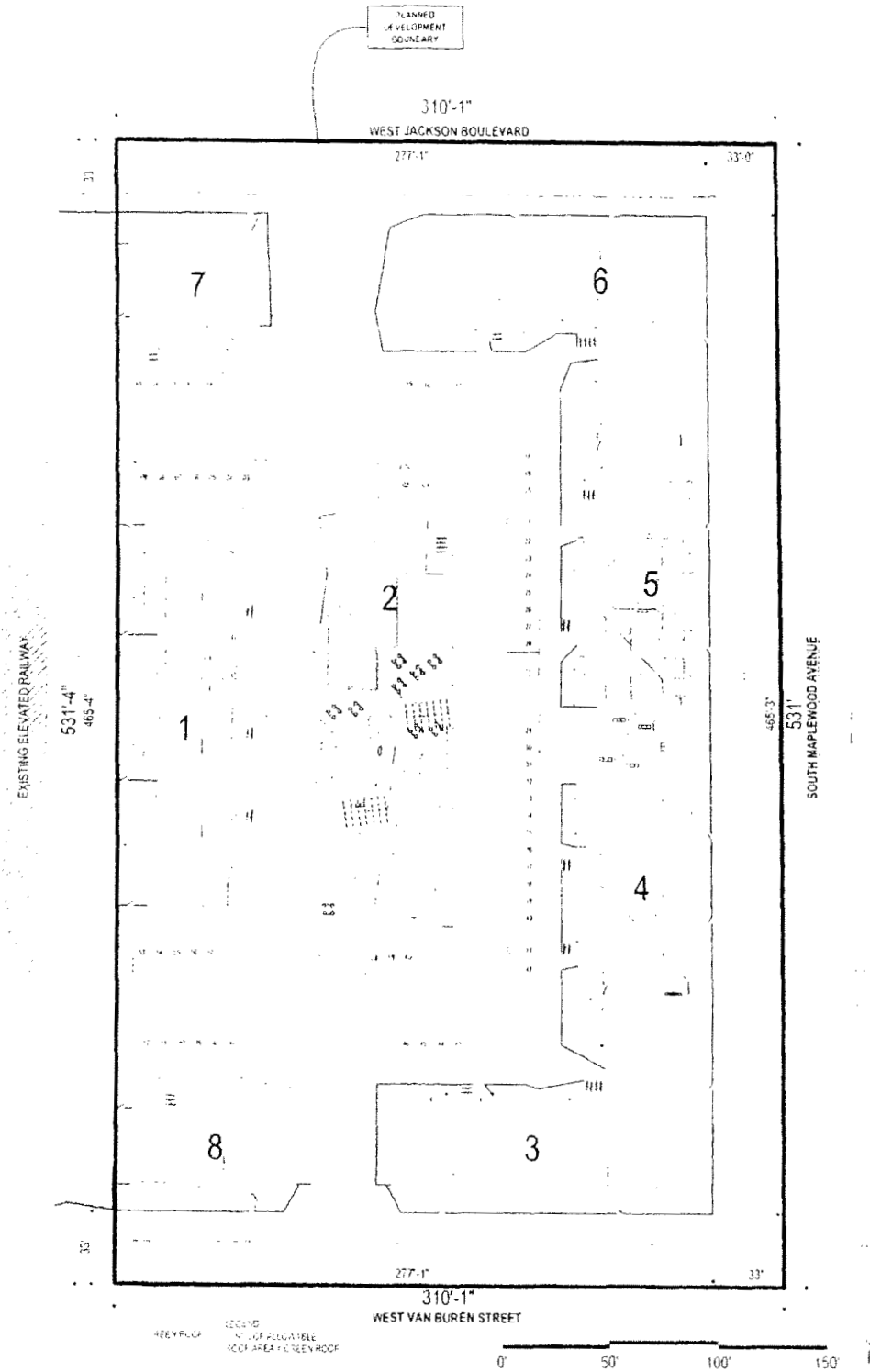
Building 8 -- Elevations.

0' 10' 20' 30'

NOTE: CONSTRUCTION TYPE: LT GA STEEL STUDS W/UTILITY BRICK VENEER. METAL PANEL OR FIBER CEMENT AS SHOWN IN THE DRAWINGS



Greenroof.





Chicago Builds Green Form.  
(Page 2 of 3)

Chicago Builds Green  
Form  
Matrix

To be Provided by  
the development:

Please fill, if applicable

Landscaping:

7' Landscape Setback	Square footage	0	0
Interior Landscape Area	Square footage	1,901	5,817
No. of Interior Trees		14	18
No. of Parkway Trees		24	24

Open Space:

River Setback	Square footage	0	0
Private Open Space	Square footage	0	12536
Privately developed Public Open Space	Square footage	0	0

Stormwater Management (At-grade volume control):

Permeable paving	Square footage	32,776
Raingarden	Check applicable	<input checked="" type="checkbox"/>
Filter strip		<input type="checkbox"/>
Bioswale		<input type="checkbox"/>
Detention pond		<input type="checkbox"/>
Native landscaping	Square footage	30,566
Rain-water collection cistern/barrel	Gallons	610
Total impervious area reduction	Square footage	3,746

Other sustainable surface treatments:

Green roof	Square footage	0	17,842
Energy Star roof	Square footage	44,866	44,866
High-albedo pavement	Square footage		12,313

Transportation:

No. of accessory parking spaces		60	60
Total no. of parking spaces (Accessory + Non-Acc.)			60
No. of parking spaces dedicated to car sharing services (E.g., I-Go, Zip-Car)		0	0
No. of bicycle parking		32	36
Within 600 ft of CTA or Metra station entrance	Check if applicable		<input type="checkbox"/>

Chicago Builds Green Form.  
(Page 3 of 3)

Building Certification:

- Energy Star building
- LEED certification 
  - LEED Certified
  - LEED Silver
  - LEED Gold
  - LEED Platinum
- Chicago Green Homes 
  - Chicago Green Homes (one-star)
  - Chicago Green Homes (two-star)
  - Chicago Green Homes (three-star)

Energy efficiency strategies  
not captured above:

*(IE: Other than Energy Star Pool - or Energy Star Building  
Certification-*

R52 Roof Insulation R19 Wall Insulation Low U-Value Windows Advanced Air Sealing Min 90% efficient furnaces 14 Seer A.C. Low-Flow Plumbing Fixtures
---

Other sustainable strategies  
and/or Project Notes:

Tenant Garden Plots Recycling drop off bins Composting Area
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