

PD 1169

Table of Contents

02/17/2022 Zoning Letter	2
02/08/2017 Minor Change	3
Exhibits	5
01/25/2017 PD Amendment	12
Ordinance	12
Statements	14
Bulk Table	30
Exhibits	32
08/19/2016 Minor Change	35
03/16/2016 PD Amendment	37
Ordinance	37
Statements	38
Bulk Table	55
Exhibits	58
12/05/2014 Minor Change	86
Exhibits	87
09/11/2013 Minor Change	91
Exhibits	92
09/06/2013 Zoning Letter	96
06/30/2010 PD Adoption	97
Ordinance	97
Statements	98
Bulk Table	112
Exhibits	113
<i>Subarea Exhibits</i>	132
<i>Subarea A1</i>	160
<i>Subarea A2</i>	186
<i>Subarea A3</i>	204
<i>Subarea B1</i>	224
<i>Subarea B2</i>	243
<i>Subarea B3</i>	263
<i>Subarea C</i>	283
<i>Subarea D</i>	286
<i>Subarea E</i>	305
<i>Site Plan Exhibits</i>	330



February 17, 2022

Andrew P. Scott
Dykema Gossett
10 S. Wacker Dr.
Suite 2300
Chicago, IL 60606

Re: One-year sunset extension for PD 1169, Lake Meadows

Dear Mr. Scott:

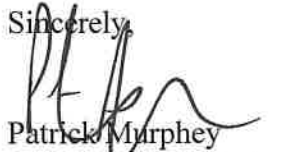
Please be advised that your request for a one-year extension to the initial expiration date for Residential Business Planned Development No. 1169, as amended, ("PD 1169") has been considered by the Department of Planning and Development pursuant to Section 17-13-0612 of the Zoning Ordinance and Statement No. 20 of the Planned Development. Lake Meadows Associates ("LMA") is the sole owner of the property.

PD 1169 was approved by the Chicago City Council on January 25, 2017. Statement No. 20 of the PD states that it will lapse and become null and void unless substantial construction has occurred in Subarea A1 and Subarea A2 within six years of March 15, 2016. It also states that the initial expiration date may be extended for up to one additional year if, before expiration, the applicant makes a written request for such an extension explaining the good cause for such an extension.

According to your request letter, LMA has made substantial investments to the property over the last six years, including major renovations to four workforce high-rise buildings within the PD. LMA is seeking to consolidate Subarea B to properly reflect land uses in the northern portion of the PD and they are also seeking to renovate a vacant building for a community health care provider. You have presented redevelopment plans to our Department for an amendment to PD 1169 and in order to compete that process, you are requesting a one-year extension to the initial expiration date.

Pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1169, I hereby approve a one-year initial expiration date extension from March 15, 2022, to March 15, 2023.

Sincerely,



Patrick Murphey
Zoning Administrator

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

February 8, 2017

Andrew P. Scott
Dykema Gossett PLLC
10 S. Wacker Drive
Suite 2300
Chicago, IL 60606

**Re: Administrative Relief request for Planned Development No. 1169, Subarea A2
Parcel A2-1.1, SE corner of E. 33rd Place and S. Dr. MLK Dr.**

Dear Mr. Scott:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 1169 ("PD 1169"), Subarea A2, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of PD 1169.

Your client and the property owner, Lake Meadows Associates, L.P., is seeking administrative relief for modifications to the plans and elevations for Subarea A2, Parcel A2-1.1, which was approved in the most recent amendment to PD 1169. The modifications are to the proposed building, Retail A8, on the southeast corner of E. 33rd Pl. and S. Dr. Martin Luther King Dr., and the two buildings to the south, Retail A7, and Retail A6, adjacent to the existing Walgreens at 3405 S. Dr. Martin Luther King Dr.

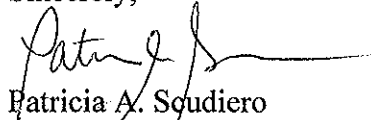
Retail A8 has been reduced from 5,700 square feet ("SF") to approximately 4,800 SF and has been redesigned for a Culver's Restaurant. To accommodate additional drive thru traffic and stacking, the parking has been reduced from 38 to 29 spaces. Retail A7 remains approximately 4,000 SF and has been reconfigured for a Taco Bell and T Mobile Store. Parking has been increased from 12 to 14 spaces. Retail A6 remains approximately 3,200 SF and parking has been increased from 19 to 21 spaces. The overall parking for Parcel A2-1.1 has decreased from 69 to 64 spaces. There are slight changes to the building elevations based on the proposed tenants, however, the materials and massing remain the same. The following attached, revised drawings shall be inserted into the main file: Parcel A2-1.1 Site Plan, Parcel A2-1.1 Landscape Plan, Green Roof Plan, Retail A6 West, North and South Elevations, Retail A7 East and West Elevations, Retail A7 North and South Elevations, Retail A8 West and East Elevations, Retail A8 South and North Elevations.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned

Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Planned Development No. 1169, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patricia A. Soudiero
Zoning Administrator

PAS:PM:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Ron Daye, Main file

E. 33RD PLACE

25'-0" NEW CURB CUT PROPERTY

EXISTING PYLON SIGN TO REMAIN

8'-0" PUBLIC SIDEWALK

24'-0" NEW CURB CUT

8'-0" PUBLIC SIDEWALK

8'-0" PUBLIC SIDEWALK

EXISTING CURB

S. DR. MARTIN LUTHER KING JR. DR.

65 PARKING SPACES

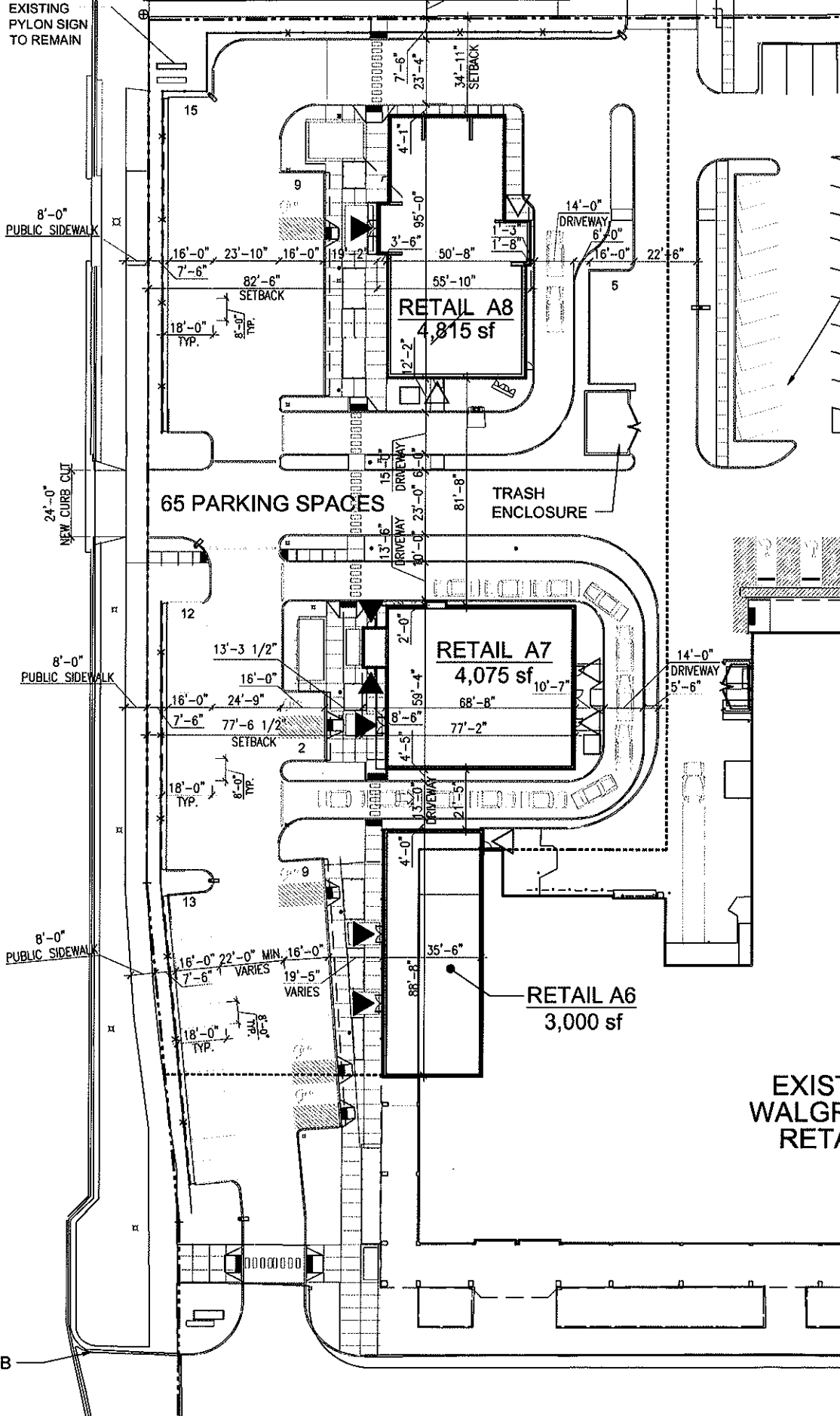
TRASH ENCLOSURE

RETAIL A8
4,815 sf

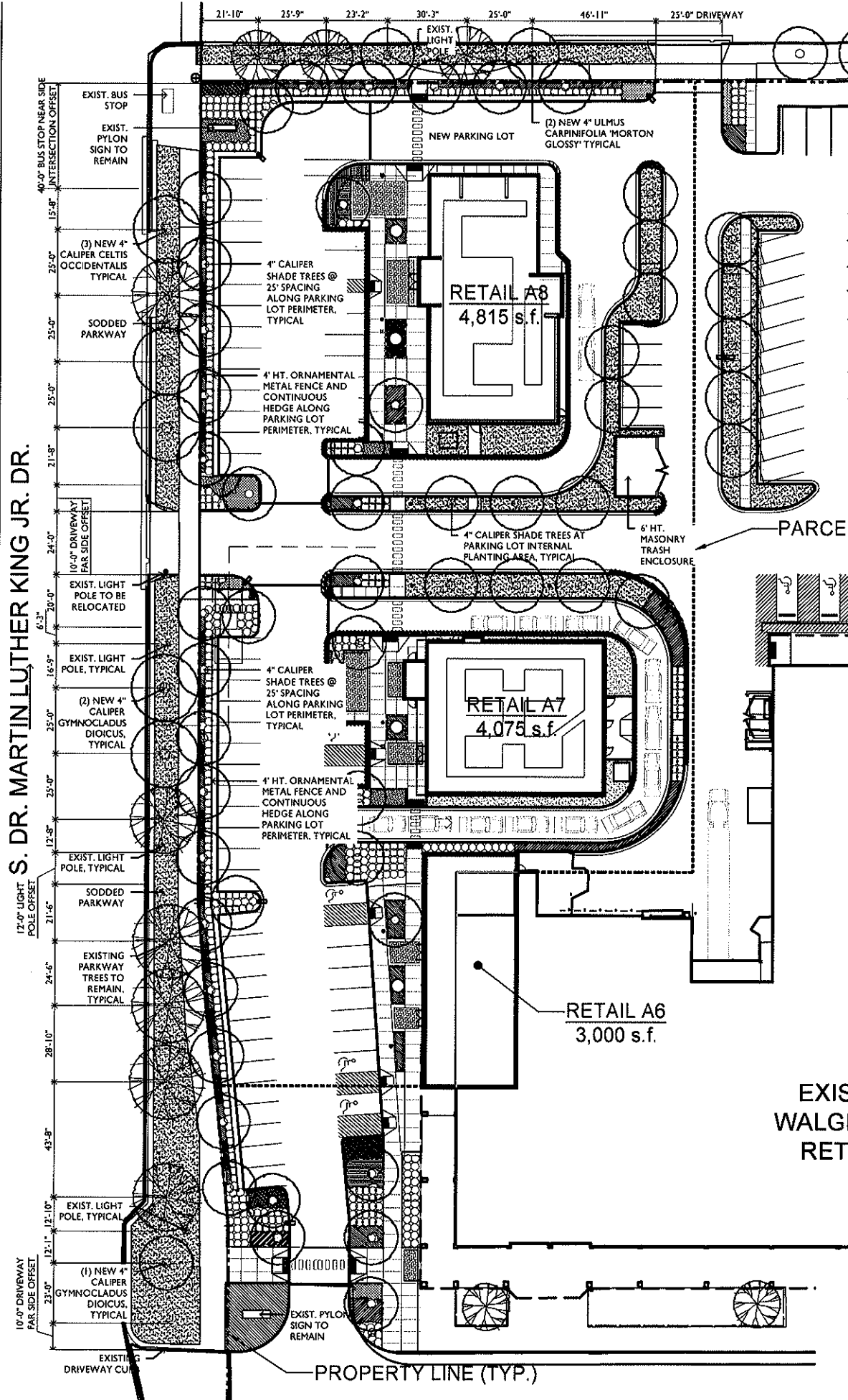
RETAIL A7
4,075 sf

RETAIL A6
3,000 sf

EXIST WALGR
RETA

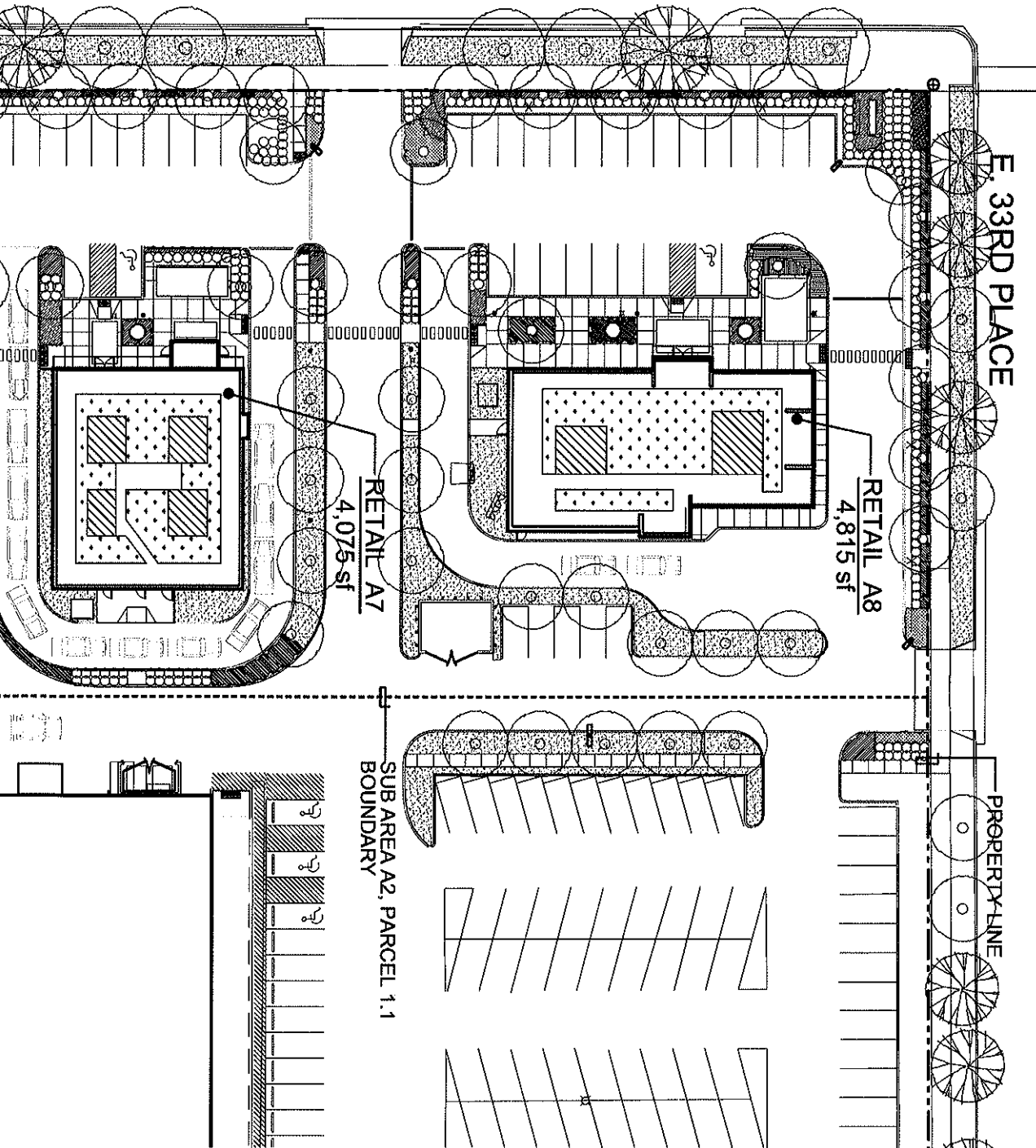


S. DR. MARTIN LUTHER KING JR. DR.



EXIST. WALG...
RET...

S. DR. MARTIN LUTHER KING JR. DR.



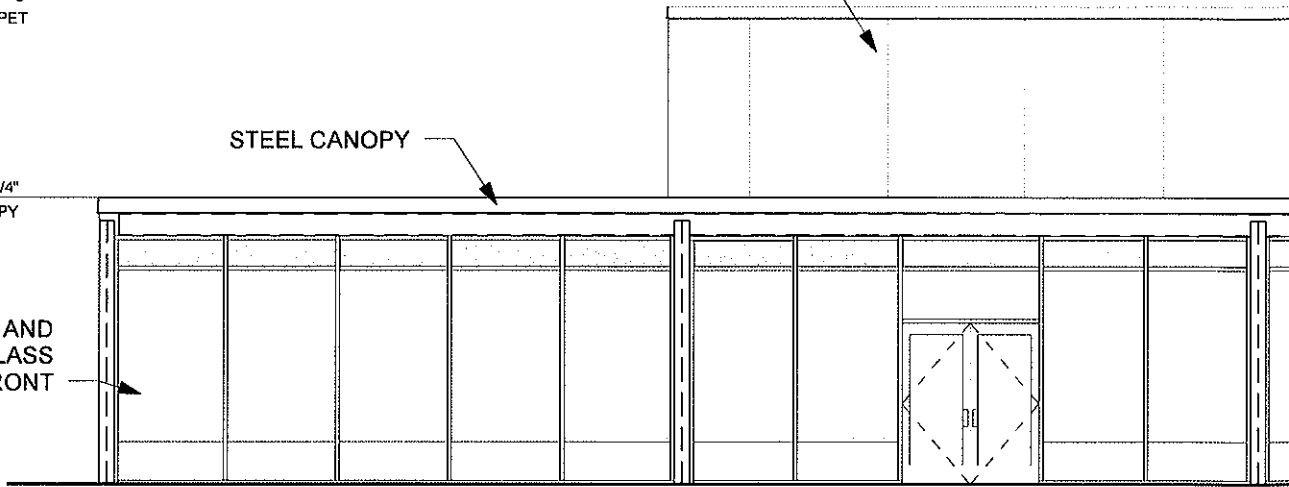
20' - 9"
T.O. PARAPET

METAL PANELS

12' - 5 1/4"
T.O. CANOPY

STEEL CANOPY

ALUMINUM AND
GLASS
STOREFRONT



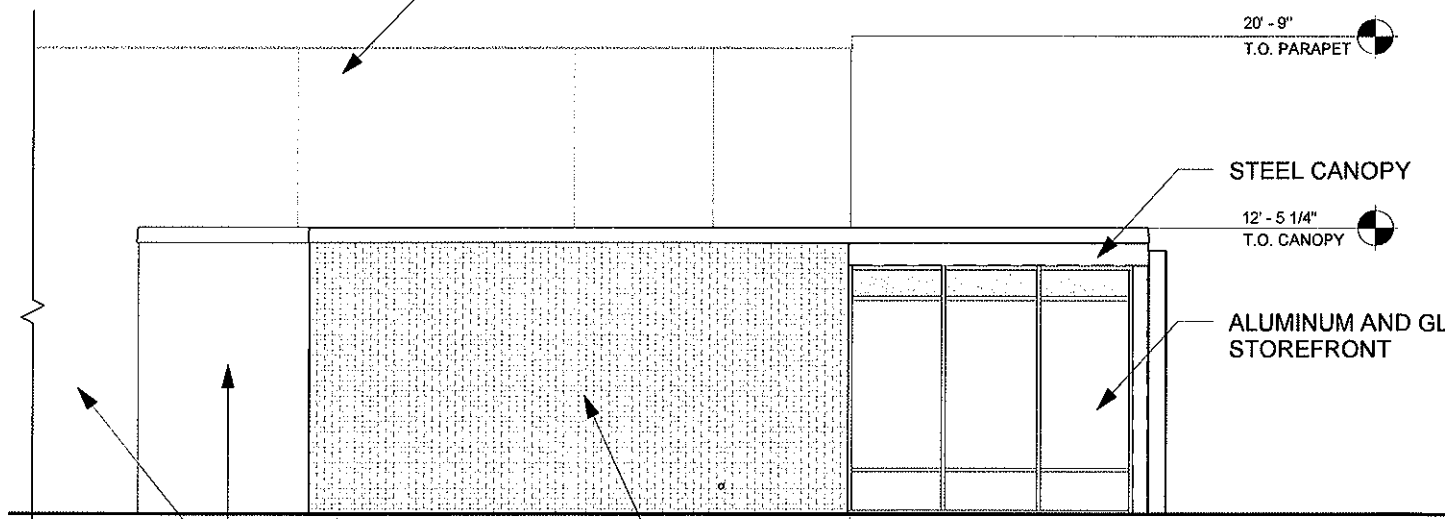
RETAIL A6 - WEST ELEVATION

SCALE: 1/8" = 1'-0"

METAL PANELS

AREA OF REMOVED
CANOPY BEYOND

20' - 9"
T.O. PARAPET



STEEL CANOPY

12' - 5 1/4"
T.O. CANOPY

ALUMINUM AND GL
STOREFRONT

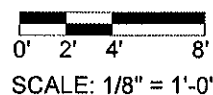
ADJACENT RETAIL
FACADE (NO WORK)

FACE BRICK

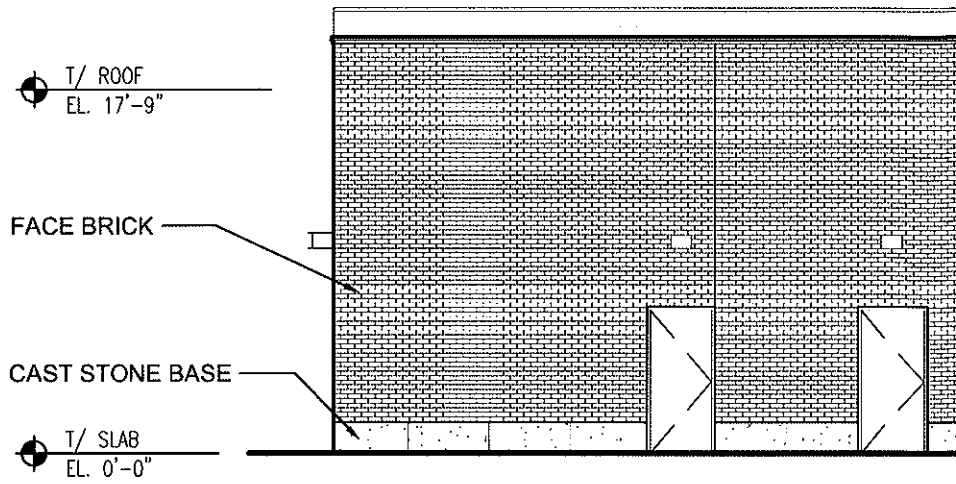
RETAIL A6 - NORTH ELEVATION



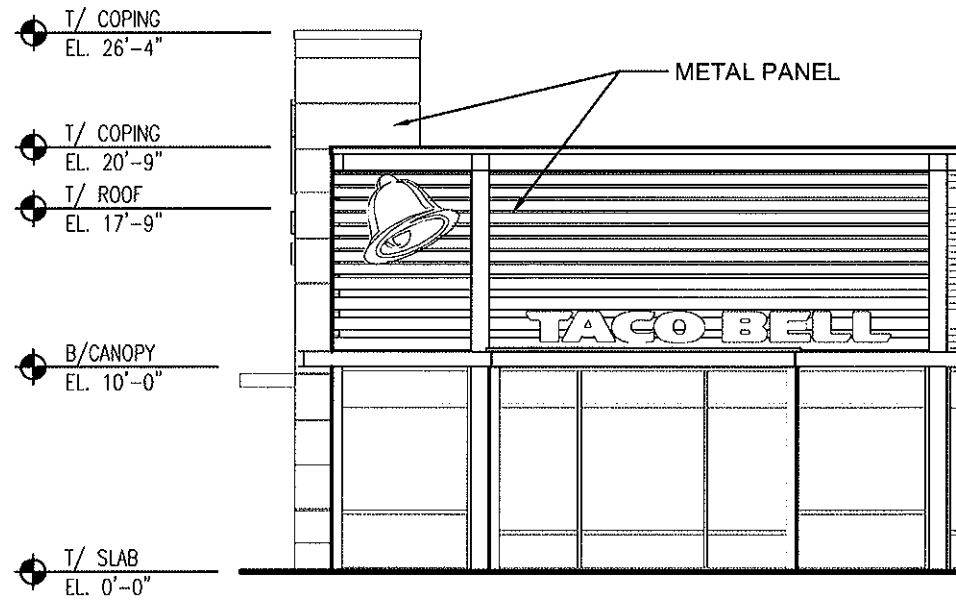
OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



APPLICANT: LAKE ME
PD 1169 SUB



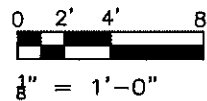
4 EAST ELEVATION
A200 SCALE: 1/8" = 1'-0"



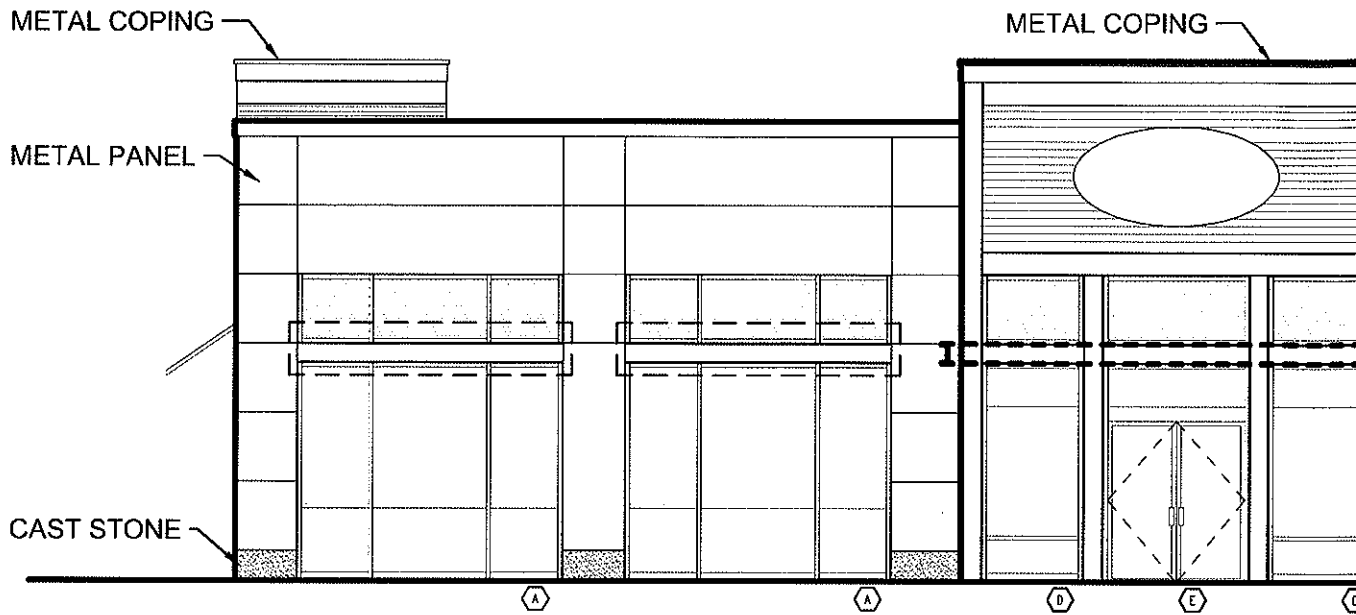
2 WEST ELEVATION
A200 SCALE: 1/8" = 1'-0"



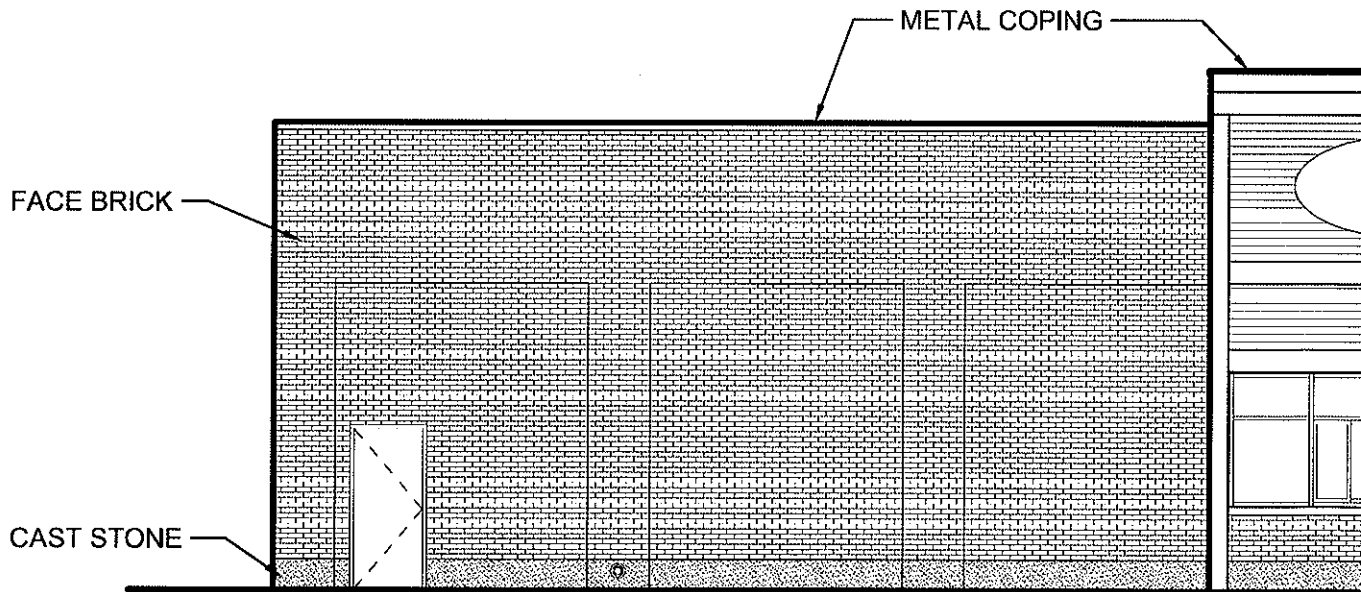
OKW ARCHITECTS
600 W. Jackson, Suite 250
Chicago, IL 60661



APPLICANT: LAKE ME
PD 1169 SUP



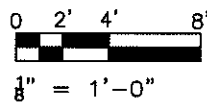
4 WEST ELEVATION
 A200 SCALE: 1/8" = 1'-0"



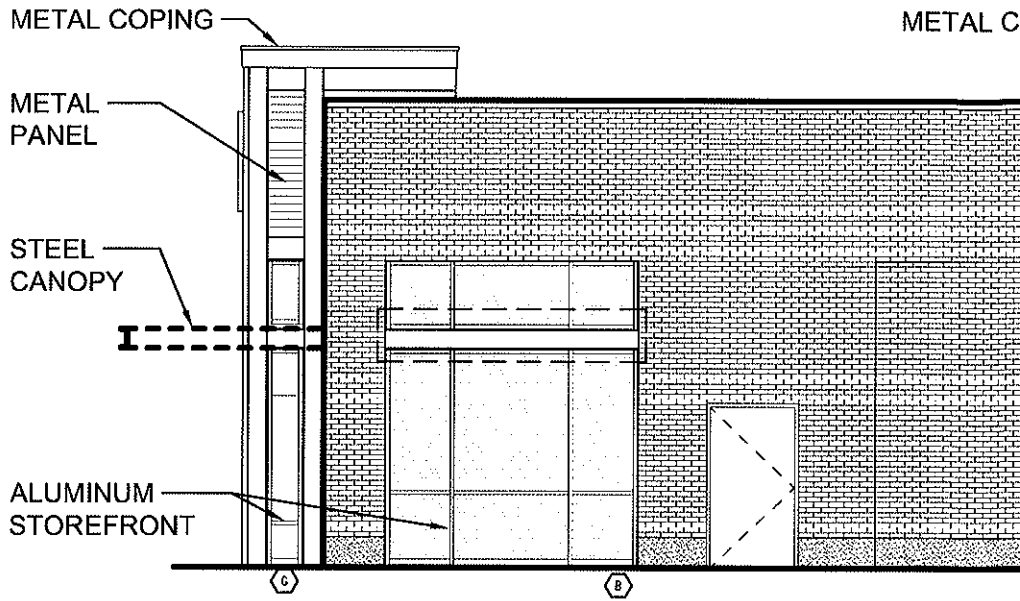
2 EAST ELEVATION
 A200 SCALE: 1/8" = 1'-0"



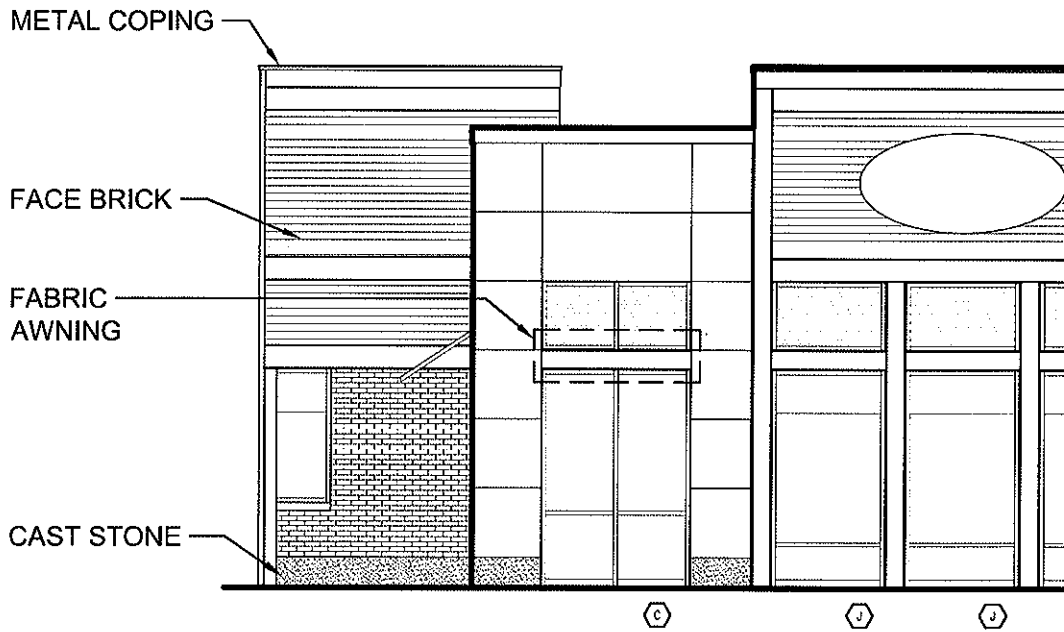
OKW ARCHITECTS
 600 W. Jackson, Suite 250
 Chicago, IL 60661



APPLICANT: LAKE ME
PD 1169 SUE



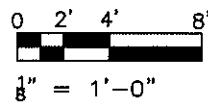
3 SOUTH ELEVATION
 A200 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
 A200 SCALE: 1/8" = 1'-0"



OKW ARCHITECTS
 600 W. Jackson, Suite 250
 Chicago, IL 60661



APPLICANT: LAKE ME
PD 1169 SUE

19009

42248

JOURNAL--CITY COUNCIL--CHICAGO

1/25/2017

Reclassification Of Area Shown On Map No. 8-E.

(As Amended)

(Application No. 19009)

(Common Address: 400 E. 33rd St., 3201 to 3263 S. Dr. Martin Luther King, Jr. Dr.
And Various Other Locations)

RBPD 1169,00

[SO2016-7343]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Residential-Business Planned Development Number 1169, as amended, symbols and indications as shown on Map Number 8-E in the area bounded by:

the southern boundary of East 31st Street; the western boundary of South Rhodes Avenue; a line 164.87 feet north of and approximately parallel to the north boundary of East 32nd Street; the west line of the Illinois Central Railroad right-of-way; a line 257.26 feet south of and approximately parallel to the south boundary line of East 33rd Street; a line 205.44 feet west of the west line of the Illinois Central Railroad right-of-way line, as measured along the south boundary line of East 33rd Street; the north boundary line of East 33rd Street; the west boundary line of South Cottage Grove Avenue; the north boundary line of East 35th Street; the east boundary line of South Dr. Martin Luther King, Jr. Drive; a line 368.79 feet north of and approximately parallel to the north boundary line of East 32nd Street; the north boundary line of East 31st Place; and the east boundary line of South Vernon Avenue, in Chicago, Illinois,

to those of Residential-Business Planned Development Number 1169, as amended.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Common Addresses and Plan of Development Statements attached to this ordinance read as follows:

Common Addresses.

3113 to 3455 South Dr. Martin Luther King, Jr. Drive;

443 to 489 East 31st Street;

424 to 490 East 31st Place;

427 to 489 East 31st Place

400 to 426 East 32nd Street;
401 to 433 East 32nd Street;
461 to 489 East 32nd Street;
466 to 488 East 32nd Street;
500 to 554 East 32nd Street;
501 to 549 East 32nd Street;
500 to 554 East 32nd Place;
501 to 549 East 32nd Place;
400 to 558 East 33rd Street;
400 to 506 East 33rd Street;
401 to 507 East 33rd Street;
614 to 654 East 33rd Street;
641 to 659 East 33rd Street;
401 to 559 East 33rd Place;
400 to 578 East 35th Street;
3312 to 3458 South Cottage Grove Avenue;
3101 to 3123 South Vernon Avenue;
3122 to 3158 South Vernon Avenue;
3131 to 3159 South Vernon Avenue;
3308 to 3338 South Vernon Avenue;
3309 to 3337 South Vernon Avenue;
3101 to 3263 South Rhodes Avenue;
3102 to 3262 South Rhodes Avenue;
3308 to 3338 South Rhodes Avenue;

3309 to 3337 South Rhodes Avenue;

3346 to 3456 South Rhodes Avenue;

3129 to 3147 South Eberhart Avenue; and

3130 to 3154 South Eberhart Avenue.

Residential-Business Planned Development No. 1169, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development Number 1169, as amended (the "Planned Development") consists of approximately 3,063,969 square feet of Net Site Area (approximately 70.34 acres) of property (the "Property"), together with certain portions of existing rights-of-way, as depicted on the Planned Development Boundary and Property Line Map, as referenced in Statement Number 4(a). The Property is owned or controlled by Lake Meadows Associates, an Illinois limited partnership (the "Applicant"). The Planned Development is divided into subareas (each, a "subarea," and collectively, the "subareas"), as indicated on the Subarea Map, as referenced in Statement Number 4(a). The purpose of this amendment to the Planned Development amendment is to secure approval of an 18-space accessory, interim parking lot in Subarea B1.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant. These Planned Development Statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or re-subdivision of parcels shall require a separate submittal on behalf of the Applicant and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II Approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map, as referenced in Statement Number 4(a), may be approved by the Zoning Administrator of the Department of Planning and Development (the "Department") as a minor change to this Planned Development, provided such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the

Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant for approval by CDOT, the Department at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II Approval), and (c) shall not be deemed to confer any additional bulk, density or other development.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant and its successors, assigns and grantees. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors, assigns and grantees (including any condominium or homeowners' association which may presently exist or hereafter be formed). References in this Planned Development to "Applicant" shall mean and include as, applicable the Applicant's successors, assigns and grantees. The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as Lake Meadows Associates ("LMA") owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the LMA or its express designee. Where portions of the improvements located on the Property have been or are hereafter submitted to the Illinois Condominium Property Act or any similar common interest community statute, or made subject to a private declaration governing a homeowners association, the term "owner" shall be deemed to refer solely to the condominium association, common interest community or homeowners association of such owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer (a "Transfer") of all or any portion of the Property or any rights, interests or obligations therein by the Applicant or any owner. Any party making application shall have the burden of establishing to the reasonable satisfaction of the Department that the consent of LMA (or its express designee) has been obtained, assigned or irrevocably waived. Upon any Transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust); provided, however, that the right of LMA (or its express designee) to authorize future amendments, modifications or other changes (administrative, legislative or otherwise) to this Planned Development shall not be deemed to be amended or transferred unless the Applicant assigns such rights to the transferee in writing or otherwise irrevocably waives such rights. Nothing in this Statement 2 shall be construed in derogation of Section 17-1-1003 of the Zoning Ordinance.
4. This Planned Development consists of twenty (20) Statements, and the following exhibits (collectively the "Design Exhibits"):

(a) Planned Development Exhibits:

Master ~~Bulk~~ Regulations and Data Table, dated January 19, 2017; Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Generalized Land-Use Plan; Site Plan; Landscape Plan; Subarea Plan; Subarea Maximum Height Plan; Subarea Maximum Floor Area Ratio/Dwelling Units Plan; Public Roadway Plan; Vacations/Dedications Plan; Vehicular Access and Circulation Plan; Traffic Improvements Staging Plan; Typical Roadway Cross-Sections; and Open Space Plan, all prepared by the Applicant and dated May 20, 2010, as published in the June 30, 2010 *Journal of the Proceedings of the City Council of the City of Chicago*, pages 95840 to 95858 (inclusive).

(b) Subarea Exhibits:

(i) Subarea Exhibits (A1, A3, B1, B2, B3, D And E):

Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Future Development Context; Existing Development Context; Public and Private Roadways; Pedestrian Circulation; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimension; Buildings; Illustrative Massing Diagram; Parking and Loading, Open Space and Landscaping; Traffic Improvements; Vacations and Dedications; Maximum Building Envelope and Height; North and South Illustrative Elevations; East and West Illustrative Elevations; Building Materials; Facade Concepts; and Chicago Builds Green Form (Subarea A1 only), all prepared by the Applicant and dated May 20, 2010, as published in the June 30, 2010 *Journal of the Proceedings of the City Council of the City of Chicago*, pages 95859 to 95861 (inclusive), 95865 to 95878 (inclusive), 95881 to 95886 (inclusive), 95887 to 95912 (inclusive), 95931 to 96009 (inclusive) and 96013 to 96051 (inclusive).

(ii) Subarea Exhibits (A2):

Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Future Development Context; Existing Development Context; Public and Private Roadways; Pedestrian Circulation; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimension; Buildings; Illustrative Massing Diagram; Parking and Loading; Open Space and Landscaping; Traffic Improvements; Vacations and Dedications; Maximum Building Envelope and Height; North, South, East and West Illustrative Elevations; Building Materials; Facade Concepts;

Subarea A2 Site Plan, all prepared by OKW Architects and dated February 18, 2016 (the "2016 Subarea A2 Design Exhibits"), as published in the March 16, 2016 *Journal of the Proceedings of the City Council of the City of Chicago*, pages 21175 to 21194 (inclusive).

(iii) Subarea C Exhibits:

Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Existing Development Context; and Traffic Improvements, all prepared by the Applicant and dated May 20, 2010, as published in the June 30, 2010 *Journal of the Proceedings of the City Council of the City of Chicago*, pages 95879 to 95880 (inclusive) and 96010 to 96012 (inclusive).

- (iv) It is acknowledged that certain Subarea Design Exhibits may depict conditions and/or improvements in a separate Subarea and that such depictions of periphery conditions and/or improvements in adjacent Subareas are for illustrative purposes only unless the context clearly provides otherwise. Notwithstanding, where the Applicant makes modifications to one or more Subarea Design Exhibits, Applicant shall not be required to modify Design Exhibits for those Subareas that are not the principal subject of the proposed modifications.

(c) Site Plan Exhibits

(i) (Parcel A1-1.4):

Site Plan -- Interim; Site Plan -- Final; Roof Plan/Green Roof; Building Elevations; Building Sections; Vehicular and Service Access; Vehicular and Service Access -- Final, all prepared by Camburas and Theodore, Architects, dated May 20, 2010, as published in the June 30, 2010 *Journal of the Proceedings of the City Council of the City of Chicago*, pages 96052 to 96058 (inclusive).

(ii) (Parcel A2-1.1):

Subarea A2 Site Plan; Parcel A2-1.1 Vehicular and Service Access Plan; Site Plan; Landscape Plan; Green Roof Plan; Retail A6 Plans and Elevations; A7 West and South Elevations; A7 East and North Elevations; A8 West and South Elevations; and A8 East and North Elevations, all prepared by OKW Architects, dated February 18, 2016,

as published in the March 16, 2016 *Journal of the Proceedings of the City Council of the City of Chicago*, pages 21195 to 21204 (~~inclusive~~).

(iii) (Interim Site Plan Subarea B1):

Site Plan, Tree Removal Plan and Landscape Plan, all prepared by the Applicant and dated January 19, 2017.

- (d) Minor Change Approvals. In addition to the plans and exhibits referenced in Statement 4(a) to 4(c), that certain response to Building Renovation and Signage Plan request, dated September 6, 2013, grant of Signage Approval Request, dated September 18, 2013, grant of Administrative Relief Request, dated September 11, 2013, and grant of Administrative Relief Request, dated December 5, 2014 are all incorporated herein and made a part hereof.
- (e) The intent of this amendment is to revise the Planned Development Statements to permit interim uses on those portions of the Property where a final Subarea plan has not been secured for such portion of the Property and to approve an 18-space, accessory parking lot in Subarea B1. It is the further intent that the use, bulk and regulation provisions, and the Design Exhibits for all Subareas remain in full force and effect as referenced in Statement Number 4(a) through 4(d).
- (f) Full size copies of the Design Exhibits are on file with the Department. References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development, and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.
5. The maximum floor area ratio ("FAR") and number of dwelling units permitted in each subarea are set forth in the Master Bulk Regulations and Data Table. The permitted uses, floor area ratio, number of dwelling units, building height, setbacks, parking and bicycle parking requirements for each Subarea are set forth in each Subarea's Use, Bulk and Data Table included in the Design Exhibits, and as further explained in the notes to each of such tables. For the purposes of calculations or measurements

pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply. The Property was zoned B3-5 immediately prior to the City Council's adoption of this Planned Development.

6. Changes in the boundaries of Subareas shall require an amendment to these statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premises signs are prohibited within the boundaries of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. (a) All ingress and egress shall be subject to the review and approval of the Chicago Department of Transportation ("CDOT") and the Department. Closure of all or any public street or alley during demolition or construction, and the conditions and timing for acceptance of any new public roadways or improvements that are to be constructed and dedicated, shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach where practical and appropriate.

Any dedication or vacation of public streets, alleys or easements, any subdivision or any other adjustments of the public rights-of-way contained within a particular Part II submittal (collectively "Public Way Adjustments") shall be approved by City Council prior to the issuance of any final Part II Approval. Subject to the foregoing, the City's election to defer the dedication of any land, or the dedication and acceptance of any new public roadways or improvements until the same have been fully constructed and approved, shall not otherwise delay or prevent the Department's issuance of any Part II Approval.

(b) In connection with the Applicant's submittal of any plats, Final Subarea Plans and Site Plans in accordance with Statement 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). The term "project" as used in this Planned Development shall mean the subject of an application for Site Plan approval, which may consist of one or more buildings, unless the context indicates otherwise.

(c) Applicant, at its own expense, agrees to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third party construction inspection services to assist CDOT in its review and approval of any plats, Final Subarea Plans, and Site Plan submissions (which approvals shall be a condition precedent to the Department's issuance of any applicable Part II Approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented.

(d) A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.

10. This Statement 10 describes the procedures and approvals that shall govern the review and approval by the Department and, when applicable, the review and approval of the Chicago Plan Commission or the City Council, or both the Chicago Plan Commission and the City Council, whenever the Applicant undertakes any development project on the Property.

(a) Final Subarea Plan.

At the time the first material development project in a given Subarea (or one or more Subareas) is undertaken, the Applicant shall file with the Department a final subarea plan which includes the information set forth below (the "Final Subarea Plan") for such Subarea(s) along with an application for Site Plan Review pursuant to Statement 10(b) hereof. Such filing requirements shall not apply to Subarea A1, which was approved as part of this Planned Development on June 30, 2010. Such filing requirements also shall not apply to Subarea A2 which is being approved as part of this amendment to the Planned Development. The Final Subarea Plan shall govern such first development project and, unless amended pursuant to this Statement 10(a), all subsequent development projects thereafter constructed in such Subarea.

The Final Subarea Plan Filing shall include the following:

- (i) A dimensioned Subarea Plan including the following with respect to such Subarea (and any subparcels designated therein, if any):
1. all public rights-of-way that are proposed to be dedicated or opened, and all private rights-of-way;
 2. dimensioned setback lines;
 3. all off-street parking and service areas, both accessory and non-accessory;

4. all open space, site buffer, detention and recreational facilities;
 5. ~~the~~ sites for any schools, libraries, police stations or other public facilities, if any; and
 6. dimensioned Green Roof Plans, as set forth in Statement 14.
- (ii) A detailed, dimensioned Subarea site plan including:
1. all sidewalks (including the width of paved surfaces);
 2. all roads, streets, alleys (all identified as public or private), including the right-of-way width, the width of paved surfaces, street intersection details, and all curb cuts;
 3. dimensioned building sites, dimensioned setback lines, the proposed use of each building site, and indication of the maximum building height, FAR and residential unit count for each building site;
 4. all off-street parking and service areas, both accessory and non-accessory; and
 5. fully dimensioned parking plans, loading areas, and landscape plans (which landscaping may be planned and constructed in phases).
- (iii) Preliminary engineering plans including the following:
1. sanitary and storm sewer lines and systems (identified as public or private);
 2. water lines and water supply systems (identified as public or private); and
 3. street lighting (identified as public or private) and lighting systems.
- (iv) Illustrative Subarea building elevations and locations for all of the buildings to be constructed in such Subarea including the following:
1. Illustrative elevations for all buildings to be located within the applicable Subarea (including axonometric or 3-D exhibits), which buildings shall be consistent with the floor area ratio, building height, dwelling unit, setback and parking space requirements permitted or required in the applicable Subarea.

2. Although final elevations for the buildings to be constructed shall not be required at the Final Subarea Plan approval stage except for the building requesting site plan approval, the massing, the entrances, and maximum building heights and window design should be addressed, and depictions and explanations provided describing how the buildings to be constructed incorporate the pedestrian-orientation, urban design, building design and green design standards and guidelines set forth in Sections 17-8-0905, 17-8-0906, 17-8-0907 and 17-8-0908 of the Chicago Zoning Ordinance, respectively.
- (v) For the Final Subarea Plan for Subarea D only, the information required under Statement 17(e).

The Final Subarea Plan shall be submitted and processed as an amendment to the Planned Development pursuant to Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance. As such, the Final Subarea Plan shall be subject to the review and approval of the Department and such other bureaus, departments or agencies as the Commissioner deems appropriate;(which may include, but are not limited to, CDOT, the Department of Water Management ("DWM"), the Fire Department and the Mayor's Office on Persons with Disabilities ("MOPD") (as applicable, the "Affected City Departments"), the Chicago Plan Commission, the Zoning Committee and the City Council, as described in such Section 17-13-0602 through Section 17-13-0610. Each Final Subarea Plan submitted shall propose "sunset" requirements applicable to such Subarea for City Council approval and for the continued effectiveness of this Planned Development as to Subareas where the zoning of this Planned Development remains subject to lapse and voiding. A Final Subarea Plan must be approved prior to, or concurrently with, the approval of any Site Plans submitted and processed pursuant to Statement 10(b) below.

(b) Site Plans. Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and the Final Subarea Plan in accordance with the provisions hereof, excluding Site Plan review for the Subarea A1-1.4 project described in Statement Number 4(c)(i) which was approved as part of the Planned Development on June 30, 2010, the Subarea A2-1.1 project described in Statement Number 4(c)(ii) which is being approved as part of this Planned Development on March 16, 2016 and any Interim Site Plan Approval requests, as defined in Statement Number 10(g). No Site Plan approval shall be required for alterations to existing buildings that do not increase their height or alter their footprint and no Site Plan approval shall be required for demolition or site work. In addition to the data referenced below, the Applicant shall provide an exhibit showing lot sizes and boundaries for such project. The Applicant shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, the following:

- i. the Gross Site Area;

- ii. the Net Site Area;
- iii. the square feet of floor area of each proposed building;
- iv. the amount of FAR utilized out of the maximum FAR permitted in such Subarea;
- v. the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- vi. the number of dwelling units to be constructed and the maximum number of dwelling units permitted under Design Exhibits applicable to such Subarea;
- vii. the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- viii. the site area attributable to all residential open space, if applicable; and
- ix. the number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Subarea Use, Bulk and Data Table, as applicable.

Except to the extent previously depicted in (and unchanged from) the applicable Final Subarea Plan, the Applicant shall also provide site plan documents illustrating: all building location(s); curb cuts; sidewalks; parking and loading areas; landscaping, lighting and signs; fencing and outdoor storage areas; and waste storage and compacting facilities. A map of surrounding land uses and buildings for a distance of one block in all directions also must be provided. Final elevations must be provided for the proposed building(s). Building materials for the proposed building(s) must also be specified.

(c) Under Section 2-45-115(b) of the Municipal Code (the "ARO"), the City Council's approval of this Planned Development amendment does not constitute a "Rezoning of Property" as that term is defined in the ARO. Accordingly, the Applicant is subject to the provisions of Section 2-45-110 of the ARO. Pursuant to Section 2-45-110, the Applicant is obligated to either (i) establish at least ten percent (10%) of the residential dwelling units constructed after the date of such approval on the Property as affordable housing within the meaning of, and as governed by, the ARO or; (ii) in lieu of establishing such affordable housing, the Applicant may make payments in accordance with the requirements of Section 2-45-110(d)(1) of the ARO. As part of the Site Plan review and approval process for any application proposing the construction of a building containing residential dwelling units, the Applicant shall also provide, for the review and approval of the Department (or any successor department thereto), such information, documents and agreements as may be required under the ARO to assure that such required affordable housing units are provided and maintained or, in lieu thereof, that such payments are provided.

(d) The Site Data Table shall also incorporate a Chicago Builds Green Form/ Sustainable Features table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the Department and such affected City departments as the Commissioner deems appropriate before issuance of any Part II Approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the applicable Final Subarea Plan.

(e) If, after City departmental review, the Commissioner determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan trigger or exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance as applicable to the B3-5 zoning district, then the Site Plan must be reviewed by the Chicago Plan Commission, during a public meeting and shall not require review and approval by the City Council. The threshold for tall buildings under Section 17-8-0512-A of the Chicago Zoning Ordinance shall be 80 feet, irrespective of ground floor commercial space.

(f) If such mandatory thresholds are not triggered, met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review and where applicable, Plan Commission review, the Commissioner determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Commissioner. If, after City departmental review, the Commissioner determines that the Site Plan is not in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Commissioner shall advise the Applicant in writing of how the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan. In such case, the Applicant shall be given an opportunity to submit revised Site Plans. If the Commissioner finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan, the Applicant then shall be required to amend the Final Subarea Plan in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Statement Number 14 hereof, if applicable.

(g) The Applicant acknowledges that the City's approval of a Final Subarea Plan and/or Site Plan shall not be deemed to be an approval of a subdivision of the property. It shall be Applicant's responsibility to comply with the Illinois Plat Act, as and when required, and to obtain separate City Council approval of any required subdivision.

11. Approved Site Plans.

(a) On June 30, 2010, the Department approved the site plan for Subarea A1-Parcel 1.1.4, consisting of the drawings and materials set forth in Statement Number 4(c) hereof, as in substantial compliance with the approved Subarea A1 Final Subarea Plan. Additionally, the Subarea A1-Parcel 1.1.4 Site Plan represents the first project to be approved pursuant to the Subarea A1 Final Subarea Plan. No further City Council or Department approval of the Subarea A1 Final Subarea Plan shall be required for future projects submitted for Site Plan approval in Subarea A1; provided, however, that each such future project shall substantially comply with the approved A1 Final Subarea Plan.

(b) On March 15, 2016, the Department approved the site plan for Subarea A2-Parcel 1.1, consisting of the drawings and materials set forth in Statement Number 4(c)(ii) hereof, as in substantial compliance with the approved Subarea A2 Final Subarea Plan. Additionally, the Subarea A2-Parcel 1.1 Site Plan represents the first project to be approved pursuant to the Subarea A2 Final Subarea Plan. No further City Council or Department approval of the Subarea A2 Final Subarea Plan shall be required for future projects submitted for Site Plan approval in Subarea A2; provided, however, that each such future project shall substantially comply with the approved A2 Final Subarea Plan.

(c) On January 19, 2017, the Department approved an interim use consisting of a Site Plan, Tree Removal Plan and Landscape Plan, all prepared by the Applicant and dated January 19, 2017.

12. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.

(a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.

(b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's storm water management requirements which the City adopts thereafter shall apply to the Property or the development thereof.

(c) The Applicant, at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.

13. (a) The Part II Review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.50 per square foot for the total buildable floor ~~area (i.e., the current~~ rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II Review. Such fee shall be determined and assessed by the Department at the time of each and every Part II Review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II Approval.
 - (b) Following Part II Review and approval by the Commissioner, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development.
 - (c) The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promote and enable universal access throughout the Property in accordance with all laws.
 - (d) Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote accessibility in accordance with all laws.
 - (e) Any interim reviews associated with Site Plan Approvals or Part II Reviews, are conditional until final Part II Approval.
14. Subject to the other terms and conditions of these statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner: (i) upon application and a determination by the Commissioner in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Section 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the Net Site Area of or dwelling units permitted in other Subareas or the Planned Development as a whole); and (ii) provided such modification, and the improvements contemplated thereby, are consistent with the character of the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.
15. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any Subarea shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the date of submittal of Site Plans pursuant to this Planned Development.

16. Open Space B2-2.1, as set forth in the Subarea Plan for Subarea B2, consists of 153,655 square feet (approximately 3.53 acres), and Open Space E-1.1, as set forth in the Subarea Plan for Subarea E, consists of 86,822 square feet (approximately 2.0 acres). Open Space B2-2.1 and Open Space E-1.1 shall be dedicated to the Chicago Park District ("CPD") and the parks and improvements thereon must be designed and constructed to CPD standards. Any conveyance of such open space to the CPD shall be subject to the approval of the CPD and a resolution or ordinance issued by the CPD Board of Commissioners must be provided to the Department to evidence such dedication, conveyance and acceptance.
17. (a) The Applicant shall have substantially completed installation, and made publicly available, either Open Space B2-2.1 (located in Subarea B2) or Open Space E-1.1 (located in Subarea E), no later than 12 months after the date that Part II approval has been issued for 2,354 or more new dwelling units (30 percent of total permitted units) since the date of adoption of this Planned Development. The date of completion as aforesaid shall be subject to a six month extension as necessary to accommodate the growing season.

(b) The Applicant shall have substantially completed installation, and made publicly available, either Open Space B2-2.1 (located in Subarea B2) or Open Space E-1.1 (located in Subarea E), whichever was not installed pursuant to Statement 17(a) above, no later than the date that is 12 months after the date that Part II Approval has been issued for 4,707 or more new dwelling units (60% of total permitted units) since the date of adoption of this Planned Development. The date of completion as aforesaid shall be subject to a six month extension as necessary to accommodate the growing season.

(c) The location, configuration and boundaries of Open Space A3-1.2 (consisting of 0.8 acres) and Open Space E-2.3 (consisting of 0.7 acres), as depicted in the applicable Design Exhibits, are preliminary. So long as the minimum amount of site area attributable to each such Open Space remains substantially as required above, the location, configuration and boundaries of each may be modified at the election of the Applicant, with the concurrence of the Department; provided, however, that each such Open Space, as its location, configuration or boundary may have been modified, shall be located wholly within its applicable Subarea or adjacent Subarea. Any such modifications shall be reflected in the applicable Site Plan approvals, when and as submitted for such approval. The Open Spaces described in this Statement 17(c) shall be clearly lit and signage shall be appropriately placed indicating the site is publicly accessible from sunrise to sunset. The Applicant shall be responsible for all development, management, maintenance repair and replacement costs associated with the such Open Spaces.

(d) The Applicant shall have substantially completed installation, and made publicly available:

- (i) Open Space E-2.3 (consisting of 0.7 acres), located in Subarea E, not later than 24 months after issuance of Part II Approval for any buildings in Parcel 2.2 having in aggregate not less than 449,962 square feet (i.e., 30 percent of Parcel 2.2's floor area as specified in Subarea E's Use, Bulk and Data Table).
 - (ii) Open Space A3-1.2 (consisting of 0.8 acres), located in Subarea A3, not later than 24 months after issuance of Part II approval for buildings in Parcels 1.1, 1.3 and 1.4 having in aggregate not less than 421,379 square feet (i.e., 30 percent of the total combined floor area attributable to Parcels 1.1, 1.3 and 1.4, as specified in the Subarea A3's Use, Bulk and Data Table).
 - (iii) The dates of completion as aforesaid shall be subject to a six month extension as necessary to accommodate the growing season.
- (e) Nothing in this Planned Development shall preclude the Applicant from seeking and obtaining Open Space Impact Fee Credits for any Qualifying Open Space pursuant to the Open Space Impact Fee Administrative Regulations and Procedures promulgated by the Commissioner pursuant to Section 16-18-110 of the Municipal Code of Chicago and the "Notice to Residential Developers Regarding New Open Space Impact Fees", last revised by the City on April 6, 1998, as either may be amended from time to time.
- (f) As part of the Final Subarea Plan for Subarea D, the Applicant shall provide preliminary engineering drawings and such other information as the Department may reasonably require to evidence the design, elevations and plans for the construction of the public, pedestrian bridge and footpath (the "33rd Street Improvements") depicted in the Subarea D exhibits, including, without limitation, the CPD's approval of such designs, elevations and plans. The Applicant shall be obligated to substantially complete construction of the 33rd Street Improvements within 24 months of the issuance of Part II Approval for the third high-rise building in Subarea D. No Part II Approval for a fourth high-rise building in Subarea D shall be issued until construction of the 33rd Street Improvements has substantially commenced. If the Applicant, however, after 12 months of diligent and good faith efforts at the Applicant's own expense, certifies in writing to the Department that the Applicant has been unable to secure the real property interests, governmental approvals, and third party approvals and agreements necessary to construct the 33rd Street Improvements, then, in lieu of constructing such improvements, the Applicant may instead substantially commence construction of the open space required under Statement 17(a) (if it has not previously been constructed) or Statement 17(b) (if the open space required under Statement 17(a) has been previously constructed) within 24 months of the issuance of Part II approval for the third high-rise building in Subarea D. Upon such substantial commencement of construction (and assuming that the Applicant does not thereafter cease or abandon such construction efforts, but thereafter diligently constructs such open space), the Applicant shall be entitled to obtain Part II approval for the fourth high-rise building in Subarea D.

18. As of the original date of adoption of this Planned Development (i.e., June 30, 2010), the various portions of the Property (now defined as Subareas A1, A2, A3, B1, B2, B3, C, D and E) are improved with existing improvements and operated with existing uses. Subarea C is improved with, among other things, multiple townhouses, single-family homes and a condominium building containing dwelling units; and the owners, ground lessees and operators of Subarea C use said improvements and conduct other uses and operations within Subarea C (collectively, the "Subarea C Uses and Improvements"). The remaining portions of the Property are improved with, among other things, multiple residential buildings containing nearly 2,000 residential dwelling units, multiple commercial and retail buildings and surface parking lots; and the owners and operators of these portions of the Property use said improvements and conduct other uses and operations within said portions of the Property (collectively, the "Lake Meadows Uses and Improvements"). (The Subarea C Uses and Improvements and the Lake Meadows Uses and Improvements may collectively be referred to herein as the "Existing Uses and Improvements"). Changes to the Existing Uses and Improvements shall be subject to the terms of this Planned Development.
19. The FAR and number of dwelling units attributable to buildings existing on the Property on the original date of this Planned Development (i.e., June 30, 2010) shall, until the demolition of any such buildings, continue to be included in the calculations of maximum FAR and dwelling units. If the FAR or number of dwelling units of an existing building located in a given Subarea is less than allowed in the Subarea, then new FAR and/or dwelling units, as the case may be, shall be allowed in such Subarea up to the applicable maximums. If the FAR or number of dwelling units of any existing building(s) in Subarea B1 is equal to or more than such Subarea's applicable maximums under this Planned Development, then no new FAR or dwelling units, as the case may be, may be constructed in such Subarea until sufficient FAR and dwelling units are removed so as to permit the construction of new dwelling within the limitations set forth in this Planned Development applicable to Subarea B1. Notwithstanding the foregoing, a maximum of 50 new dwelling units shall be permitted within that portion of Subarea B1 bounded by the northern boundary of Subarea B1 (Olivet Baptist Church); the north/south alley east of Dr. Martin Luther King, Jr. Drive; East 33rd Street; and Dr. Martin Luther King, Jr. Drive. A sufficient amount of FAR to accommodate such new dwelling units shall also be permitted.
20. (a) This Planned Development shall lapse and be null and void unless Substantial Construction (as defined below) has occurred in Subarea A1 and Subarea A2 within six (6) years of March 15, 2016 (as such date may be extended pursuant to Statement 20(d) below, the "Initial Expiration Date"). "Substantial Construction" shall mean and be evidenced by the (i) issuance of Part II Approvals; (ii) commencement of substantial construction; and (iii) the continued proceeding of such construction with reasonable diligence for not less than 50,000 gross square feet of improvements in Subarea A1 and 70,000 gross square feet of improvements in Subarea A2 (it being acknowledged that the Applicant has already completed 60,000 square feet of improvements in Subarea A2 as of the date hereof which improvements are

labeled as "existing" on the Subarea A2 Buildings exhibit). The Applicant shall supply the Department with such documents requested as may be reasonably necessary to evidence compliance with such Substantial Construction requirements (such requirement, the "Substantial Construction Requirements").

(b) If the Substantial Construction Requirements set forth in Statement Number 20(a) are not satisfied by the Initial Expiration Date, then this Planned Development shall thereafter lapse and become void and the zoning classification of the entire Property shall automatically revert to the B3-5 zoning classification in place immediately prior to the passage of this Planned Development.

(c) If the Substantial Construction Requirements set forth in Statement Number 20(a) are satisfied by the Initial Expiration Date, then (1) the zoning established pursuant to this Planned Development for Subarea A1 and Subarea A2 shall not thereafter be subject to expiration, but (2) the zoning established pursuant to this Planned Development as to the remaining Subareas shall thereafter lapse and become void and shall automatically revert to the B3-5 zoning classification in place immediately prior to the passage of this Planned Development unless the Applicant thereafter obtains City Council approval for a Final Subarea Plan for a third Subarea in accordance with Section 10(a) prior to the Initial Expiration Date.

(d) The Initial Expiration Date may be extended for up to one additional year if, before expiration, the Applicant makes written request for such an extension explaining the good cause for such an extension, the Commissioner determines that good cause for an extension has been shown, and the Commissioner issues a written extension letter.

[Site Plan; Tree Removal Plan; and Landscape Plan referred to in these Plan of Development Statements printed on pages 42268 through 42270 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential Planned Development No. 1169, As Amended.

Master Bulk Regulations And Data Table.

Subarea	Estimated Net Site Area		Maximum FAR (See Note 1)	Maximum Dwelling Units (See Notes 1, 2 And 4)
	Square Feet	Acres		
A1	314,527	7.22	3.96	741
A2	731,375	16.79	2.38	809

Subarea	Estimated Net Site Area		Maximum FAR (See Note 1)	Maximum Dwelling Units (See Notes 1, 2 And 4)	
	Square Feet	Acres			
A3	372,932	8.56	3.76	646	
B1	311,804	7.16	2.90	479	
B2	226,213	5.19	3.53	536	
B3	337,069	7.74	12.12	2,291	
C	207,921	4.77	1.90	201	
D	257,433	5.91	12.12	1,990	
E	305,742	7.02	4.91	917	
Total Subarea Maximum (including 10 percent) (See Note 1)			4.96	8,609	
Overall Maximum		3,065,016	70.36	4.52	7,845

Note 1. The Subarea aggregate maximum FAR of 4.52 and maximum number of dwelling units of 7,845 is referred to herein as the "Base Amount". To provide flexibility among the Subareas, the maximum amount of FAR and the maximum number of dwelling units allowed in each Subarea set forth in the chart above is 10 percent higher than the Base Amount. Any individual Subarea may be developed to the maximum FAR or maximum dwelling units allowed in the chart above; provided, however, that in no event and at no time shall the Base Amount FAR or dwelling units be exceeded. Accordingly, where the construction of any amount of FAR or any number of dwelling units would otherwise cause the applicable Base Amount within the total Property to be exceeded, the availability of FAR or number of dwelling units within the total Property must be reduced by the amount necessary to avoid exceeding the Base Amount.

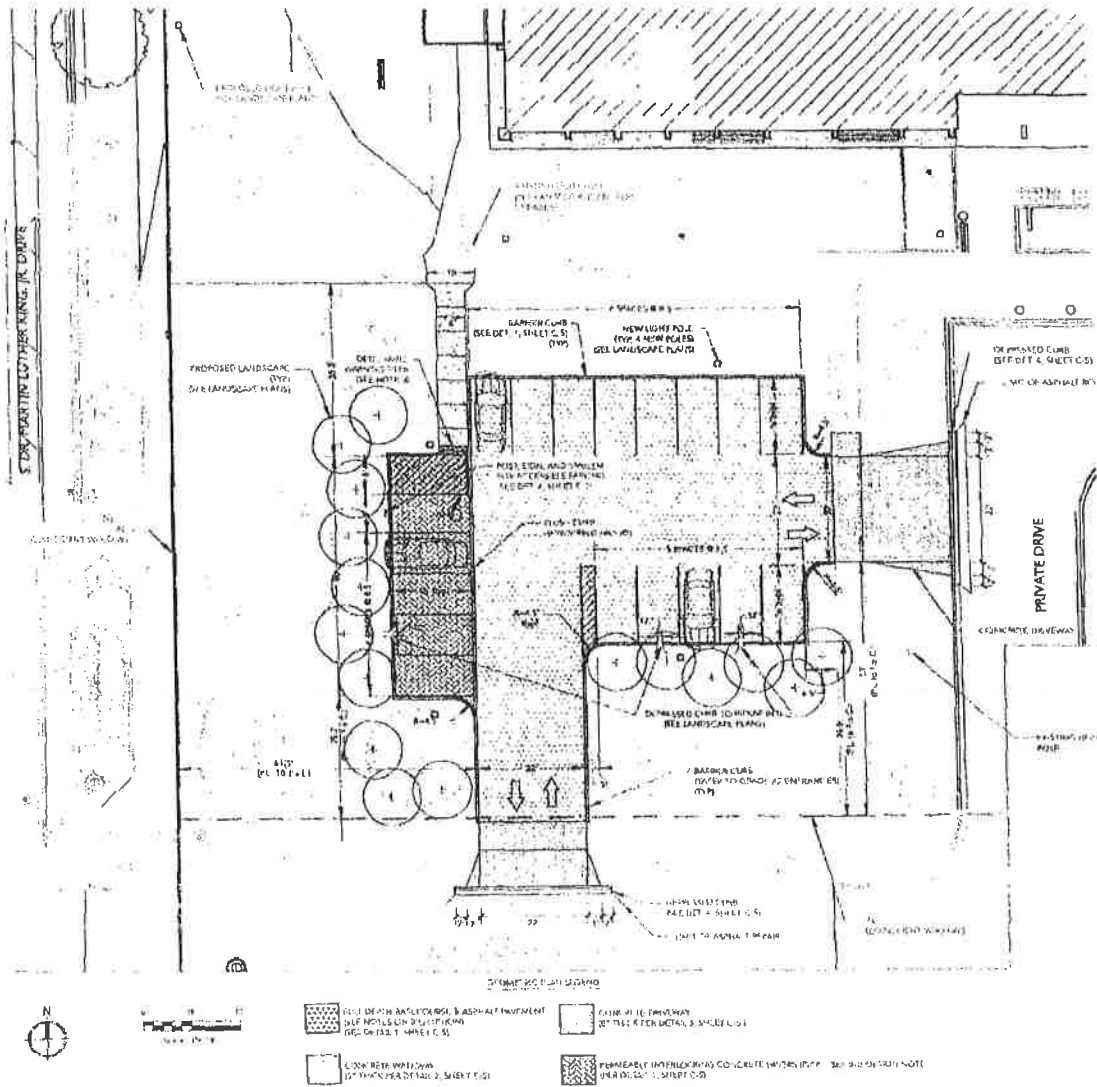
Note 2. Two hotel units shall be equal to one dwelling unit; the maximum number of hotels units shall not exceed 2,000 units.

Note 3. As of the date of adoption of this Planned Development, the actual built floor area in Subarea C is approximately 292,428 square feet (the approximate equivalent of 1.42 FAR) and the actual built number of dwelling units is approximately 185.

Note 4. 1.25 Elderly Housing Units shall be equal to one dwelling unit.

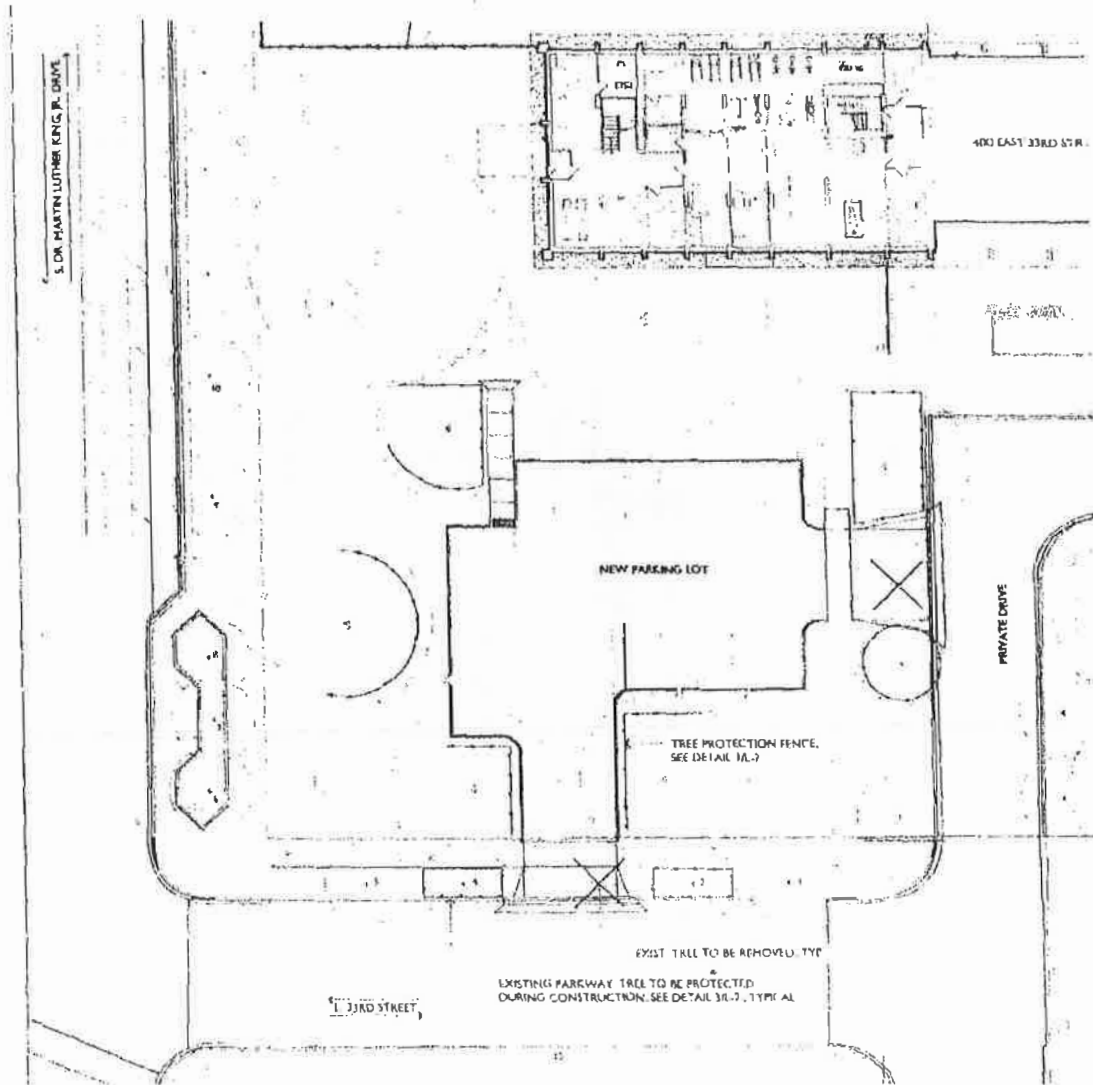
Gross Site Area:	3,628,902 square feet (83.31 acres)
Approximate Area to Remain in Public Right-of-Way:	564,933 square feet (12.97 acres)
Net Site Area	3,065,016 square feet (70.36 acres)

Site Plan Parking Lot South of 400 E. 33rd Street



Applicant: Lake Meadows Associates, L.P.
 Address: 3201 to 3265 South Dr. Martin Luther King Drive; 400 East 33rd Street
 Introduced: October 5, 2016
 Plan Commission: January 19, 2017

Tree Removal Plan
Parking Lot South of 400 E. 33rd Street



Applicant: Lake Meadows Associates, L.P.
Address: 3201 to 3265 South Dr. Martin Luther King Drive; 400 East 33rd Street
Introduced: October 5, 2016
Plan Commission: January 19, 2017



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 19, 2016

Andrew P. Scott
Dykema Gossett PLLC
10 S. Wacker Drive
Suite 2300
Chicago, IL 60606

**Re: Administrative Relief request for Residential-Business Planned Development No. 1169
Subarea B1, Proposed parking lot at NE corner of S. MLK Dr. and E. 33rd St.**

Dear Mr. Scott:

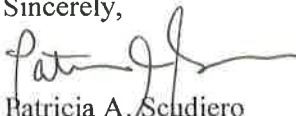
Please be advised that your request for a minor change to Residential-Business Planned Development No. 1169 ("PD 1169"), Subarea B1, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of PD 1169.

Your client and the property owner, Lake Meadows Associates, L.P., ("LMA") is seeking administrative relief to construct a 17-car surface parking lot at the northeast corner of South Dr. Martin Luther King, Jr. Drive and East 33rd Street, within Subarea B1 of the Planned Development. LMA is converting a portion of ground floor space within the existing high-rise residential building at 400 E. 33rd Street into a leasing and management office and two model dwelling units. The proposed parking lot would provide close and convenient parking. Pursuant to PD 1169, Subarea B1 was to be redeveloped with a mix of townhomes and mid-rise residential buildings over the townhomes. However, currently there are no plans to redevelop the site in accordance with the Planned Development.

Therefore, the Department of Planning and Development has determined that allowing the proposed parking lot in place of the proposed townhouse and mid-rise residential redevelopment would change the character of the development, and therefore, would not constitute a minor change. The proposed parking lot requires an amendment to the Planned Development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 1169, I hereby deny the foregoing minor change request.

Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:PM:tm

C: Mike Marmo, Erik Glass, Janice Hill, Noah Szafraniec, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 19, 2016

Andrew P. Scott
Dykema Gossett PLLC
10 S. Wacker Drive
Suite 2300
Chicago, IL 60606

**Re: Administrative Relief request for Residential-Business Planned Development No. 1169
Subarea B1, Proposed parking lot at NE corner of S. MLK Dr. and E. 33rd St.**

Dear Mr. Scott:

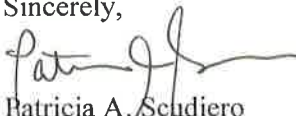
Please be advised that your request for a minor change to Residential-Business Planned Development No. 1169 ("PD 1169"), Subarea B1, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of PD 1169.

Your client and the property owner, Lake Meadows Associates, L.P., ("LMA") is seeking administrative relief to construct a 17-car surface parking lot at the northeast corner of South Dr. Martin Luther King, Jr. Drive and East 33rd Street, within Subarea B1 of the Planned Development. LMA is converting a portion of ground floor space within the existing high-rise residential building at 400 E. 33rd Street into a leasing and management office and two model dwelling units. The proposed parking lot would provide close and convenient parking. Pursuant to PD 1169, Subarea B1 was to be redeveloped with a mix of townhomes and mid-rise residential buildings over the townhomes. However, currently there are no plans to redevelop the site in accordance with the Planned Development.

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Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:PM:tm

C: Mike Marmo, Erik Glass, Janice Hill, Noah Szafraniec, Main file

*Reclassification Of Area Shown On Map No. 7-I.
(As Amended)
(Application No. A-8192)
(Common Address: 3133 -- 3137 N. Washtenaw Ave.)*

[SO2015-8544]

Be It ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 7-I in the area bounded by:

the public alley next south of and parallel to West Belmont Avenue; the public alley next east of and parallel to North Washtenaw Avenue; a line 35 feet north of and parallel to West Fletcher Street; and North Washtenaw Avenue,

to those of an RS3 Residential Single-Unit (Detached House) District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map No. 8-E.
(As Amended)
(Application No. 18604)
(Common Address: 3401 To 3453 S. Dr. Martin Luther King, Jr. Dr.
And 400 To 506 E. 35th St.)*

RBPDI169,99

[SO2015-8489]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Residential-Business Planned Development Number 1169 symbols and indications as shown on Map Number 8-E in the area bounded by:

the property is generally bounded as follows: the southern boundary of East 31st Street; the western boundary of South Rhodes Avenue; a line 164.87 feet north of and approximately parallel to the north boundary of East 32nd Street; the west line of the Illinois Central Railroad right-of-way; a line 257.26 feet south of and approximately parallel to the south boundary line of East 33rd Street; a line 205.44 feet west of the west line of the Illinois Central Railroad right-of-way line (as measured along the south boundary line of East 33rd Street); the north boundary line of East 33rd Street; the west boundary line of

South Cottage Grove Avenue; the north boundary line of East 35th Street; the east boundary line of South Dr. Martin Luther King, Jr. Drive; a line 368.79 feet north of and approximately parallel to the north boundary line of East 32nd Street; the north boundary line of East 31st Place; and the east boundary line of South Vernon Avenue, in Chicago, Illinois,

to those of Residential-Business Planned Development Number 1169, as amended.

SECTION 2. This ordinance shall be in force and effect from and after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 1169, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development Number 1169, as amended (the "Planned Development") consists of approximately 3,063,969 square feet of net site area (approximately 70.34 acres) of property (the "Property"), together with certain portions of existing rights-of-way, as depicted on the Planned Development Boundary and Property Line Map, as defined in Statement Number 4(a). The Property is owned or controlled by Lake Meadows Associates, an Illinois limited partnership (the "Applicant"). The Planned Development is divided into Subareas (each, a "Subarea", and collectively, the "Subareas"), as indicated on the Subarea Map, as defined in Statement Number 4(a). The purpose of this amendment to the Planned Development is to (a) secure Final Subarea Plan approval for Subarea A2 and to secure Site Plan Review approval for Parcel 1.1 of Block 1 of Subarea A2 and (b) make certain revisions to these statements in recognition of revised development program sequence for the Planned Development. The Applicant owns or controls Subarea A2.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant. These Planned Development statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II Approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the

rights-of-way illustrated on the Rights-of-Way Adjustment Map, as defined in Statement Number 4(a), may be approved by the Zoning Administrator of the Department of Planning and Development (the "Department") as a minor change to this Planned Development, provided such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant for approval by CDOT, the Department and by the City Council at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II Approval), and (c) shall not be deemed to confer any additional bulk, density or other development.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant and its successors, assigns and grantees. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors, assigns and grantees (including any condominium or homeowners' association which may presently exist or hereafter be formed). References in this Planned Development to "Applicant" shall mean and include as applicable the Applicant's successors, assigns and grantees. The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as Lake Meadows Associates ("LMA") owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the LMA or its express designee. Where portions of the improvements located on the Property have been or are hereafter submitted to the Illinois Condominium Property Act or any similar common interest community statute, or made subject to a private declaration governing a homeowners association, the term "owner" shall be deemed to refer solely to the condominium association, common interest community or homeowners association of such owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer (a "Transfer") of all or any portion of the Property or any rights, interests or obligations therein by the Applicant or any owner. Any party making application shall have the burden of establishing to the reasonable satisfaction of the Department that the consent of LMA (or its express designee) has been obtained, assigned or irrevocably waived. Upon any Transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust); provided, however, that the right of LMA (or its express designee) to authorize future amendments, modifications or other changes (administrative, legislative or otherwise) to this Planned Development shall not be deemed to be amended or transferred unless the Applicant assigns such rights to the transferee in writing or otherwise irrevocably waives such rights. Nothing in this Statement 2 shall be construed in derogation of Section 17-1-1003 of the Zoning Ordinance.

4. This Planned Development consists of twenty (20) statements, and the following exhibits attached hereto (collectively the "Design Exhibits"):

(a) Planned Development Exhibits:

Master Bulk Regulations and Data Table, prepared by the Applicant and dated February 18, 2016; Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Generalized Land-Use Plan; Site Plan; Landscape Plan; Subarea Plan; Subarea Maximum Height Plan; Subarea Maximum Floor Area Ratio/Dwelling Units Plan; Public Roadway Plan; Vacations/Dedications Plan; Vehicular Access and Circulation Plan; Traffic Improvements Staging Plan; Typical Roadway Cross-Sections; and Open Space Plan, all prepared by the Applicant and dated May 20, 2010.

(b) Subarea Exhibits:

- (i) Subarea Exhibits (A1, A3, B1, B2, B3, D and E): Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Future Development Context; Existing Development Context; Public and Private Roadways; Pedestrian Circulation; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimension; Buildings; Illustrative Massing Diagram; Parking and Loading, Open Space and Landscaping; Traffic Improvements; Vacations and Dedications; Maximum Building Envelope and Height; North and South Illustrative Elevations; East and West Illustrative Elevations; Building Materials; Facade Concepts; and Chicago Builds Green Form (Subarea A1 only), all prepared by the Applicant and dated May 20, 2010.
- (ii) Subarea Exhibits (A2): Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Future Development Context; Existing Development Context; Public and Private Roadways; Pedestrian Circulation; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimension; Buildings; Illustrative Massing Diagram; Parking and Loading, Open Space and Landscaping; Traffic Improvements; Vacations and Dedications; Maximum Building Envelope and Height; North and South Illustrative Elevations; East and West Illustrative Elevations; Building Materials; Facade Concept, all prepared by OKW Architects and dated February __, 2016 (the "2016 Subarea A2 Design Exhibits"). The Design Exhibits for Subarea A2 set forth in the June 30, 2010 *Journal of the Proceedings of the City Council of the City of Chicago*, pages 95862 to 95864 (inclusive) and pages 95913 to 95930 (inclusive) are hereby deleted and replaced with the 2016 Subarea A2 Design Exhibits.

- (iii) Subarea C Exhibits: Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Existing Development Context; and Traffic Improvements, all prepared by the Applicant and dated May 20, 2010.
 - (iv) It is acknowledged that certain Subarea Design Exhibits may depict conditions and/or improvements in a separate Subarea and that such depictions of periphery conditions and/or improvements in adjacent Subareas are for illustrative purposes only unless the context clearly provides otherwise. Notwithstanding, where the Applicant makes modifications to one or more Subarea Design Exhibits, Applicant shall not be required to modify Design Exhibits for those Subareas that are not the principal subject of the proposed modifications.
- (c) Site Plan Exhibits:
- (i) (Parcel A1-1.4): Site Plan; Landscape Plan; Roof Plan/Green Roof; Building Elevations; Building Sections; Vehicular and Service Access; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimensions; Public and Private Roadways; Pedestrian Circulation; North and South Illustrative Elevations; East and West Illustrative Elevations; and Facade Concepts, all prepared by prepared by Camburas and Theodore, Architects, dated May 20, 2010.
 - (ii) (Parcel A2-1.1): Site Plan; Landscape Plan; Roof Plan/Green Roof; Building Elevations; Building Sections; Vehicular and Service Access; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimensions; Public and Private Roadways; Pedestrian Circulation; North and South Illustrative Elevations; East and West Illustrative Elevations; and Facade Concepts, all prepared by OKW Architects, dated February 18, 2016.
- (d) Minor Change Approvals. In addition to the plans and exhibits referenced in Statements 4(a) to 4(c), that certain response to Building Renovation and Signage Plan request, dated September 6, 2013, grant of signage approval request, dated September 18, 2013, grant of administrative relief request, dated September 11, 2013, and grant of Administrative relief request, dated December 5, 2014 are all incorporated herein and made a part hereof.
- (e) The intent of this amendment is to revise the Planned Development Statements, the Use, Bulk and Data Subarea A2, and the Design Exhibits applicable to Subarea A2 in order to recognize and provide for approval of a Final Subarea Plan for Subarea A2. It is the further intent that the Planned Development Statements, use, bulk and regulation provisions and the Design Exhibits for all Subareas other than Subarea A2 remain in full force and effect as approved as of June 30, 2010. Moreover, references herein to one or more Design Exhibits

with the pre-cursor 2010 (e.g., 2010 Subarea Map) shall be deemed to refer to that specific Design Exhibit approved as of June 30, 2010, as the context requires.

- (f) Full size copies of the Design Exhibits are on file with the Department. References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a planned development. In the case of any express conflict between the terms of this Planned Development, and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.
5. The maximum floor area ratio ("FAR") and number of dwelling units permitted in each Subarea are set forth in the Master Bulk Regulations and Data Table. The permitted uses, floor area ratio, number of dwelling units, building height, setbacks, parking and bicycle parking requirements for each Subarea are set forth in each Subarea's Use, Bulk and Data Table included in the Design Exhibits, and as further explained in the notes to each of such tables. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply. The Property was zoned B3-5 immediately prior to the City Council's adoption of this Planned Development.
6. Changes in the boundaries of Subareas shall require an amendment to these statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premises signs are prohibited within the boundaries of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. (a) All ingress and egress shall be subject to the review and approval of the Chicago Department of Transportation ("CDOT") and the Department. Closure of all or any public street or alley during demolition or construction, and the conditions and timing for acceptance of any new public roadways or improvements that are to be constructed and dedicated, shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way

and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach where practical and appropriate.

Any dedication or vacation of public streets, alleys or easements, any subdivision or any other adjustments of the public rights-of-way contained within a particular Part II Submittal (collectively "Public Way Adjustments") shall be approved by City Council prior to the issuance of any final Part II Approval. Subject to the foregoing, the City's election to defer the dedication of any land, or the dedication and acceptance of any new public roadways or improvements until the same have been fully constructed and approved, shall not otherwise delay or prevent the Department's issuance of any Part II Approval.

- (b) In connection with the Applicant's submittal of any plats, Final Subarea Plans and Site Plans in accordance with Statement 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). The term "project" as used in this Planned Development shall mean the subject of an application for Site Plan approval, which may consist of one or more buildings, unless the context indicates otherwise.
 - (c) Applicant, at its own expense, agrees to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third party construction inspection services to assist CDOT in its review and approval of any plats, Final Subarea Plans, and Site Plan submissions (which approvals shall be a condition precedent to the Department's issuance of any applicable Part II Approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented.
 - (d) A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
10. This Statement 10 describes the procedures and approvals that shall govern the review and approval by the Department and, when applicable, the review and approval of the Chicago Plan Commission or the City Council, or both the Chicago Plan Commission and the City Council, whenever the Applicant undertakes any development project on the Property.

(a) Final Subarea Plan.

At the time the first development project in a given Subarea (or one or more Subareas) is undertaken, the Applicant shall file with the Department a final subarea plan which includes the information set forth below, (the "Final Subarea Plan") for such Subarea(s) along with an application for Site Plan Review pursuant to Statement 10(b) hereof. Such filing requirements shall not apply to Subarea A1, which was approved as part of this Planned Development on June 30, 2010. Such filing requirements also shall not apply to Subarea A2 which is being approved as part of this amendment to the Planned Development. The Final Subarea Plan shall govern such first development project and, unless amended pursuant to this Statement 10(a), all subsequent development projects thereafter constructed in such Subarea.

The Final Subarea Plan filing shall include the following:

- (i) A dimensioned Subarea Plan including the following with respect to such Subarea (and any subparcels designated therein, if any):
 - 1. All public rights-of-way that are proposed to be dedicated or opened, and all private rights-of-way;
 - 2. Dimensioned setback lines;
 - 3. All off-street parking and service areas, both accessory and non-accessory;
 - 4. All open space, site buffer, detention and recreational facilities;
 - 5. Sites for any schools, libraries, police stations or other public facilities, if any; and
 - 6. Dimensioned green roof plans, as set forth in Statement 14.

- (ii) A detailed, dimensioned Subarea site plan including:
 - 1. All sidewalks (including the width of paved surfaces);
 - 2. All roads, streets, alleys (all identified as public or private), including the right-of-way width, the width of paved surfaces, street intersection details, and all curb cuts;
 - 3. Dimensioned building sites, dimensioned setback lines, the proposed use of each building site, and indication of the maximum building height, FAR and residential unit count for each building site;

4. All off-street parking and service areas, both accessory and non-accessory; and
 5. Fully dimensioned parking plans, loading areas, and landscape plans (which landscaping may be planned and constructed in phases).
- (iii) Preliminary engineering plans including the following:
1. Sanitary and storm sewer lines and systems (identified as public or private);
 2. Water lines and water supply systems (identified as public or private); and
 3. Street lighting (identified as public or private) and lighting systems.
- (iv) Illustrative Subarea building elevations and locations for all of the buildings to be constructed in such Subarea including the following:
1. Illustrative elevations for all buildings to be located within the applicable Subarea (including axonometric or 3-D exhibits), which buildings shall be consistent with the floor area ratio, building height, dwelling unit, setback and parking space requirements permitted or required in the applicable Subarea.
 2. Although final elevations for the buildings to be constructed shall not be required at the Final Subarea Plan approval stage except for the building requesting site plan approval, the massing, the entrances, and maximum building heights and window design should be addressed, and depictions and explanations provided describing how the buildings to be constructed incorporate the pedestrian-orientation, urban design, building design and green design standards and guidelines set forth in Sections 17-8-0905, 17-8-0906, 17-8-0907 and 17-8-0908 of the Chicago Zoning Ordinance, respectively.
- (v) For the Final Subarea Plan for Subarea D only, the information required under Statement 17(e).

The Final Subarea Plan shall be submitted and processed as an amendment to the Planned Development pursuant to Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance. As such, the Final Subarea Plan shall be subject to the review and approval of the Department and such other bureaus, departments or agencies as the Commissioner deems appropriate (which may

include, but are not limited to, CDOT, the Department of Water Management ("DWM"), the Fire Department and the Mayor's Office for Persons With Disabilities ("MOPD") (as applicable, the "Affected City Departments"), the Chicago Plan Commission, the Zoning Committee and the City Council, as described in such Section 17-13-0602 through Section 17-13-0610. Each Final Subarea Plan submitted shall propose "sunset" requirements applicable to such Subarea for City Council approval and for the continued effectiveness of this Planned Development as to Subareas where the zoning of this Planned Development remains subject to lapse and voiding. A Final Subarea Plan must be approved prior to, or concurrently with, the approval of any Site Plans submitted and processed pursuant to Statement 10(b) below.

- (b) Site Plans. Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and the Final Subarea Plan in accordance with the provisions hereof, excluding Site Plan Review for the Subarea A1-1.4 project described in Statement Number 4(c)(i) which was approved as part of the Planned Development on June 30, 2010 and the Subarea A2-1.1 project described in Statement Number 4(c)(ii), which is being approved as part of this Planned Development. No Site Plan approval shall be required for alterations to existing buildings that do not increase their height or alter their footprint and no Site Plan approval shall be required for demolition or site work. In addition to the data referenced below, the Applicant shall provide an exhibit showing lot sizes and boundaries for such project. The Applicant shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, the following:
- i. the Gross Site Area;
 - ii. the Net Site Area;
 - iii. the square feet of floor area of each proposed building;
 - iv. the amount of FAR utilized out of the maximum FAR permitted in such Subarea;
 - v. the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
 - vi. the number of dwelling units to be constructed and the maximum number of dwelling units permitted under Design Exhibits applicable to such Subarea;
 - vii. the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
 - viii. the site area attributable to all residential open space, if applicable; and
 - ix. The number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Subarea Use, Bulk and Data Table, as applicable.

Except to the extent previously depicted in (and unchanged from) the applicable Final Subarea Plan, the Applicant shall also provide site plan documents illustrating: all building location(s); curb cuts; sidewalks; parking and loading areas; landscaping, lighting and signs; fencing and outdoor storage areas; and waste storage and compacting facilities. A map of surrounding land uses and buildings for a distance of one block in all directions also must be provided. Final elevations must be provided for the proposed building(s). Building materials for the proposed building(s) must also be specified.

- (c) Under Chapter 2-45-115(b) of the Municipal Code (the "ARO"), the City Council's approval of this Planned Development amendment does not constitute a "Rezoning of Property" as that term is defined in the ARO. Accordingly, the Applicant is subject to the provisions of Section 2-45-110 of the ARO. Pursuant to Section 2-45-110, the Applicant is obligated to either (i) establish at least ten percent (10%) of the residential dwelling units constructed after the date of such approval on the Property as affordable housing within the meaning of, and as governed by, the ARO or; (ii) in lieu of establishing such affordable housing, the Applicant may make payments in accordance with the requirements of Section 2-45-110(d)(1) of the ARO. As part of the Site Plan review and approval process for any application proposing the construction of a building containing residential dwelling units, the Applicant shall also provide, for the review and approval of the Department (or any successor department thereto), such information, documents and agreements as may be required under the ARO to assure that such required affordable housing units are provided and maintained or, in lieu thereof, that such payments are provided.
- (d) The Site Data Table shall also incorporate a Chicago Builds Green Form/Sustainable Features table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the Department and such affected City Departments as the Commissioner deems appropriate before issuance of any Part II approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the applicable Final Subarea Plan.
- (e) If, after City departmental review, the Commissioner determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan trigger or exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance as applicable to the B3-5 zoning district, then the Site Plan must be reviewed by the Chicago Plan Commission, during a public meeting and shall not require review and approval by the City Council. The threshold for tall buildings under Section 17-8-0512-A of the Chicago Zoning Ordinance shall be 80 feet, irrespective of ground floor commercial space.
- (f) If such mandatory thresholds are not triggered, met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review and where applicable, Plan Commission review, the

Commissioner determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Commissioner. If, after City departmental review, the Commissioner determines that the Site Plan is not in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Commissioner shall advise the Applicant in writing of how the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan. In such case, the Applicant shall be given an opportunity to submit revised Site Plans. If the Commissioner finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan, the Applicant then shall be required to amend the Final Subarea Plan in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Statement Number 14 hereof, if applicable.

- (g) The Applicant acknowledges that the City's approval of a Final Subarea Plan and/or Site Plan shall not be deemed to be an approval of a subdivision of the property. It shall be Applicant's responsibility to comply with the Illinois Plat Act, as and when required, and to obtain separate City Council approval of any required subdivision.

11. Approved Site Plans.

- (a) On June 30, 2010, the Department approved the Site Plan for Subarea A1-1.4, consisting of the drawings and materials set forth in Statement Number 4(c) hereof, as in substantial compliance with the approved Subarea A1 Final Subarea Plan. Additionally, the Subarea A1-Parcel 1.1.4 Site Plan represents the first project to be approved pursuant to the Subarea A1 Final Subarea Plan. No further City Council or Department approval of the Subarea A1 Final Subarea Plan shall be required for future projects submitted for Site Plan approval in Subarea A1; provided, however, that each such future project shall substantially comply with the approved A1 Final Subarea Plan.
- (b) The Department hereby approves the site plan for Subarea A2-1.1, consisting of the drawings and materials set forth in Statement Number 4(c)(ii) hereof, as in substantial compliance with the approved Subarea A2 Final Subarea Plan. Additionally, the Subarea A2-1.1 Site Plan represents the first project to be approved pursuant to the Subarea A2 Final Subarea Plan. No further City Council or Department approval of the Subarea A2 Final Subarea Plan shall be required for future projects submitted for Site Plan approval in Subarea A2; provided, however, that each such future project shall substantially comply with the approved A2 Final Subarea Plan.

12. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's storm water management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) The Applicant, at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.

13.
 - (a) The Part II Review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.50 per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II Review. Such fee shall be determined and assessed by the Department at the time of each and every Part II review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II Approval.
 - (b) Following Part II Review and approval by the Commissioner, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development.
 - (c) The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promote and enable universal access throughout the Property in accordance with all laws.
 - (d) Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote accessibility in accordance with all laws.
 - (e) Any interim reviews associated with Site Plan approvals or Part II Reviews, are conditional until final Part II Approval.

14. Subject to the other terms and conditions of these statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner: (i) upon application and a determination by the Commissioner in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Sections 17-13-0611-A.2 and A.3 shall be separately tested on a subarea basis, without taking into account the Net Site Area of or dwelling units permitted in other subareas or the Planned Development as a whole); and (ii) provided such modification, and the improvements contemplated thereby, are consistent with the character of the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.
15. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any subarea shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the date of submittal of Site Plans pursuant to this Planned Development.
16. Open Space B2-2.1, as set forth in the Subarea Plan for Subarea B2, consists of 153,655 square feet (approximately 3.53 acres), and Open Space E-1.1, as set forth in the Subarea Plan for Subarea E, consists of 86,822 square feet (approximately 2.0 acres). Open Space B2-2.1 and Open Space E-1.1 shall be dedicated to the Chicago Park District ("CPD") and the parks and improvements thereon must be designed and constructed to CPD standards. Any conveyance of such open space to the CPD shall be subject to the approval of the CPD and a resolution or ordinance issued by the CPD Board of Commissioners must be provided to the Department to evidence such dedication, conveyance and acceptance.
17. (a) The Applicant shall have substantially completed installation; and made publicly available, either Open Space B2-2.1 (located in Subarea B2) or Open Space E-1.1 (located in Subarea E), no later than 12 months after the date that Part II Approval has been issued for 2,354 or more new dwelling units (30 percent of total permitted units) since the date of adoption of this Planned Development. The date of completion as aforesaid shall be subject to a six month extension as necessary to accommodate the growing season.

(b) The Applicant shall have substantially completed installation, and made publicly available, either Open Space B2-2.1 (located in Subarea B2) or Open Space E-1.1 (located in Subarea E), whichever was not installed pursuant to Statement 17(a) above, no later than the date that is 12 months after the date that Part II Approval

has been issued for 4,707 or more new dwelling units (60 percent of total permitted units) since the date of adoption of this Planned Development. The date of completion as aforesaid shall be subject to a six month extension as necessary to accommodate the growing season.

- (c) The location, configuration and boundaries of Open Space A3-1.2 (consisting of 0.8 acres) and Open Space E-2.3 (consisting of 0.7 acres), as depicted in the applicable design exhibits, are preliminary. So long as the minimum amount of site area attributable to each such Open Space remains substantially as required above, the location, configuration and boundaries of each may be modified at the election of the Applicant, with the concurrence of the department; provided, however, that each such Open Space, as its location, configuration or boundary may have been modified, shall be located wholly within its applicable Subarea or adjacent Subarea. Any such modifications shall be reflected in the applicable Site Plan approvals, when and as submitted for such approval. The Open Spaces described in this Statement 17(c) shall be clearly lit and signage shall be appropriately placed indicating the site is publicly accessible from sunrise to sunset. The Applicant shall be responsible for all development, management, maintenance repair and replacement costs associated with such Open Spaces.
- (d) The Applicant shall have substantially completed installation, and made publicly available:
 - (i) Open Space E-2.3 (consisting of 0.7 acre), located in Subarea E, not later than 24 months after issuance of Part II Approval for any buildings in Parcel 2.2 having in aggregate not less than 449,962 square feet (i.e., 30 percent of Parcel 2.2's floor area as specified in Subarea E's Use, Bulk and Data Table).
 - (ii) Open Space A3-1.2 (consisting of 0.8 acre), located in Subarea A3, not later than 24 months after issuance of Part II Approval for buildings in Parcels 1.1, 1.3 and 1.4 having in aggregate not less than 421,379 square feet (i.e., 30 percent of the total combined floor area attributable to Parcels 1.1, 1.3 and 1.4, as specified in the Subarea A3's Use, Bulk and Data Table).
 - (iii) The dates of completion as aforesaid shall be subject to a six month extension as necessary to accommodate the growing season.
- (e) Nothing in this Planned Development shall preclude the Applicant from seeking and obtaining Open Space Impact Fee Credits for any Qualifying Open Space

pursuant to the Open Space Impact Fee Administrative Regulations and Procedures promulgated by the Commissioner pursuant to Section 16-18-110 of the Municipal Code of Chicago and the "Notice to Residential Developers Regarding New Open Space Impact Fees", last revised by the City on April 6, 1998, as either may be amended from time to time.

- (f) As part of the Final Subarea Plan for Subarea D, the Applicant shall provide preliminary engineering drawings and such other information as the Department may reasonably require to evidence the design, elevations and plans for the construction of the public pedestrian bridge and footpath (the "33rd Street Improvements") depicted in the Subarea D exhibits, including, without limitation, the CPD's approval of such designs, elevations and plans. The Applicant shall be obligated to substantially complete construction of the 33rd Street Improvements within 24 months of the issuance of Part II Approval for the third high-rise building in Subarea D. No Part II Approval for a fourth high-rise building in Subarea D shall be issued until construction of the 33rd Street Improvements has substantially commenced. If the Applicant, however, after 12 months of diligent and good faith efforts at the Applicant's own expense, certifies in writing to the Department that the Applicant has been unable to secure the real property interests, governmental approvals, and third party approvals and agreements necessary to construct the 33rd Street Improvements, then, in lieu of constructing such improvements, the Applicant may instead substantially commence construction of the open space required under Statement 17(a) (if it has not previously been constructed) or Statement 17(b) (if the open space required under Statement 17(a) has been previously constructed) within 24 months of the issuance of Part II Approval for the third high-rise building in Subarea D. Upon such substantial commencement of construction (and assuming that the Applicant does not thereafter cease or abandon such construction efforts, but thereafter diligently constructs such open space), the Applicant shall be entitled to obtain Part II Approval for the fourth high-rise building in Subarea D.
18. As of the original date of adoption of this Planned Development (i.e., June 30, 2010), the various portions of the Property (now defined as Subareas A1, A2, A3, B1, B2, B3, C, D and E) are improved with existing improvements and operated with existing uses. Subarea C is improved with, among other things, multiple townhouses, single-family homes and a condominium building containing dwelling units; and the owners, ground lessees and operators of Subarea C use said improvements and conduct other uses and operations within Subarea C (collectively, the "Subarea C Uses and Improvements"). The remaining portions of the Property are improved with, among other things, multiple residential buildings containing nearly 2,000 residential dwelling units, multiple commercial and retail buildings and surface parking lots; and the owners

and operators of these portions of the Property use said improvements and conduct other uses and operations within said portions of the Property (collectively, the "Lake Meadows Uses and Improvements"). (The Subarea C Uses and Improvements and the Lake Meadows Uses and Improvements may collectively be referred to herein as the "Existing Uses and Improvements"). Changes to the Existing Uses and Improvements shall be subject to the terms of this Planned Development.

19. The FAR and number of dwelling units attributable to buildings existing on the Property on the original date of this Planned Development (i.e., June 30, 2010) shall, until the demolition of any such buildings, continue to be included in the calculations of maximum FAR and dwelling units. If the FAR or number of dwelling units of an existing building located in a given Subarea is less than allowed subarea, then new FAR and/or dwelling units, as the case may be, shall be allowed in such subarea up to the applicable maximums. If the FAR or number of dwelling units of any existing building(s) in Subarea B1 is equal to or more than such subarea's applicable maximums under this Planned Development, then no new FAR or dwelling units, as the case may be, may be constructed in such subarea until sufficient FAR and dwelling units are removed so as to permit the construction of new dwelling within the limitations set forth in this Planned Development applicable to Subarea B1. Notwithstanding the foregoing, a maximum of 50 new dwelling units shall be permitted within that portion of Subarea B1 bounded by the northern boundary of Subarea B1 (Olivet Baptist Church); the north/south alley east of Dr. Martin Luther King, Jr. Drive; East 33rd Street; and Dr. Martin Luther King, Jr. Drive. A sufficient amount of FAR to accommodate such new dwelling units shall also be permitted.
20. (a) This Planned Development shall lapse and be null and void unless Substantial Construction (as defined below) has occurred in Subarea A1 and Subarea A2 within six (6) years of the date of the City Council's approval of this Planned Development amendment (as such date may be extended pursuant to Statement 20(d) below, the "Initial Expiration Date"). "Substantial Construction" shall mean and be evidenced by the (i) issuance of Part II Approvals; (ii) commencement of substantial construction; and (iii) the continued proceeding of such construction with reasonable diligence for not less than 50,000 gross square feet of improvements in Subarea A1 and 70,000 gross square feet of improvements in Subarea A2 (it being acknowledged that the Applicant has already completed 60,000 square feet of improvements in Subarea A2 as of the date hereof which improvements are labeled as "existing" on the Subarea A2 Buildings exhibit). The Applicant shall supply the Department with such documents requested as may be reasonably necessary to evidence compliance with such Substantial Construction requirements (such requirement, the "Substantial Construction Requirements").

- (b) If the Substantial Construction Requirements set forth in Statement Number 20(a) are not satisfied by the Initial Expiration Date, then this Planned Development shall thereafter lapse and become void and the zoning classification of the entire Property shall automatically revert to the B3-5 zoning classification in place immediately prior to the passage of this Planned Development.
- (c) If the Substantial Construction Requirements set forth in Statement Number 20(a) are satisfied by the Initial Expiration Date, then (1) the zoning established pursuant to this Planned Development for Subarea A1 and Subarea A2 shall not thereafter be subject to expiration, but (2) the zoning established pursuant to this Planned Development as to the remaining subareas shall thereafter lapse and become void and shall automatically revert to the B3-5 zoning classification in place immediately prior to the passage of this Planned Development unless the Applicant thereafter obtains City Council approval for a Final Subarea Plan for a third subarea in accordance with Section 10(a) prior to the Initial Expiration Date.
- (d) The Initial Expiration Date may be extended for up to one additional year if, before expiration, the Applicant makes written request for such an extension explaining the good cause for such an extension, the Commissioner determines that good cause for an extension has been shown, and the Commissioner issues a written extension letter.

[Surrounding Area Context; Existing Conditions/Site Location; Future Development Context; Existing Development Context; Public and Private Roadways; Pedestrian Circulation; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimensions; Buildings; Illustrative Massing Diagram; Parking and Loadings; Open Space and Landscaping; Traffic Improvements; Vacations and Dedications; Maximum Building Envelope and Height; Building Elevations; Building Materials; Facade Concepts; Site Plans; Vehicular and Service Access Plan; Site Plan; Landscape Plan; Green Roof Plan; and Retail Plans and Elevations referred to in these Plan of Development Statements printed on pages 21176 through 21204 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

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Residential Planned Development Number 1169, as amended

Master Bulk Regulations And Data Table

Subarea	Est. Net Site Area		Max. F.A.R. (see note 1)	Max. Dwelling Units (see note 1, 2 and 4)
	Sq.Ft.	Acres		
A1	314,527	7.22	3.96	741
A2	731,375	16.79	2.38	809
A3	372,932	8.56	3.76	646
B1	311,804	7.16	2.90	479
B2	226,213	5.19	3.53	536
B3	337,069	7.74	12.12	2,291
C	207,921	4.77	1.90	201
D	257,433	5.91	12.12	1,990
E	305,742	7.02	4.91	917
Total Subarea Max. (incl. 10%) (See Note 1)			4.96	8,609
OVERALL MAXIMUM	3,065,016	70.36	4.52	7,845

Note 1. The Subarea aggregate maximum FAR of 4.52 and maximum number of dwelling units of 7,845 is referred to herein as the "Base Amount". To provide flexibility among the Subareas, the maximum amount of FAR and the maximum number of dwelling units allowed in each Subarea set forth in the chart above is 10% higher than the Base Amount. Any individual Subarea may be developed to the maximum FAR or maximum dwelling units allowed in the chart above; provided, however, that in no event and at no time shall the Base Amount FAR or dwelling units be exceeded. Accordingly, where the construction of any amount of FAR or any number of dwelling units would otherwise cause the applicable Base Amount within the total Property to be exceeded, the availability of FAR or number of dwelling units within the total Property must be reduced by the amount necessary to avoid exceeding the Base Amount.

Note 2. Two hotel units shall be equal to one dwelling unit; the maximum number of hotels units shall not exceed 2,000 units.

Note 3. As of the date of adoption of this Planned Development, the actual built floor area in Subarea C is approximately 292,428 square feet (the approximate equivalent of 1.42 FAR) and the actual built number of dwelling units is approximately 185.

Note 4. 1.25 Elderly Housing units shall be equal to one dwelling unit.

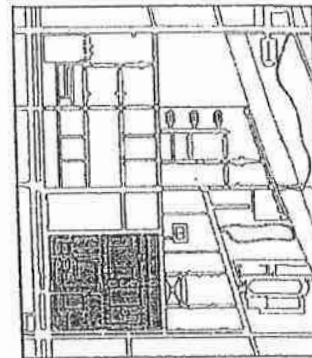
Gross Site Area:	3,628,902 sf (83.31 acres)
Approximate Area to Remain In Public Right-of-Way:	564,933 sf (12.97 acres)
Net Site Area	3,065,016 sf (70.36 acres)

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Lake Meadows Subarea Plan
SUBAREA A2
USE, BULK AND DATA TABLE

SUBAREA A2

Net Site Area	731,375 sf (16.79 acres)
Max Building Floor Area	1,741,827 sf
Max Dwelling Units	809
Maximum FAR	2.38
Maximum Building Height	150 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	None



KEY PLAN
SUBAREA A2

Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max Far	Max Units
Block 1								
Parcel 1.1	66,663	Retail / Parking	Retail	12,900	150	25,800	0.39	0
Remaining Parcels	562,481	Retail / Parking	Retail / Midrise / Highrise	257,200	150	994,299	1.77	400
Subtotal - Block 1	629,144			270,100		1,020,099	1.62	400
Block 2								
Subtotal - Block 2	102,231	Retail / Resl / Parking	Retail / Midrise / Highrise	60,144	150	721,728	7.06	409
Subarea A2 Total	731,375			330,244		1,741,827	2.38	809

Minimum Setbacks	Front 33 rd Place, King Dr., 35 th Street	0 ft
	Rhodes Ave.	3 ft
	Side	0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: - walls with Living Room windows o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height)

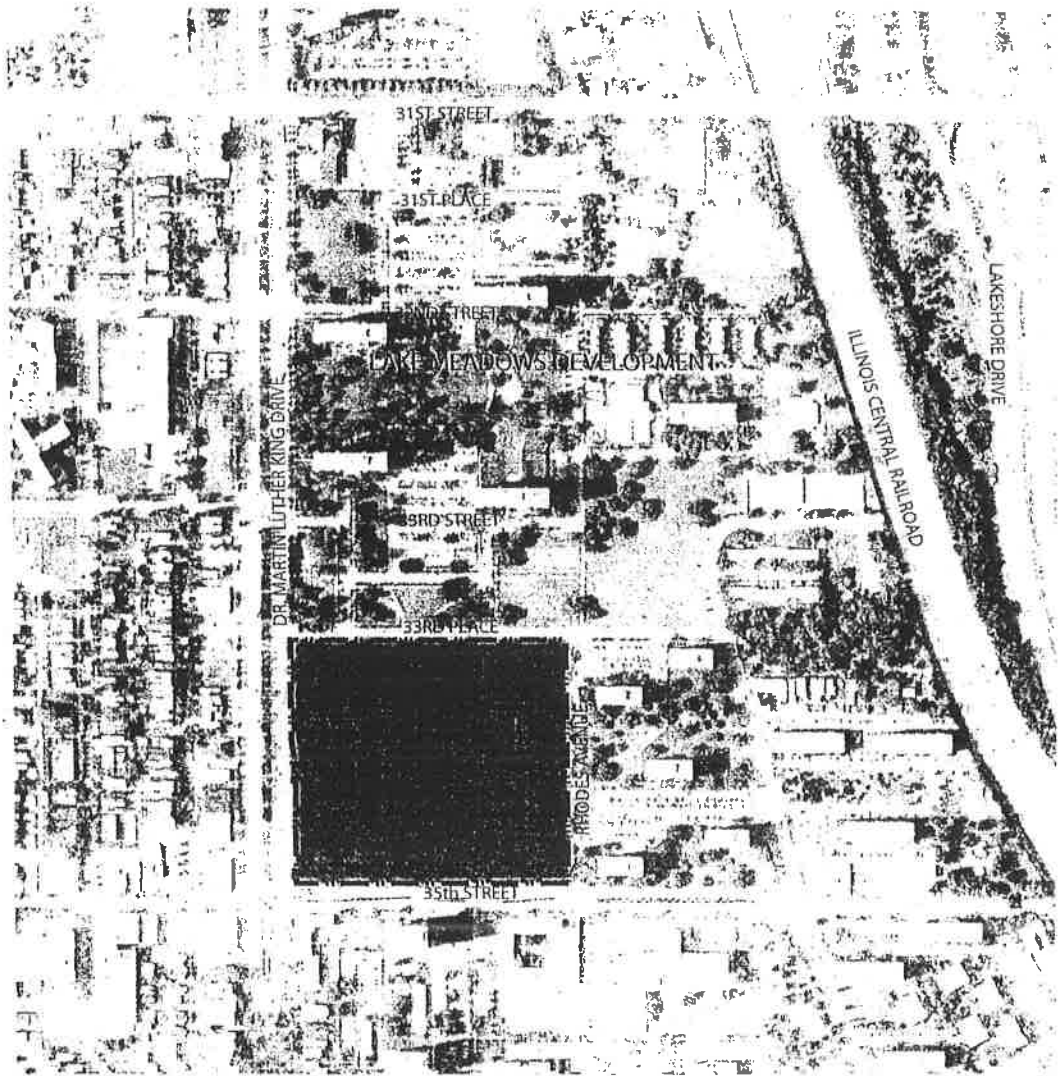
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Lake Meadows Subarea Plan
SUBAREA A2
USE, BULK AND DATA TABLE

		<ul style="list-style-type: none"> o 100 ft (above 450 feet height) 4 ft (walls with all other windows)
	Rear	0 ft
Minimum Parking Spaces	Multi-Family	.60 spaces per dwelling unit for first 100 dwelling units, then .50 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
Allowable Uses	Exception: In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea A2-Parcels 1.2, 1.3, 1.5, and 1.6.	
	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Animal Services, Artist Work and Sales Space, Building Maintenance Services, Business Equipment Sales and Service, Business Support Services, Communication Service Establishments, Construction Sales and Service, Greenhouses, Drive-Through Facility, Eating and Drinking Establishments, Entertainment and Spectator Sports, Financial Services, Food and Beverage Retail Sales, Funeral and Interment Service, Gas Stations, Medical Services, Office, Parking, Personal Services, Repair or Laundry Service, Retail Sales-General, Signs, Indoor and Outdoor Sports and Recreation-Participant, Vehicle Sales and Service
	INDUSTRIAL USE GROUP	Catering
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
	<p>Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.</p> <p>Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.</p> <p>Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.</p>	
General Notes	See Notes 1 through 4 on the Master Bulk Regulations and Data Table	

Lake Meadows Subarea Plan FINAL FOR PUBLICATION

SUBAREA A2
SURROUNDING AREA CONTEXT



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 APPLICATION DATE: 12.09.2015
 PLAN COMMISSION DATE: 02.18.2016

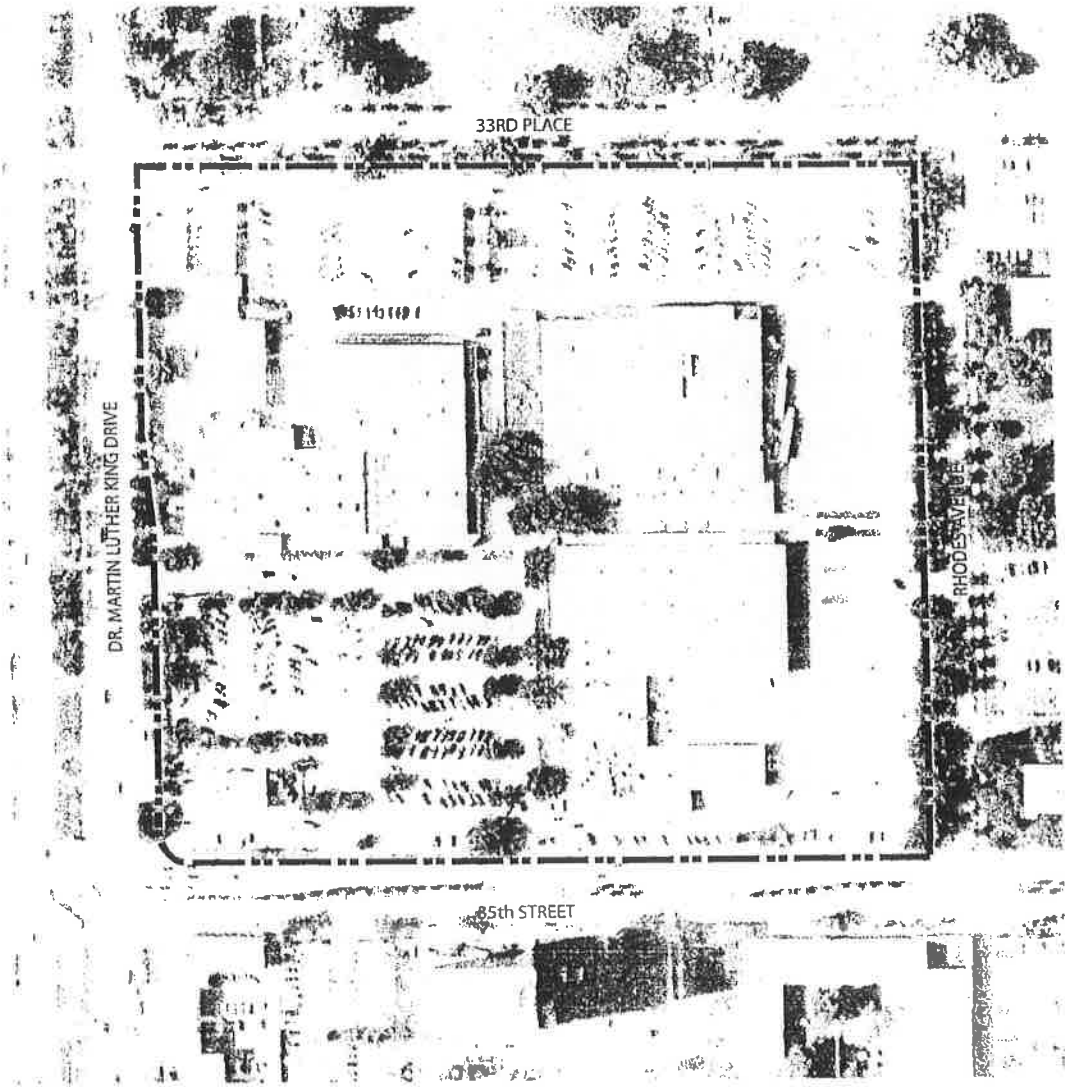
KEY PLAN
SUBAREA A2

Lake Meadows Subarea Plan

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SUBAREA A2

EXISTING CONDITIONS / SITE LOCATION



SITE LOCATION



KEY PLAN
SUBAREA A2



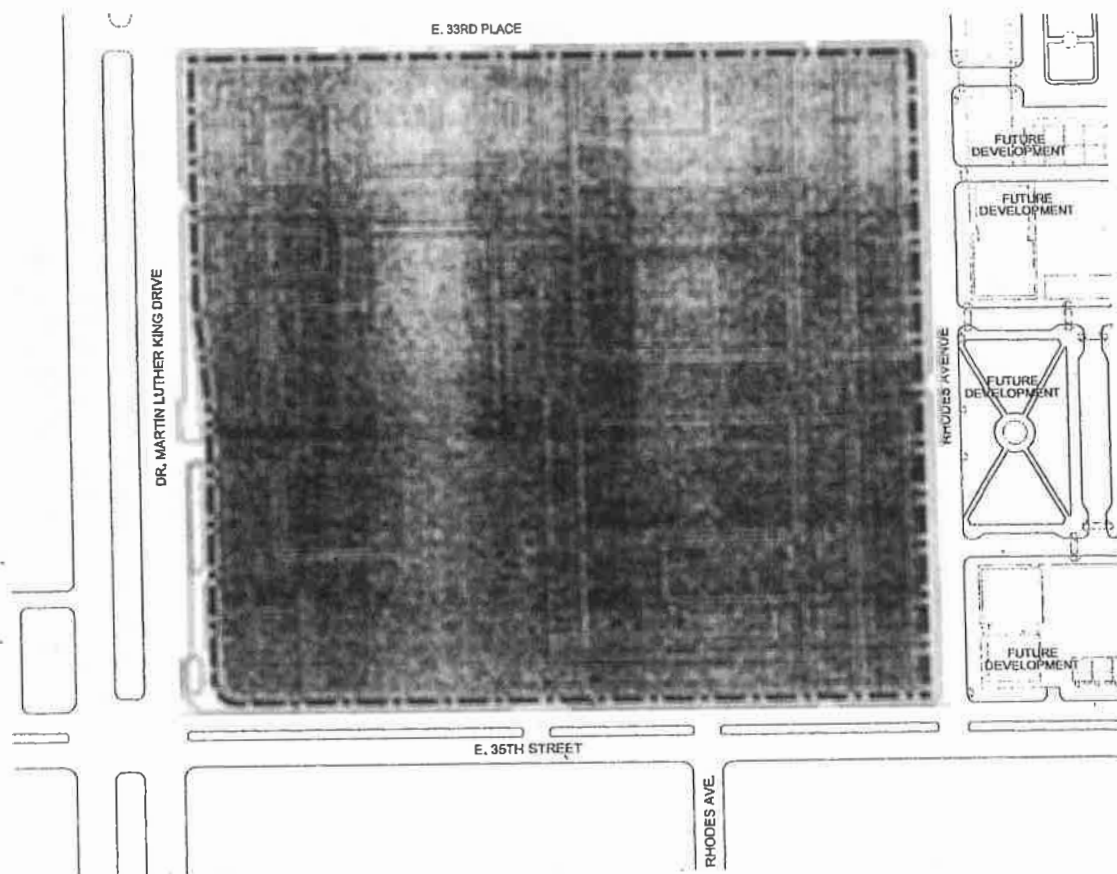
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 APPLICATION DATE: 12.09.2015
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Lake Meadows Subarea Plan

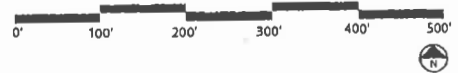
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SUBAREA A2

FUTURE DEVELOPMENT CONTEXT



KEY PLAN
SUBAREA A2

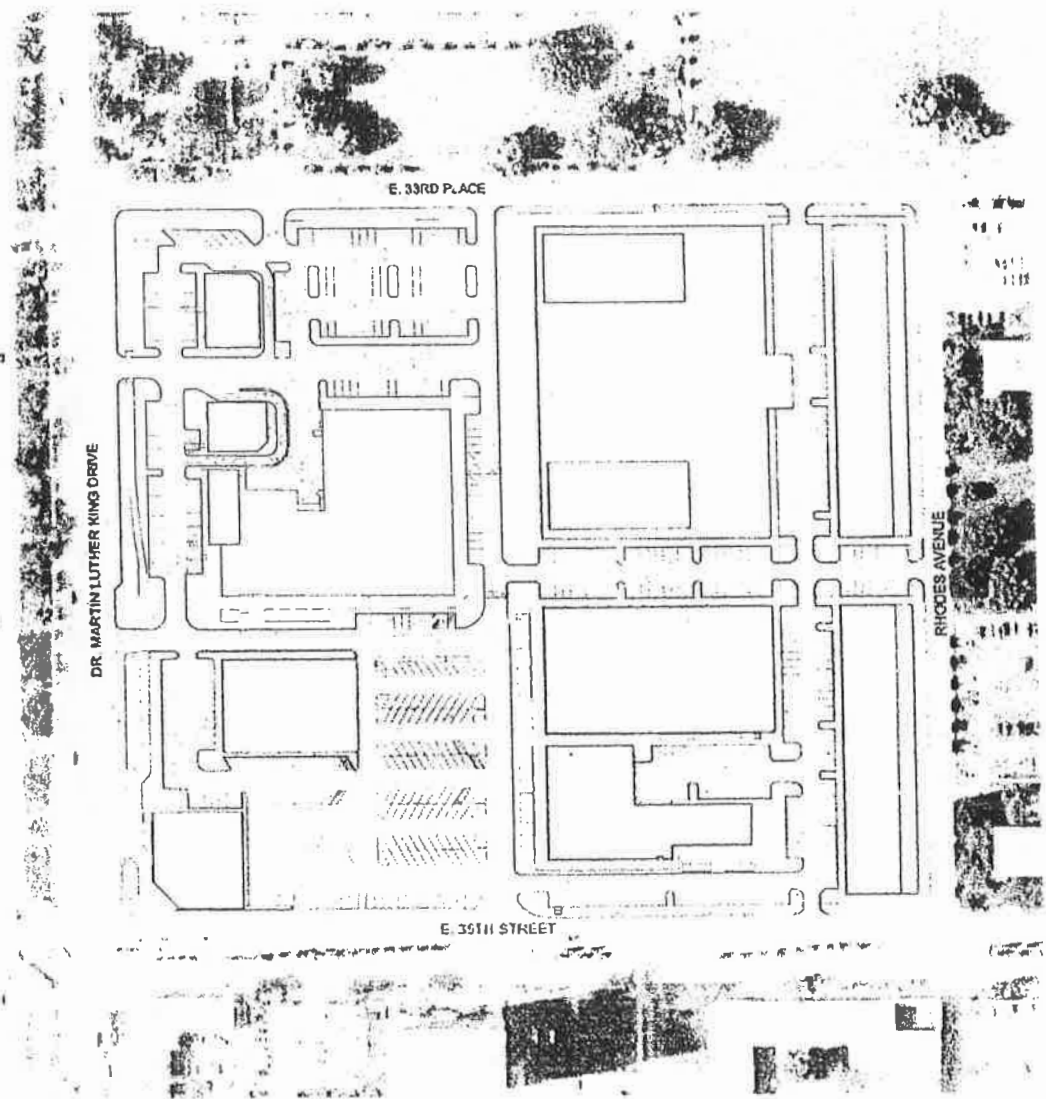


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APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016

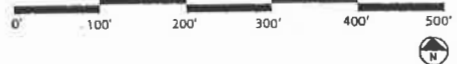
Lake Meadows Subarea Plan FINAL FOR PUBLICATION

SUBAREA A2

EXISTING DEVELOPMENT CONTEXT



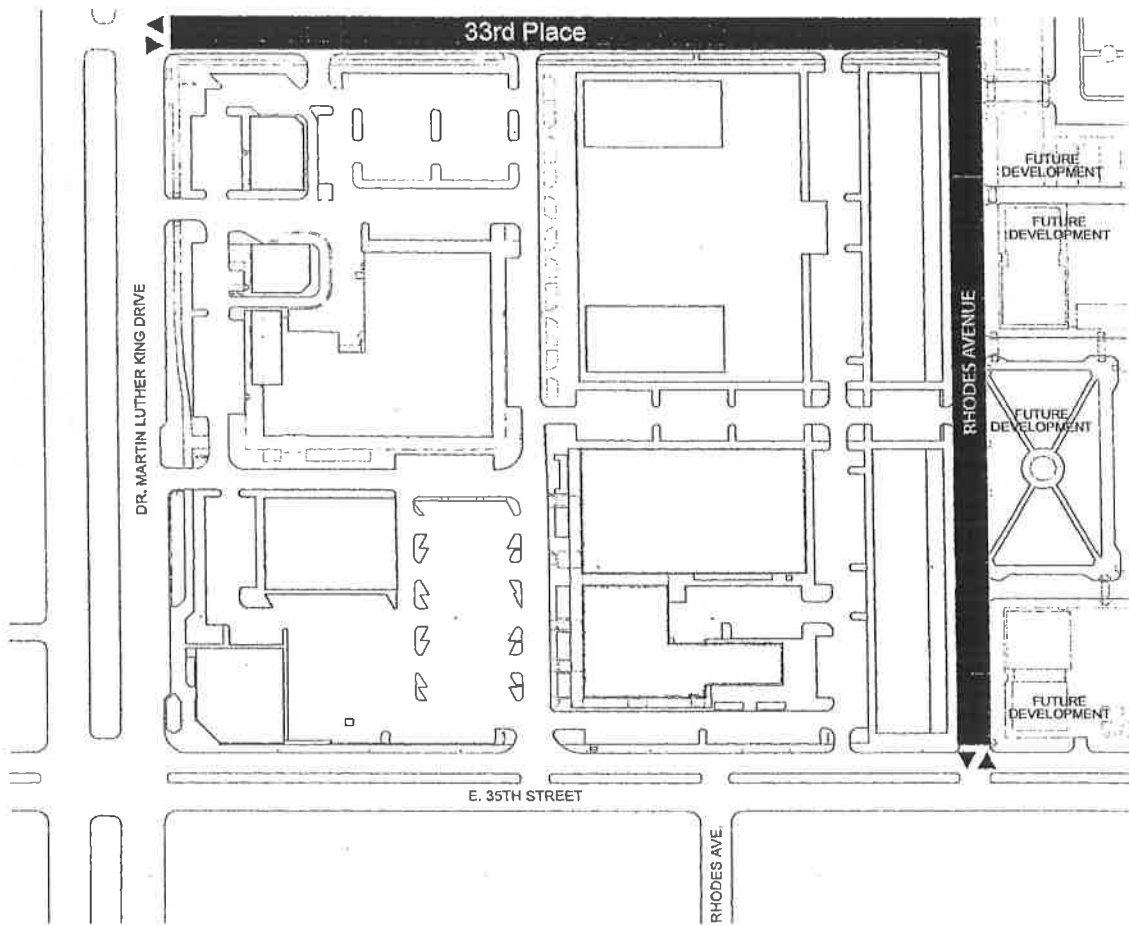
KEY PLAN
SUBAREA A2



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ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
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Lake Meadows Subarea Plan
SUBAREA A2
PUBLIC AND PRIVATE ROADWAYS

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— PUBLIC ROADWAY



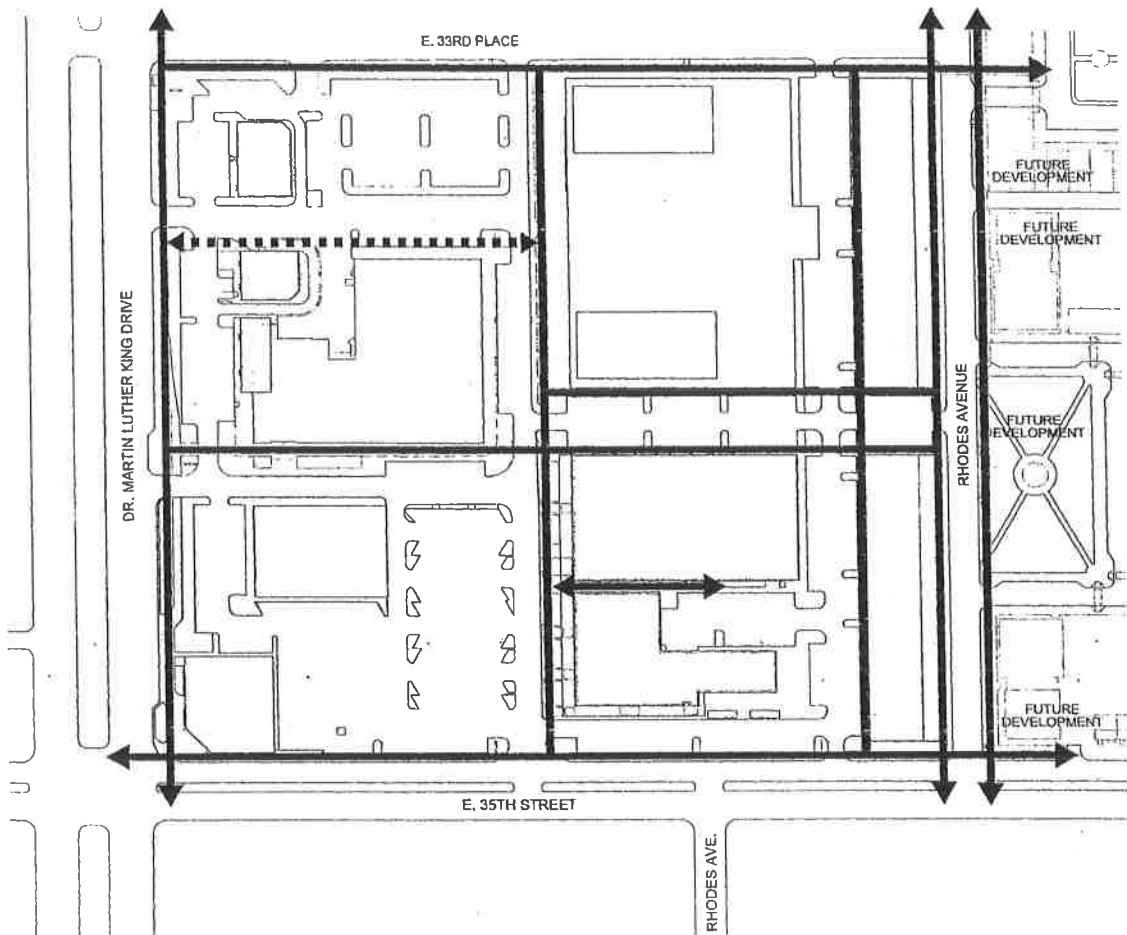
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APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016

KEY PLAN
SUBAREA A2

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SUBAREA A2

PEDESTRIAN CIRCULATION



 SIDEWALK
 POTENTIAL PEDESTRIAN CONNECTION

APPLICANT: LAKE MEADOWS ASSOCIATES
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 APPLICATION DATE: 12.09.2015
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KEY PLAN
SUBAREA A2

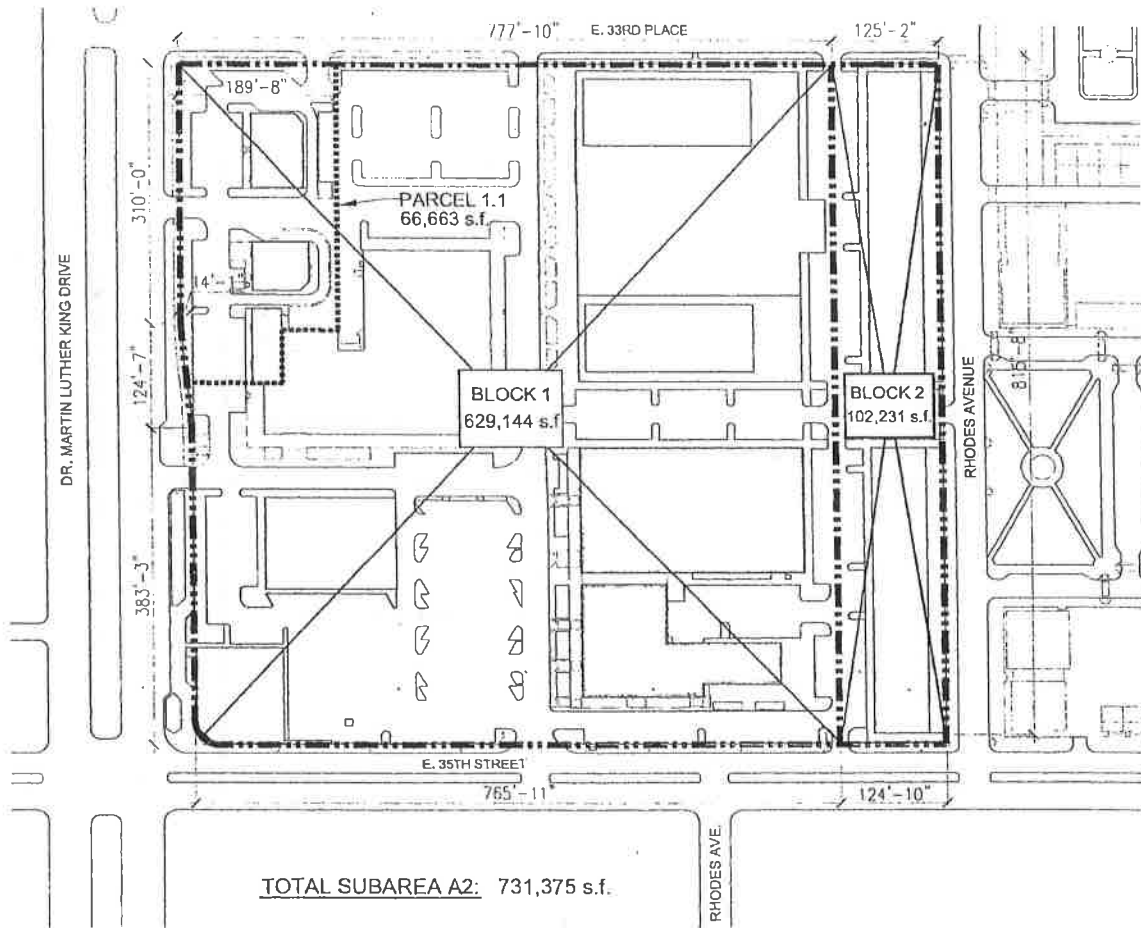


Lake Meadows Subarea Plan

SUBAREA A2

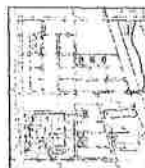
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DEVELOPMENT PARCELS AND BLOCKS



- - - - - BLOCK BOUNDARY
 ······ PARCEL BOUNDARY
 NOTE: ALL DIMENSIONS AND AREAS ARE APPROXIMATE

APPLICANT: LAKE MEADOWS ASSOCIATES
 ADDRESS: 33 W. MONROE ST.
 APPLICATION DATE: 12.09.2015
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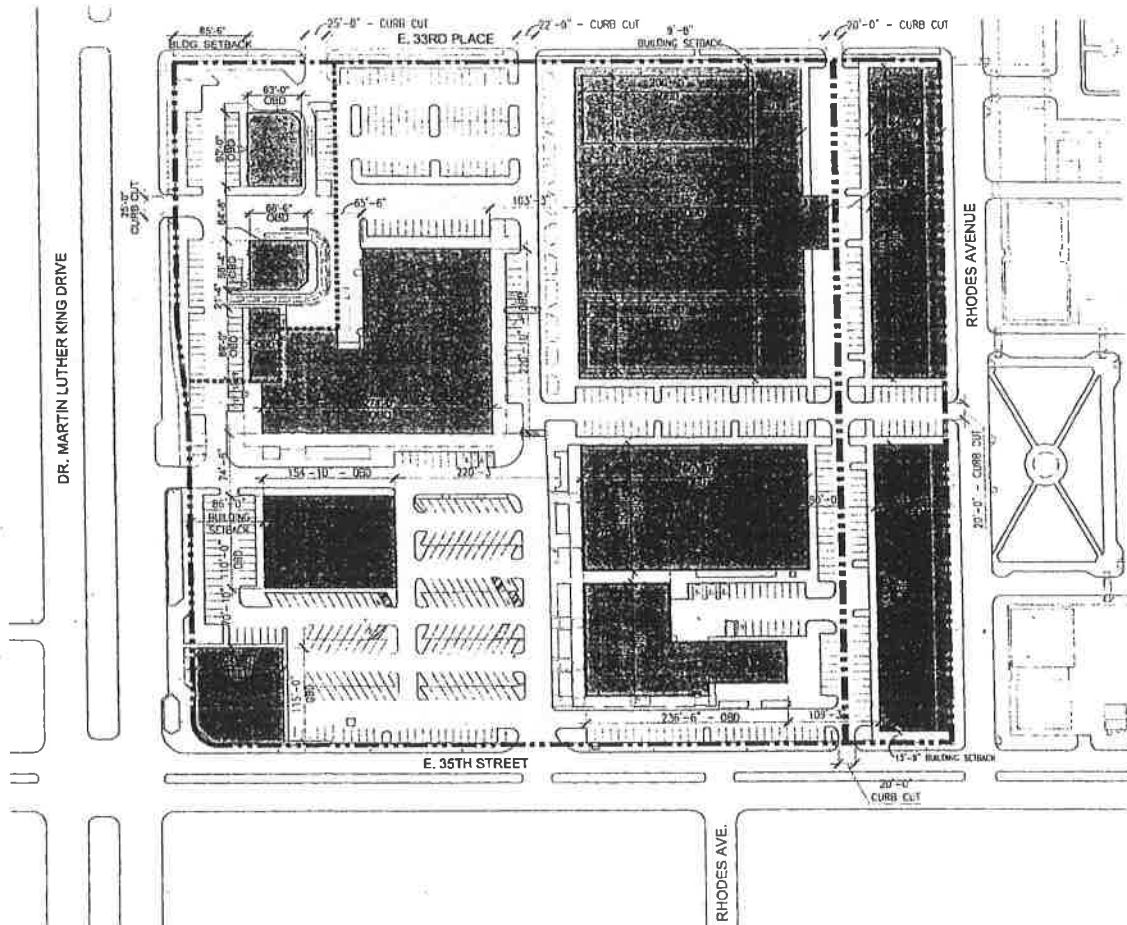
KEY PLAN
SUBAREA A2



Lake Meadows Subarea Plan FINAL FOR PUBLICATION

SUBAREA A2

OVERALL BUILDING, SETBACK AND CURB CUT DIMENSIONS

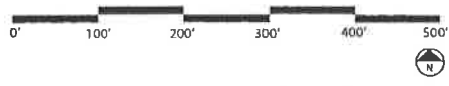


OSD OVERALL BUILDING DIMENSION
 - - - - - PARCEL LINE
 NOTE: ALL DIMENSIONS ARE APPROXIMATE.

APPLICANT: LAKE MEADOWS ASSOCIATES
 ADDRESS: 33 W. MONROE ST.
 APPLICATION DATE: 12.09.2015
 PLAN COMMISSION DATE: 02.18.2016



KEY PLAN
 SUBAREA A2

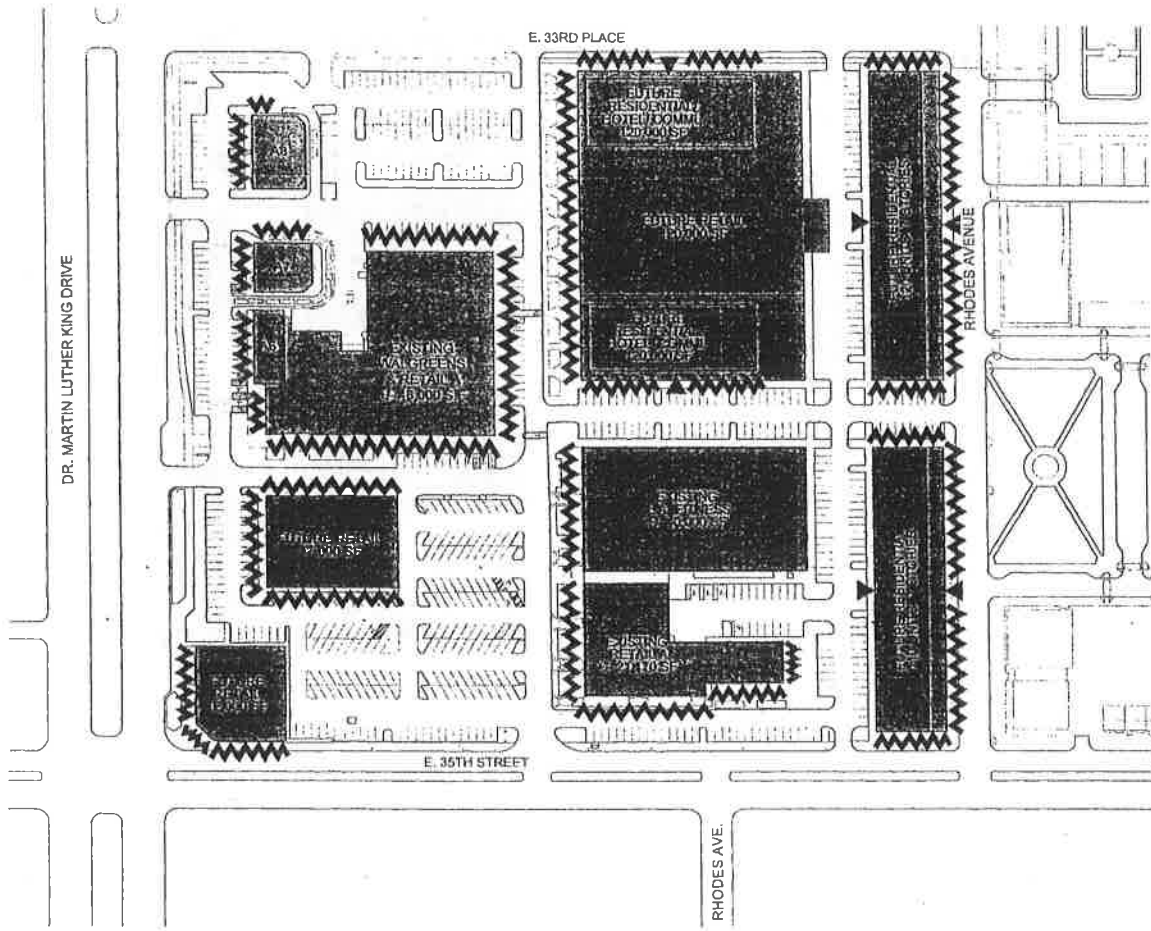


Lake Meadows Subarea Plan

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SUBAREA A2

BUILDINGS



- BUILDING FOOTPRINT
- ▲ POTENTIAL BUILDING ENTRY
- ▬ POTENTIAL RETAIL FACADE

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 APPLICATION DATE: 12.09.2015
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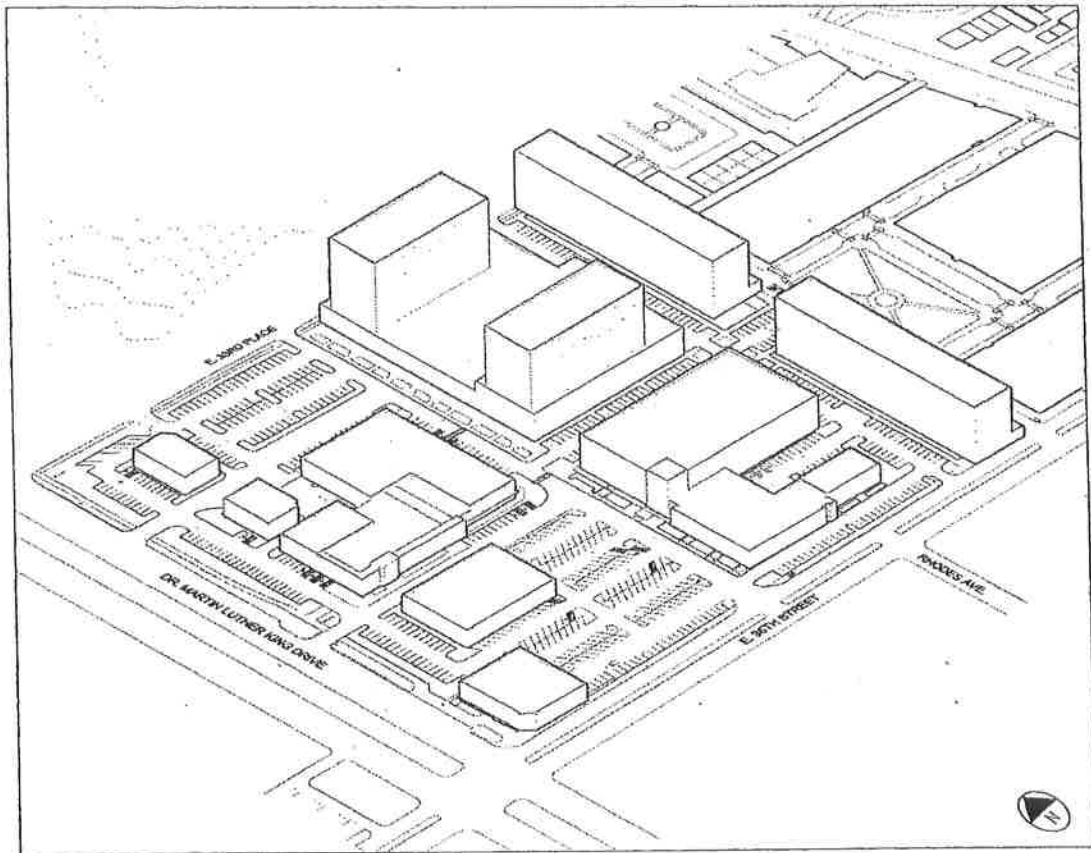
KEY PLAN
 SUBAREA A2



Lake Meadows Subarea Plan FINAL FOR PUBLICATION

SUBAREA A2

ILLUSTRATIVE MASSING DIAGRAM



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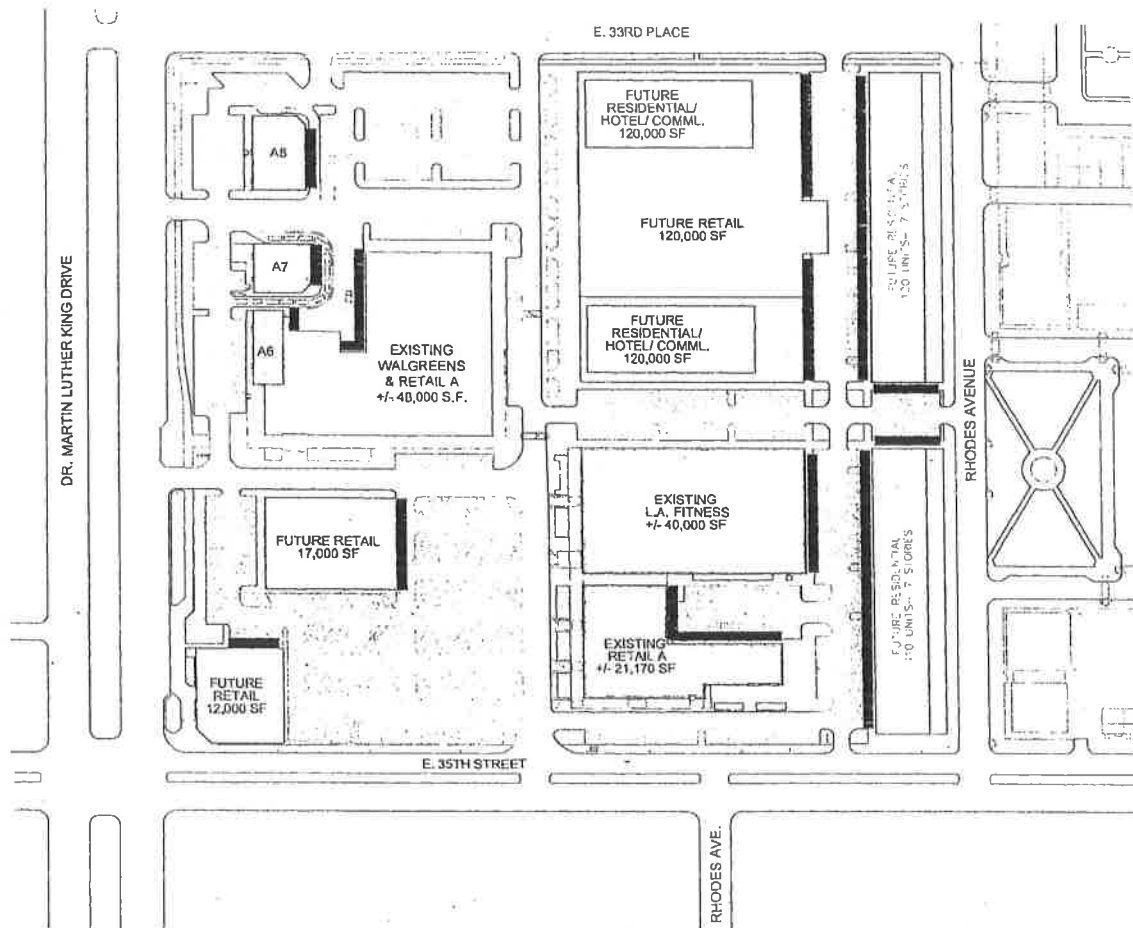
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SUBAREA A2

Lake Meadows Subarea Plan

SUBAREA A2

PARKING AND LOADING

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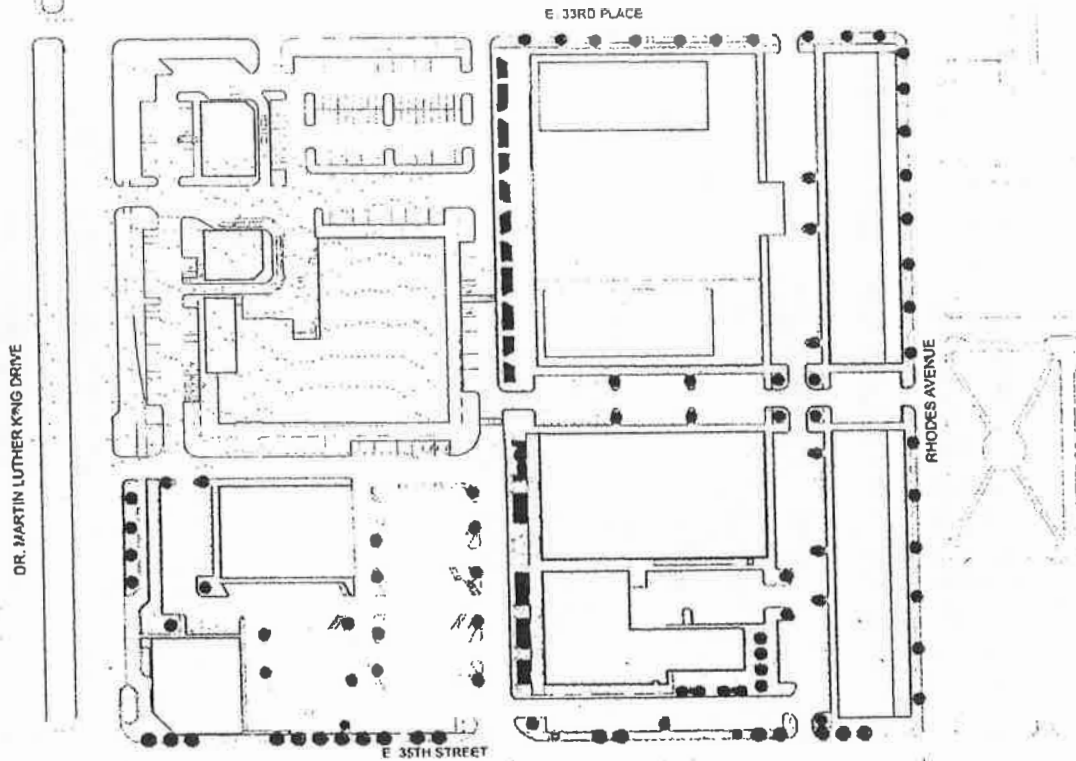


Lake Meadows Subarea Plan

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SUBAREA A2

OPEN SPACE AND LANDSCAPING



NOTE: LANDSCAPING IS INTENDED TO SHOW GENERAL INTENT, AND MAY VARY FROM THIS ILLUSTRATION

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ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.16.2016



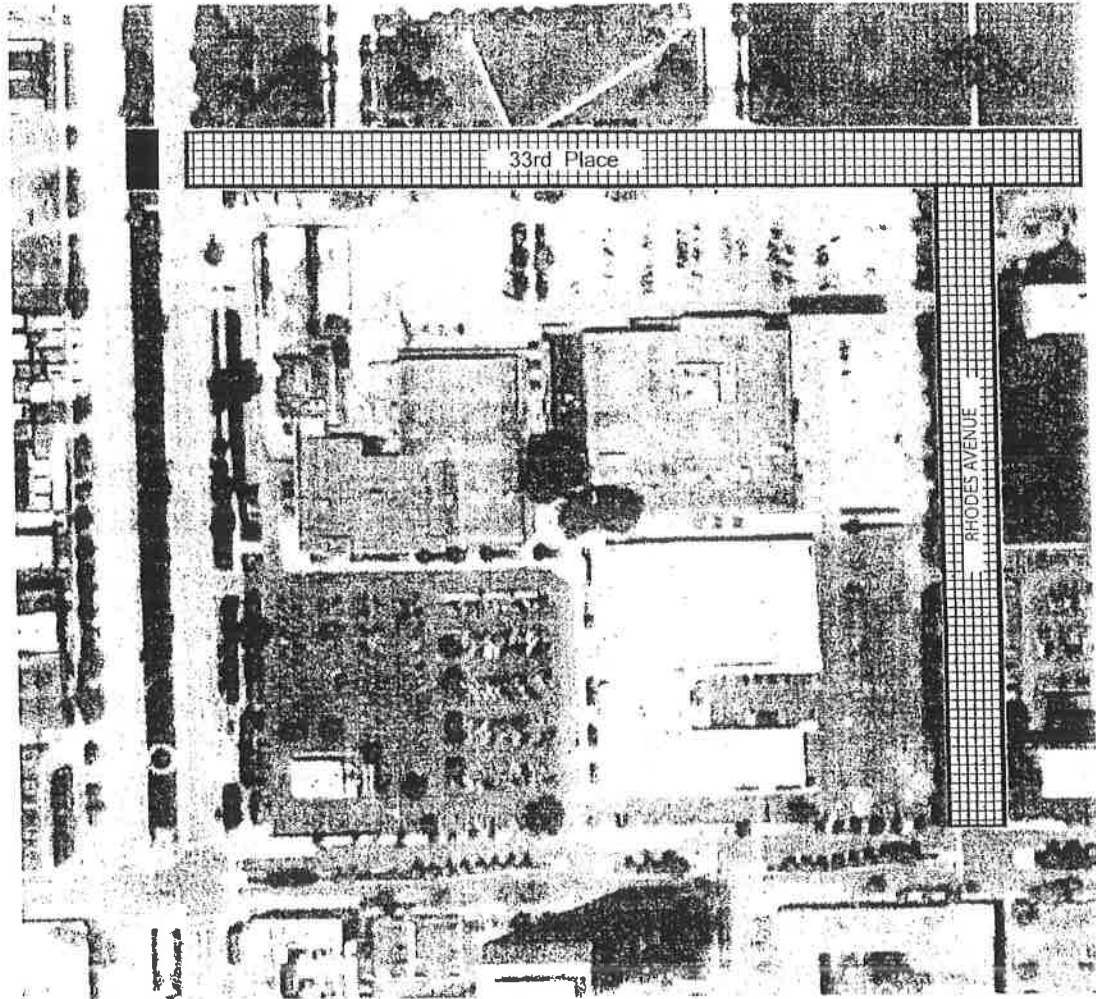
KEY PLAN
SUBAREA A2





Lake Meadows Subarea Plan FINAL FOR PUBLICATION

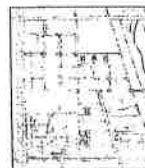
SUBAREA A2

TRAFFIC IMPROVEMENTS



-  NEW ROADWAY
-  EXISTING ROADWAYS

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016



KEY PLAN
SUBAREA A2

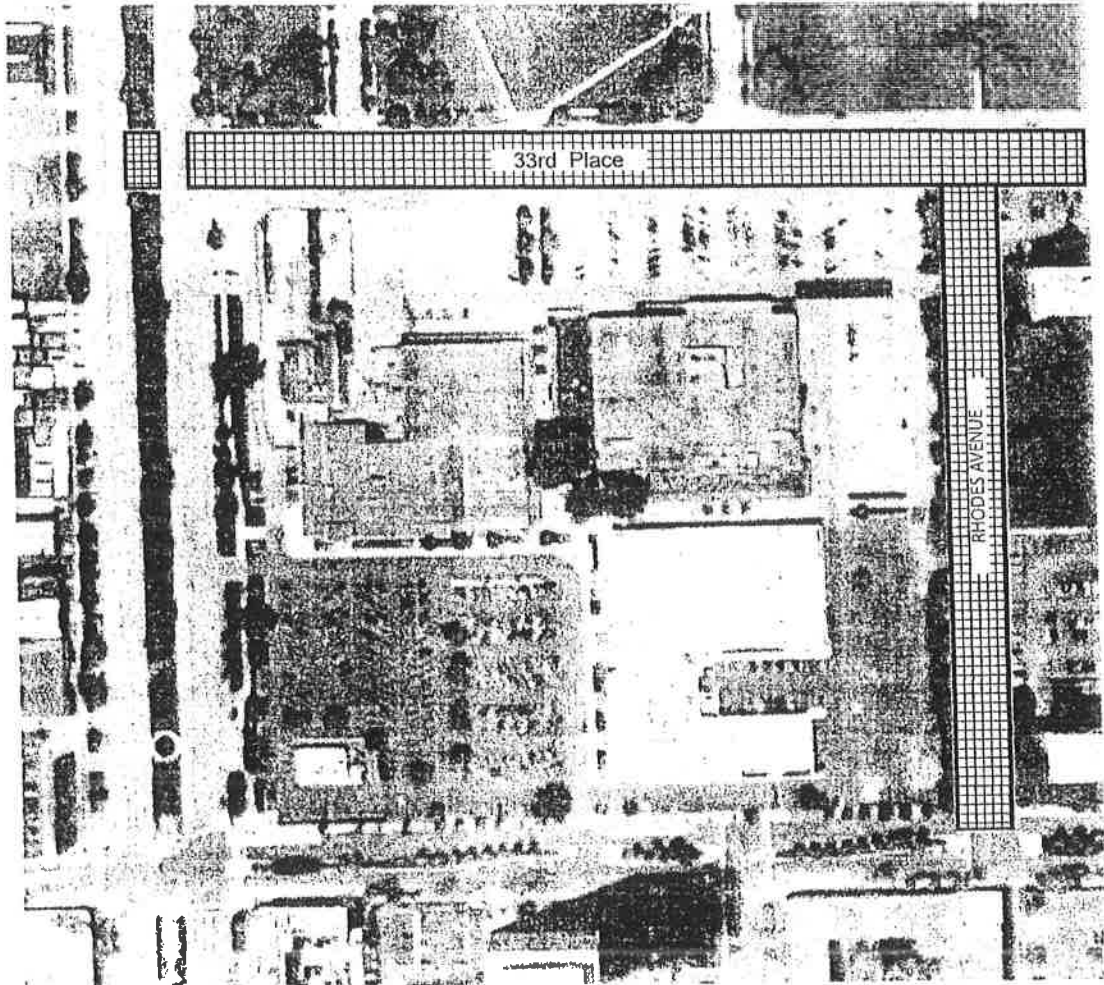


Lake Meadows Subarea Plan

SUBAREA A2

VACATIONS AND DEDICATIONS

FINAL FOR PUBLICATION



 EXISTING RIGHT OF WAY

Subarea A2 Site Roadways and R.O.W.'s to remain

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016



KEY PLAN
SUBAREA A2

0' 100' 200' 300' 400' 500'

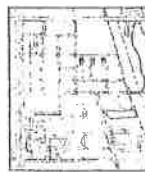
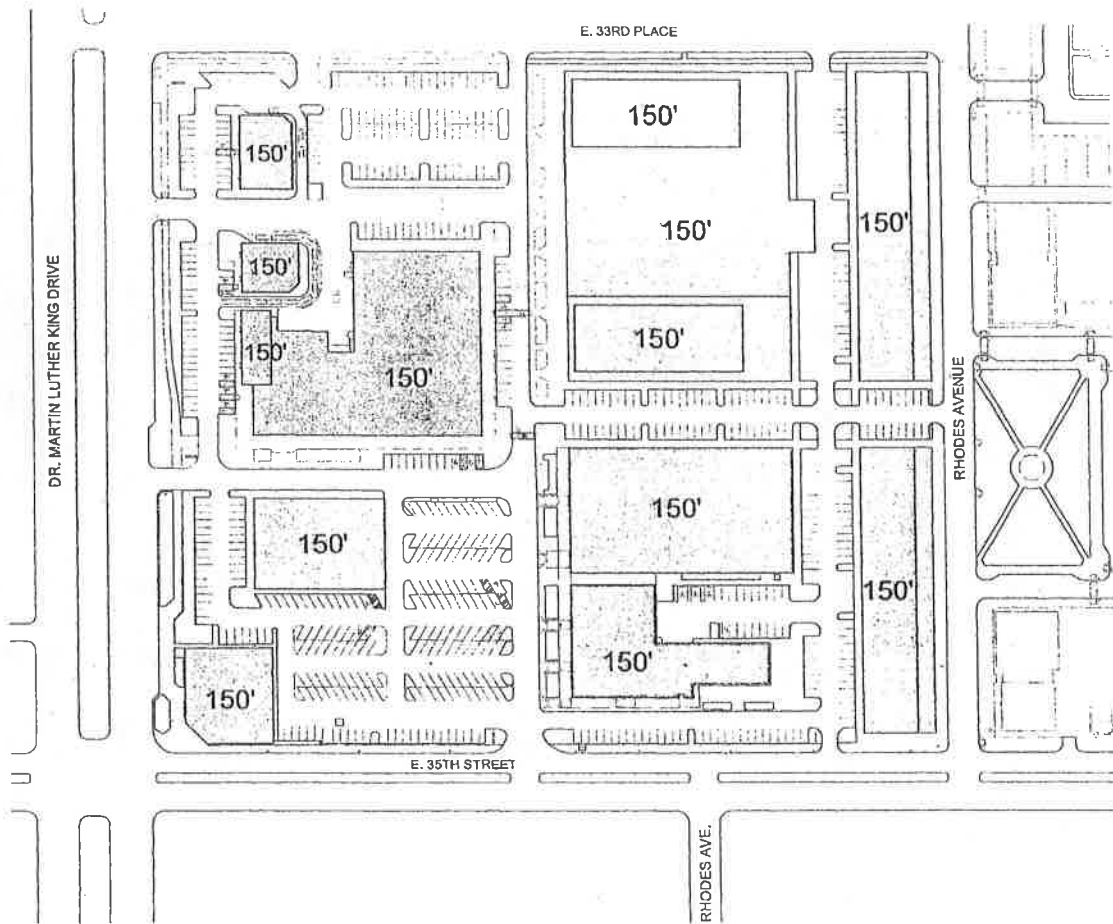


Lake Meadows Subarea Plan

SUBAREA A2

MAXIMUM BUILDING ENVELOPE AND HEIGHT

FINAL FOR PUBLICATION



KEY PLAN
SUBAREA A2

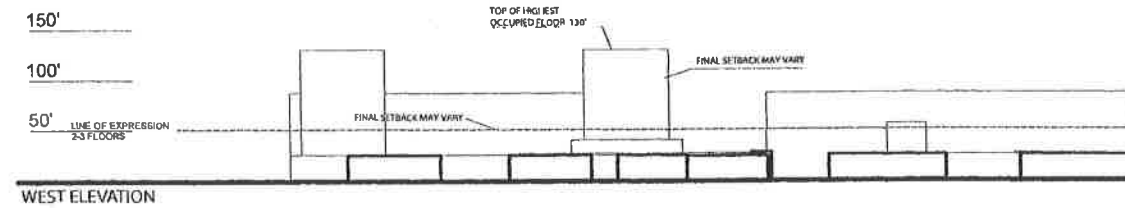
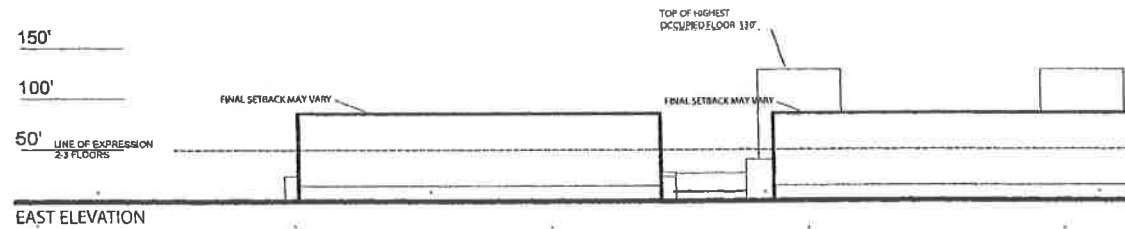
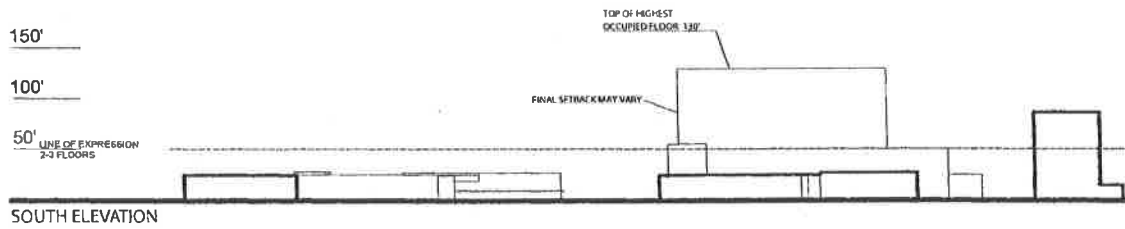
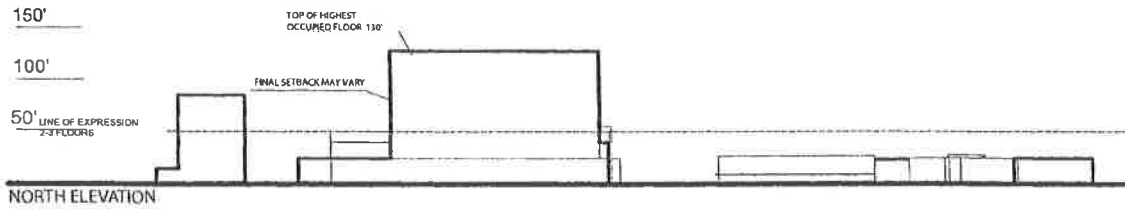


APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016

Lake Meadows Subarea Plan FINAL FOR PUBLICATION

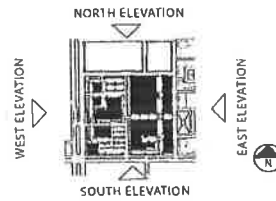
SUBAREA A2

NORTH, SOUTH, EAST AND WEST ILLUSTRATIVE ELEVATIONS



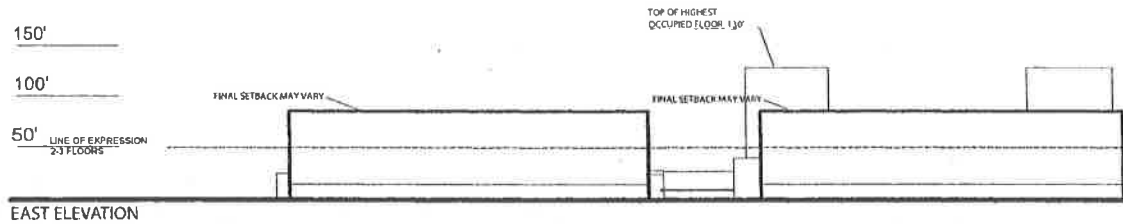
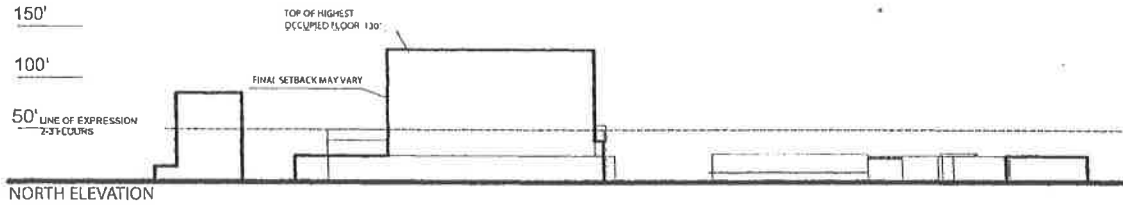
----- LINE OF EXPRESSION

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016



Lake Meadows Subarea Plan FINAL FOR PUBLICATION

SUBAREA A2 BUILDING MATERIALS



Building Materials

The selection of appropriate building materials should be made with a concern for the existing context.

Highly reflective glass is discouraged. If all glass walls are used, high quality, low-e or clear/lightly tinted glass should be used.

Two categories of building material quality, Category 1 and Category 2, have been identified in the Master Plan.

NOTE: South and west elevations will be subject to the same material guidelines.

Category 1

- Natural Stone
- Cast Stone
- Brick
- Architectural Precast
- Glass and Metal Walls
- Architectural Metal Panels

Category 2

- Exposed Structural Concrete with high quality construction formwork
- Exterior Plaster or DEFS System
- Metal Panelized Exterior Cladding System
- Exposed Steel
- Synthetic Wood Siding

Generally, Category 1 materials should be used for signature buildings at the perimeter of the site and Category 2 materials may be used for buildings on the interior and service areas of the site. Unique materials and colors are encouraged along the ground level, at building entrances and on the rooftops. Whether Category 1 or Category 2 materials are used, a high quality level of finishes and details is important.

Building Base

Category 1 materials should be used on the building bases and low-rise structures. Clear or lightly tinted glass is preferred. Retail storefronts may include ornamental metals.

Building Tower

The portion of the building above the base may use Category 2 materials that are compatible with the material used for the base and also be complementary with neighboring buildings. Ornamental metals may be used for building accents.

Building Top

The materials used for the building tops should be of high quality and present a distinctive image for the building.

Material Color

A variety of color and materials are encouraged as a means to enhance the appearance of separate multiple adjacent buildings as opposed to a single mass. Stone, brick and concrete may range in color. Glass colors may include clear panes or slightly tinted gray, silver, green or blue.



KEY PLAN SUBAREA A2

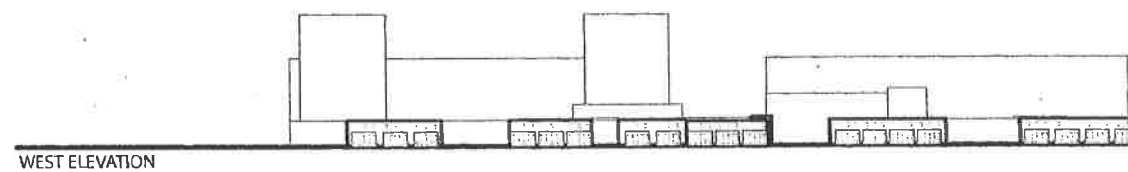
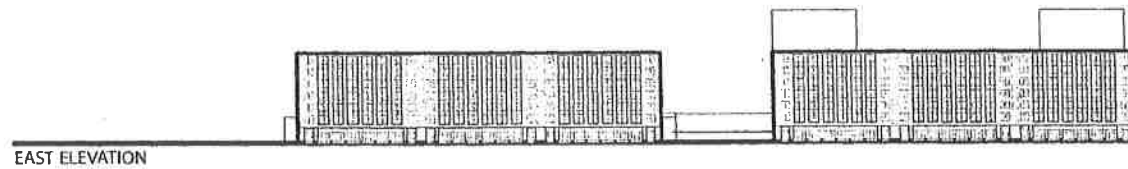
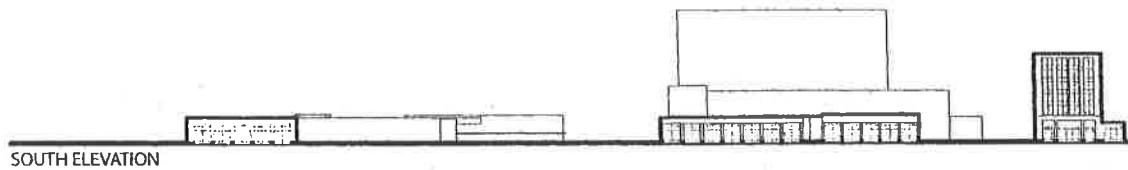


APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016

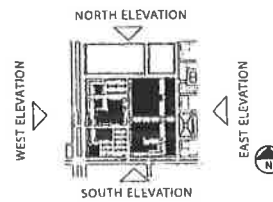
Lake Meadows Subarea Plan

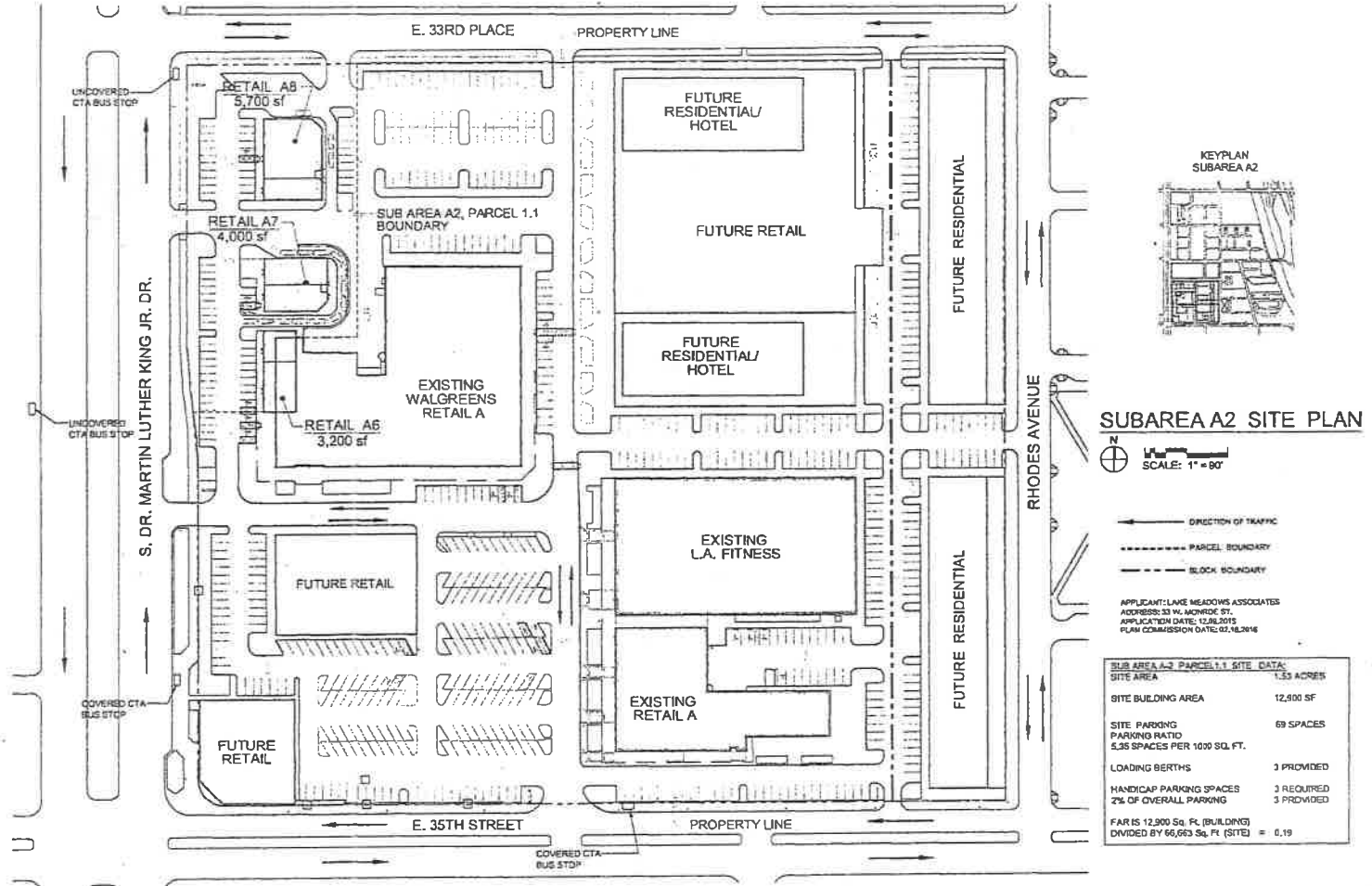
SUBAREA A2
FACADE CONCEPTS

FINAL FOR PUBLICATION

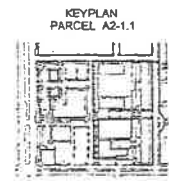
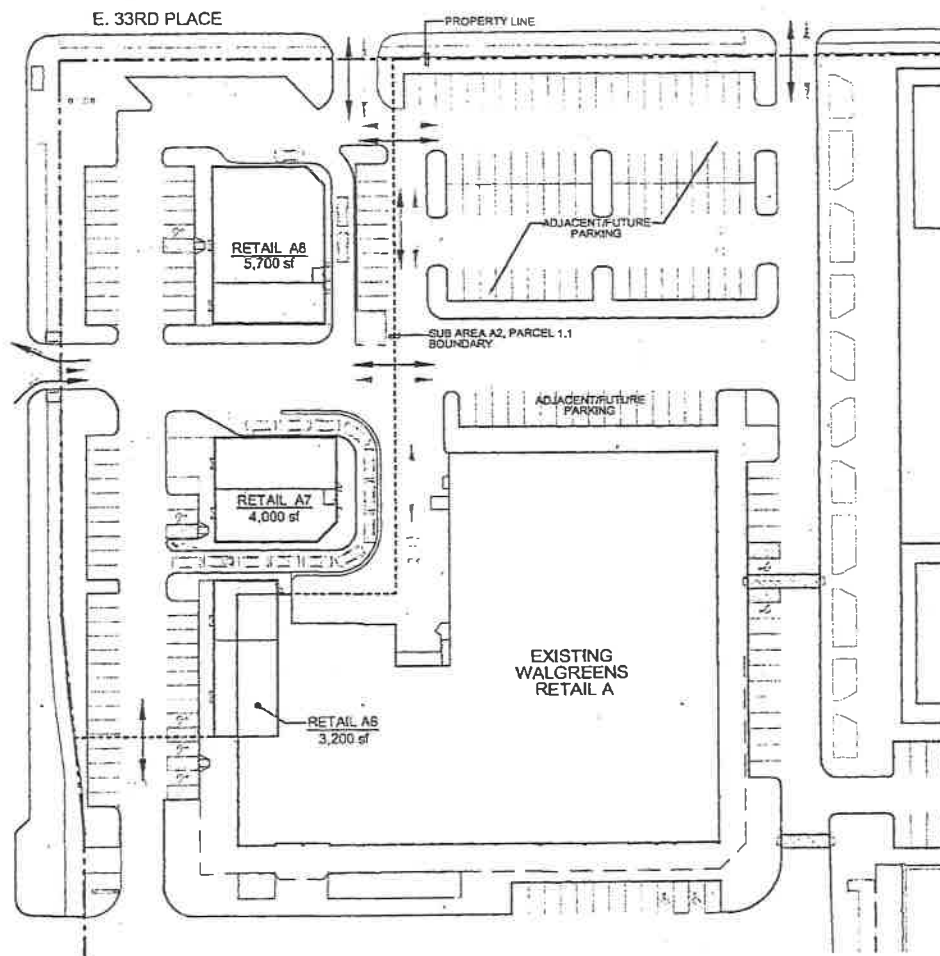


APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MONROE ST.
APPLICATION DATE: 12.09.2015
PLAN COMMISSION DATE: 02.18.2016





S. DR. MARTIN LUTHER KING JR. DR.



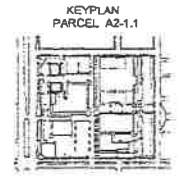
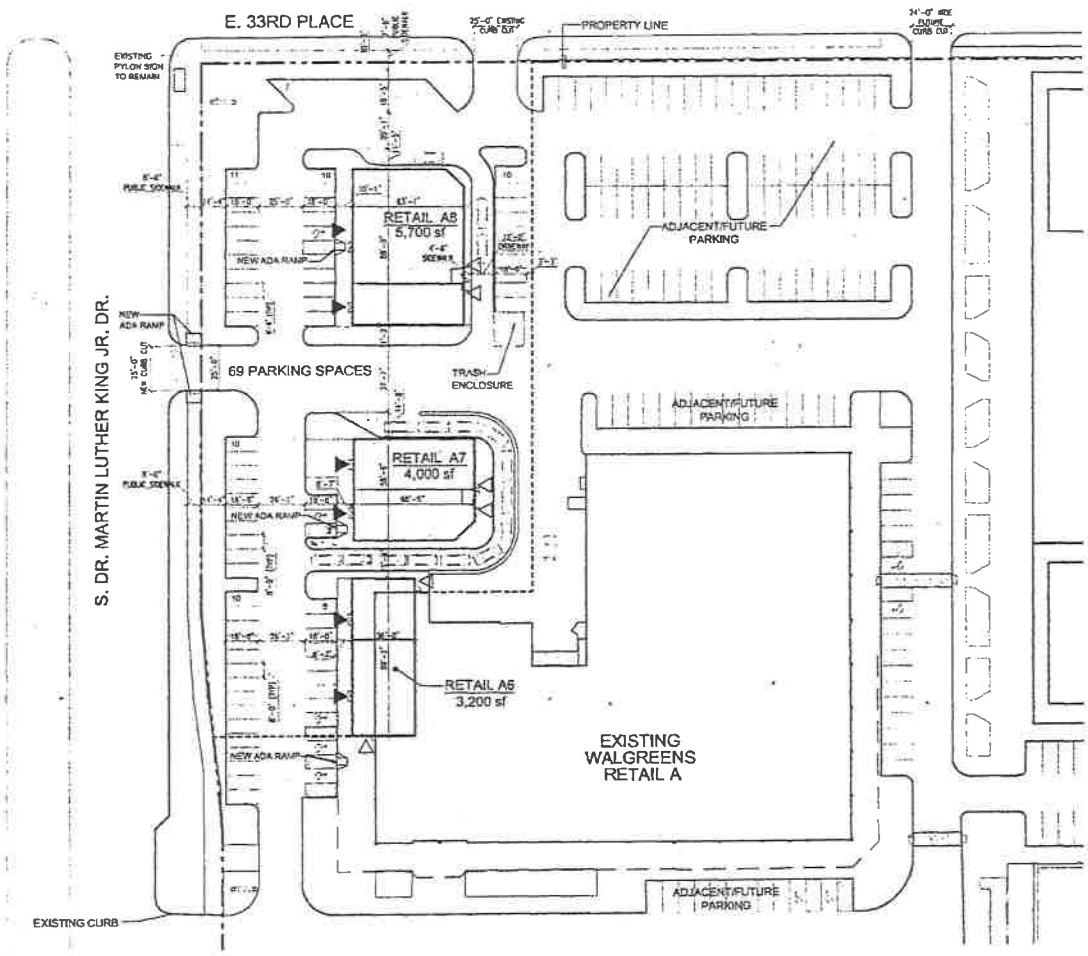
**PARCEL A2-1.1
VEHICULAR AND
SERVICE
ACCESS PLAN**



- PARCEL BOUNDARY
- - - BLOCK BOUNDARY
- > SERVICE ACCESS
- > VEHICULAR ACCESS

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 73 W. MIDWICH ST.
APPLICATION DATE: 12/9/2015
PLAN/COMMISSION DATE: 02/16/2016

SUB AREA A2, PARCEL 1.1 SITE DATA	
SITE AREA	1.53 ACRES
SITE BUILDING AREA	12,900 SF
SITE PARKING	89 SPACES
PARKING RATIO	5.35 SPACES PER 1000 SQ. FT.
LOADING BERTHS	3 PROVIDED
HANDICAP PARKING SPACES	3 REQUIRED
2% OF OVERALL PARKING	3 PROVIDED
FAR IS 12,900 Sq. Ft. (BUILDING)	
DIVIDED BY 66,663 Sq. Ft. (SITE)	= 0.19



**PARCEL A2-1.1
SITE PLAN**

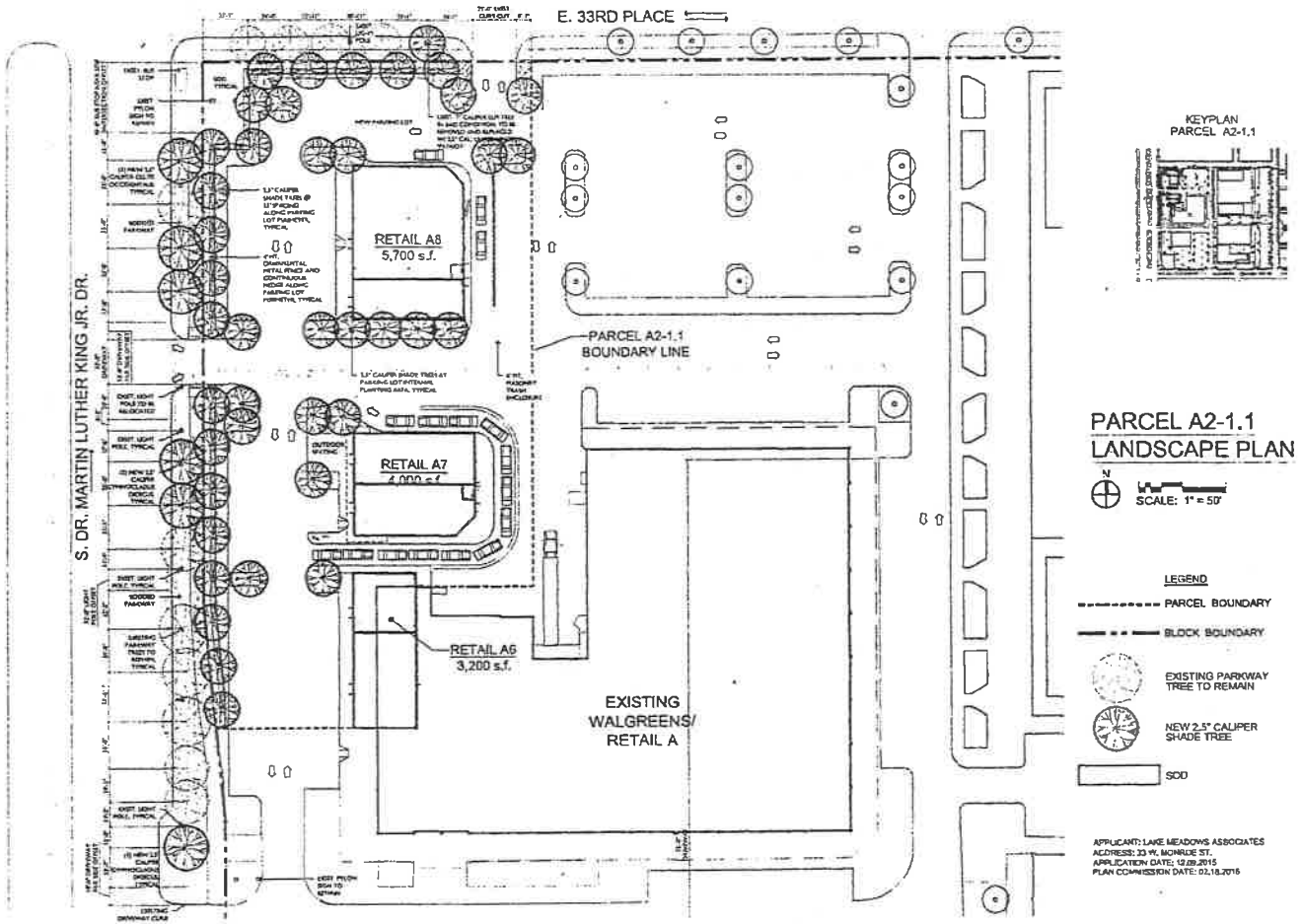


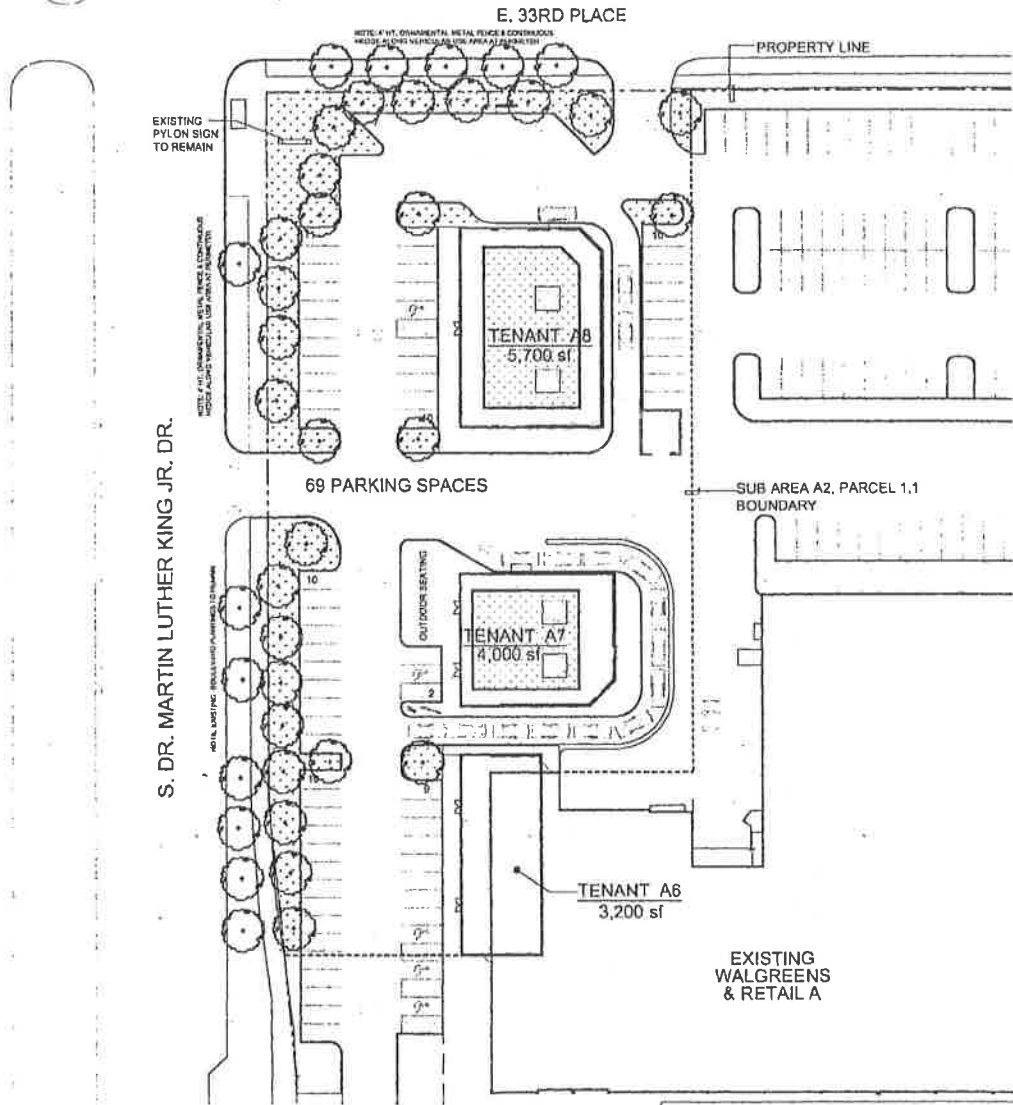
- ▶ PRIMARY BUILDING ENTRANCE
- ▽ EMERGENCY EXIT ENTRANCE
- - - - - PARCEL BOUNDARY
- - - - - BLOCK BOUNDARY

APPLICANT: LAKE MEADOWS ASSOCIATES
 ADDRESS: 33 W. MONROE ST.
 APPLICATION DATE: 12.29.2015
 PLAN COMMISSION DATE: 02.18.2016

NOTE:
 NO ADDRESSES HAVE BEEN ESTABLISHED FOR RETAIL A6,
 RETAIL A7, OR RETAIL A8; (C) BUILDINGS WILL ALL HAVE
 SOUTH MARTIN LUTHER KING DRIVE ADDRESSES.

SUB AREA A-2, PARCEL 1.1 SITE DATA:	
SITE AREA	7.53 ACRES
SITE BUILDING AREA	12,900 SF
SITE PARKING	69 SPACES
PARKING RATIO	5.35 SPACES PER 1000 SQ. FT.
LOADING BERTHS	3 PROVIDED
HANDICAP PARKING SPACES	3 REQUIRED
	2% OF OVERALL PARKING
FAR IS 12,900 Sq. Ft. (BUILDING)	
DIVIDED BY 66,663 Sq. Ft. (SITE)	= 0.19





GREEN ROOF PLAN



SCALE: 1" = 60'

- POTENTIAL RTU LOCATION
- GREEN ROOF
- PARCEL BOUNDARY
- BLOCK BOUNDARY

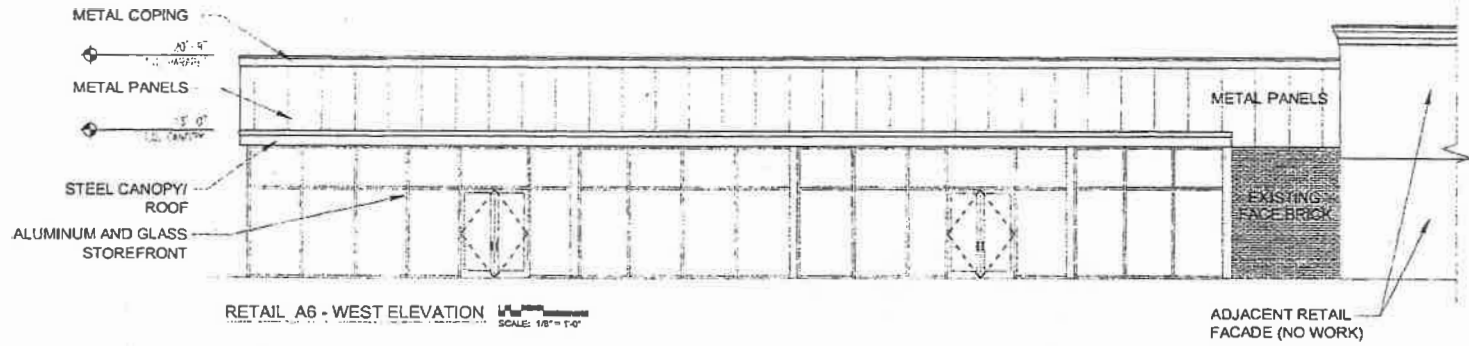
APPLICANT: LAKE MEADOWS ASSOCIATES
 ADDRESS: 33 W. MONROE ST.
 APPLICATION DATE: 12.09.2015
 PLAN COMMISSION DATE: 02.18.2016

PARCEL 1.1 GREEN ROOF SUMMARY

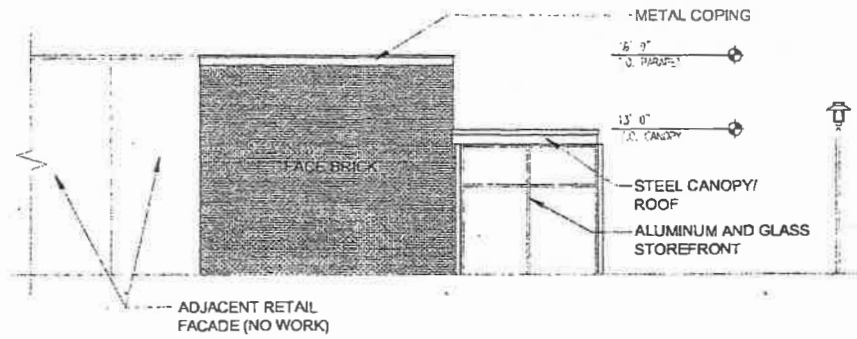
ROOF AREA:	GROSS AREA	NET AREA
TENANT A8	5,700 SF	5,500 SF
TENANT A7	4,000 SF	3,850 SF
GREEN ROOF AREA REQUIRED: 50% OF NET AREA REQUIRED		
TENANT A8	2,775 SF	2,775 SF
TENANT A7	1,925 SF	1,925 SF

BUILDINGS WILL EXCEED ASHRAE 90.1-2004

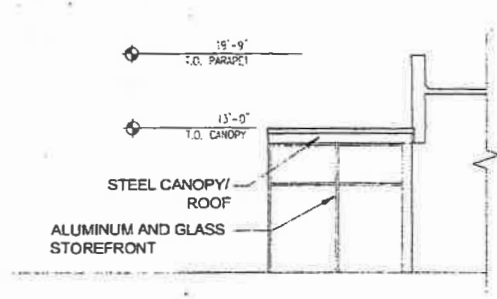
GREEN ROOF AREAS SHOWN ARE PROVIDED SOLELY FOR THE PURPOSE OF DEMONSTRATING POTENTIAL GREEN ROOF LOCATIONS AND LAYOUT. FINAL ROOF LAYOUT SUBJECT TO CHANGE. THE APPLICANT WILL PROVIDE A MINIMUM OF 50% GREEN ROOF IN THE FINAL DESIGN IN ACCORDANCE WITH THE PLANNED DEVELOPMENT STATEMENTS



RETAIL A6 - WEST ELEVATION SCALE: 1/8" = 1'-0"



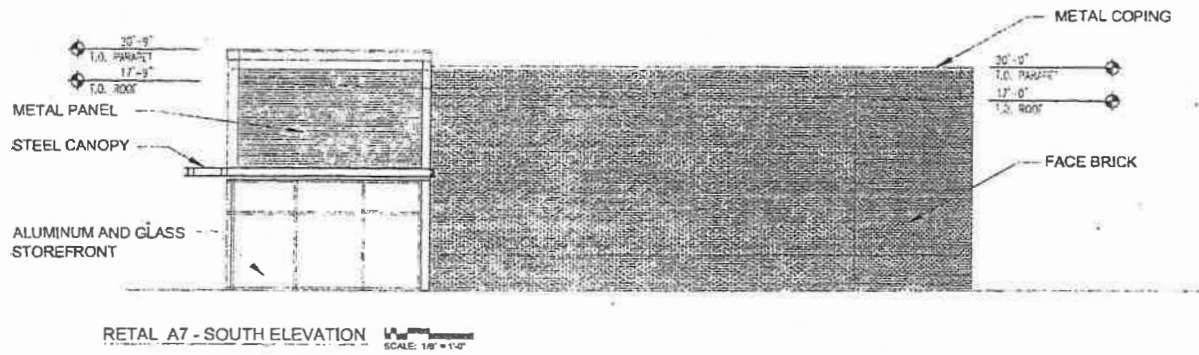
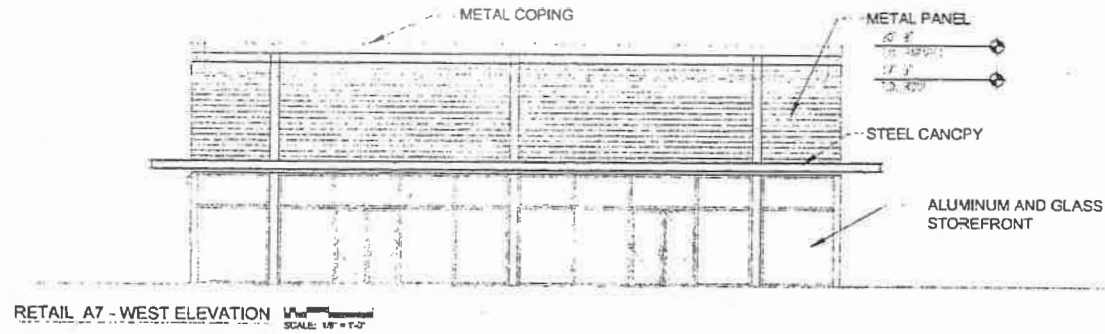
RETAIL A6 - NORTH ELEVATION SCALE: 1/8" = 1'-0"



RETAIL A6 - SOUTH ELEVATION SCALE: 1/8" = 1'-0"

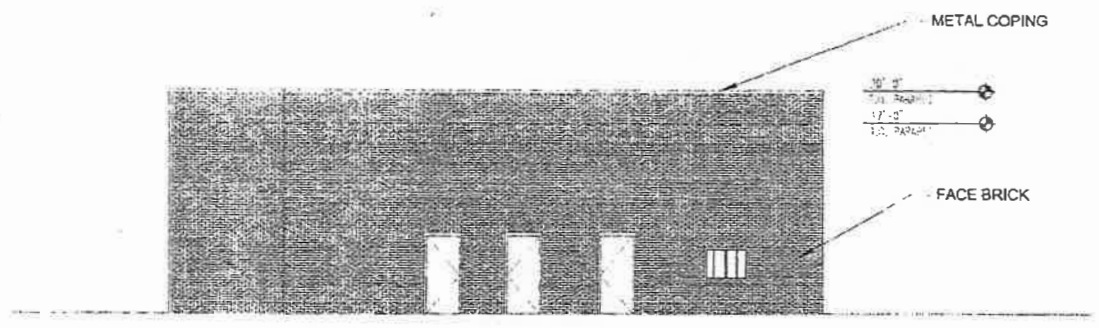
RETAIL A6 PLANS & ELEVATIONS

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 31 W. HOWARD ST.
APPLICATION DATE: 11.11.2015
PLAN COMMISSION DATE: 02.11.2016

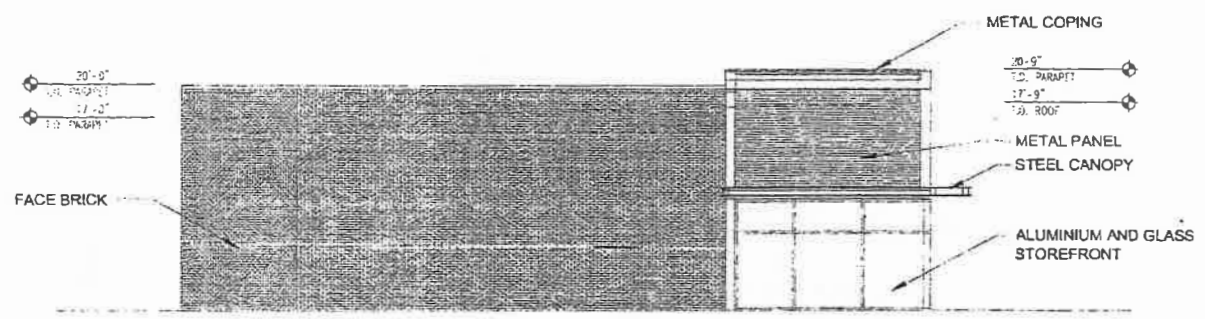


RETAIL A7 ELEVATIONS

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MCARDLE ST.
APPLICATION DATE: 12.11.2015
PLAN COMMISSION DATE: 02.18.2016



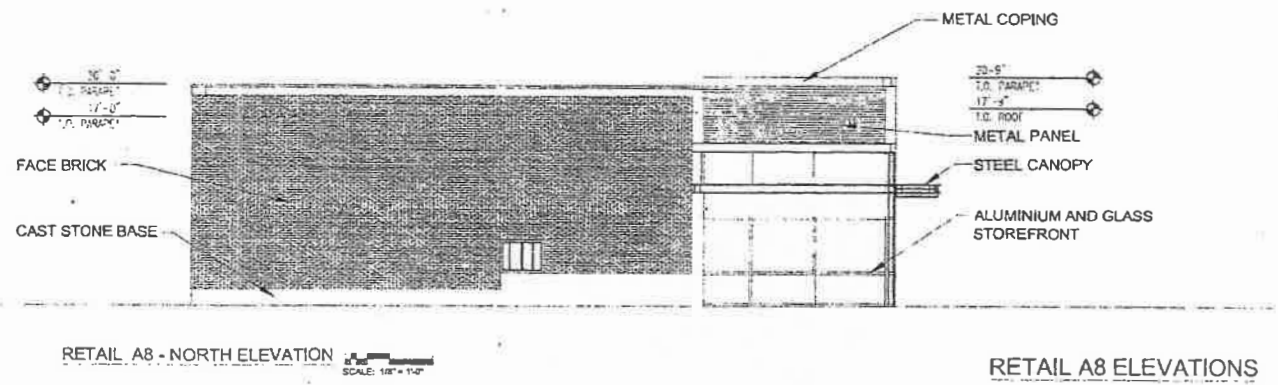
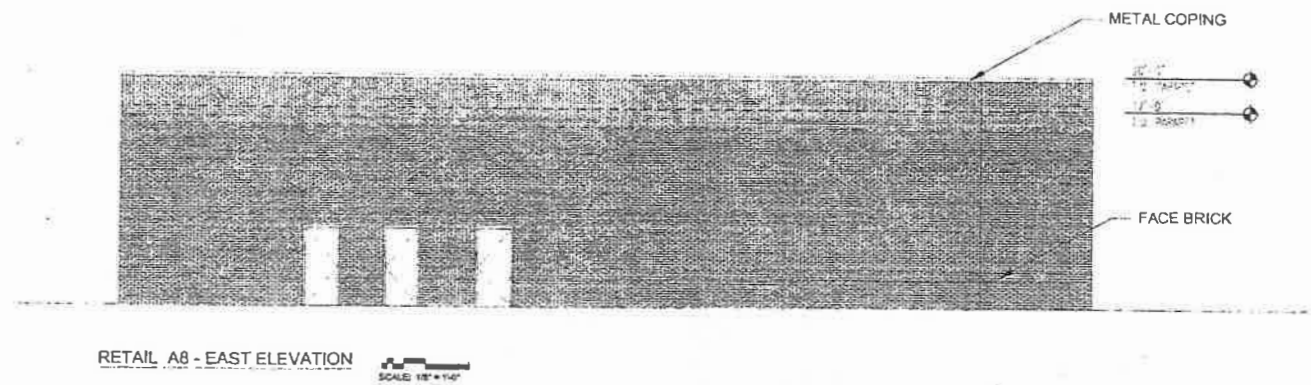
RETAIL A7 - EAST ELEVATION SCALE: 1/8" = 1'-0"



RETAIL A7 - NORTH ELEVATION SCALE: 1/8" = 1'-0"

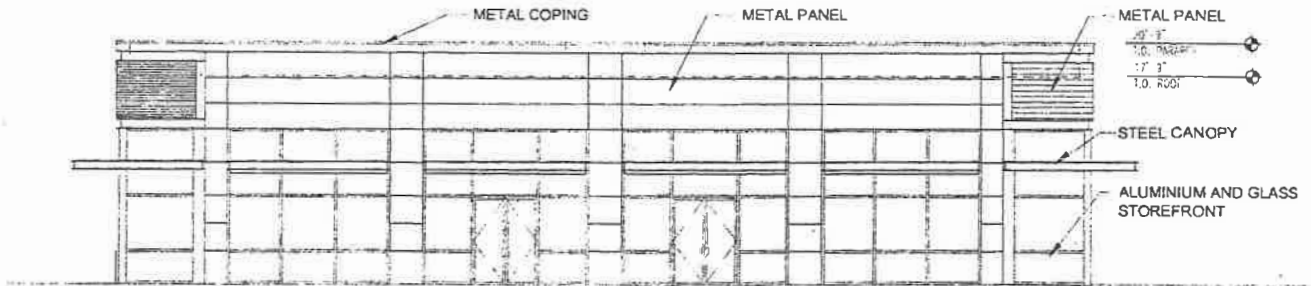
RETAIL A7 ELEVATIONS

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 20 W. MICHIGAN ST.
APPLICATION DATE: 12.31.2015
PLAN COMMISSION DATE: 02.16.2016



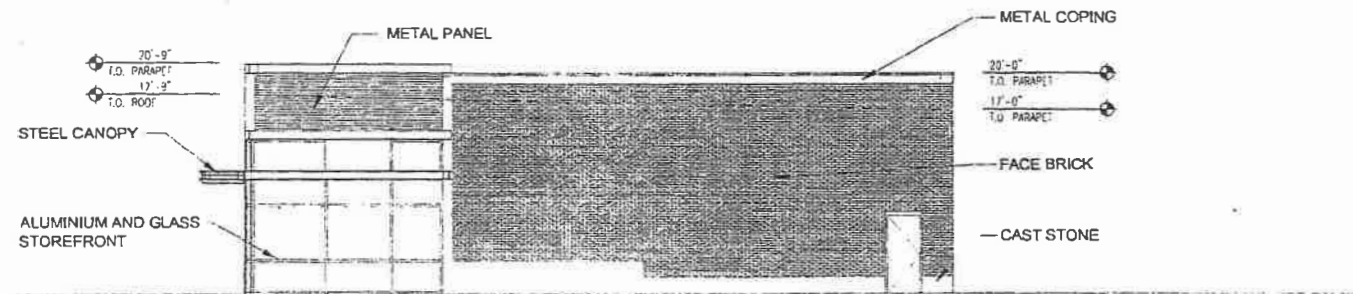
RETAIL A8 ELEVATIONS

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. MIDWAY ST.
APPLICATION DATE: 12.09.2015
PLAN COMPRESSION DATE: 03.16.2016



RETAIL A8 - WEST ELEVATION

SCALE: 1/8" = 1'-0"



RETAIL A8 - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

RETAIL A8 ELEVATIONS

APPLICANT: LAKE MEADOWS ASSOCIATES
ADDRESS: 33 W. NEWBOLD ST.
APPLICATION DATE: 12/05/2015
PLAN COMMISSION DATE: 02/18/2016



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 5, 2014

Andrew P. Scott
Dykema Gossett PLLC
10 S. Wacker Dr., Suite 2300
Chicago, IL 60606

Re: Administrative Relief request for Residential-Business Planned Development No. 1169, Subarea A2, Lake Meadows Shopping Center canopy signage, 3301, 3417-3459 South Dr. Martin Luther King Boulevard and 400 to 508 East 35th Street

Dear Mr. Scott:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 1169 ("PD 1169"), Subarea A2, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of PD 1169.

Your client and the property owner, Lake Meadows Associates, L.P., is seeking administrative relief to allow for tenant signage at the top of the canopy along the south and west elevations of the Lake Meadows Shopping Center, and as shown on the attached exhibits. While only tenant, Maxim Nails, is shown on the attached, you are requesting that this type of signage be allowed for all tenants along the entire south and west elevations. All future signage will be consistent in design and scale. Pursuant to the owner's sign regulations with their tenants, proposed signage will generally be limited to two feet in height and the width will be limited to the tenant's store frontage less two feet. Finally, as shown on historical photographs, the proposed signage is consistent with what originally existed at the Lake Meadows Shopping Center.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed tenant signage along the south and west elevations of the Shopping Center will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 1169, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

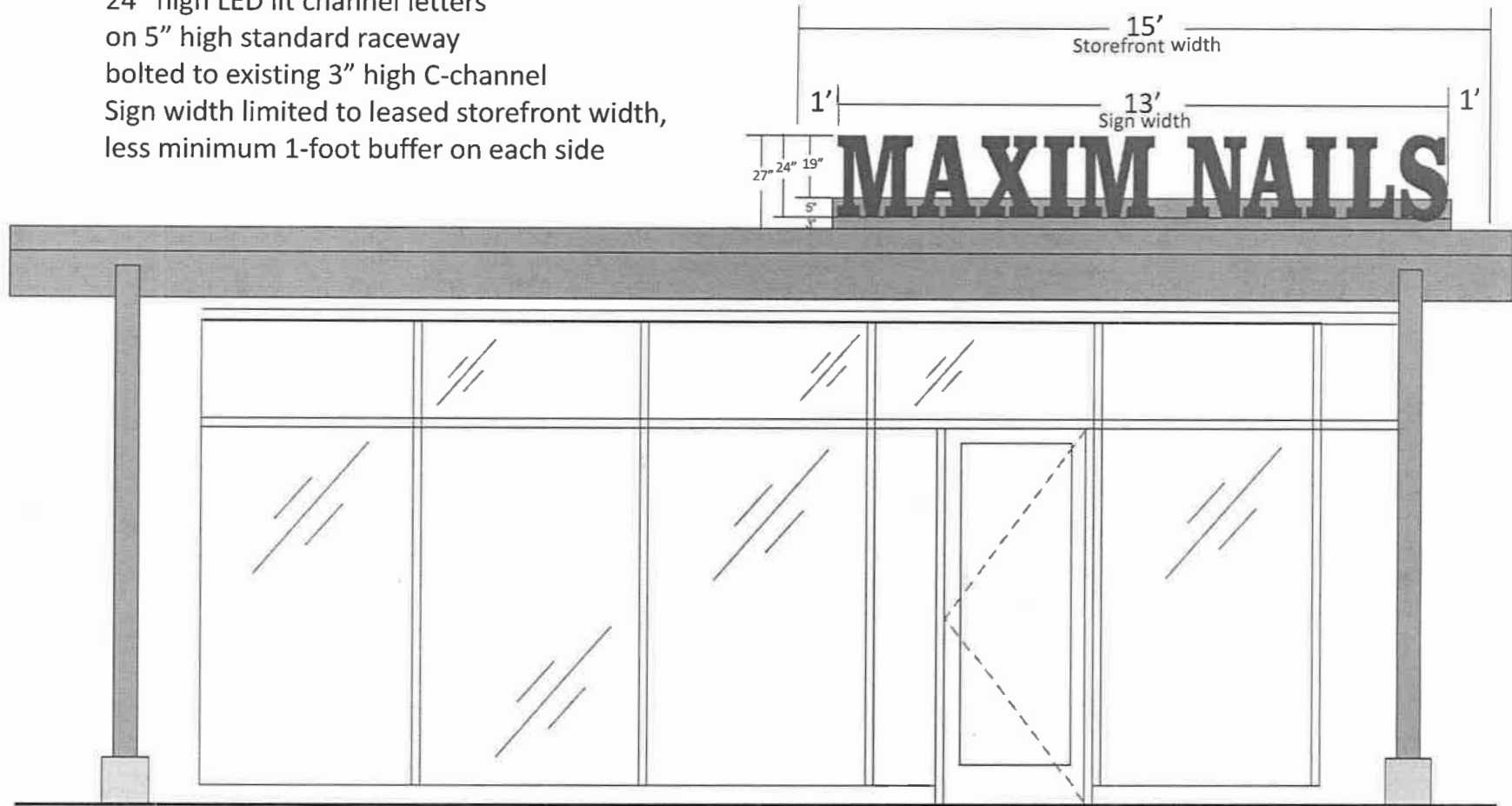
Patricia A. Scudiero
Zoning Administrator

C: Main file

Lake Meadows Retail B – Canopy Mounted Signage Specification – Elevation

Updated 30 September 2014

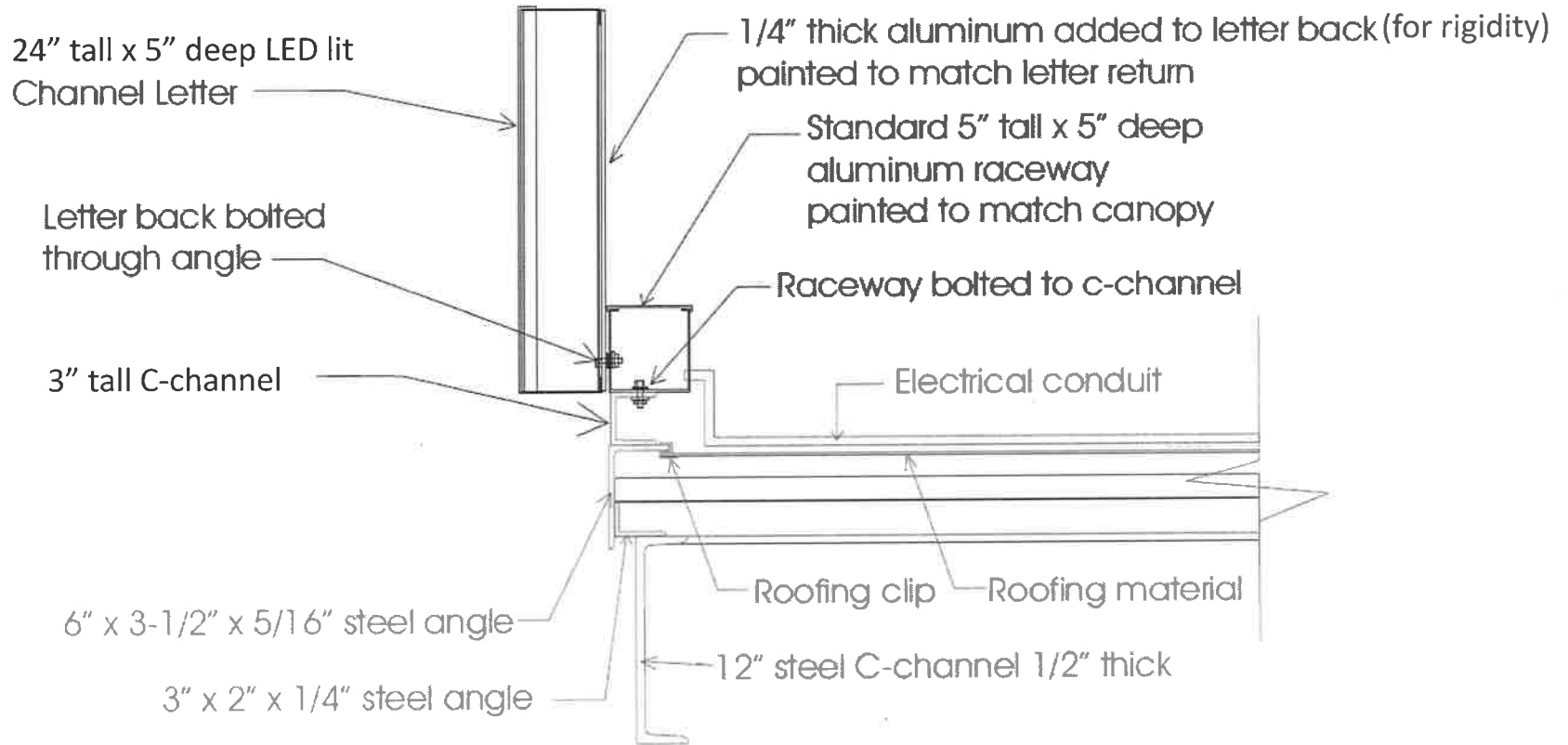
24" high LED lit channel letters
on 5" high standard raceway
bolted to existing 3" high C-channel
Sign width limited to leased storefront width,
less minimum 1-foot buffer on each side



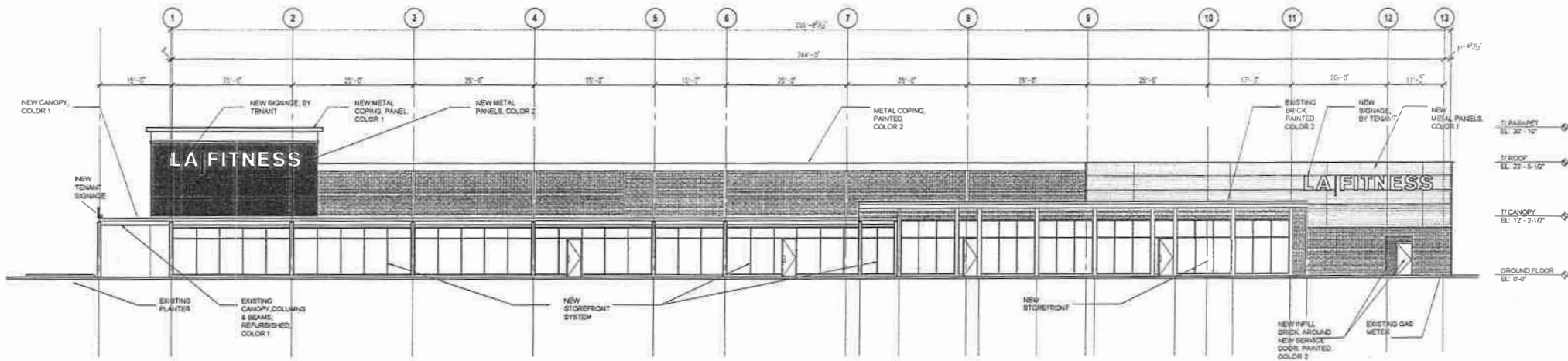
Scale 1/2" = 1'-0"

Lake Meadows Retail B – Canopy Mounted Signage Specification – Connection Detail

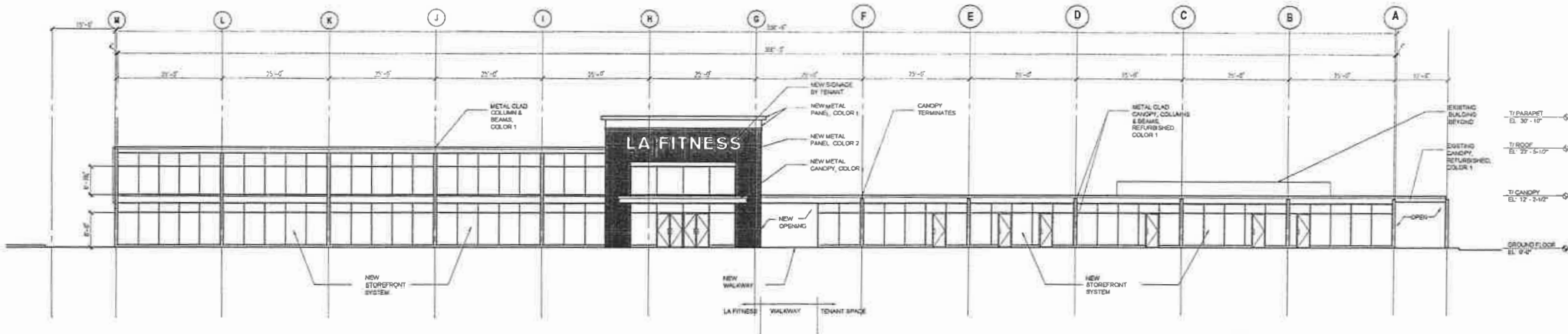
Updated 30 September 2014



Section View
Scale 2" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/32"=1'-0"



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

September 11, 2013

Andrew P. Scott
Dykema Gossett PLLC
10 S. Wacker Drive, Suite 2300
Chicago, IL 60606

**Re: Administrative Relief request for Residential-Business Planned Development No. 1169,
Subarea A2, Lake Meadows proposed LA Fitness**

Dear Mr. Scott:

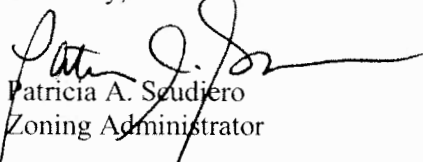
Please be advised that your request for a minor change to Residential-Business Planned Development No. 1169 ("PD 1169"), Subarea A2, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of PD 1169.

PD 1169 was passed on June 30, 2010 and approved extensive commercial redevelopment, including the replacement of all four existing buildings within Subarea A2. However, according to your request letter, market conditions do not support undertaking a full redevelopment of Subarea A2 at this time. A gym and fitness tenant, with a proposed 10-year lease, is seeking to occupy the existing building in the southeast quadrant of Subarea A2. They will occupy approximately 40,000 square feet of the building's total 62,000 square feet. Your client and the property owner, Lake Meadows Associates, L.P., is seeking an administrative relief to construct a roof and entry element on the western edge of the building as shown on the attached Proposed Roof Plan and Exterior Elevations, dated August 6, 2013.

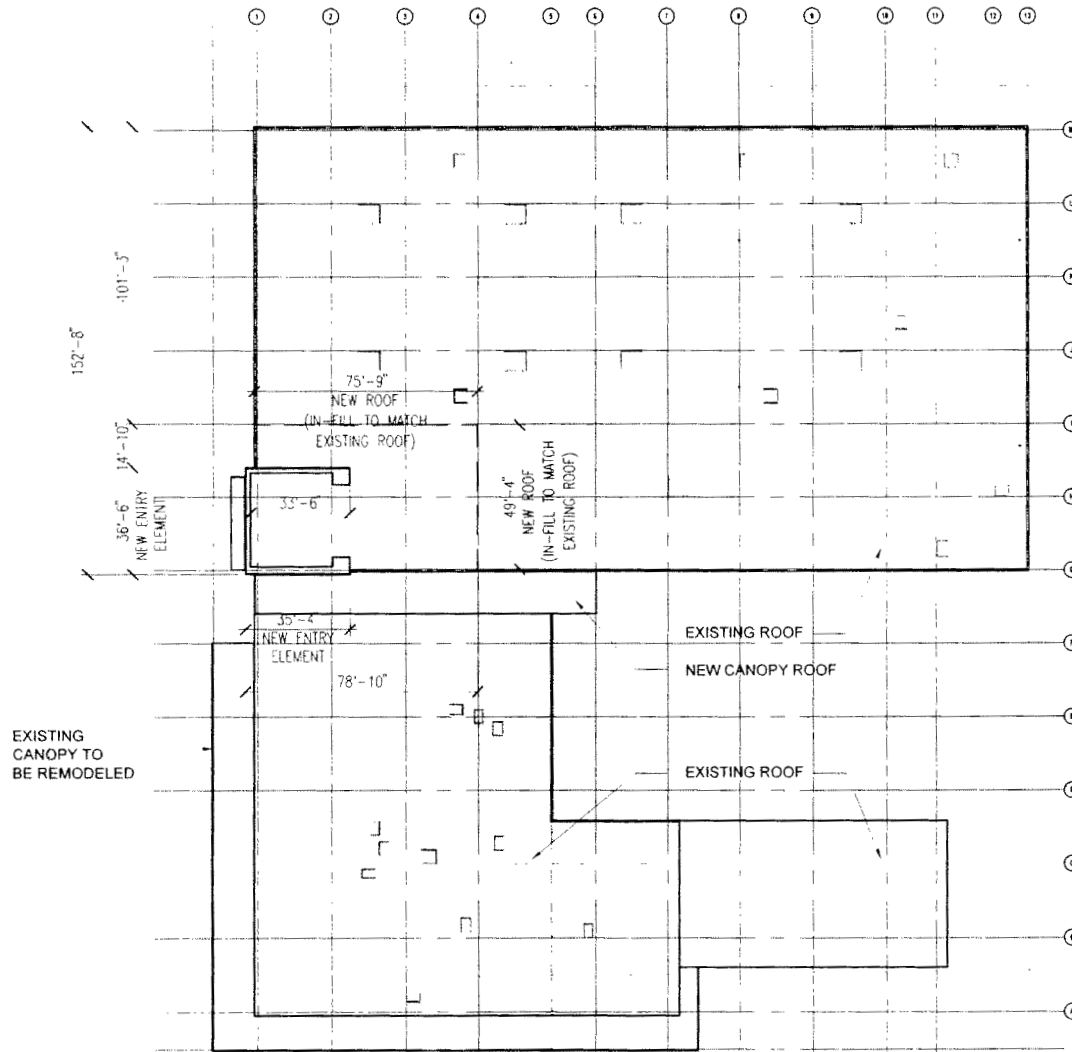
With regard to your request, the Department of Housing and Economic Development has determined that allowing the proposed roof and entry element will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 1169, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

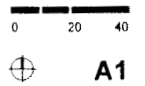

Patricia A. Scudiero
Zoning Administrator

C: Mike Marmo, Erik Glass, Fred Deters, Main file



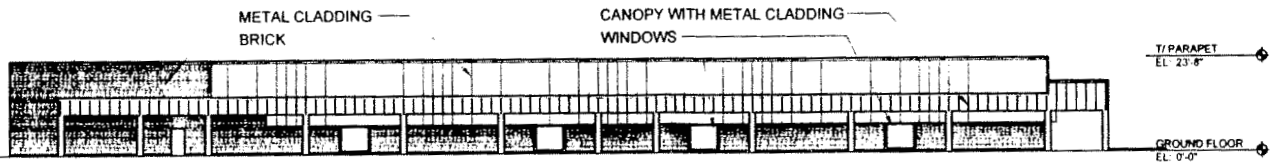
FOR ZONING REVIEW
 PROPOSED ROOF PLAN
 LAKE MEADOWS - RETAIL QUADRANT - RENOVATION
 DRAPER AND KRAMER / BRONZEVILLE

08.06.2013
 2013015.000

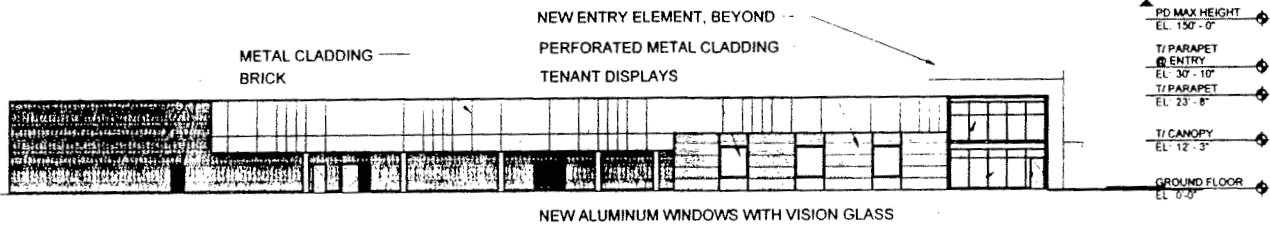


A1

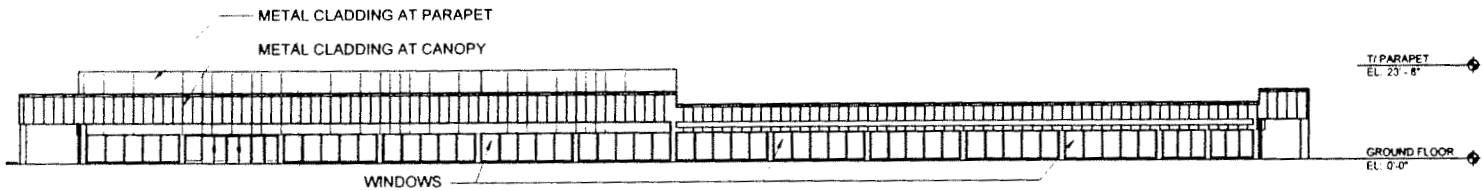




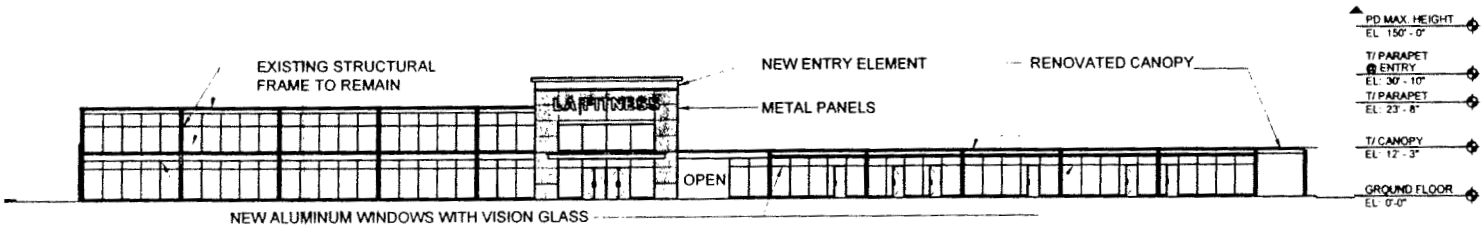
2A NORTH ELEVATION - EXISTING



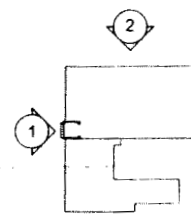
2B NORTH ELEVATION - PROPOSED



1A WEST ELEVATION - EXISTING



1B WEST ELEVATION - PROPOSED



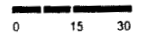
KEY PLAN

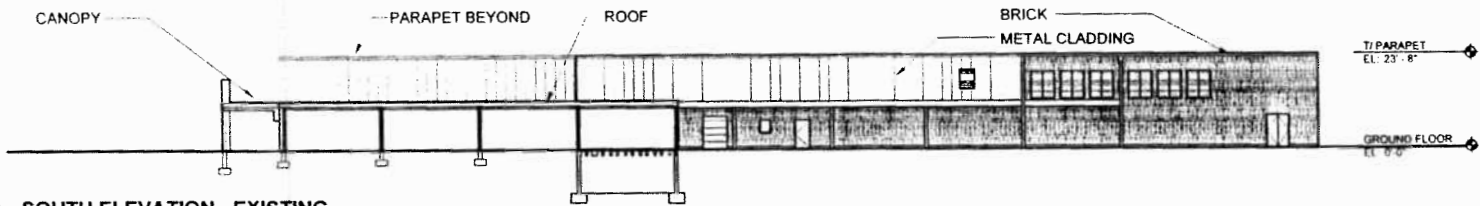


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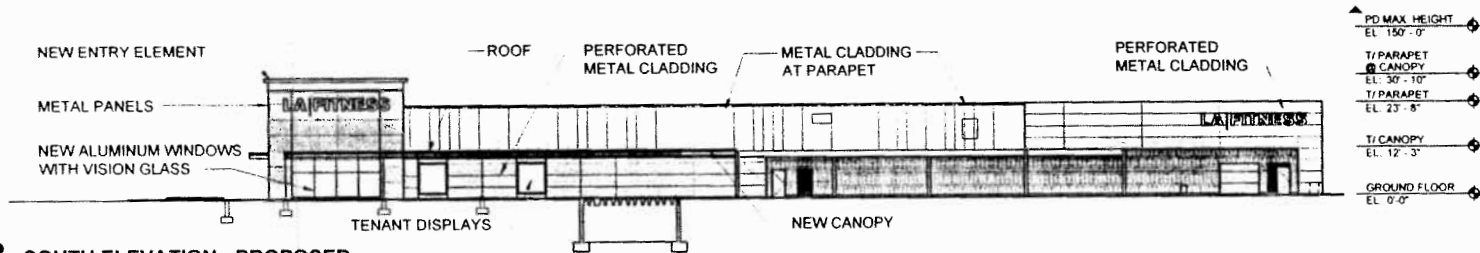
FOR ZONING REVIEW
 EXTERIOR ELEVATIONS
 LAKE MEADOWS - RETAIL QUADRANT - RENOVATION
 DRAPER AND KRAMER / BRONZEVILLE

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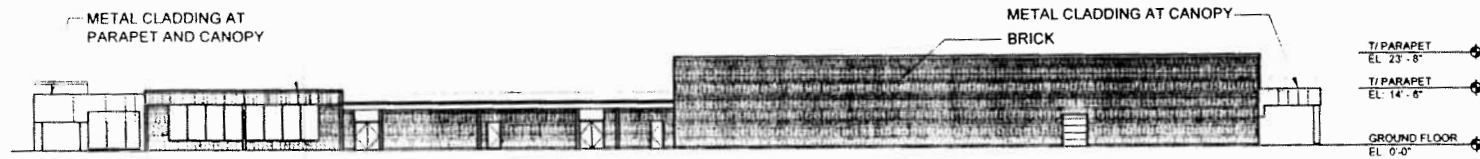




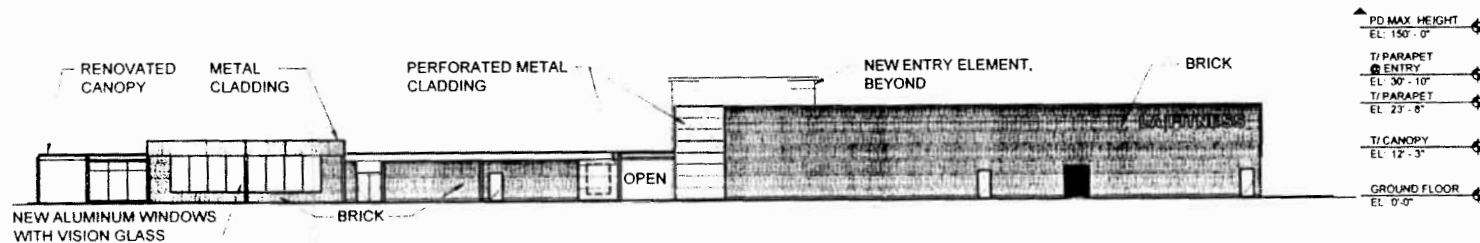
4A SOUTH ELEVATION - EXISTING



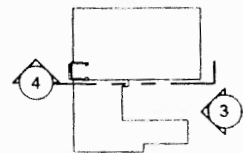
4B SOUTH ELEVATION - PROPOSED



3A EAST ELEVATION - EXISTING



3B EAST ELEVATION - PROPOSED



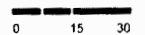
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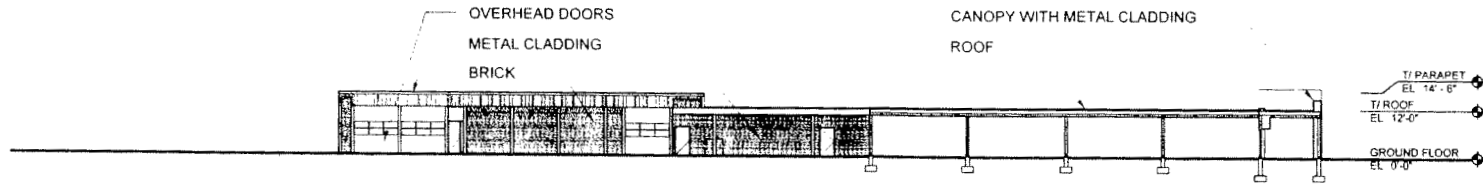


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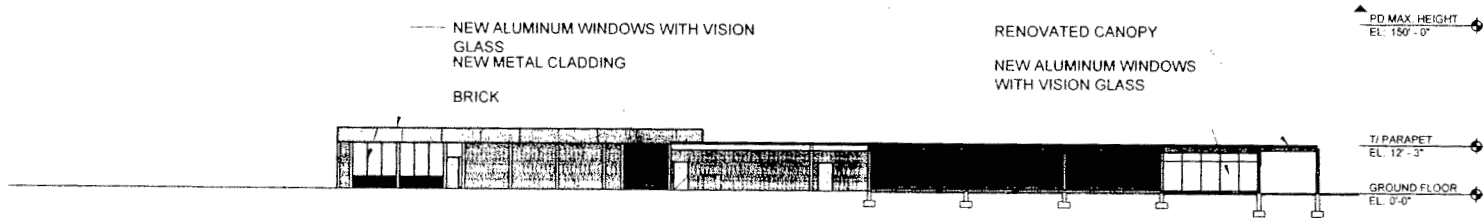
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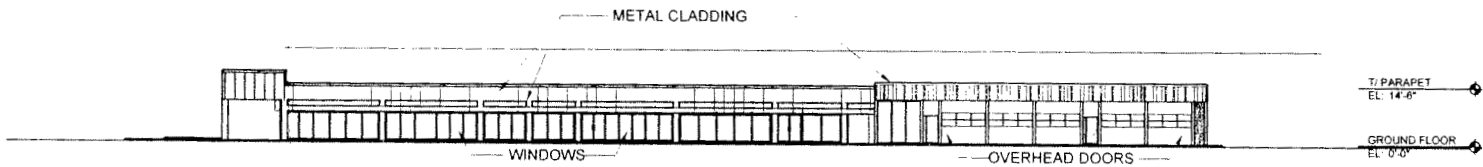




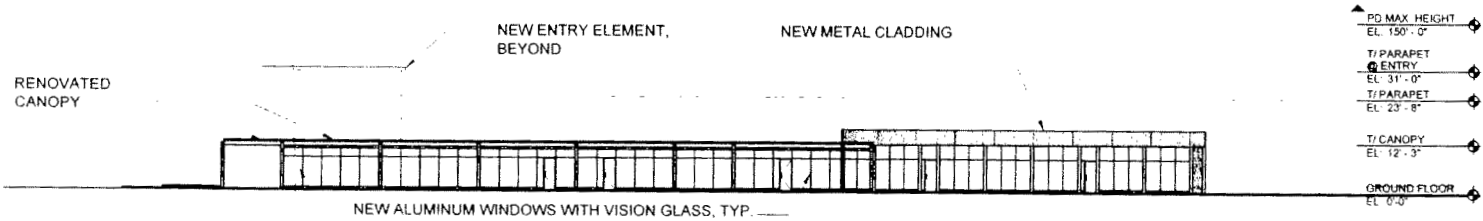
6A NORTH ELEVATION - EXISTING



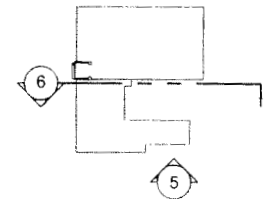
6B NORTH ELEVATION - PROPOSED



5A SOUTH ELEVATION - EXISTING



5B SOUTH ELEVATION - PROPOSED



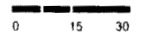
KEY PLAN



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FOR ZONING REVIEW
 EXTERIOR ELEVATIONS
 LAKE MEADOWS - RETAIL QUADRANT - RENOVATION
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08.06.2013



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A4



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

September 6, 2013

Andrew P. Scott
Dykema Gossett PLLC
10 S. Wacker Drive
Chicago, IL 60606

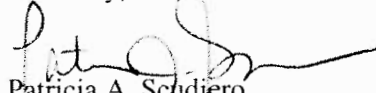
Re: Residential-Business Planned Development No. 1169, Subarea A2, Lake Meadows existing building renovation and proposed signage plan

Dear Mr. Scott:

Please be advised that we have reviewed your request seeking confirmation that no administrative relief is required for the renovation of an existing building within Subarea A2 of Residential-Business Planned Development ("PD 1169"). PD 1169 was passed on June 30, 2010 and approved extensive commercial redevelopment, including the replacement of all four existing buildings within Subarea A2. Your client and the property owner, Lake Meadows Associates, L.P. ("LMA"), continues to meet with perspective retailers and tenants, however, no redevelopment has occurred as of yet. A gym and fitness tenant, with a proposed 10-year lease, is seeking to occupy the existing building in the southeast quadrant of Subarea A2. They will occupy approximately 40,000 square feet of the building's total 62,000 square feet and LMA intends to construct a roof and entry element on the western edge of the building. However, since the existing building is non-conforming, an administrative relief is required in order to allow for its renovation.

Secondly, you are also requesting to allow 4x the street frontage for the maximum total sign area allowed within PD 1169. We have recently allowed several other large-scale commercial planned developments to increase their amount of signage based on the underlying zoning calculation's minimum and maximum allowed. Prior to the Planned Development designation, this site was rezoned B3-5 Residential Shopping District, which allows 4x the street frontage or 1,500 square feet, whichever is less. Due to the large amount of commercial use allowed in PD 1169, we will allow 4x the street frontage for the maximum total sign area allowed. However, since none of the commercial redevelopment approved within PD 1169 has occurred as of yet, the maximum allowed will be allocated as each individual site is developed. Also, please be advised that all existing signage is included in the maximum total sign area, including the approximately 3,440 square feet of retail signage you indicated currently exists. If you have any questions or need additional information, please contact Teresa McLaughlin at (312) 744-4891.

Sincerely,



Patricia A. Scudiero
Zoning Administrator

C: Fred Deters, Main file

16623

Reclassification Of Area Shown On Official On-Line Map.

(As Amended)

(Application No. 16623)

(Common Address: Area Between E. 31st St. And
E. 35th St., S. Dr. Martin Luther King, Jr. Dr.
And Illinois Central Railroad Trucks)

RBP10 1169

[SO2010-3075]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the RM6.5 Residential Multi-Unit District symbols and indications as shown on the official on-line map in the area bounded by:

the north boundary line of East 33rd Street; the west line of the Illinois Central Railroad right-of-way; a line 257.26 feet south of and approximately parallel to the north boundary line of East 33rd Street; and a line 205.44 feet west of the west line of the Illinois Central Railroad right-of-way line (as measured along the south boundary line of East 33rd Street),

to those of a B3-5 Residential Shopping District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the Residential Business Planned Development Number 15, as amended, symbols and indications as shown on the official on-line map in the area bounded by:

the southern boundary of East 31st Street; the western boundary of South Rhodes Avenue; a line 164.87 feet north of and approximately parallel to the north boundary of East 32nd Street; the west line of the Illinois Central Railroad right-of-way; the north boundary line of East 33rd Street extended east; the west boundary line of South Cottage Grove Avenue; the north boundary line of East 35th Street; the east boundary line of South Dr. Martin Luther King, Jr. Drive; a line 368.79 feet north of and approximately parallel to the north boundary line of East 32nd Street; the north boundary line of East 31st Place; and the east boundary line of South Vernon Avenue,

to those of a B3-5 Residential Shopping District.

SECTION 3. That the Chicago Zoning Ordinance be amended by changing all of the B3-5 Residential Shopping District symbols and indications with respect to the properties described in Section 1 and Section 2 above,

to those of a Residential-Business Planned Development.

SECTION 4. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 1169.

Plan Of Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development (the "Planned Development") consists of approximately three million sixty-three thousand nine hundred sixty-nine (3,063,969) square feet of Net Site Area (approximately seventy and thirty-four hundredths (70.34) acres) of property (the "Property"), together with certain portions of existing rights-of-way, as depicted on the attached Planned Development Boundary and Property Line Map. The Property is owned or controlled by Lake Meadows Associates, an Illinois limited partnership (the "Applicant"). The Planned Development is divided into Subareas (each, a "Subarea", and collectively, the "Subareas"), as indicated on the attached Subarea Map.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant. These Planned Development Statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant and approval by the Commissioner of the Department of Transportation ("C.D.O.T.") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Commissioner (the "Commissioner") of the Department of Zoning and Land Use Planning (the "Department") as a minor change to this Planned Development, provided such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant for approval by C.D.O.T., the Department and by the City Council at the time of request for such adjustments (and approved by C.D.O.T. and the City Council prior to the issuance of any Part II approval), and (c) shall not be deemed to confer any additional bulk, density or other development.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant and its successors, assigns and

grantees. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors, assigns and grantees (including any condominium or homeowners' association which may presently exist or hereafter be formed). References in this Planned Development to "Applicant" shall mean and include as applicable the Applicant's successors, assigns and grantees. The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as Lake Meadows Associates ("L.M.A.") owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the L.M.A. or such affiliate. Where portions of the improvements located on the Property have been or are hereafter submitted to the Illinois Condominium Property Act or any similar common interest community statute, or made subject to a private declaration governing a homeowners association, the term "owner" shall be deemed to refer solely to the condominium association, common interest community or homeowners association of such owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer (a "Transfer") of all or any portion of the Property or any rights, interests or obligations therein by the Applicant or any owner. Any party making application shall have the burden of establishing to the reasonable satisfaction of the Department that the consent of L.M.A. (or its affiliate) has been obtained, assigned or irrevocably waived. Upon any Transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust); provided, however, that the right of L.M.A. (or its affiliate) to authorize future amendments, modification or other changes (administrative, legislative or otherwise) to this Planned Development shall not be deemed to be amended or transferred unless the Applicant assigns such rights to the transferee in writing or otherwise irrevocably waives such rights. Nothing in this Statement 2 shall be construed in derogation of Section 17-1-1003 of the Zoning Ordinance.

4. This Planned Development consists of twenty (20) statements, and the following exhibits attached hereto (collectively the "Design Exhibits"):
 - (a) Planned Development Exhibits: Master Bulk Regulations and Data Table; Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Generalized Land-Use Plan; Site Plan; Landscape Plan; Subarea Plan; Subarea Maximum Height Plan; Subarea Maximum F.A.R./D.U. Plan; Public Roadway Plan; Vacations/Dedications Plan; Vehicular Access and Circulation Plan; Traffic Improvements Staging Plan; Typical Roadway Cross-Section; and Open Space Plan, all prepared by the Applicant and dated May 20, 2010.

- (b) (i) Subarea Exhibits (A1, A2, A3, B1, B2, B3, D and E): Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Future Development Context; Existing Development Context; Public and Private Roadways; Pedestrian Circulation; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimension; Buildings; Illustrative Massing Diagram; Parking and Loading, Open Space and Landscaping; Traffic Improvements; Vacations and Dedications; Maximum Building Envelope and Height; North and South Illustrative Elevations; East and West Illustrative Elevations; Building Materials; Facade Concepts; and Chicago Builds Green Form (Subarea A1 only), all prepared by the Applicant and dated May 20, 2010.
 - (ii) Subarea C Exhibits: Subarea Use, Bulk and Data Table; Surrounding Area Context; Existing Conditions/Site Location; Existing Development Context; and Traffic Improvements, all prepared by the Applicant and dated May 20, 2010.
 - (c) Site Plan Exhibits (Parcel A1-1.4): Site Plan; Landscape Plan; Roof Plan/Green Roof; Building Elevations; Building Sections; Vehicular and Service Access; Development Parcels and Blocks; Overall Building, Setback and Curb Cut Dimensions; Public and Private Roadways; Pedestrian Circulation; North and South Illustrative Elevations; East and West Illustrative Elevations; and Facade Concepts, all prepared by Camburas and Theodore, Architects, dated May 20, 2010.
 - (d) Full size copies of the Design Exhibits are on file with the Department. References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development, and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.
- 5. The maximum F.A.R. and number of dwelling units permitted in each Subarea are set forth in the Master Bulk Regulations and Data Table. The permitted uses, floor area ratio, number of dwelling units, building height, setbacks, parking and bicycle parking requirements for each Subarea are set forth in each Subarea's Use, Bulk and Data Table included in the Design Exhibits, and as further explained in the notes to each of such tables. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply. The Property was zoned B3-5 immediately prior to the City Council's adoption of this Planned Development.

6. Changes in the boundaries of Subareas shall require an amendment to these Statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premises signs are prohibited within the boundaries of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. (a) All ingress and egress shall be subject to the review and approval of C.D.O.T. and the Department. Closure of all or any public street or alley during demolition or construction, and the conditions and timing for acceptance of any new public roadways or improvements that are to be constructed and dedicated, shall be subject to the review and approval of C.D.O.T.. All work proposed in the public way must be designed and constructed in accordance with the C.D.O.T. Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the C.D.O.T. Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach.

Any dedication, vacation of public streets, alleys or easements, subdivision or any other adjustments of the public rights-of-way contained within a particular Part II submittal (collectively "Public Way Adjustments") shall be approved by City Council prior to the issuance of any final Part II approval. Subject to the foregoing, the City's election to defer the dedication of any land, or the dedication and acceptance of any new public roadways or improvements until the same have been fully constructed and approved, shall not otherwise delay or prevent the Department's issuance of any Part II approval.

(b) In connection with the Applicant's submittal of any plats, Final Subarea Plans and Site Plans in accordance with Statement 10 below, C.D.O.T. shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). (The term "project" as used in this Planned Development shall mean the subject of an application for Site Plan approval, which may consist of one or more buildings, unless the context indicates otherwise.)

(c) Applicant, at its own expense, agrees to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third party construction inspection services to assist C.D.O.T. in its review and approval of any plats, Final Subarea Plans, and Site Plan submissions (which approvals shall be a

condition precedent to the Department's issuance of any applicable Part II approval). C.D.O.T. must approve the applicable consultant, which shall report to C.D.O.T.. Recommended traffic and engineering measures shall be included in the design review process and implemented.

(d) A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.

10. This Statement 10 describes the procedures and approvals that shall govern the review and approval by the Department and, when applicable, the review and approval of the Chicago Plan Commission or the City Council, or both the Chicago Plan Commission and the City Council, whenever the Applicant undertakes any development project on the Property.

(a) Final Subarea Plan. At the time the first development project in a given Subarea (or one or more Subareas) is undertaken, the Applicant shall file with the Department a preliminary plat of subdivision for said Subarea(s) and a Final Subarea Plan (the "Final Subarea Plan") for such Subarea(s) along with an application for Site Plan Review pursuant to Statement 10(b) hereof. Such filing requirements shall not apply to Subarea A1, which is being approved as part of this Planned Development. The Final Subarea Plan shall govern such first development project and (unless amended pursuant to this Statement 10(a) all subsequent development projects thereafter constructed in such Subarea. The preliminary plat of subdivision shall include, without limitation, proposed lot dimensions. After incorporating any City comments received during the review process described in these Statements, and prior to any Part II approvals, the Applicant shall thereafter submit to the City Council for approval a final plat of subdivision for the subject Subarea (and such additional Subarea(s) as the Applicant may elect to include in such plat) which conforms, with the Final Subarea Plan for the Subarea so subdivided. The City Council's approval of such plat of subdivision, and the recording of such plat, shall, if required under the Illinois Plat Act, be a condition precedent to the Applicant's conveyance of any property within such Subarea. Upon such recording, the Applicant shall promptly deliver a copy of the recorded plat to the Department for filing with this Planned Development. The Applicant's failure to comply with such approval and recording requirements shall be the basis for the Department to withhold any further Part II approvals until such requirements are satisfied.

The Final Subarea Plan filing shall include the following:

- (i) A dimensioned Subarea Plan including the following with respect to such Subarea (and any subparcels designated therein, if any):

1. all public rights-of-way that are proposed to be dedicated or opened, and all private rights-of-way,

2. dimensioned setback lines,
 3. all off-street parking and service areas, both accessory and non-accessory;
 4. all open space, site buffer, detention and recreational facilities;
 5. sites for any schools, libraries, police stations or other public facilities, if any; and
 6. dimensioned green roof plans, as set forth in Statement 14;
- (ii) A detailed, dimensioned Subarea site plan including:
1. all sidewalks (including the width of paved surfaces);
 2. all roads, streets, alleys (all identified as public or private), including the right-of-way width, the width of paved surfaces, street intersection details, and all curb cuts;
 3. dimensioned building sites, dimensioned setback lines, the proposed use of each building site, and indication of the maximum building height, F.A.R. and residential unit count for each building site;
 4. all off-street parking and service areas, both accessory and non-accessory; and
 5. fully dimensioned parking plans, loading areas, and landscape plans (which landscaping may be planned and constructed in phases).
- (iii) Preliminary engineering plans including the following:
1. sanitary and storm sewer lines and systems (identified as public or private);
 2. water lines and water supply systems (identified as public or private); and
 3. street lighting (identified as public or private) and lighting systems.
- (iv) Illustrative Subarea building elevations and locations for all of the buildings to be constructed in such Subarea including the following:
1. illustrative elevations for all buildings to be located within the applicable

Subarea (including axonometric or 3-D exhibits), which buildings shall be consistent with the floor area ratio, building height, dwelling unit, setback and parking space requirements permitted or required in the applicable Subarea.

2. although final elevations for the buildings to be constructed shall not be required at the Final Subarea Plan approval stage except for the building requesting site plan approval, the massing, the entrances, and maximum building heights and window design should be addressed, and depictions and explanations provided describing how the buildings to be constructed incorporate the pedestrian-orientation, urban design, building design and green design standards and guidelines set forth in Sections 17-8-0905, 17-8-0906, 17-8-0907 and 17-8-0908 of the Chicago Zoning Ordinance, respectively.

- (v) For the Final Subarea Plan for Subarea D only, the information required under Statement 17(e).

The Final Subarea Plan shall be submitted and processed as an amendment to the Planned Development pursuant to Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance. As such, the Final Subarea Plan shall be subject to the review and approval of the Department and such other bureaus, departments or agencies as the Commissioner deems appropriate; (which may include, but are not limited to, C.D.O.T., the Department of Water Management ("D.W.M."), the Fire Department and the Mayor's Office on Persons With Disabilities ("M.O.P.D.") (as applicable, the "Affected City Departments"), the Chicago Plan Commission, the Zoning Committee and the City Council, as described in such Section 17-13-0602 through Section 17-13-0610. Each Final Subarea Plan submitted shall propose "sunset" requirements applicable to such Subarea for City Council approval and for the continued effectiveness of this Planned Development as to Subareas where the zoning of this Planned Development remains subject to lapse and voiding. A Final Subarea Plan must be approved prior to, or concurrently with, the approval of any Site Plans submitted and processed pursuant to Statement 10(b) below.

(b) Site Plans. Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and the Final Subarea Plan in accordance with the provisions hereof, excluding Site Plan review for the Subarea A1-1.4 project described in Statement Number 4(c) hereof, which is being approved as part of this Planned Development. No Site Plan approval shall be required for alterations to existing buildings that do not increase their height or alter their footprint and no Site Plan approval shall be required for demolition or site work. If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's subarea, the Applicant shall provide an exhibit showing lot sizes and boundaries for such project. The Applicant shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, the following:

- i. the Gross Site Area;
- ii. the Net Site Area;
- iii. the square feet of floor area of each proposed building;
- iv. the amount of F.A.R. utilized out of the maximum F.A.R. permitted in such Subarea;
- v. the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- vi. the number of dwelling units to be constructed and the maximum number of dwelling units permitted under Design Exhibits applicable to such Subarea;
- vii. the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- viii. the site area attributable to all residential open space, if applicable; and
- ix. The number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Subarea Use, Bulk and Data Table, as applicable.

Except to the extent previously depicted in (and unchanged from) the applicable Final Subarea Plan, the Applicant shall also provide site plan documents illustrating: all building location(s); curb cuts; sidewalks; parking and loading areas; landscaping, lighting and signs; fencing and outdoor storage areas; and waste storage and compacting facilities. A map of surrounding land uses and buildings for a distance of one block in all directions also must be provided. Final elevations must be provided for the proposed building(s). Building materials for the proposed building(s) must also be specified.

(c) Under Chapter 2-44-090 of the Municipal Code (the "Affordable Requirements Ordinance"), the City Council's approval of this Planned Development constitutes a rezoning of lots to permit a higher floor area ratio than previously permitted. As a result, under the Affordable Requirements Ordinance, the Applicant is obligated to either (i) establish at least ten percent (10%) of the residential dwelling units constructed after the date of such approval on the Property as affordable housing within the meaning of, and as governed by, the Affordable Requirements Ordinance or; (ii) in lieu of establishing such affordable housing, the Applicant may make payments in accordance with the requirements of Section (d)(1) of the Affordable Requirements Ordinance. As part of the Site Plan review and approval process for any application proposing the construction of a building containing residential dwelling units, the Applicant shall also provide, for the review and approval of the Department of Community Development (or any successor department thereto), such information, documents and agreements as

may be required under the Affordable Requirements Ordinance to assure that such required affordable housing units are provided and maintained or, in lieu thereof, that such payments are provided.

(d) The Site Data Table shall also incorporate a Chicago Builds Green Form/Sustainable Features table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the Department and such Affected City Departments as the Commissioner deems appropriate before issuance of any Part II approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the applicable Final Subarea Plan.

(e) If, after City departmental review, the Commissioner determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan trigger or exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance as applicable to the B3-5 zoning district, then the Site Plan must be reviewed by the Chicago Plan Commission, during a public meeting and shall not require review and approval by the City Council. The threshold for Tall Buildings under Section 17-8-0512-A of the Chicago Zoning Ordinance shall be eighty (80) feet, irrespective of ground floor commercial space.

(f) If such mandatory thresholds are not triggered, met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review and where applicable, Plan Commission review, the Commissioner determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Commissioner. If, after City departmental review, the Commissioner determines that the Site Plan is not in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Commissioner shall advise the Applicant in writing of how the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan. In such case, the Applicant shall be given an opportunity to submit revised Site Plans. If the Commissioner finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan, the Applicant then shall be required to amend the Final Subarea Plan in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Statement Number 13 hereof, if applicable.

The Department hereby approves the site plan for Subarea A1-1.4, consisting of the drawings and materials set forth in Statement Number 4(c) hereof, as in substantial compliance with the approved Subarea A1 Final Subarea Plan. Additionally, the Subarea A1 -- Parcel 1.1.4 Site Plan represents the first project to be approved pursuant to the Subarea A1 Final Subarea Plan. No further City Council or Department approval of the Subarea A1 Final Subarea Plan shall be required for future projects submitted for Site Plan approval in Subarea A1; provided, however, that each such future project shall substantially comply with the approved A1 Final Subarea Plan.

12. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's storm water management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) The Applicant, at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.

13.
 - (a) The Part II Review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II review. Such fee shall be determined and assessed by the Department at the time of each and every Part II Review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II approval.
 - (b) Following Part II Review and approval by the Commissioner, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development.
 - (c) The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property.
 - (d) Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
 - (e) Any interim reviews associated with Site Plan approvals or Part II Reviews, are conditional until final Part II Approval.

14. Subject to the other terms and conditions of these statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner: (i) upon application and a determination by the

in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Section 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the Net Site Area of or dwelling units permitted in other Subareas or the Planned Development as a whole); and (ii) provided such modification, and the improvements contemplated thereby, are consistent with the character of the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

15. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any Subarea shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the date of submittal of Site Plans pursuant to this Planned Development.
16. Open Space B2-2.1, as set forth in the Subarea Plan for Subarea B2, consists of one hundred fifty-three thousand six hundred fifty-five (153,655) square feet (approximately three point five three (3.53) acres), and Open Space E-1.1, as set forth in the Subarea Plan for Subarea E, consists of eighty-six thousand eight hundred twenty-two (86,822) square feet (approximately two point zero (2.0) acres). Open Space B2- 2.1 and Open Space E-1.1 shall be dedicated to the Chicago Park District ("C.P.D.") and the parks and improvements thereon must be designed and constructed to C.P.D. standards. Any conveyance of such open space to the C.P.D. shall be subject to the approval of the C.P.D. and a resolution or ordinance issued by the C.P.D. Board of Commissioners must be provided to the Department to evidence such dedication, conveyance and acceptance.
17. (a) The Applicant shall have substantially completed installation, and made publicly available, either Open Space B2-2.1 (located in Subarea B2) or Open Space E-1.1 (located in Subarea E), no later than twelve (12) months after the date that Part II Approval has been issued for two thousand three hundred fifty-four (2,354) or more new dwelling units (thirty percent (30%) of total permitted units) since the date of adoption of this Planned Development. The date of completion as aforesaid shall be subject to a six month extension as necessary to accommodate the growing season.

(b) The Applicant shall have substantially completed installation, and made publicly available, either Open Space B2-2.1 (located in Subarea B2) or Open Space E-1.1 (located in Subarea E), whichever was not installed pursuant to Statement 17(a) above, no later than the date that is twelve (12) months after the date that Part II Approval has been issued for four thousand seven hundred seven (4,707) or more new dwelling units (sixty percent (60%) of total permitted units) since the date of adoption of this Planned Development. The date of completion as aforesaid shall be subject to a six (6) month extension as necessary to accommodate the growing season.

(c) The location, configuration and boundaries of Open Space A3-1.2 (consisting of zero point eight (0.8) acres) and Open Space E-2.3 (consisting of zero point seven (0.7) acres), as depicted in the applicable Design Exhibits, are preliminary. So long as the minimum amount of site area attributable to each such Open Space

remains substantially as required above, the location, configuration and boundaries of each may be modified at the election of the Applicant, with the concurrence of the Department; provided, however, that each such Open Space, as its location, configuration or boundary may have been modified, shall be located wholly within its applicable Subarea or adjacent Subarea. Any such modifications shall be reflected in the applicable Site Plan Approvals, when and as submitted for such approval. The Open Spaces described in this Statement 17(c) shall be clearly lit and signage shall be appropriately placed indicating the site is publicly accessible from sunrise to sunset. The Applicant shall be responsible for all development, management, maintenance repair and replacement costs associated with the such Open Spaces.

(d) The Applicant shall have substantially completed installation, and made publicly available:

- (i) Open Space E-2.3 (consisting of zero point seven (0.7) acres), located in Subarea E, not later than twenty-four (24) months after issuance of Part II Approval for any buildings in Parcel 2.2 having in aggregate not less than four hundred forty-nine thousand nine hundred sixty-two (449,962) square feet (i.e., thirty percent (30%) of Parcel 2.2's floor area as specified in Subarea E's Use, Bulk and Data Table).
- (ii) Open Space A3-1.2 (consisting of zero point eight (0.8) acres), located in Subarea A3, not later than twenty four (24) months after issuance of Part II approval for buildings in Parcels 1.1, 1.3 and 1.4 having in aggregate not less than four hundred twenty-one three hundred seventy-nine (421,379) square feet (i.e., thirty percent (30%) of the total combined floor area attributable to Parcels 1.1, 1.3 and 1.4, as specified in the Subarea A3's Use, Bulk and Data Table).
- (iii) The dates of completion as aforesaid shall be subject to a six (6) month extension as necessary to accommodate the growing season.

(e) Nothing in this Planned Development shall preclude the Applicant from seeking and obtaining Open Space Impact Fee Credits for any Qualifying Open Space pursuant to the Open Space Impact Fee Administrative Regulations and Procedures promulgated by the Commissioner pursuant to Section 16-18-110 of the Municipal Code of Chicago and the "Notice to Residential Developers Regarding New Open Space Impact Fees", last revised by the City on April 6, 1998, as either may be amended from time to time.

(f) As part of the Final Subarea Plan for Subarea D, the Applicant shall provide preliminary engineering drawings and such other information as the department may reasonably require to evidence the design, elevations and plans for the construction of the public pedestrian bridge and footpath (the "33rd Street Improvements") depicted in the Subarea D exhibits, including, without limitation, the C.P.D.'s approval of such designs, elevations and plans. The Applicant shall be obligated to substantially complete construction of the 33rd Street Improvements within twenty-four (24) months of the issuance of Part II Approval for the third high-rise building in Subarea D. No Part II Approval for a fourth high-rise building in Subarea D shall be issued until construction of the 33rd Street Improvements has substantially commenced. If the

Applicant, however, after twelve (12) months of diligent and good faith efforts at the Applicant's own expense, certifies in writing to the Department that the Applicant has been unable to secure the real property interests, governmental approvals, and third party approvals and agreements necessary to construct the 33rd Street Improvements, then, in lieu of constructing such improvements, the Applicant may instead substantially commence construction of the open space required under Statement 17(a) (if it has not previously been constructed) or Statement 17(b) (if the open space required under Statement 17(a) has been previously constructed) within twenty-four (24) months of the issuance of Part II Approval for the third high-rise building in Subarea D. Upon such substantial commencement of construction (and assuming that the Applicant does not thereafter cease or abandon such construction efforts, but thereafter diligently constructs such open space), the Applicant shall be entitled to obtain Part II Approval for the fourth high-rise building in Subarea D.

18. As of the date of adoption of this Planned Development, the various portions of the Property (now defined as Subareas A1, A2, A3, B1, B2, B3, C, D and E) are improved with existing improvements and operated with existing uses. Subarea C is improved with, among other things, multiple townhouses, single-family homes and a condominium building containing dwelling units; and the owners, ground lessees and operators of Subarea C use said improvements and conduct other uses and operations within Subarea C (collectively, the "Subarea C Uses and Improvements"). The remaining portions of the Property are improved with, among other things, multiple residential buildings containing nearly two thousand (2,000) residential dwelling units, multiple commercial and retail buildings and surface parking lots; and the owners and operators of these portions of the Property use said improvements and conduct other uses and operations within said portions of the Property (collectively, the "Lake Meadows Uses and Improvements"). (The Subarea C Uses and Improvements and the Lake Meadows Uses and Improvements may collectively be referred to herein as the "Existing Uses and Improvements").
19. The F.A.R. and number of dwelling units attributable to buildings existing on the Property on the date of this Planned Development shall, until the demolition of any such buildings, continue to be included in the calculations of maximum F.A.R. and dwelling units. If the F.A.R. or number of dwelling units of an existing building located in a given Subarea is less than allowed in the Subarea, then new F.A.R. and/or dwelling units, as the case may be, shall be allowed in such Subarea up to the applicable maximums. If the F.A.R. or number of dwelling units of any existing building(s) in Subarea B1 is equal to or more than such Subarea's applicable maximums under this Planned Development, then no new F.A.R. or dwelling units, as the case may be, may be constructed in such Subarea until sufficient F.A.R. and dwelling units are removed so as to permit the construction of new dwelling within the limitations set forth in this Planned Development applicable to Subarea B1. Notwithstanding the foregoing, a maximum of fifty (50) new dwelling units shall be permitted within that portion of Subarea B1 bounded by the northern boundary of Subarea B1 (Olivet Baptist Church); the north-south alley east of Dr. Martin Luther King, Jr. Drive; East 33rd Street; and Dr. Martin Luther King Drive, Jr.. A sufficient amount of F.A.R. to accommodate such new dwelling units shall also be permitted.
20. (a) This Planned Development shall lapse and be null and void unless Substantial

20. (a) This Planned Development shall lapse and be null and void unless Substantial Construction (as defined below) has occurred in Subarea A1 within six (6) years of the date of the City Council's approval of this Planned Development (as such date may be extended pursuant to Statement 20(d) below, the "Initial Expiration Date"). "Substantial Construction" shall mean and be evidenced by the (i) issuance of Part II Approvals; (ii) commencement of substantial construction; and (iii) the continued proceeding of such construction with reasonable diligence for not less than seventy-five thousand (75,000) square feet of permitted improvements in Subarea A1. The Applicant shall supply the Department with such documents requested as may be reasonably necessary to evidence compliance with such Substantial Construction requirements (such requirement, the "Substantial Construction Requirements").

(b) If the Substantial Construction Requirements are not satisfied as to Subarea A1 by the Initial Expiration Date, then this Planned Development shall thereafter lapse and become void and the zoning classification of the entire Property shall automatically revert to the B3-5 zoning classification in place immediately prior to the passage of this Planned Development.

(c) If the Substantial Construction Requirements are satisfied as to Subarea A1 by the Initial Expiration Date, then (1) the zoning established pursuant to this Planned Development for Subarea A1 shall not thereafter be subject to expiration, but (2) the zoning established pursuant to this Planned Development as to the remaining Subareas shall thereafter lapse and become void and shall automatically revert to the B3-5 zoning classification in place immediately prior to the passage of this Planned Development unless the Applicant thereafter obtains City Council approval for a Final Subarea Plan for a second Subarea in accordance with Section 10(a) prior to the Initial Expiration Date.

(d) The Initial Expiration Date may be extended for up to one additional year if, before expiration, the Applicant makes written request for such an extension explaining the good cause for such an extension, the Commissioner determines that good cause for an extension has been shown, and the Commissioner issues a written extension letter.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Generalized Land-Use Plan; Site Plan; Subarea Plan; Subarea Maximum Height Plan; Subarea Maximum F.A.R./D.U. Plan; Public Roadway Plan; Vacations/Dedications Plan; Typical Roadway Cross-Section; Open Space Plan; and Subarea Exhibits referred to in these Plan of Developments Statements printed on pages 95840 through 96059 of this *Journal*.]

Master Bulk regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Subarea	Estimated Net Site Area		Maximum F.A.R. (see Note 1)	Maximum Dwelling Units (see Note 1, 2 and 4)
	Square Feet	Acres		
A1	314,527	7.22	3.96	741
A2	730,328	16.77	2.39	809
A3	372,932	8.56	3.76	646
B1	311,804	7.16	2.90	479
B2	226,213	5.19	3.53	536
B3	337,069	7.74	12.12	2,291
C	207,921	4.77	1.90	201
D	257,433	5.91	12.12	1,990
E	305,742	7.02	4.91	917
Total Subarea Max. (Incl. 10%) (See Note 1)			4.96	8,609
OVERALL MAXIMUM	3,063,969	70.34	4.52	7,845

Note 1. The Subarea aggregate maximum F.A.R. of 4.52 and maximum number of dwelling units of 7,845 is referred to herein as the "Base Amount". To provide flexibility among the Subareas, the maximum amount of F.A.R. and the maximum number of dwelling units allowed in each Subarea set forth in the chart above is 10% higher than the Base Amount. Any individual Subarea may be developed to the maximum F.A.R. or maximum dwelling units allowed in the chart above; provided, however, that in no event and at no time shall the Base Amount F.A.R. or dwelling units be exceeded. Accordingly, where the construction of any amount of F.A.R. or any number of dwelling units would otherwise cause the applicable Base Amount within the total Property to be exceeded, the availability of F.A.R. or number of dwelling units within the total Property must be reduced by the amount necessary to avoid exceeding the Base Amount.

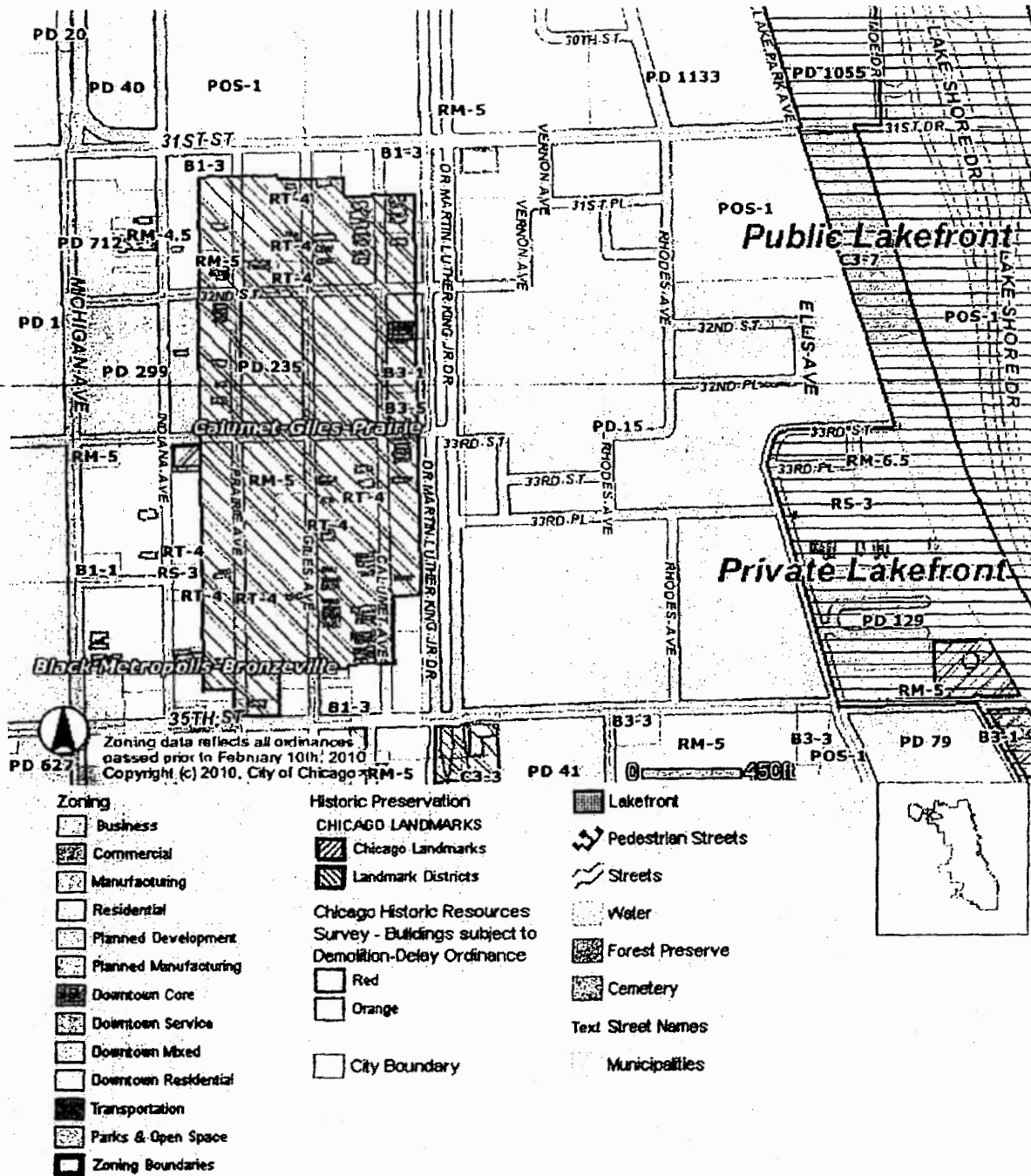
Note 2. Two hotel units shall be equal to one dwelling unit; the maximum number of hotel units shall not exceed 2,000 units.

Note 3. As of the date of adoption of this Planned Development, the actual Built Floor Area in Subarea C is approximately 292,428 square feet (the approximate equivalent of 1.42 F.A.R.) and the actual built number of dwelling units is approximately 185.

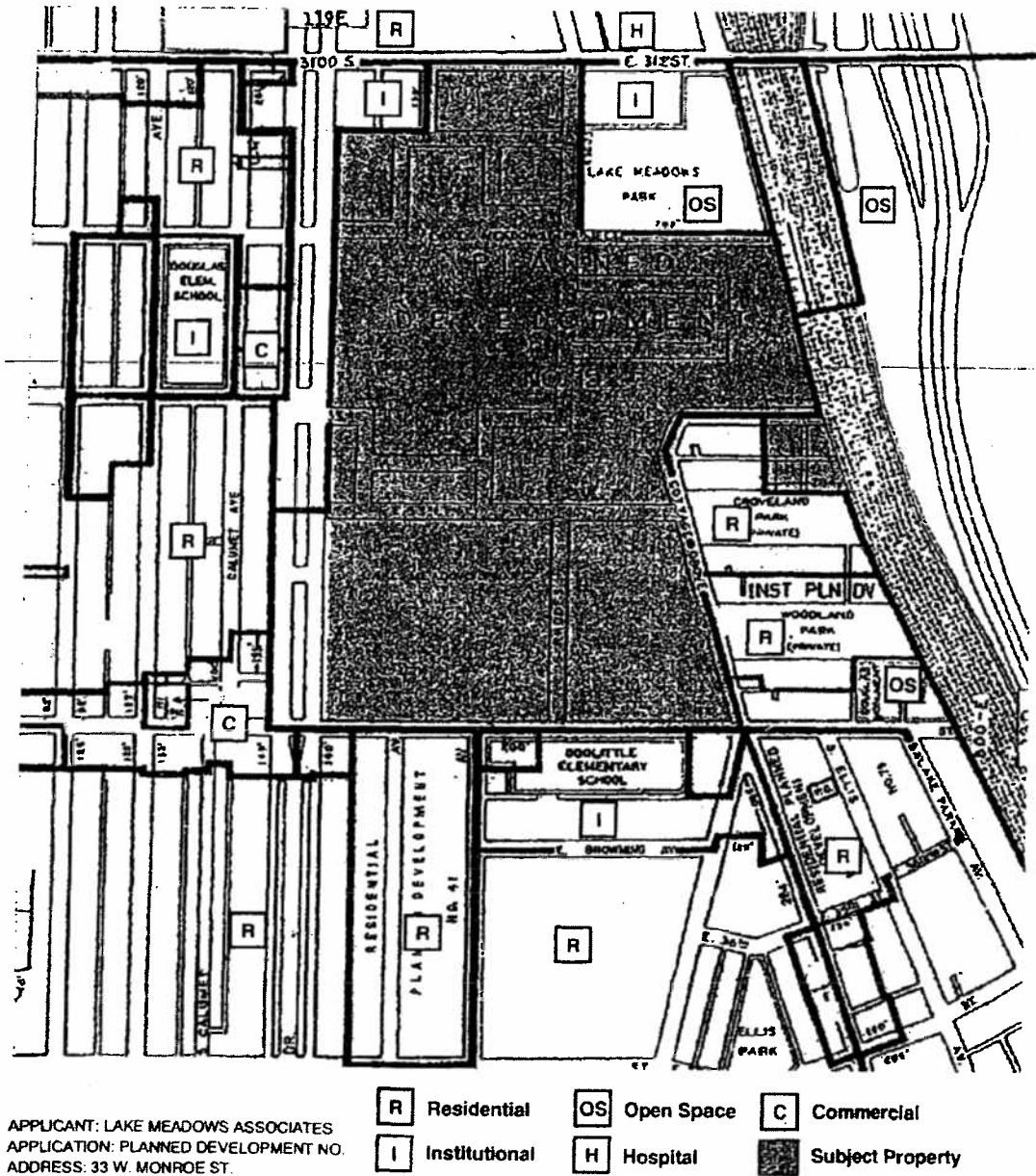
Note 4. 1.25 Elderly Housing units shall be equal to one dwelling unit.

Gross Site Area:	3,628,902 square feet (83.31 acres)
Approximate Area to Remain in Public Right-of-Way:	564,933 square feet (12.97 acres)
Net Site Area:	3,063,969 square feet (70.34 acres)

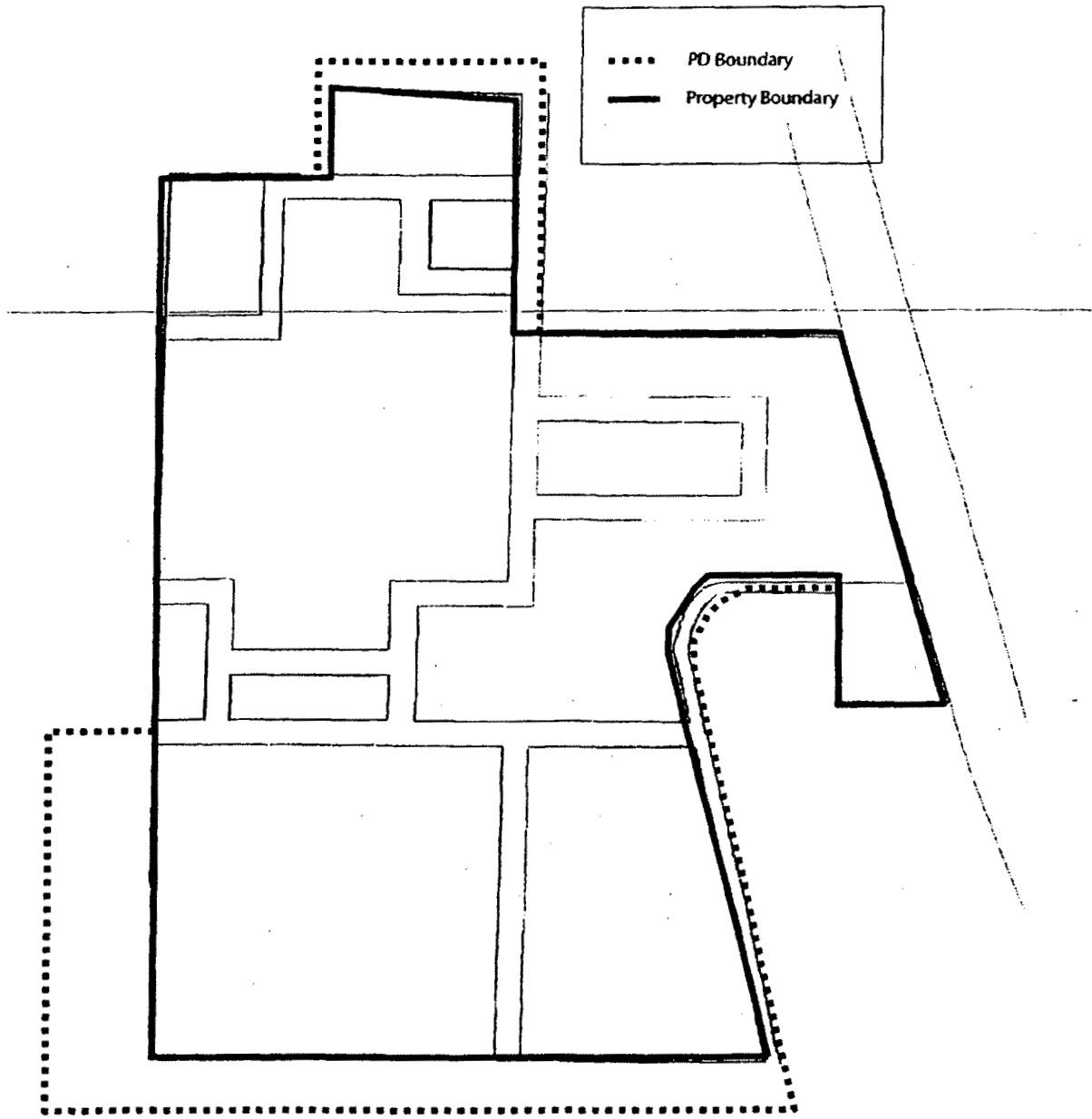
Existing Zoning Map.



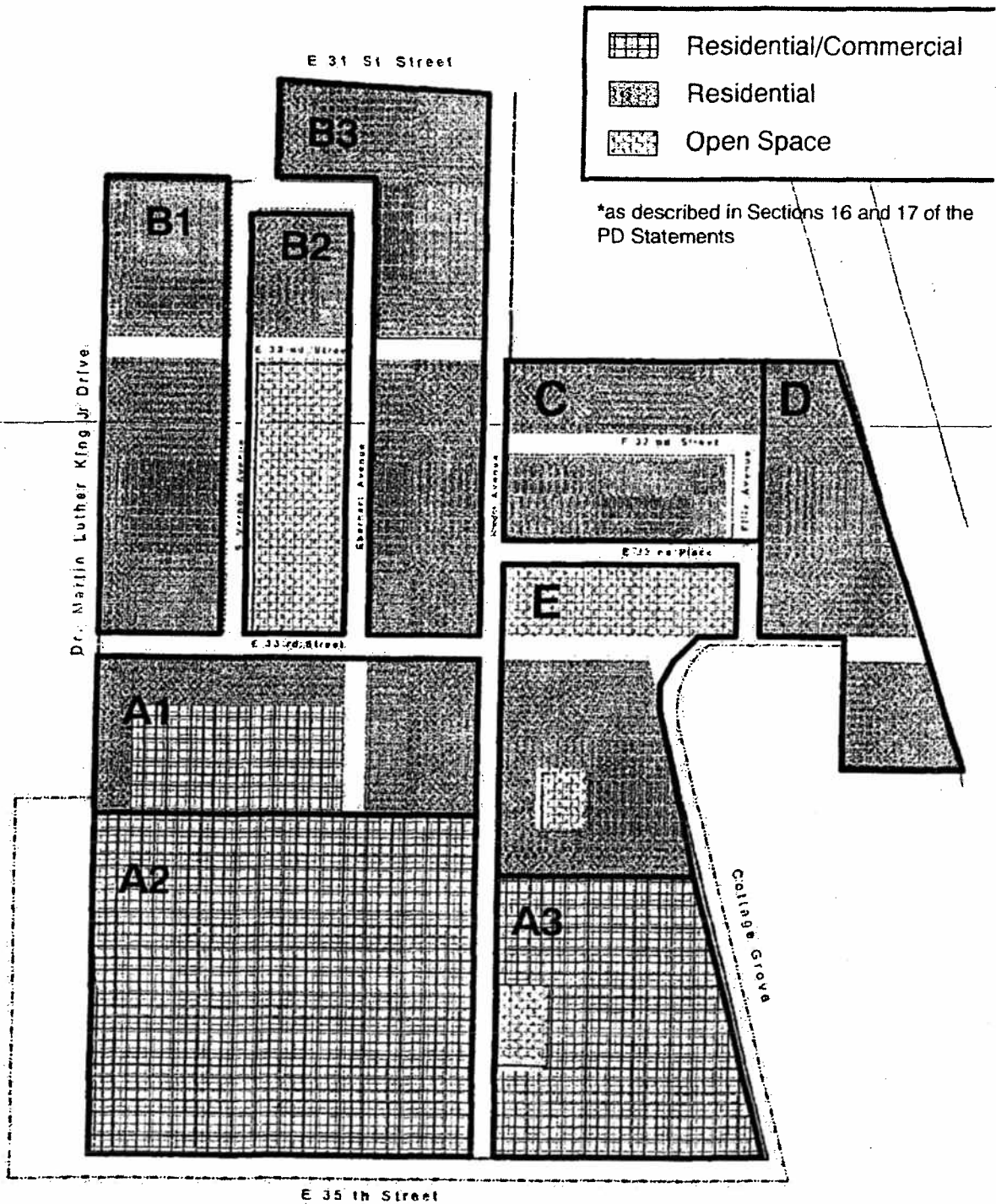
Existing Land-Use Map.



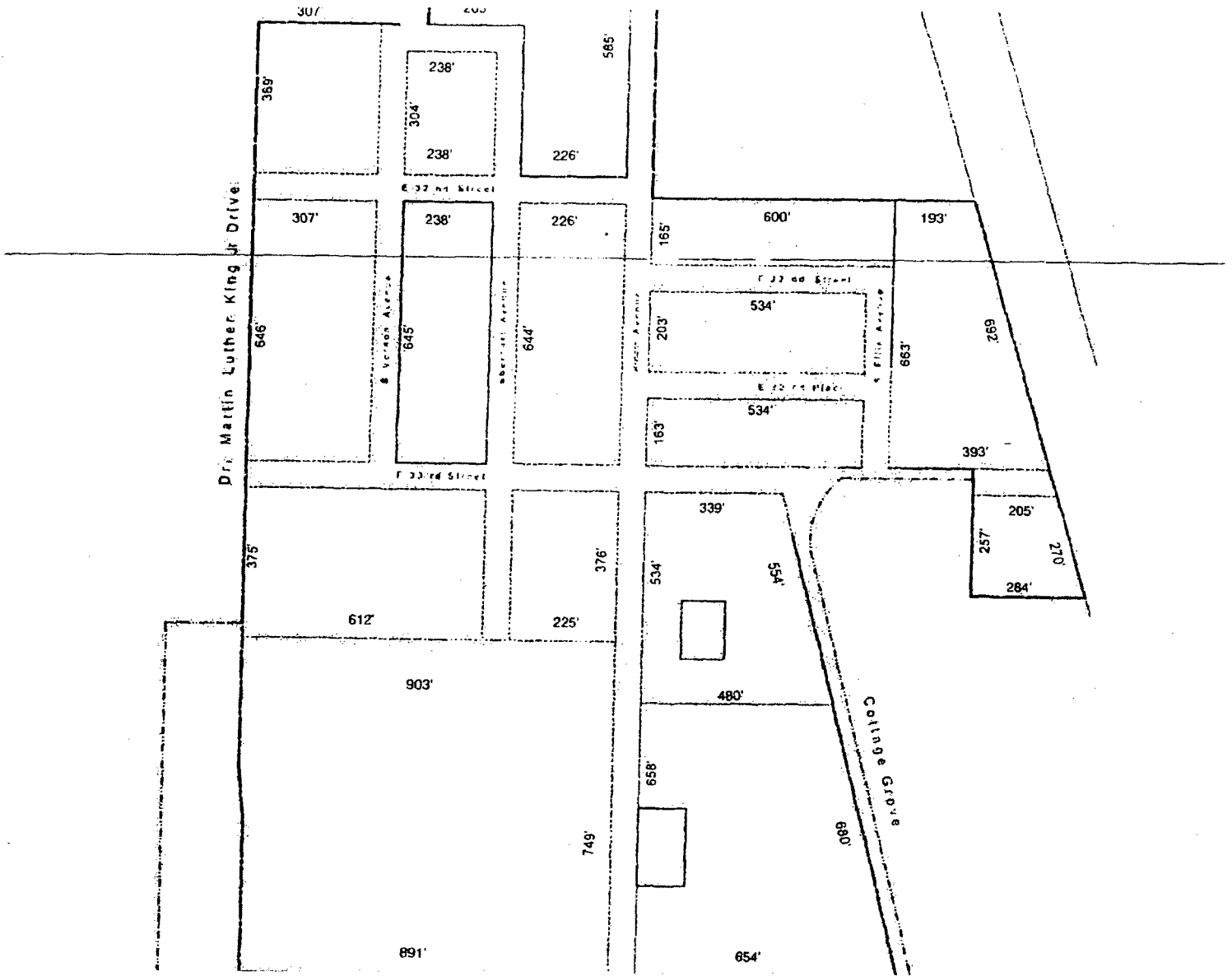
Planned Development Boundary And Property Line Map.



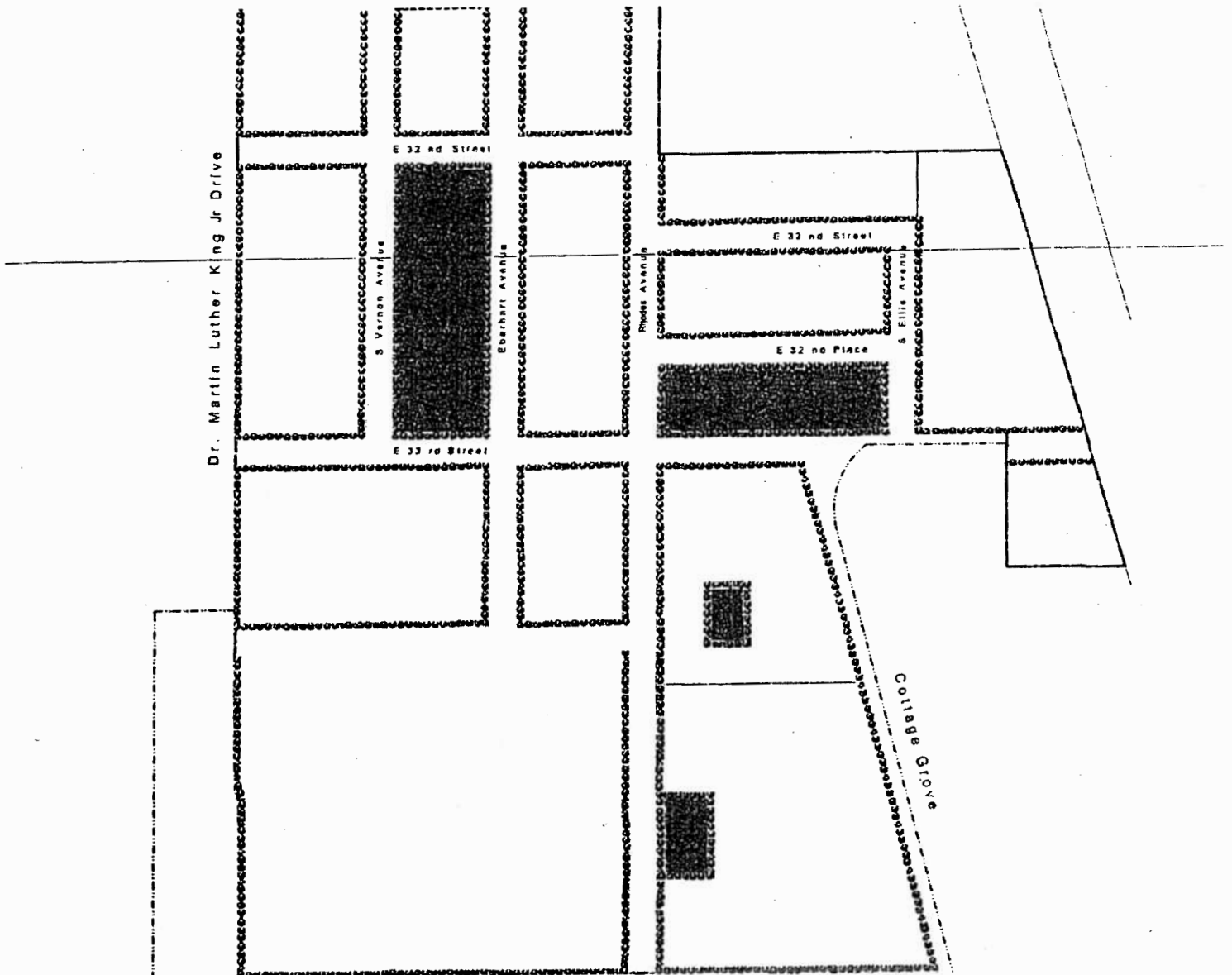
Generalized Land-Use Plan.



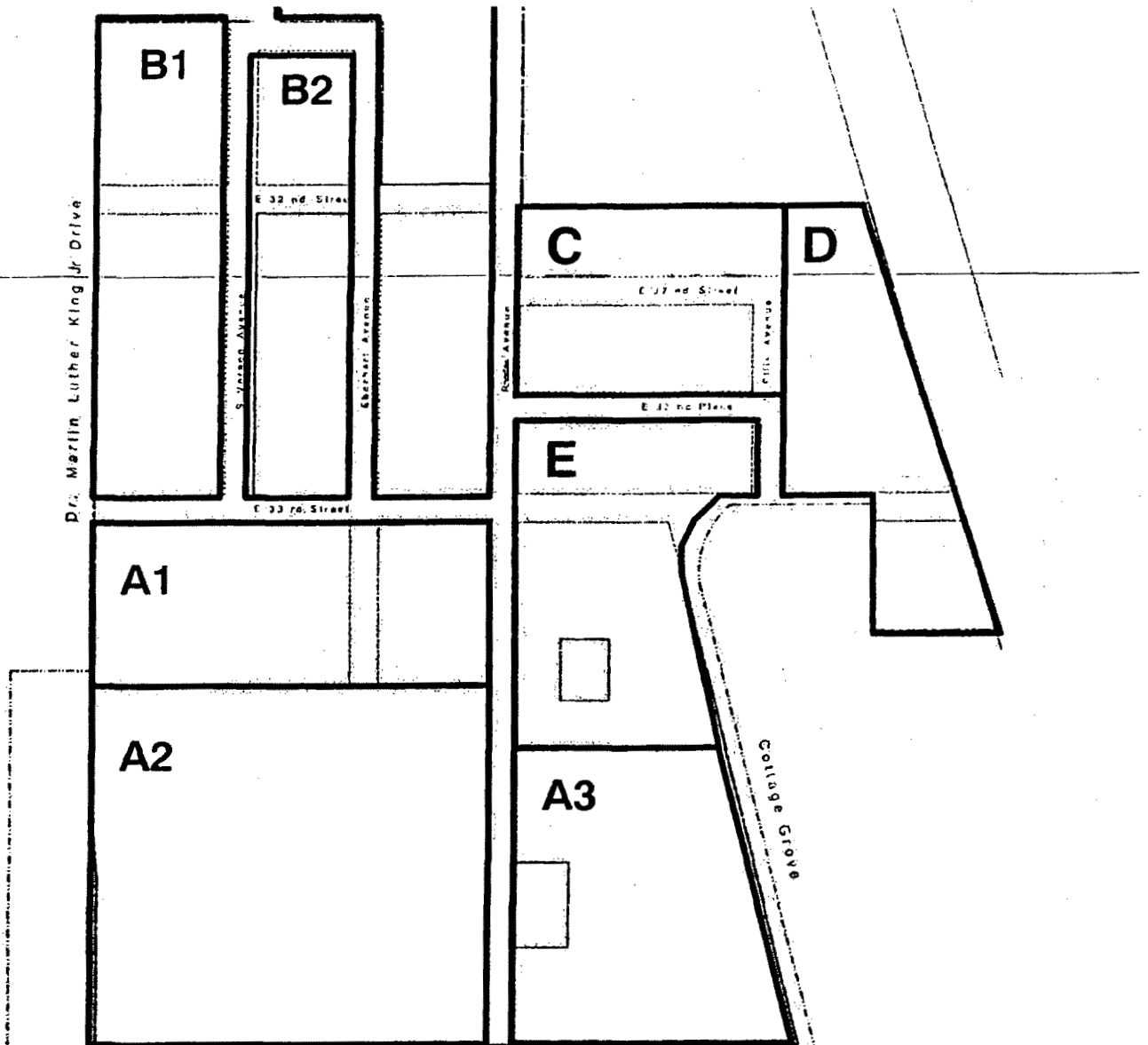
Site Plan.



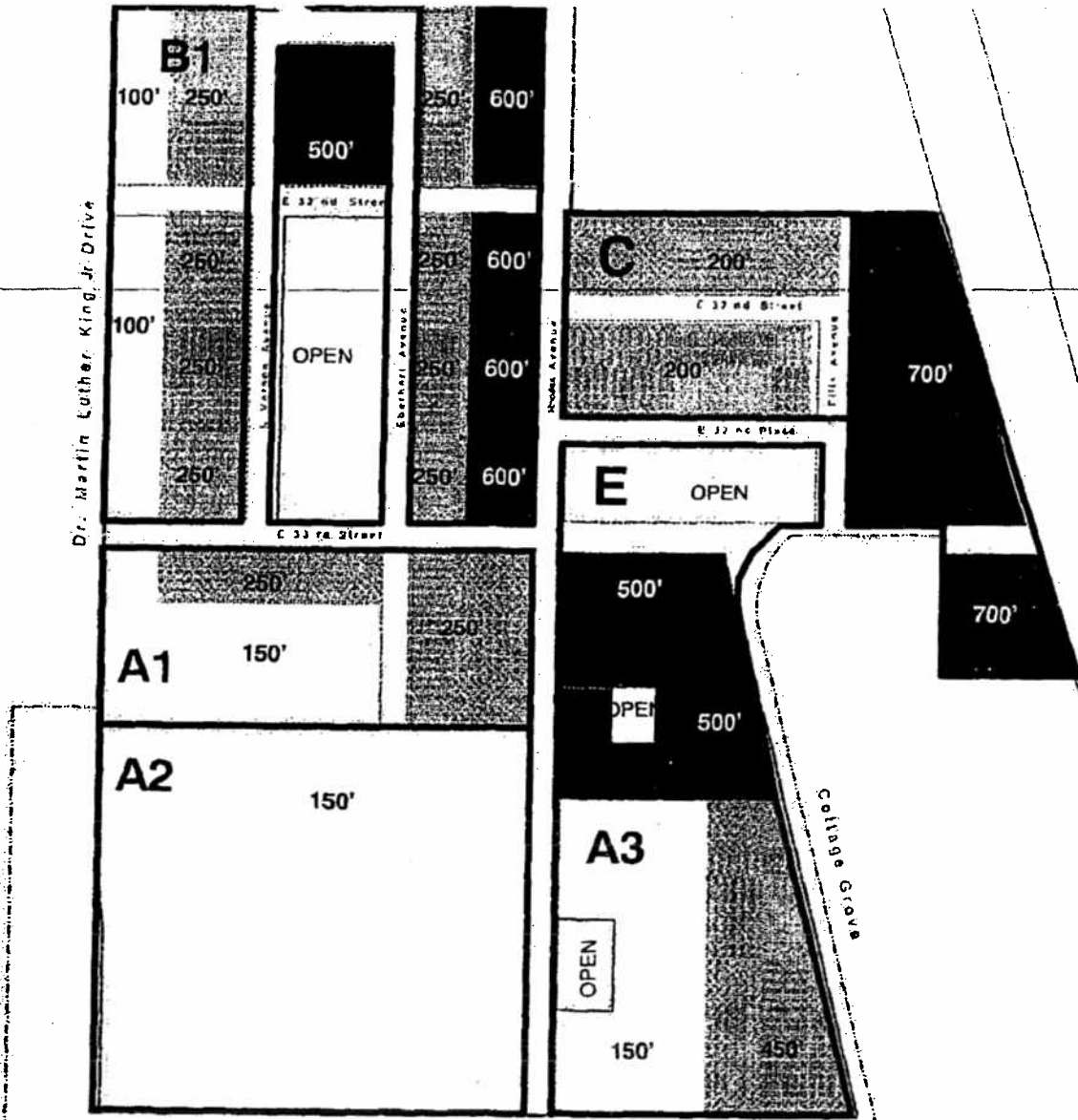
Landscape Plan.



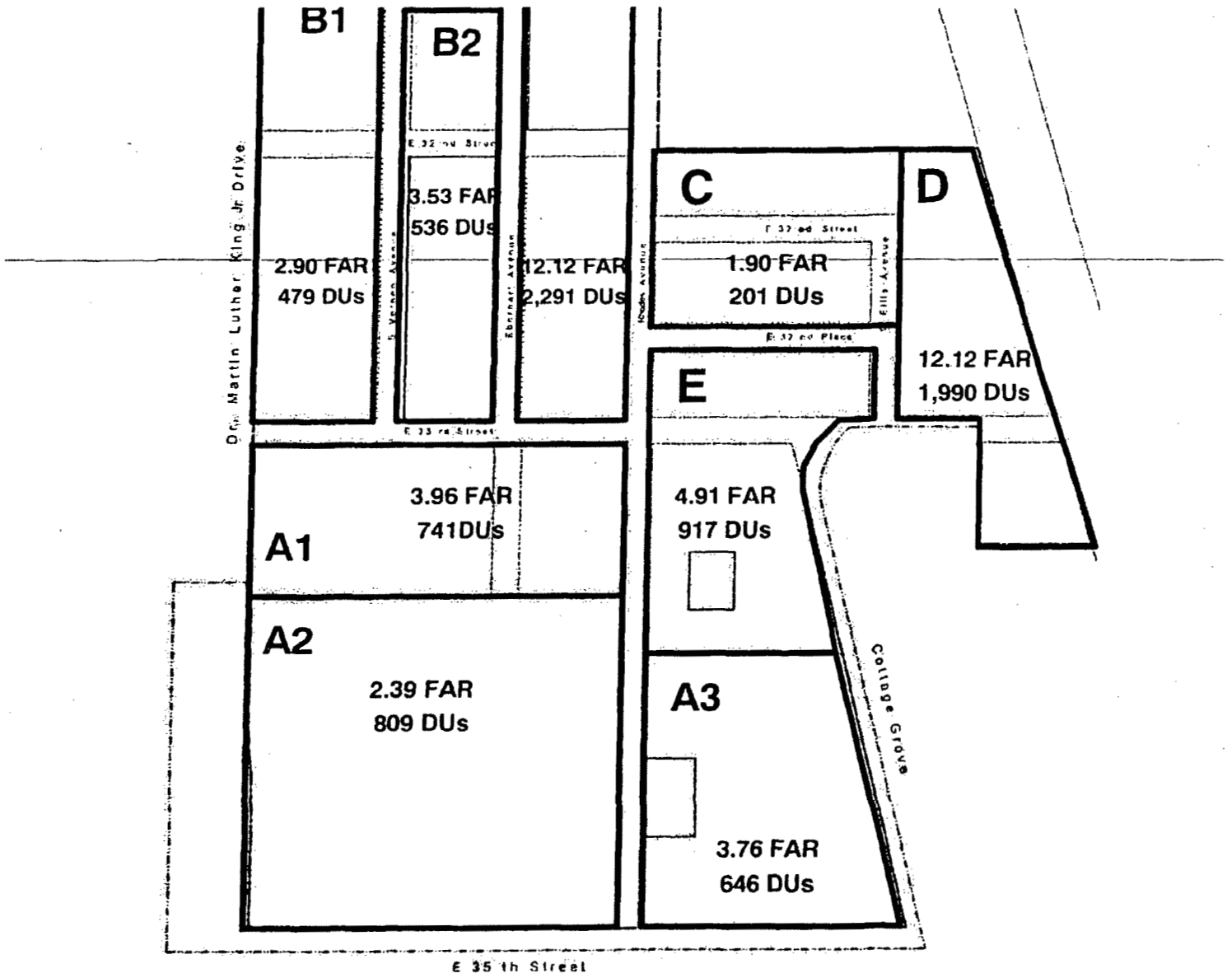
Subarea Plan.



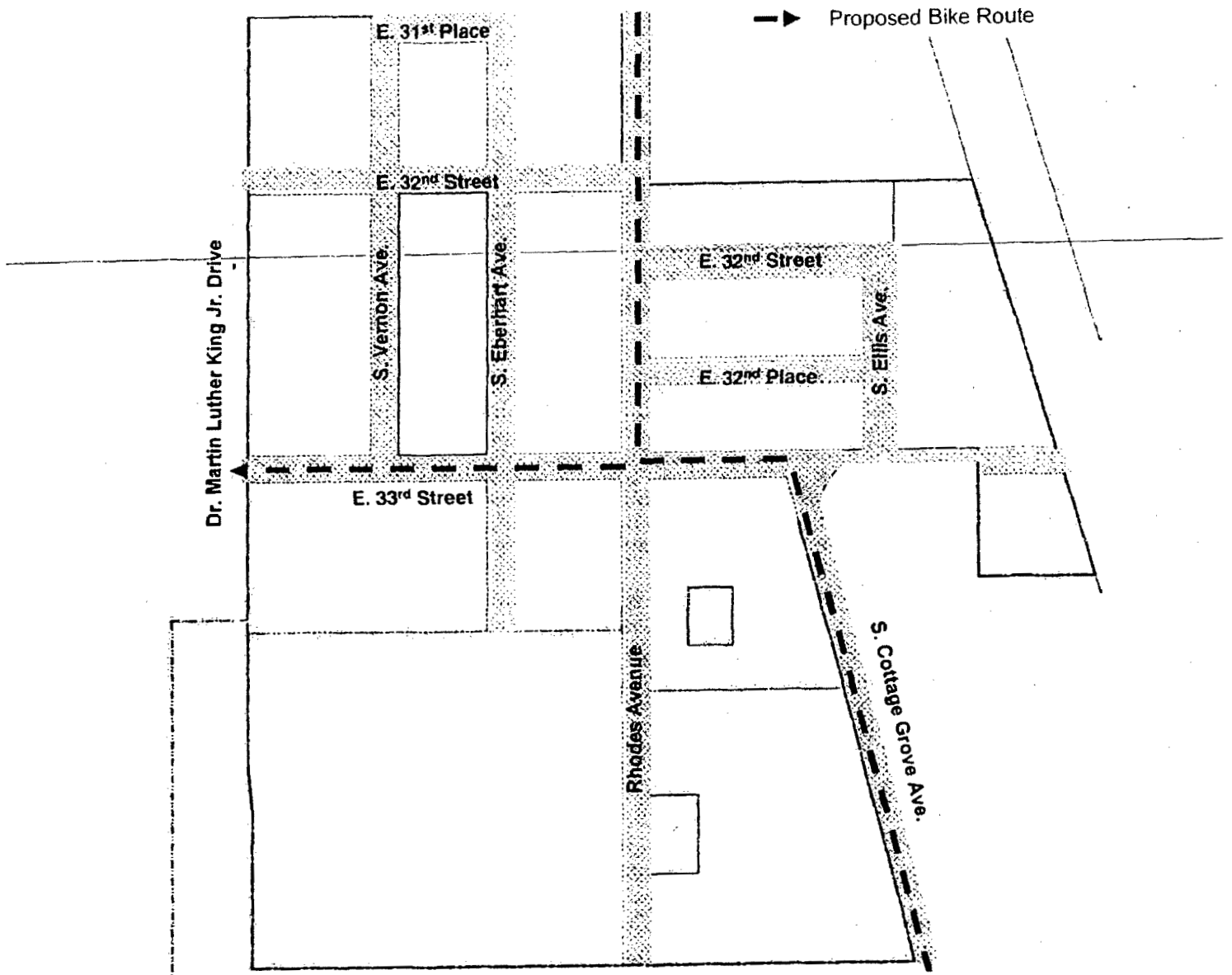
Subarea Maximum Height.



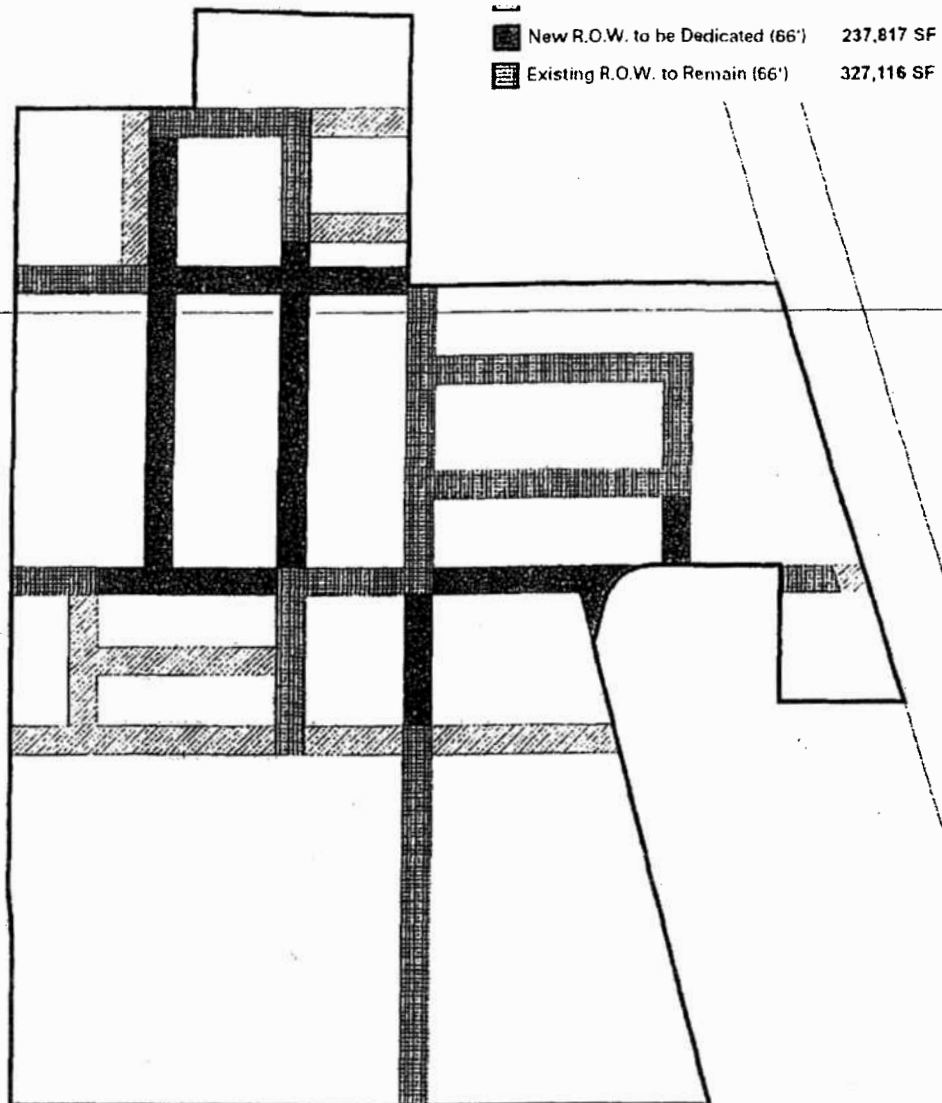
Subarea Maximum Floor Area Ratio/Dwelling Units.



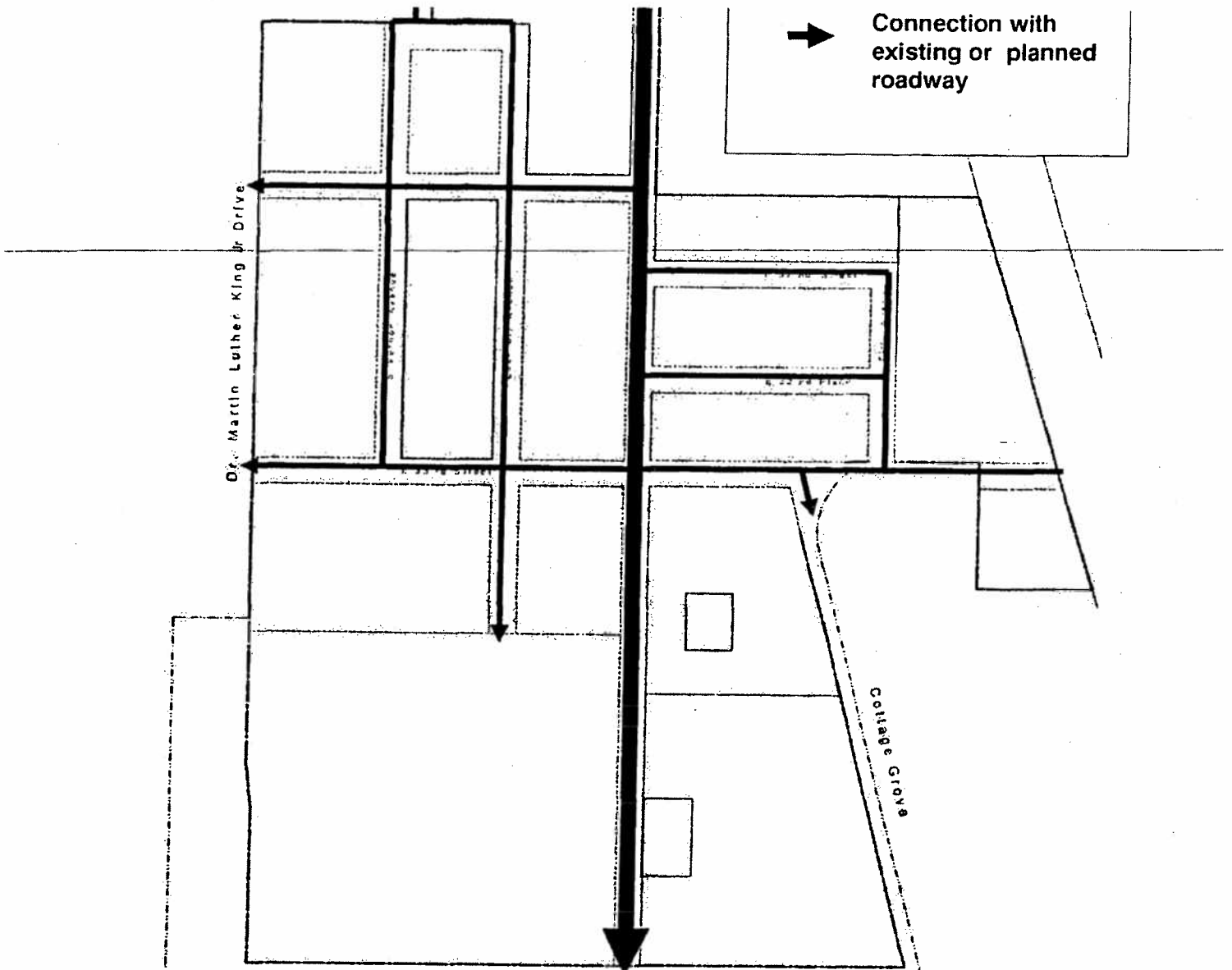
Public Roadway Plan.



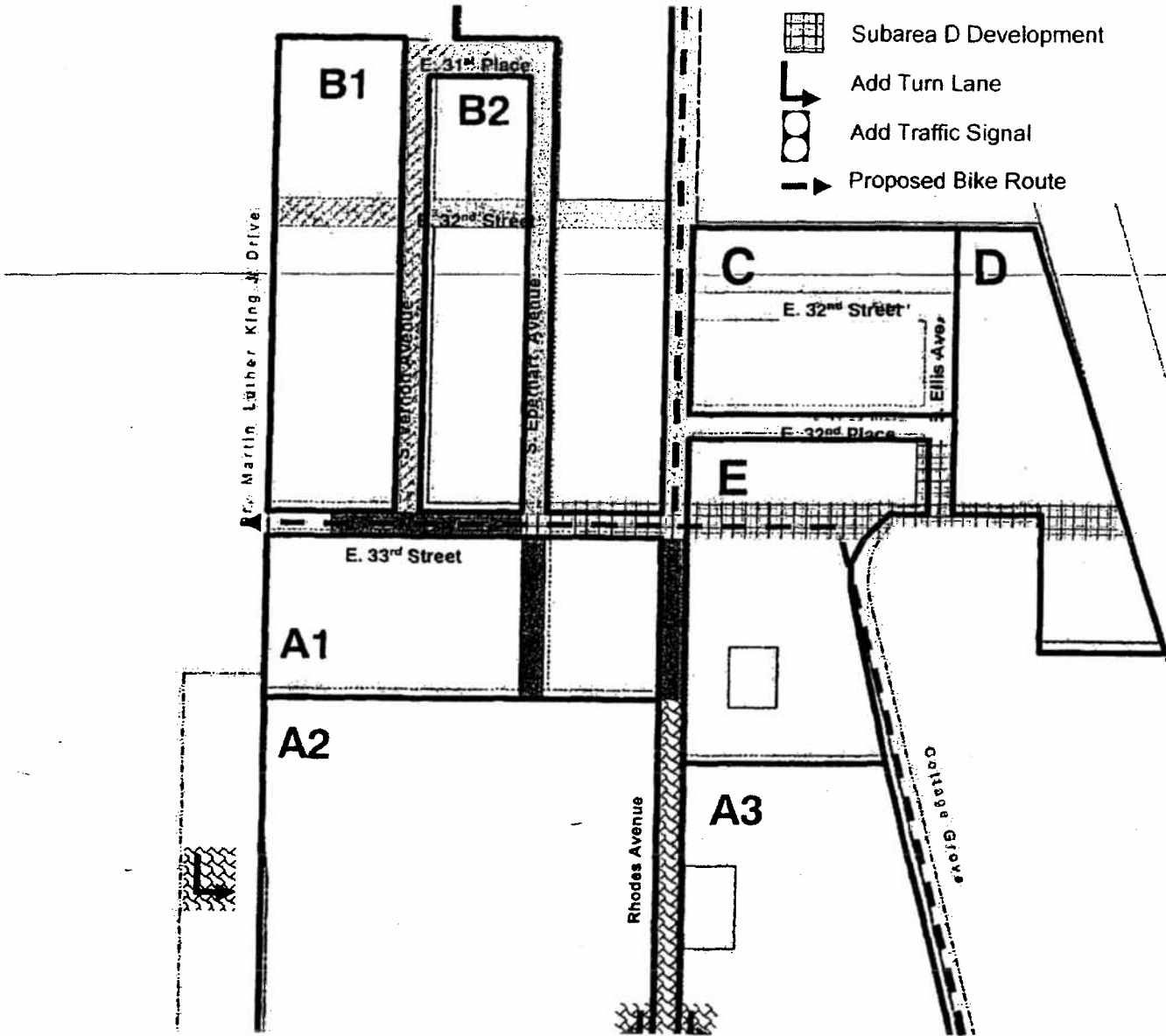
Vacations/Dedications Plan.



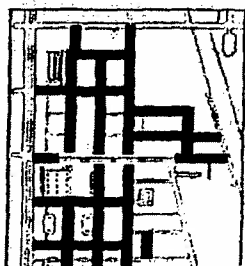
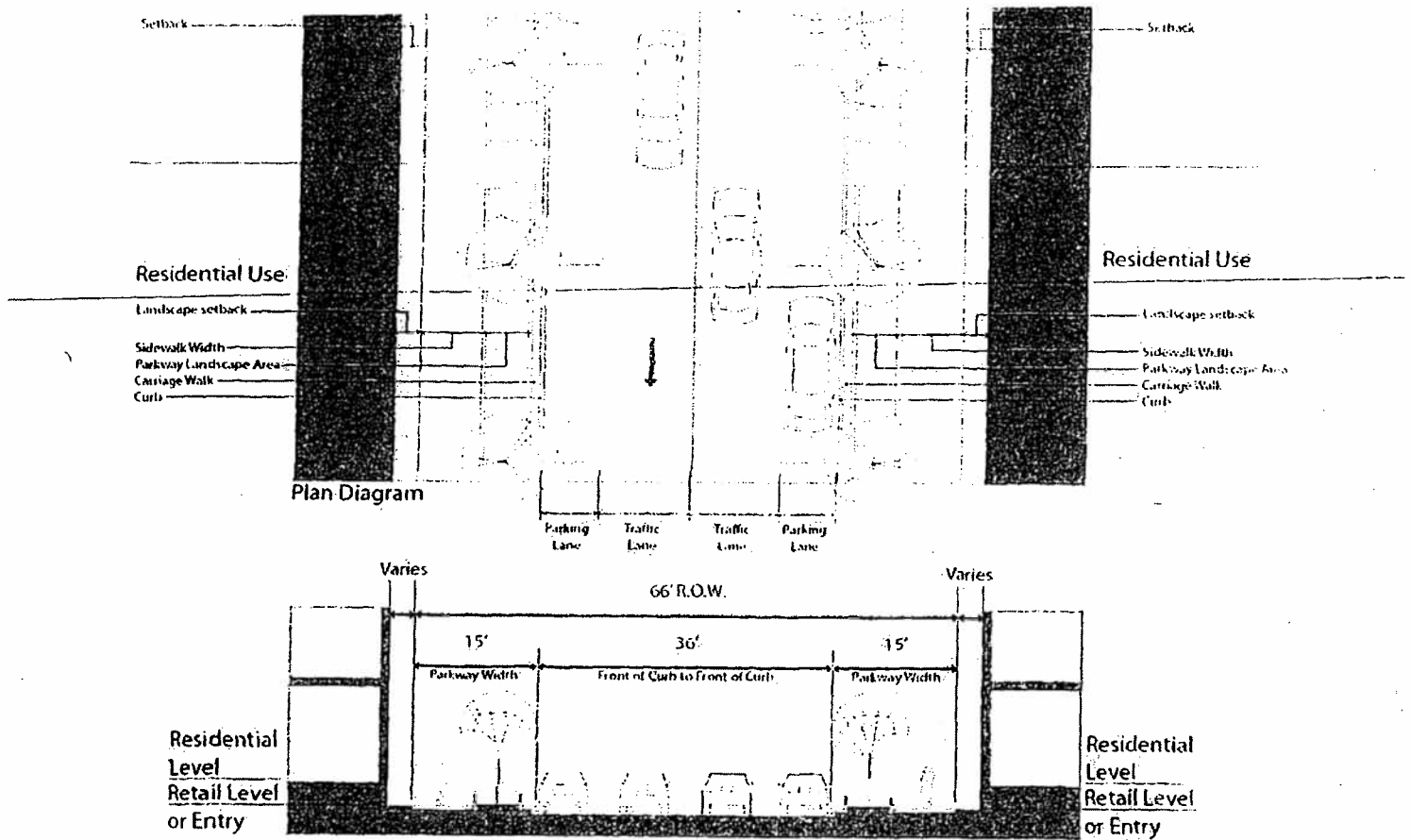
Vehicles Access And Circulation Plan.



Traffic Improvements Staging Plan.



Typical Roadway Cross-Section.

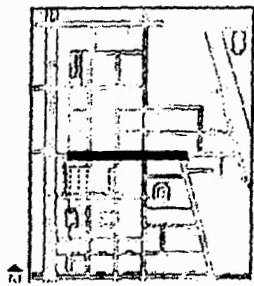
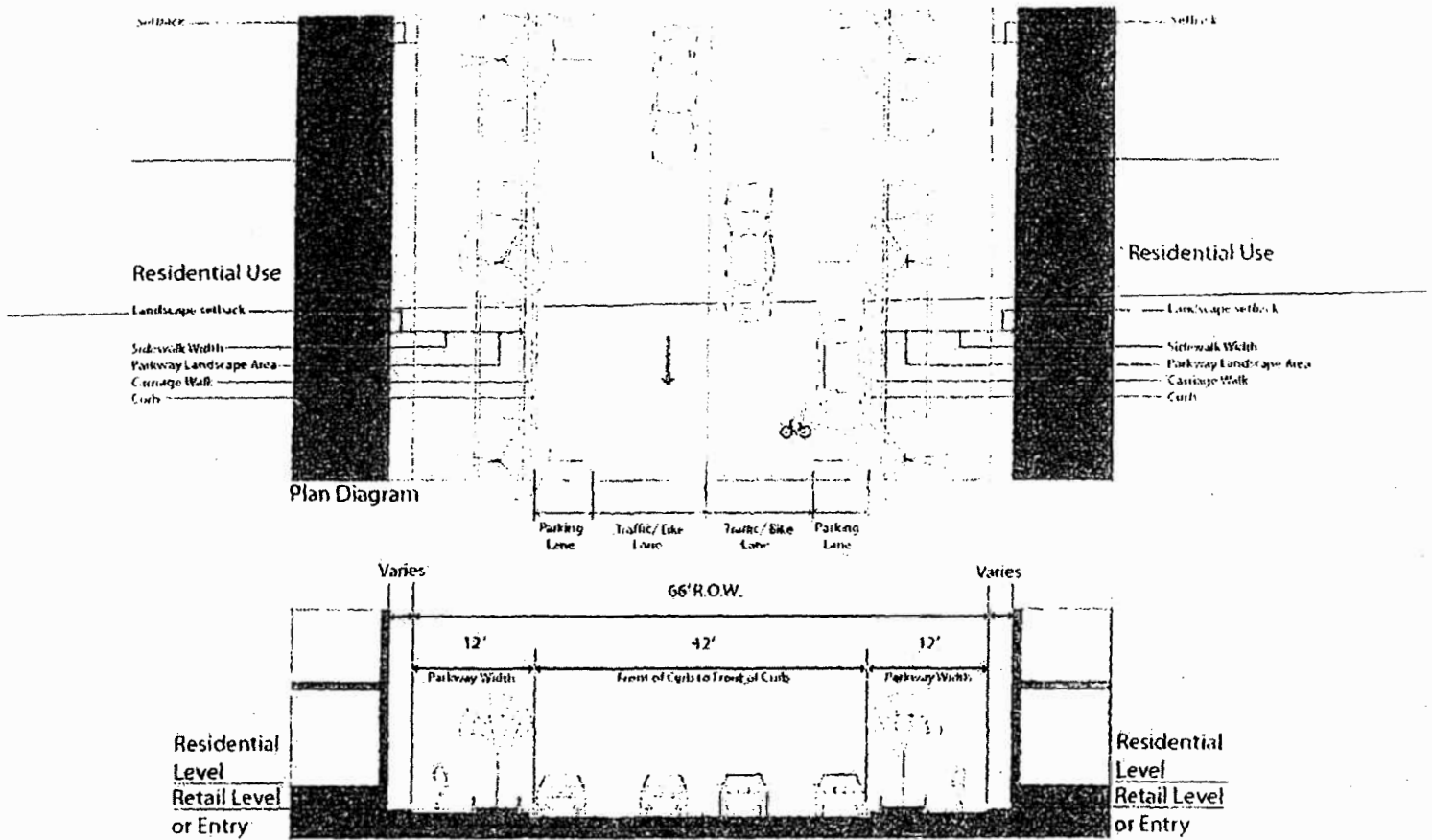


Description

R.O.W. Width	66'
Front of Curb to Front of Curb	36'
Curb	5'
Traffic Lanes	2
Traffic Lane Widths	11'
Parking Lanes	2
Parking Lane Widths	7'
Parkway Width	15'
Sidewalk Width	7.5' - 8.5'
Parkway Landscape Area	5' - 6'
Carriage Walk Width	..

Tree spacing to comply with

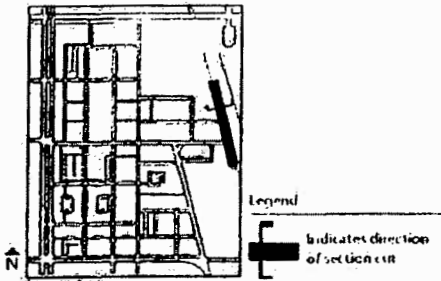
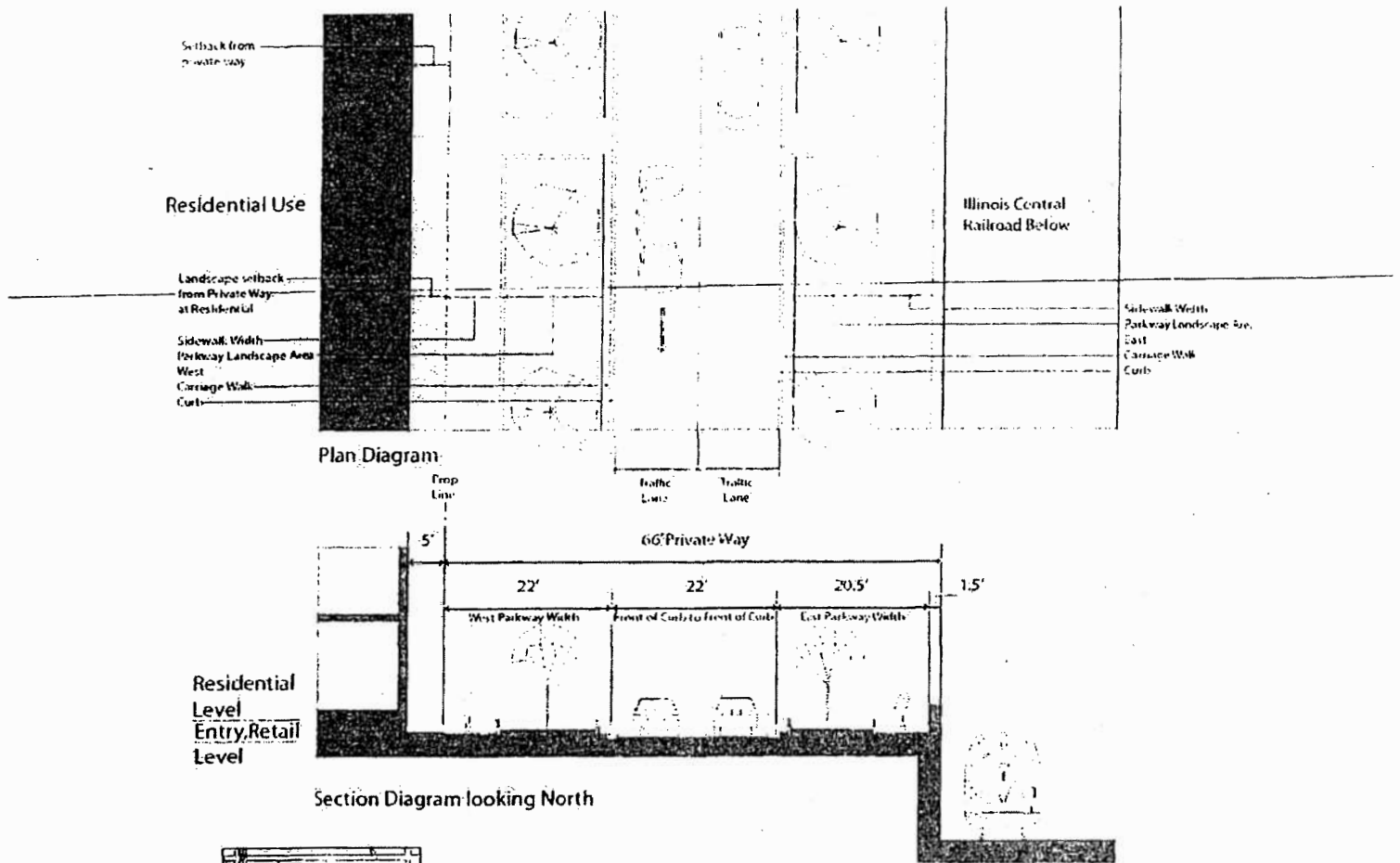
Typical Roadway Cross-Section -- 33rd Street.



Description

R.O.W. Width	66'
Front of Curb to Front of Curb	42'
Curb	5'
Traffic Lanes with shared Bike Lane	2
Traffic Lane Widths	14'
Parking Lanes	2
Parking Lane Widths	7'
Parkway Width	12'
Sidewalk Width	7.5' - 8.5'
Parkway Landscape Area	3' - 4'
Carriage Walk Widths	1'
Tree spacing to comply with Chicago Landscape Ordinance	

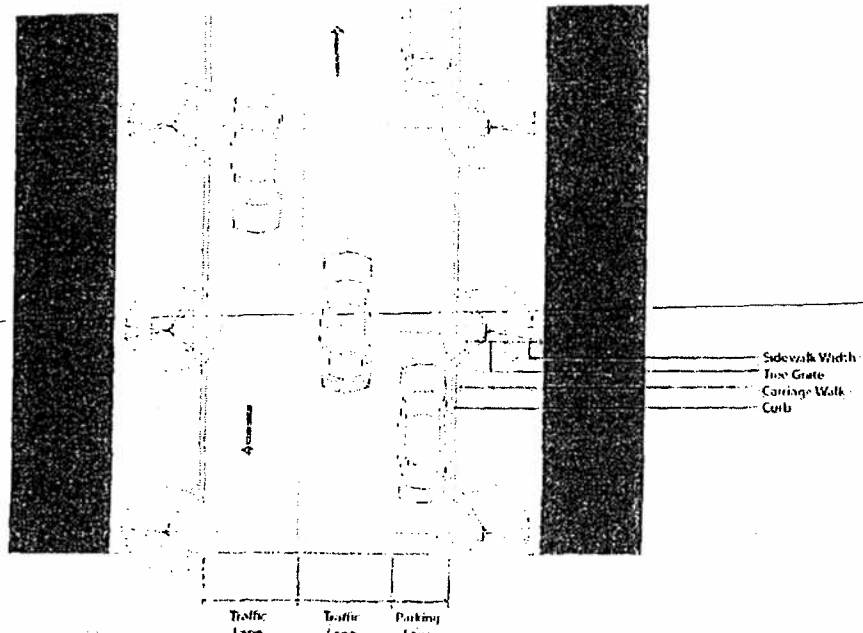
Typical Roadway Cross-Section -- Lake Park Avenue.



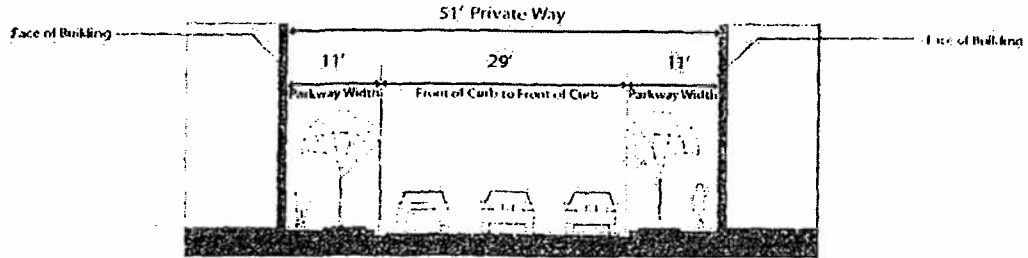
Description	
Private Way Width	66'
Front of Curb to Front of Curb	22'
Curb	5'
Traffic Lanes	2
Traffic Lane Widths	11'
West Parkway Width	22'
East Parkway Width	20.5'
Sidewalk Width	7'
West Parkway Landscape Area	15'

Tree spacing to comply with Chicago Landscape Ordinance and CDOT requirements

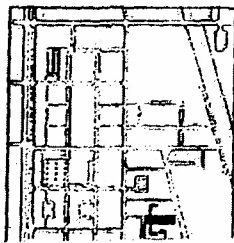
Typical Roadway Cross-Section -- Old University North And South.



Plan Diagram



Section Diagram looking East or West



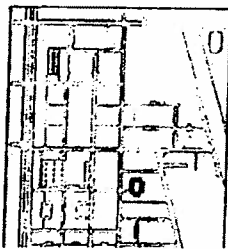
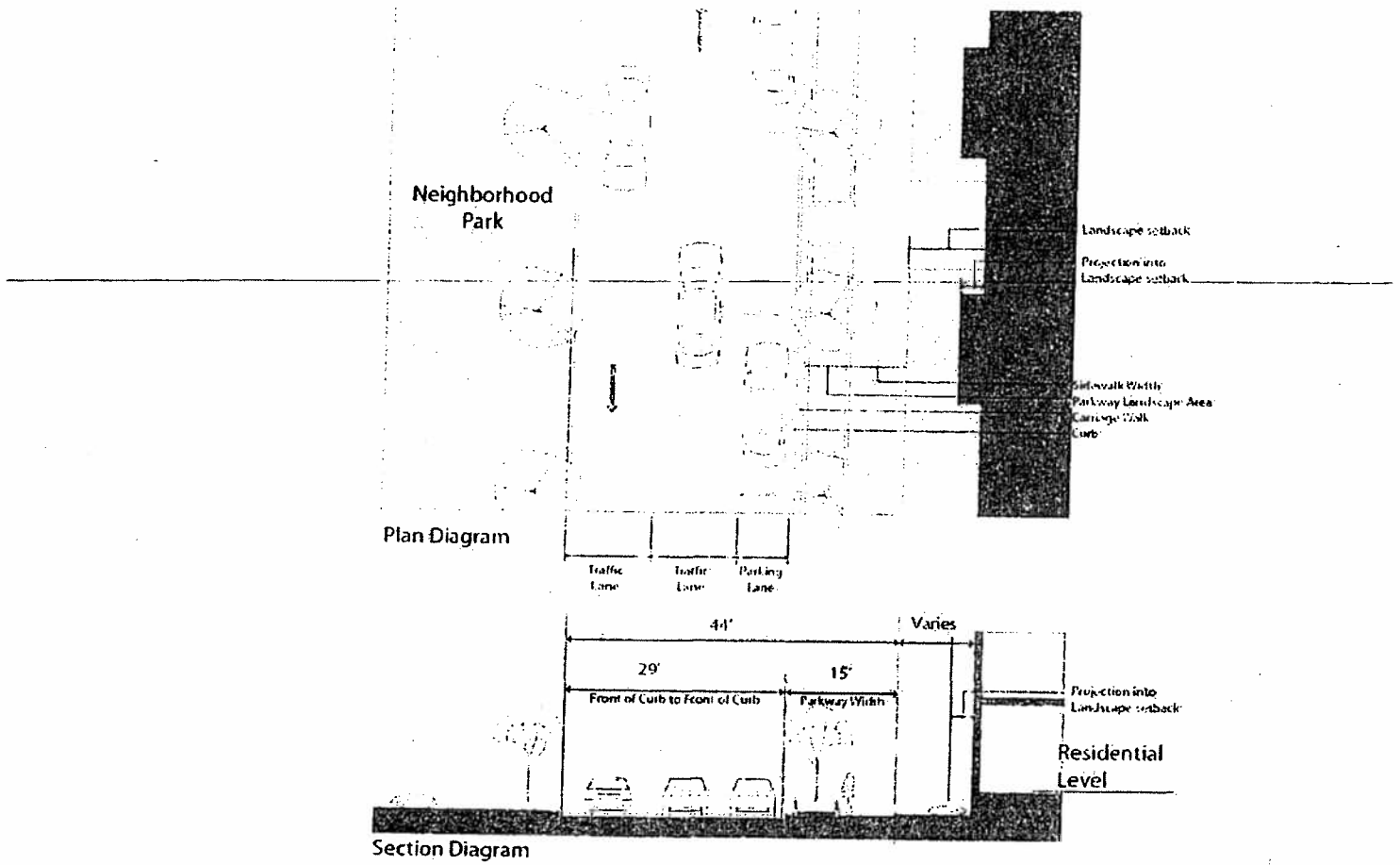
Legend

Description

Private Way Width	51'
Front of Curb to Front of Curb	29'
Curb	5'
Traffic Lanes	2
Traffic Lane Widths	11'
Parking Lanes	1
Parking Lane Widths	7'
Parkway Width	11'

Tree spacing to comply with

Typical Roadway Cross-Section -- 33rd Place Court.

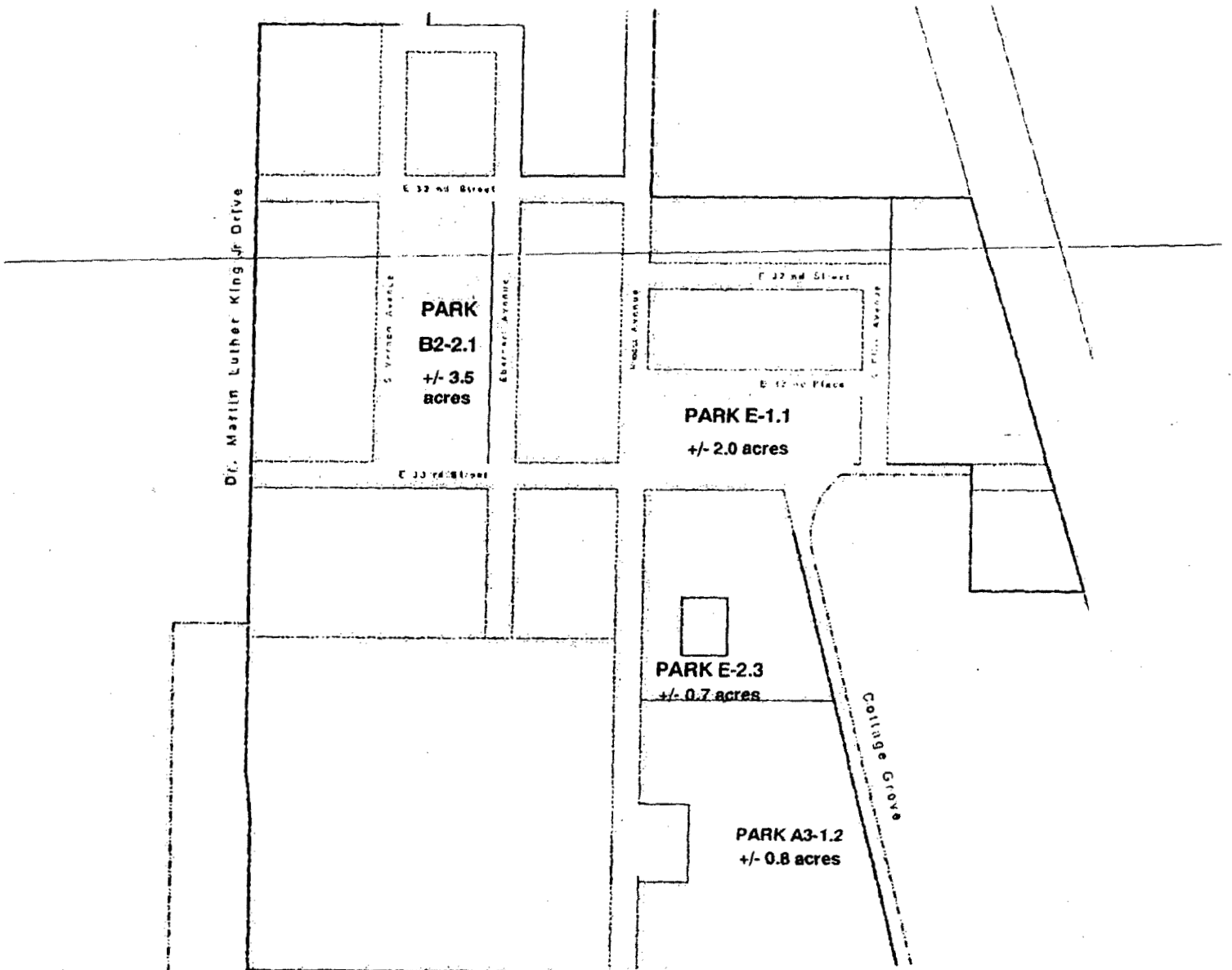


Description

Private Way Width	44'
Front of Curb to Front of Curb	29'
Curb	.5'
Traffic Lanes	2
Traffic Lane Widths	11'
Parking Lanes	1
Parking Lane Widths	7'
Parkway Width	15'
Sidewalk Width	7.5'

Tree spacing to comply with

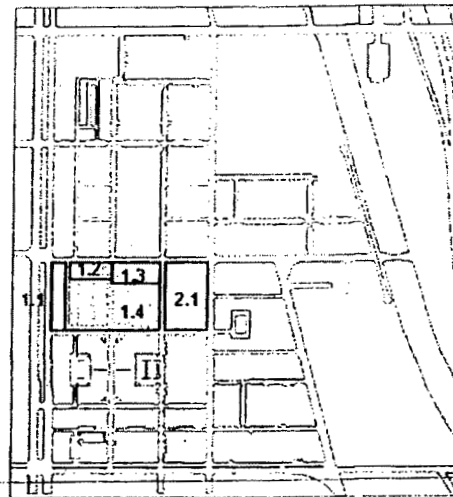
Open Space Plan.




Use, Bulk And Data Table -- Subarea A1.
(Page 1 of 3)

SUBAREA A1

Net Site Area	314,527 sf (7.22 acres)
Max Building Floor Area	193,200 sf
Max Dwelling Units	741
Maximum FAR	3.96
Maximum Building Height	250 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	None



A1 SUBAREA KEY PLAN 

Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max FAR	Max Units
Block 1								
Parcel 1.1	22,578	Residential	Townhouse/Flats	18,800	100	66,164	2.93	33
Parcel 1.2	20,837	Residential	Midrise	16,200	250	116,368	5.58	67
Parcel 1.3	26,754	Residential	Highrise	24,900	250	394,197	14.73	245
Parcel 1.4	151,964	Retail	1 Story Retail	51,000	50	60,500	0.40	0
	7,494	Alley						
Subtotal Block 1	229,627			110,900		637,229	2.78	345

Use, Bulk And Data Table -- Subarea A1.
(Page 2 of 3)

Block 2								
Parcel 2.1, 2.2	84,900	Residential	Highrise, Mid & Low Rise	82,600	250	608,135	7.16	396
Subtotal Block 2		84,900		82,600		608,135	7.16	396
Subarea A1 Total		314,527		193,500		1,245,364	3.96	741

Minimum Setbacks	Front	
	33 rd St., 33 rd Place	0 ft
	Eberhardt, Rhodes	3 ft
	King Dr.	10 ft
	Side	0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: - walls with Living Room windows o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height) o 100 ft (above 450 feet height) - 4 ft (walls with all other windows)
	Rear	0 ft
Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf

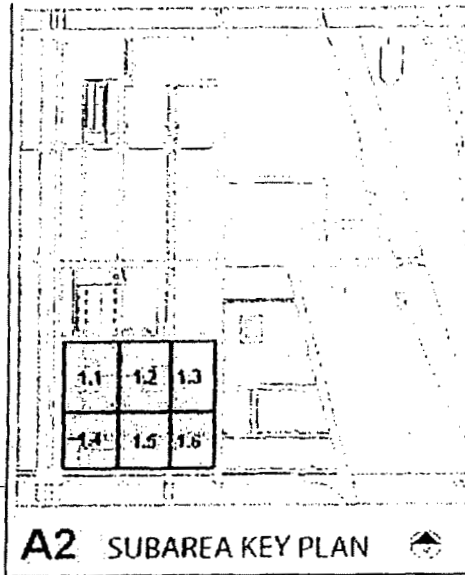
Use, Bulk And Data Table -- Subarea A1.
(Page 3 of 3)

Allowable Uses	Exception: No Use Categories shall be permitted within Subarea A1-Parcel 1.1 other than the following: Household Living; Group Living; Day Care; and Accessory Uses. All Use Categories contained in the chart below shall be allowed in the remaining parcels of Subarea A1 (i.e., Parcels 1.2, 1.3, 1.4, and 2.1). In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea A1-Parcel 2.1.	
	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Animal Services, Artist Work and Sales Space, Building Maintenance Services, Business Equipment Sales and Service, Business Support Services, Communication Service Establishments, Construction Sales and Service, Greenhouses, Drive-Through Facility, Eating and Drinking Establishments, Entertainment and Spectator Sports, Financial Services, Food and Beverage Retail Sales, Funeral and Interment Service, Gas Stations, Medical Services, Office, Parking, Personal Services, Repair or Laundry Service, Retail Sales-General, Signs, Indoor and Outdoor Sports and Recreation-Participant, Vehicle Sales and Service
	INDUSTRIAL USE GROUP	Catering
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
	<p>Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.</p> <p>Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.</p> <p>Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.</p>	
General Notes	See Notes 1 through 4 on the Master Bulk Regulations and Date Table	
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
	Office, Retail, Commercial, Hotel, Public and Civic	1 per 10 auto spaces

Use, Bulk And Data Table -- Subarea A2.
(Page 1 of 3)

SUBAREA A2

Net Site Area	730,328 sf (16.77 acres)
Max Building Floor Area	1,741,827 sf
Max Dwelling Units	809
Maximum FAR	2.39
Maximum Building Height	150 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	None



Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max FAR	Max Units
Block 1								
Parcel 1.1	164,050	Retail	1 Story Retail	66,300	150	154,110	0.94	0
Parcel 1.2	147,973	Retail / Residential	1 Story Retail / Lowrise	51,400	150	209,988	1.42	88
Parcel 1.3	125,549	Retail / Resid / Parking	Lowrise	85,200	150	662,919	5.28	361
Parcel 1.4	107,922	Retail	1 Story Retail	50,900	150	111,980	1.04	0

Use, Bulk And Data Table -- Subarea A2.
(Page 2 of 3)

Parcel 1.5	100,041	Retail / Resid / Parking	Lowrise	58,400	150	199,723	2.00	139
Parcel 1.6	84,793	Retail / Resid / Parking	Lowrise	55,400	150	403,107	4.75	221
Subtotal Block 1								
<hr/>								
Subarea A2 Total	730,328			367,600		1,741,827	2.39	809

Minimum Setbacks	Front 33 rd Place, 34 th Street, Vernon, Eberhart, King Dr., 35 th Street (King Dr. to Vernon)	0 ft
	Rhodes, 35th Street (Vernon to Rhodes)	3 ft
	Side	0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: - walls with Living Room windows o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height) o 100 ft (above 450 feet height) - 4 ft (walls with all other windows)
	Rear	0 ft
Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit

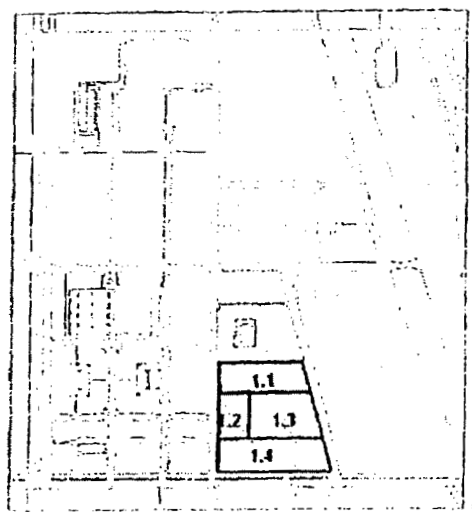
Use, Bulk And Data Table – Subarea A2.
(Page 3 of 3)

	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
	Office, Retail, Commercial, Hotel, Public and Civic	1 per 10 auto spaces
Allowable Uses	Exception: In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea A2-Parcels 1.2, 1.3, 1.5, and 1.6.	
	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Animal Services, Artist Work and Sales Space, Building Maintenance Services, Business Equipment Sales and Service, Business Support Services, Communication Service Establishments, Construction Sales and Service, Greenhouses, Drive-Through Facility, Eating and Drinking Establishments, Entertainment and Spectator Sports, Financial Services, Food and Beverage Retail Sales, Funeral and Interment Service, Gas Stations, Medical Services, Office, Parking, Personal Services, Repair or Laundry Service, Retail Sales-General, Signs, Indoor and Outdoor Sports and Recreation-Participant, Vehicle Sales and Service
	INDUSTRIAL USE GROUP	Catering
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
	<p>Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.</p> <p>Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.</p> <p>Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.</p>	
General Notes	See Notes 1 through 4 on the Master Bulk Regulations and Date Table	

Use, Bulk And Data Table -- Subarea A3.
(Page 1 of 3)

SUBAREA A3

Net Site Area	372,932 sf (8.56 acres)
Max Building Floor Area	1,404,598 sf
Max Dwelling Units	646
Maximum FAR	3.76
Maximum Building Height	450 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	34,848 sf (0.80 acres) As set forth in Statement 16 of this Planned Development



A3 SUBAREA KEY PLAN 

Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max FAR	Max Units
Block 1								
Parcel 1.1	93,624	Retail/Resid/Parking	Lowrise	74,000	450	394,540	4.21	215
Parcel 1.2	48,200	Park		0	150	0	0.00	0

Use, Bulk And Data Table -- Subarea A3.
(Page 2 of 3)

Parcel 1.3	114,400	Retail / Resid / Parking	Lowrise / Highrise	83,400	450	498,332	4.36	241
Parcel 1.4	116,708	Retail / Resid / Hotel / Parking	Lowrise / Midrise	95,100	450	511,726	4.38	190
<hr/>								
Subtotal Block 1								
<hr/>								
Subarea A3 Total								
	372,932			252,500		1,404,598	3.76	646

Minimum Setbacks	Front Old University North, Old University South	0 ft
	Rhodes, 35 th Street, Cottage Grove	3 ft
	Market Square Court	6 ft
	Side	0 ft, except:
		Facing Townhouse/Single-Family: <ul style="list-style-type: none"> - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: <ul style="list-style-type: none"> - walls with Living Room windows <ul style="list-style-type: none"> o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height) o 100 ft (above 450 feet height) - 4 ft (walls with all other windows)
	Rear	0 ft
Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit

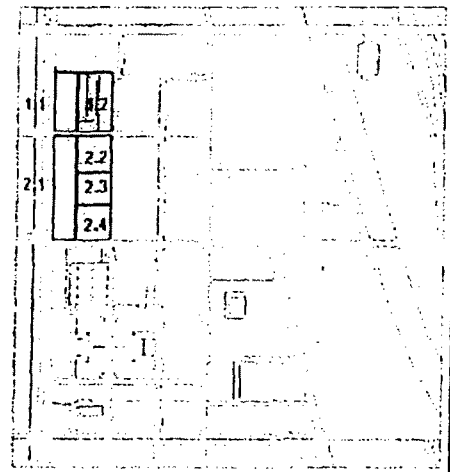
Use, Bulk And Data Table -- Subarea A3.
(Page 3 of 3)


	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000-sf
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
	Office, Retail, Commercial, Hotel, Public and Civic	1 per 10 auto spaces
Allowable Uses	Exception: In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea A3-Parcels 1.1, 1.3, and 1.4.	
	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Animal Services, Artist Work and Sales Space, Building Maintenance Services, Business Equipment Sales and Service, Business Support Services, Communication Service Establishments, Construction Sales and Service, Greenhouses, Drive-Through Facility, Eating and Drinking Establishments, Entertainment and Spectator Sports, Financial Services, Food and Beverage Retail Sales, Funeral and Interment Service, Gas Stations, Medical Services, Office, Parking, Personal Services, Repair or Laundry Service, Retail Sales-General, Signs, Indoor and Outdoor Sports and Recreation-Participant, Vehicle Sales and Service
	INDUSTRIAL USE GROUP	Catering
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
	Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.	
Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.		
Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.		
General Notes	See Notes 1 through 4 on the Master Bulk Regulations and Date Table	

Use, Bulk And Data Table -- Subarea B1.
(Page 1 of 4)

SUBAREA B1

Net Site Area	311,804 sf (7.16 acres)
Max Building Floor Area	906,058 sf
Max Dwelling Units	479
Maximum FAR	2.90
Maximum Building Height	250 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	None



B1 SUBAREA KEY PLAN 

Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max FAR	Max Units
Block 1								
Parcel 1.1	42,286	Residential	Townhouse/Flats	34,400	100	96,410	2.28	31
Parcel 1.2	71,179	Residential	Townhouse/Flats	60,400	250	169,386	2.38	59
Subtotal Block 1	113,465			94,800		265,795	2.34	90

Use, Bulk And Data Table -- Subarea B1.
(Page 2 of 4)

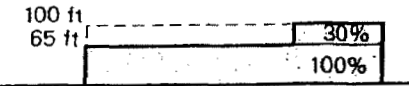
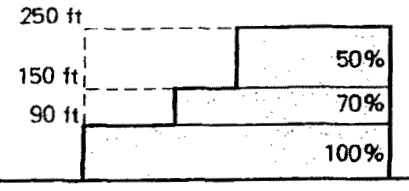
Block 2								
Parcel 2.1	74,008	Residential	Townhouse/Flats	60,100	100	132,086	1.78	53
Parcel 2.2	41,467	Residential	Midrise	35,500	250	185,182	4.47	125
Parcel 2.3	41,467	Residential	Midrise	34,600	250	137,814	3.32	86
Parcel 2.4	41,397	Residential	Midrise	35,500	250	185,182	4.47	125
Subtotal Block 2	198,339			165,700		640,263	3.23	389
<hr/>								
Subarea B1 Total	311,804			260,500		906,058	2.90	479

Minimum Setbacks	Front 32 nd Street, 33 rd Street, Vernon (32 nd Street to 33 rd Street)	5 ft
	King Dr., Vernon (31 st Place to 32 nd Street)	10 ft
	Side	0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: - walls with Living Room windows o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height) o 100 ft (above 450 feet height) 4 ft (walls with all other windows)
	Rear	0 ft

Use, Bulk And Data Table -- Subarea B1.
(Page 3 of 4)

Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
Allowable Uses	Exception: In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea B1-Parcels 2.2, 2.3, and 2.4.	
	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Restaurants (with or without service of alcohol); Financial services (except pawnshops, consumer loan agencies and payday loan stores); Food and beverage retail sales, alcohol sales as accessory use only (no package liquor stores); Medical service; Offices; Personal service; and Retail Sales, General.
	INDUSTRIAL USE GROUP	None
	OTHER USE	Wireless Communication Facilities, Accessory Uses

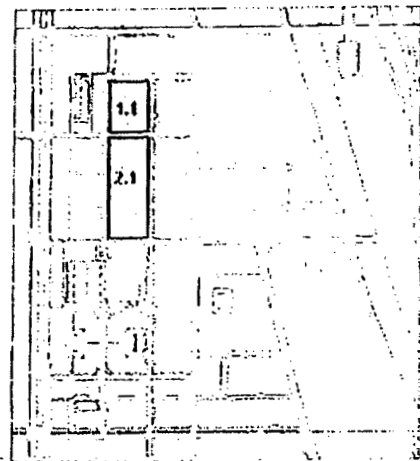
Use, Bulk And Data Table -- Subarea B1.
(Page 4 of 4)

	<p>GROUP</p> <p>Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.</p> <p>Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.</p> <p>Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.</p>		
<p>General Notes</p>	<p>See Notes 1 through 4 on the Master Bulk Regulations and Date Table</p>		
<p>Maximum Building Height by Length of Street Frontage</p>	<p>King Drive Approximate street frontage</p> <p>Maximum Building Height</p> <p>Minimum Building Height</p>	<p>1,015 linear feet</p> <p>100 feet</p> <p>30 feet</p>	
	<p>Maximum Street Frontage % -more than 65ft up to 100ft -up to 65ft</p>	<p>30% 100%</p>	
	<p>Vernon Ave. Approximate street frontage</p> <p>Maximum Building Height</p> <p>Minimum Building Height</p> <p>Maximum Street Frontage % -more than 150ft up to 250ft -more than 90ft up to 150ft -up to 90ft</p>	<p>1,015 linear feet</p> <p>250 feet</p> <p>None</p> <p>50% 70% 100%</p>	
<p>Notes</p>	<p>See Notes 1 through 4 on the Master Bulk Regulations and Date Table</p>		

Use, Bulk And Data Table -- Subarea B2.
(Page 1 of 4)

SUBAREA B2

Net Site Area	226,213 sf (5.19 acres)
Max Building Floor Area	798,367 sf
Max Dwelling Units	536
Maximum FAR	3.53
Maximum Building Height	500 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	153,655 sf (3.50 acres) As set forth in Statement 16 of this Planned Development



B2. SUBAREA KEY PLAN

Preliminary Project Data

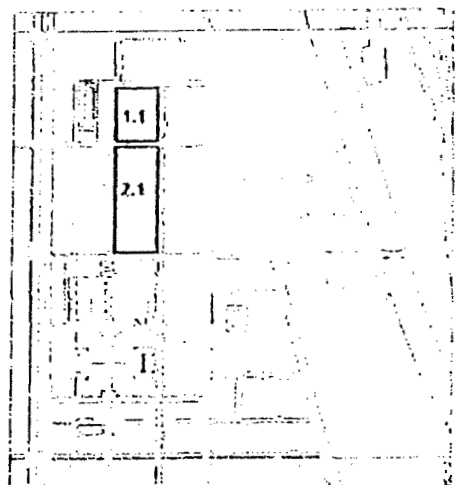
Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max FAR Area	Max FAR	Max Units	
Block 1									
Parcel 1.1	72,558	Residential	Highrise/Townhomes	63,900	500	798,367	11.00	536	
Subtotal Block 1	72,558			63,900		798,367	11.00	536	
Block 2									
Parcel 2.1	153,655	Open Space							
Subtotal Block 2	153,655								
Subarea B2 Total	226,213			63,900		798,367	3.53	536	


Minimum Setbacks	Front 33 rd Street	0 ft
	Vernon, Eberhart, 32 nd Street, 31 st Place	5 ft 10 ft
	Side	0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows)

Use, Bulk And Data Table -- Subarea B2.
(Page 2 of 4)

SUBAREA B2

Net Site Area	226,213 sf (5.19 acres)
Max Building Floor Area	798,367 sf
Max Dwelling Units	536
Maximum FAR	3.53
Maximum Building Height	500 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	153,655 sf (3.50 acres) As set forth in Statement 16 of this Planned Development



B2 SUBAREA KEY PLAN 

Preliminary Project Data

Parcel	Site Area	Antidpated Use	Building Type	Proposed Building Footprint	Max Height	Max FAR Area	Max FAR	Max Units
Block 1								
Parcel 1.1	72,558	Residential	Highrise/Townhomes	63,900	500	798,367	11.00	536
Subtotal Block 1	72,558			63,900		798,367	11.00	536

Use, Bulk And Data Table -- Subarea B2.
(Page 3 of 4)

Block 2
Parcel 2.1 153,655 Open Space

Subtotal Block 2 153,655

Subarea B2 Total 226,213 63,900 798,367 3.53 536

Minimum Setbacks	Front 33 rd Street	0 ft
	Vernon, Eberhart, 32 nd Street,	5 ft
	31 st Place	10 ft
	Side	0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: - walls with Living Room windows o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height) o 100 ft (above 450 feet height) - 4 ft (walls with all other windows)
	Rear	0 ft
Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf

Use, Bulk And Data Table -- Subarea B2.
(Page 4 of 4)

Size	Maximum Floor Plate Size	None
	Maximum Number of Buildings in Subarea	None
	High-rise Building Height	more than 200 feet up to 250 feet
	Maximum Floor Plate Size	20,000 sf
	Maximum Number of Buildings in Subarea	No more than 2 buildings over 200 feet permitted
	High-rise Building Height	more than 250 feet up to 500 feet
	Maximum Floor Plate Size	15,000 sf
	Maximum Number of Buildings in Subarea	No more than 2 buildings over 200 feet permitted
Notes	See Notes 1 through 4 on the Master Bulk Regulations and Data Table	

Use, Bulk And Data Table -- Subarea B3.
(Page 1 of 3)

Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units.
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units.
	Office, Retail, Commercial, Public and Civic	1 per 10 auto spaces
Allowable Uses	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Restaurants (with or without service of alcohol); Financial services (except pawnshops, consumer loan agencies and payday loan stores); Food and beverage retail sales, alcohol sales as accessory use only (no package liquor stores); Medical service; Offices; Personal service; and Retail Sales, General.
	INDUSTRIAL USE GROUP	None
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
	<p>Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.</p> <p>Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.</p> <p>Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.</p>	
Maximum Height by Floor Plate	Low and Midrise Building Height	Grade to 200 feet

Use, Bulk And Data Table -- Subarea B3.
(Page 2 of 3)

Minimum Setbacks	Front 31 st Street, 31 st Place, Rhodes	3 ft
	32 nd Street, 33 rd Street, Vernon, Eberhart (32 nd Street to 33 rd Street)	5 ft
	Eberhart (31 st Place to 32 nd Street)	10 ft
	Side	0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: - walls with Living Room windows o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height) o 100 ft (above 450 feet height) - 4 ft (walls with all other windows)
	Rear	0 ft
Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
	Office, Retail, Commercial, Hotel, Public and Civic	1 per 10 auto spaces
	Exception: In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea B3-Parcels 1.1, 1.2, 1.3, 2.1, 2.2, and 2.3.	
Allowable Uses	Exception: In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea B3-Parcels 1.1, 1.2, 1.3, 2.1, 2.2, and 2.3.	
	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Restaurants (with or without service of alcohol); Financial services (except pawnshops, consumer loan agencies and payday loan stores); Food and beverage retail sales, alcohol sales as accessory use only (no package liquor stores); Medical service; Offices;

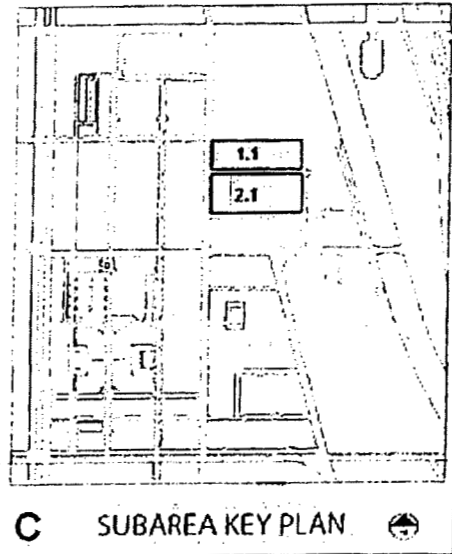
Use, Bulk And Data Table -- Subarea B3.
(Page 3 of 3)

		Personal service; and Retail Sales, General	
	INDUSTRIAL USE GROUP	None	
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses	
	<p>Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.</p> <p>Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.</p> <p>Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.</p>		
Maximum Building Height by Length of Street Frontage	Eberhart Ave. Approximate street frontage	1,015 linear feet	
	Maximum Building Height	600 feet	
	Minimum Building Height	None	
	Maximum Street Frontage % -more than 150ft up to 250ft -more than 90ft up to 150ft -up to 90ft	50% 75% 100%	
	Rhodes Ave. Approximate street frontage	1,230 linear feet	
	Maximum Building Height	600 feet	
	Minimum Building Height	50 feet	
	Maximum Street Frontage % -more than 150ft up to 250ft -more than 90ft up to 150ft -up to 90ft	50% 70% 100%	
	31st Street Approximate street frontage	491 linear feet	
	Maximum Building Height	450 feet	
	Minimum Building Height	None	
	Maximum Street Frontage % -more than 250ft up to 450ft -more than 150ft up to 250ft -up to 150ft	25% 50% 100%	
Notes	See Notes 1 through 4 on the Master Bulk Regulations and Data Table		

Use, Bulk And Data Table -- Subarea C.
(Page 1 of 2)

SUBAREA C

Net Site Area	207,921 sf (4.77 acres)
Max Building Floor Area	395,050 sf
Max Dwelling Units	201
Maximum FAR	1.90
Maximum Building Height	200 ft 65 ft (Townhouse/Single Family)
Minimum Open Space	None



Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max FAR	Max Units
Block 1 & 2								
Parcel 1.1 & 2.1	207,921	Residential	Townhouse/Midrise/Single Family	N/A	200	395,050	1.90	201
Subtotal Block 1 & 2	207,921					395,050	1.90	201
Subarea C Total	207,921					395,050	1.90	201

Minimum Setbacks	Front	Rhodes	3 ft
		32nd Street, 32nd Place, Ellis	5 ft
	Side		0 ft, except: Facing Townhouse/Single-Family: - 35 ft (walls with Living Room windows) - 4 ft (walls with all other windows) All other Facing Multi-Family: - walls with Living Room windows o 35 ft (from 0 to 50 feet height) o 50 ft (from 51 to 150 feet height) o 60 ft (from 151 to 450 feet height) o 100 ft (above 450 feet height) - 4 ft (walls with all other windows)
	Rear		0 ft
Minimum	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60	

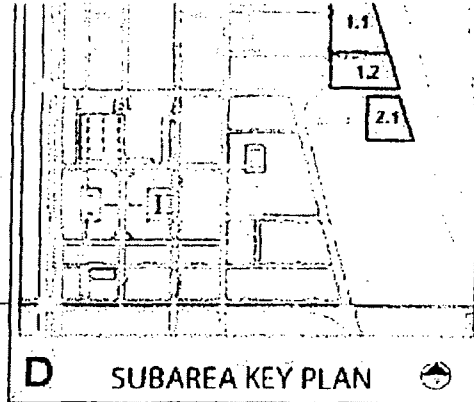
Use, Bulk And Data Table -- Subarea C.
(Page 2 of 2)

Parking Spaces	Townhouse/Single Family	spaces per dwelling unit 1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf
	Minimum Bicycle Parking Spaces	
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
Allowable Uses	Office, Retail, Commercial, Hotel, Public and Civic	1 per 10 auto spaces
	RESIDENTIAL USE GROUP	Household Living, Group Living
Allowable Uses	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Restaurants (with or without service of alcohol); Financial services (except pawnshops, consumer loan agencies and payday loan stores); Food and beverage retail sales, alcohol sales as accessory use only (no package liquor stores); Medical service; Offices; Personal service; and Retail Sales, General.
	INDUSTRIAL USE GROUP	None
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
	<p>Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.</p> <p>Note 2: Other uses and Use Categories, whether listed as special or permitted uses in Section 17-3-0207, as it may be amended from time to time, shall be permitted in this Subarea.</p> <p>Note 3: "Use Categories" are defined in Section 17-17-0101-B of the Chicago Zoning Ordinance.</p>	
Notes	See Notes 1 through 4 on the Master Bulk Regulations and Data Table	

Use, Bulk And Data Table -- Subarea D.
(Page 1 of 3)

Maximum Building Height 700 ft
65 ft (Townhouse/Single Family)

Minimum Open Space None



Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max FAR	Max Units
Block 1								
Parcel 1.1	123,430	Residential	Highrise/Midrise	71,100	700	1,554,609	12.60	964
Parcel 1.2	70,894	Residential	Highrise/Midrise	42,600	700	950,923	13.41	674
Subtotal Block 1	194,324			113,700		2,505,532	12.89	1,638
Block 2								
Parcel 2.1	63,109	Residential	Highrise/Midrise	38,600	700	613,833	9.73	352
Subtotal Block 2	63,109			38,600		613,833	9.73	352
Subarea D Total	257,433			152,300		3,119,365	12.12	1,990

Front	
--------------	--

Use, Bulk And Data Table -- Subarea D.
(Page 2 of 3)

- o 60 ft (from 151 to 450 feet height)
 - o 100 ft (above 450 feet height)
- 4 ft (walls with all other windows)

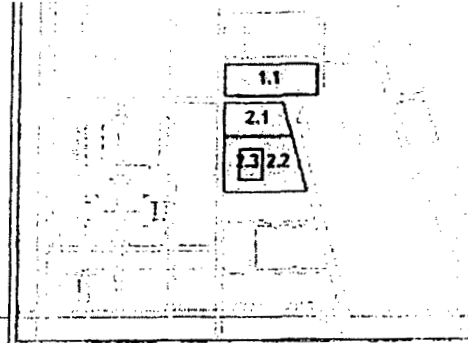
	Rear	0 ft
Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
	Office, Retail, Commercial, Public and Civic	1 per 10 auto spaces
Allowable Uses	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Restaurants (with or without service of alcohol); Financial services (except pawnshops, consumer loan agencies and payday loan stores); Food and beverage retail sales, alcohol sales as accessory use only (no package liquor stores); Medical service; Offices; Personal service; and Retail Sales, General.
	INDUSTRIAL USE GROUP	None
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
	Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.	


Use, Bulk And Data Table -- Subarea D.
(Page 3 of 3)

	<p>Building Height</p> <p>Maximum Floor Plate Size</p> <p>Maximum Number of Buildings in Subarea</p>	<p>more than 200 feet up to 250 feet</p> <p>20,000 sf</p> <p>No more than 5 high-rise buildings permitted</p>
	<p>High-rise Building Height</p> <p>Maximum Floor Plate Size</p>	<p>more than 250 feet up to 500 feet</p> <p>15,000 sf</p>
	<p>Maximum Number of Buildings in Subarea</p>	<p>No more than 5 high-rise buildings permitted; provided that no more than 3 of these high-rise buildings are permitted to exceed 250 feet in height</p>
	<p>High-rise Building Height</p> <p>Maximum Floor Plate Size</p> <p>Maximum Number of Buildings in Subarea</p>	<p>more than 500 feet up to 700 feet</p> <p>12,000 sf</p> <p>No more than 5 high-rise buildings permitted; provided that no more than 2 of these high-rise buildings are permitted to exceed 500 feet in height</p>
General Notes	See Notes 1 through 4 on the Master Bulk Regulations and Data Table	

Use, Bulk And Data Table -- Subarea E.
(Page 1 of 3)

Maximum FAR 4.91
Maximum Building Height 500 ft
 65 ft (Townhouse/Single Family)
Minimum Open Space 117,675 sf (2.70 acres)
 As set forth in Statement 16 of
 this Planned Development



E SUBAREA KEY PLAN 

Preliminary Project Data

Parcel	Site Area	Anticipated Use	Building Type	Proposed Building Footprint	Max Height	Max SF	Max FAR	Max Units
Block 1								
Parcel 1.1 (Park)	86,822	Park						
Subtotal Block 1	86,822							
Block 2								
Parcel 2.1	71,288	Residential	Highrise/Midrise	64,000	500	515,257	7.23	319
Parcel 2.2	116,779	Residential / Retail	1 Story Retail/Townhouse/Highrise	92,200	500	984,618	8.43	598
Parcel 2.3 (Park)	30,853	Park / Motor Court						
Subtotal Block 2	218,920			156,200		1,499,874	6.85	917
Subarea E Total	305,742			156,200		1,499,874	4.91	917

Minimum Setbacks	Front	3 ft
	Rhodes, Ellis 32 nd Place, 33 rd Street.	5 ft

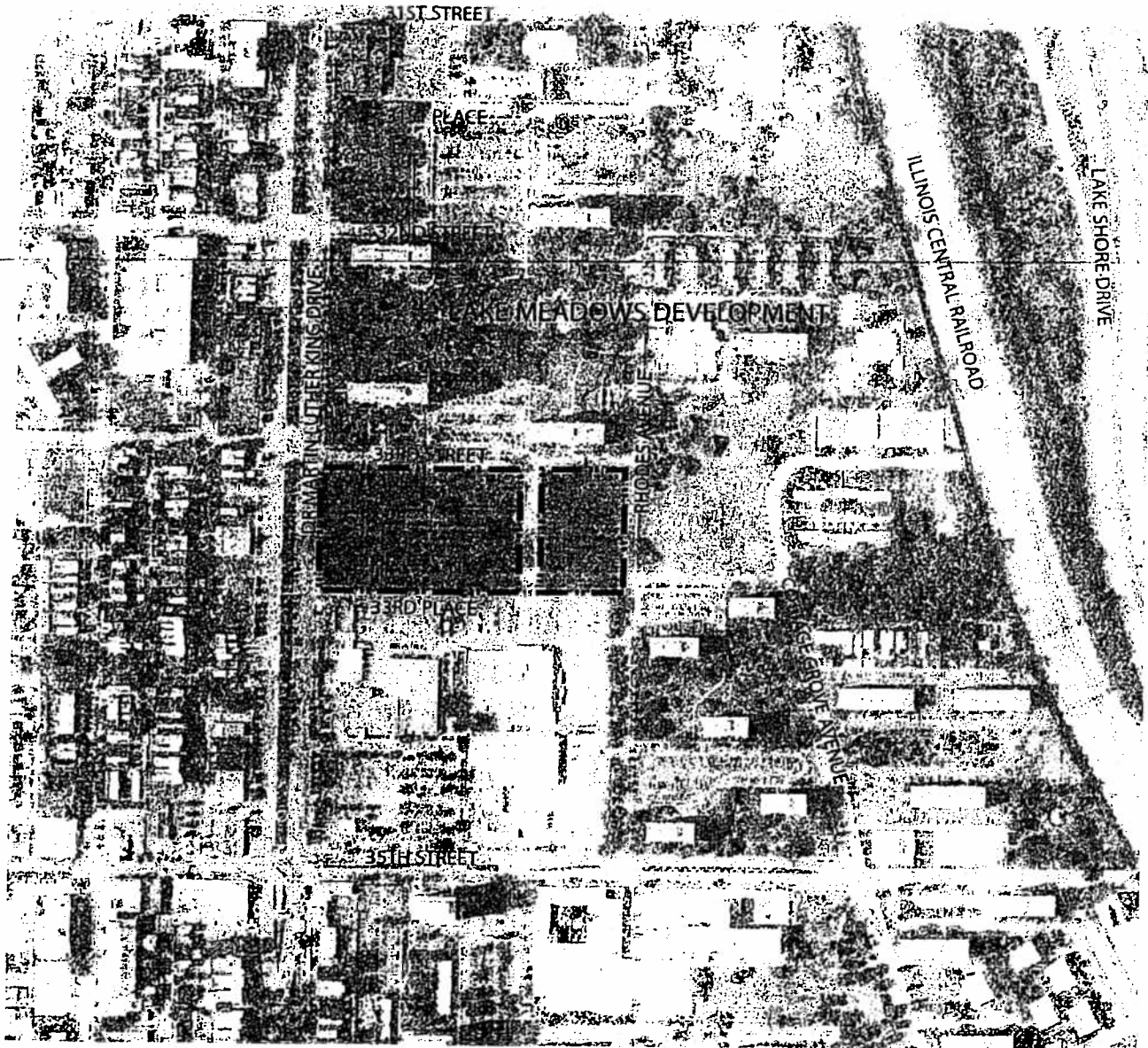
Use, Bulk And Data Table -- Subarea E.
(Page 2 of 3)

	Rear	4 ft (walls with all other windows) 0 ft
Minimum Parking Spaces	Multi-Family	.75 spaces per dwelling unit for first 100 dwelling units, then .60 spaces per dwelling unit
	Townhouse/Single Family	1 space per dwelling unit
	Elderly Housing	.33 spaces per dwelling unit
	Office, Retail, Commercial, Hotel, Public and Civic	None for first 35,000 sf or 2x Development Parcel area, whichever is greater; then 1.33 spaces per 1,000 sf
Minimum Bicycle Parking Spaces	No use is required to provide more than 50 bicycle parking spaces	
	Multi-Family	1 per 2 auto spaces in buildings containing 8 or more units
	Townhouse/Single Family	None
	Elderly Housing	1 per 4 auto spaces in buildings containing 8 or more units
Allowable Uses	Exception: In addition to the uses in the chart below, Lodging Uses; Bed and Breakfast; and Hotel/Motel shall also be permitted within Subarea E-Parcels 2.1 and 2.2.	
	RESIDENTIAL USE GROUP	Household Living, Group Living
	PUBLIC AND CIVIC USE GROUP	Colleges, Universities and Campus-Style Institutional Uses, Cultural Exhibits and Libraries, Day Care, Hospital, Lodge and Private Club, Parks and Recreation, Postal Service, Public Safety Services, Religious Assembly, Schools, Utilities and Services-Minor
	COMMERCIAL USE GROUP	Restaurants (with or without service of alcohol); Financial services (except pawnshops, consumer loan agencies and payday loan stores); Food and beverage retail sales, alcohol sales as accessory use only (no package liquor stores); Medical service; Offices; Personal service; and Retail Sales, General.
	INDUSTRIAL USE GROUP	None
	OTHER USE GROUP	Wireless Communication Facilities, Accessory Uses
Note 1: Reference should be made to Chapters 17-9 (Use Regulations) and 17-17 (Terminology and Measurements) of the Chicago Zoning Ordinance for conditions and requirements that may be applicable to particular uses and for Use Category definitions. Reference should also be made to, without limitation, Section 17-17-0101 for the range of uses allowed.		

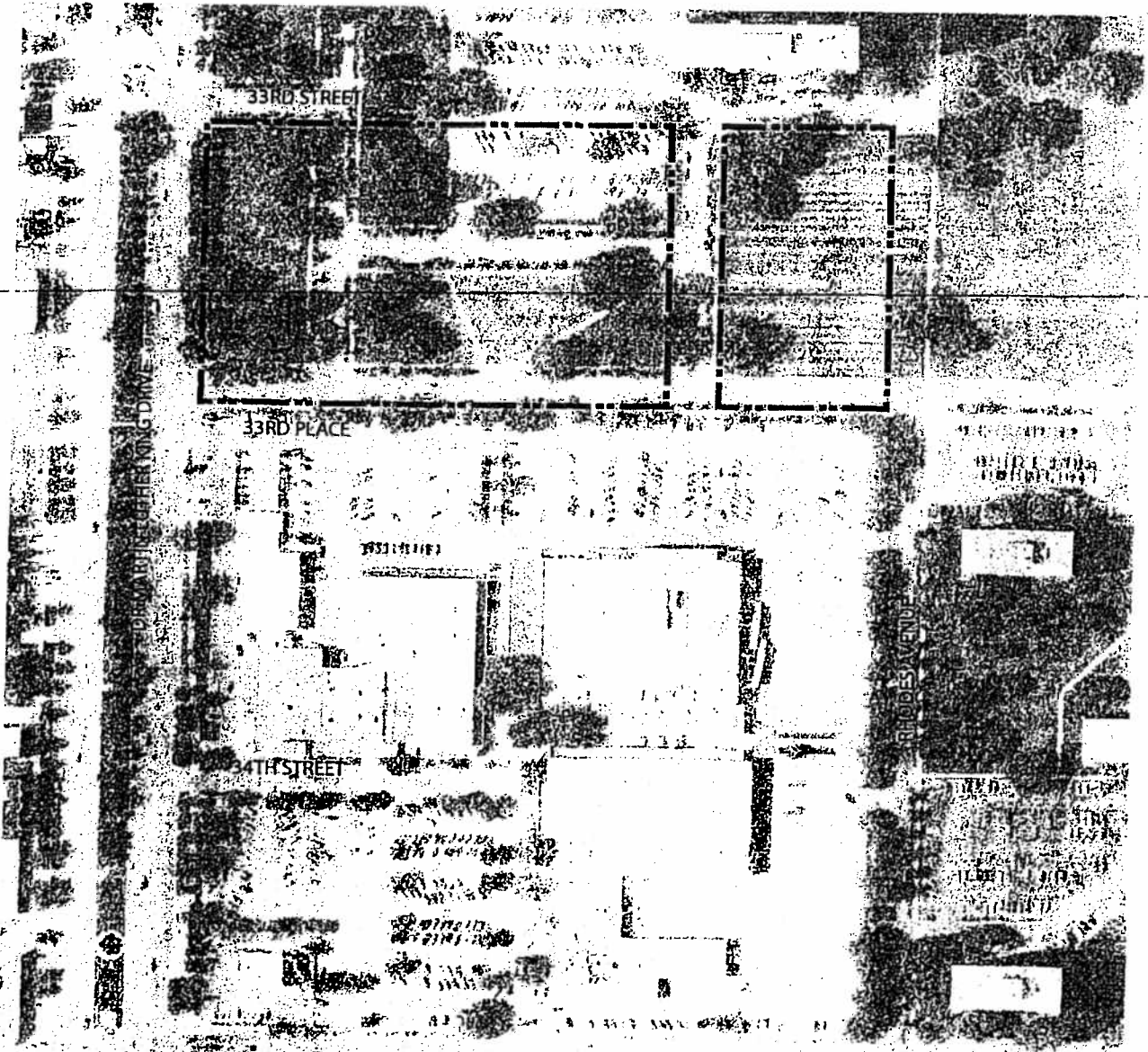
Use, Bulk And Data Table -- Subarea E.
(Page 3 of 3)

	Building Height	more than 200 feet up to 250 feet
	Maximum Floor Plate Size	20,000 sf
	Maximum Number of Buildings in Subarea	A maximum of 3 high-rise buildings are permitted
	High-rise Building Height	more than 250 feet up to 350 feet
	Maximum Floor Plate Size	15,000 sf
	Maximum Number of Buildings in Subarea	A maximum of 3 high-rise buildings are permitted; provided that no more than 2 of these high-rise buildings are permitted to exceed 250 feet in height
	High-rise Building Height	more than 350 feet up to 500 feet
	Maximum Floor Plate Size	12,000 sf
	Maximum Number of Buildings in Subarea	A maximum of 3 high-rise buildings are permitted; provided that no more than 1 of these high-rise buildings is permitted to exceed 350 feet in height
Notes	See Notes 1 through 4 on the Master Bulk Regulations and Date Table	

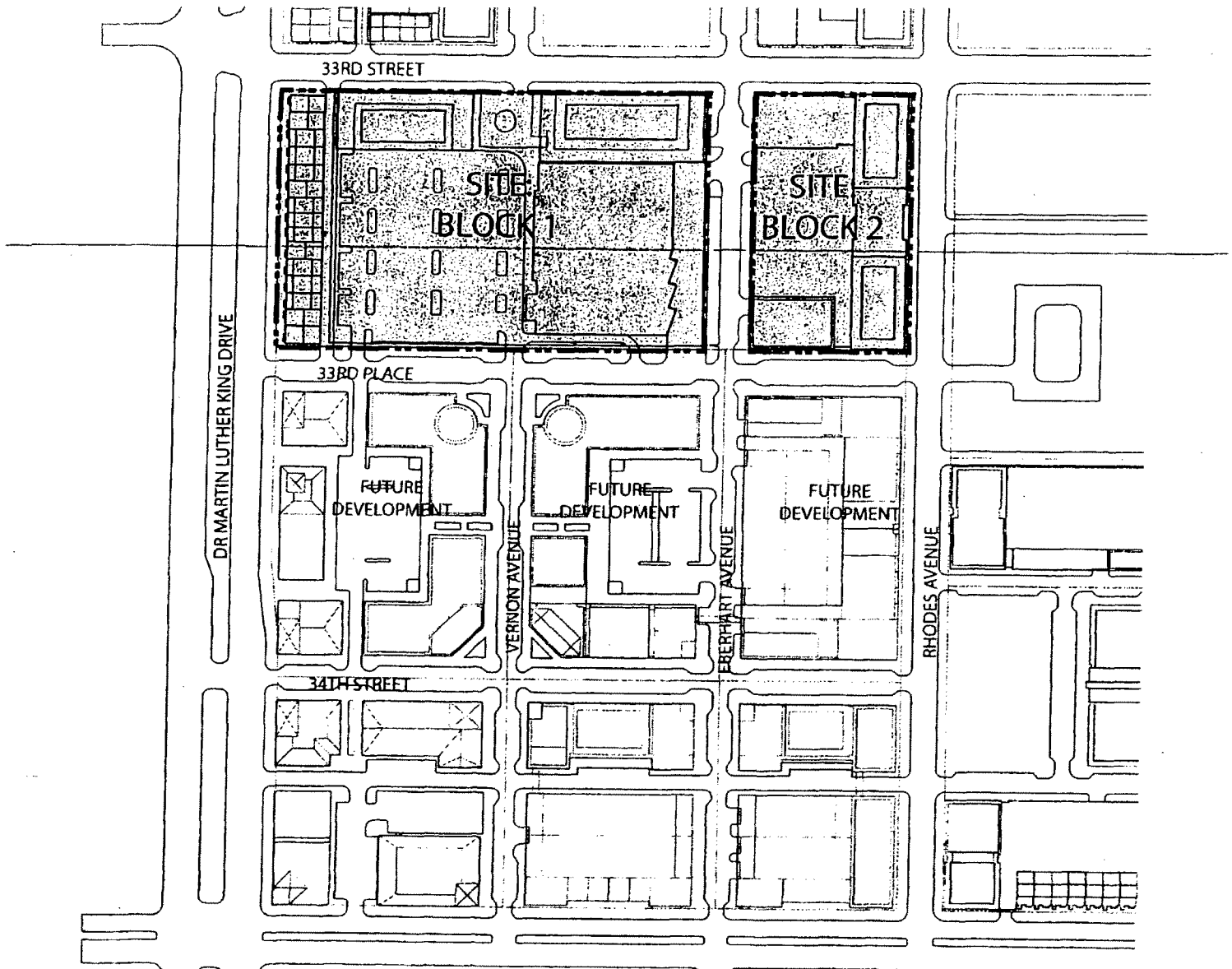
Subarea A1 – Surrounding Area Context.



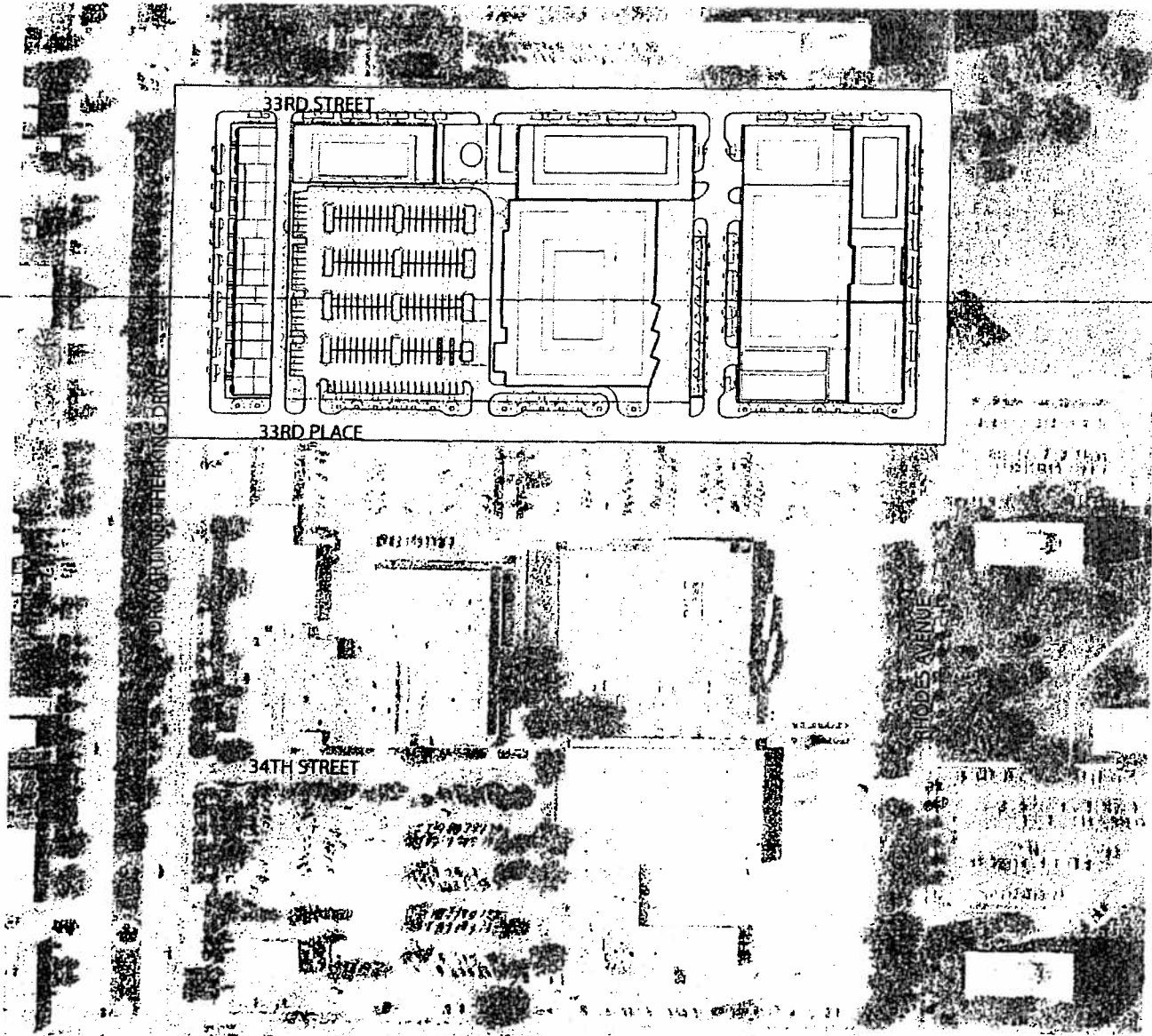
Subarea A1 -- Existing Conditions/Site Location.



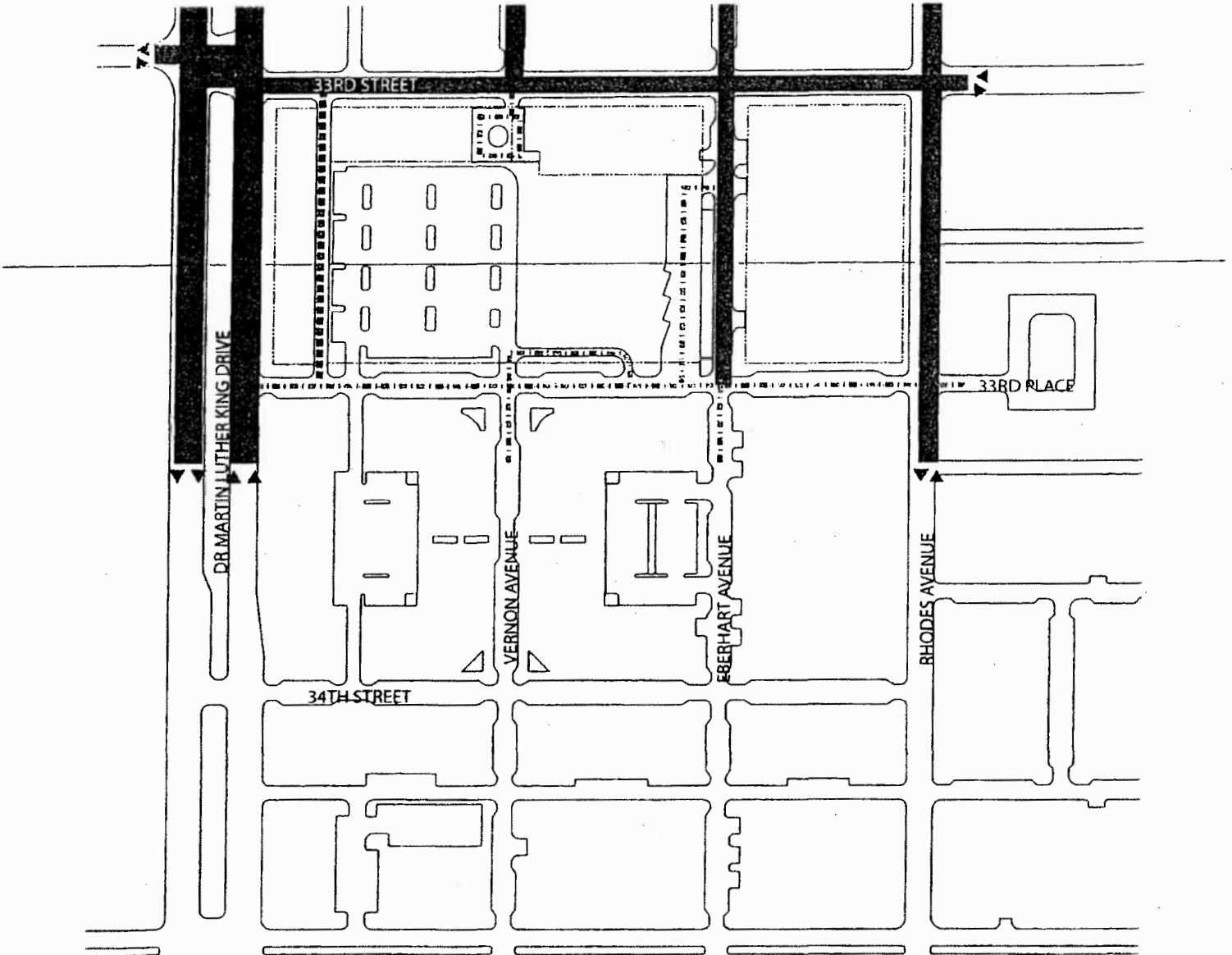
Subarea A1 -- Future Development Context.



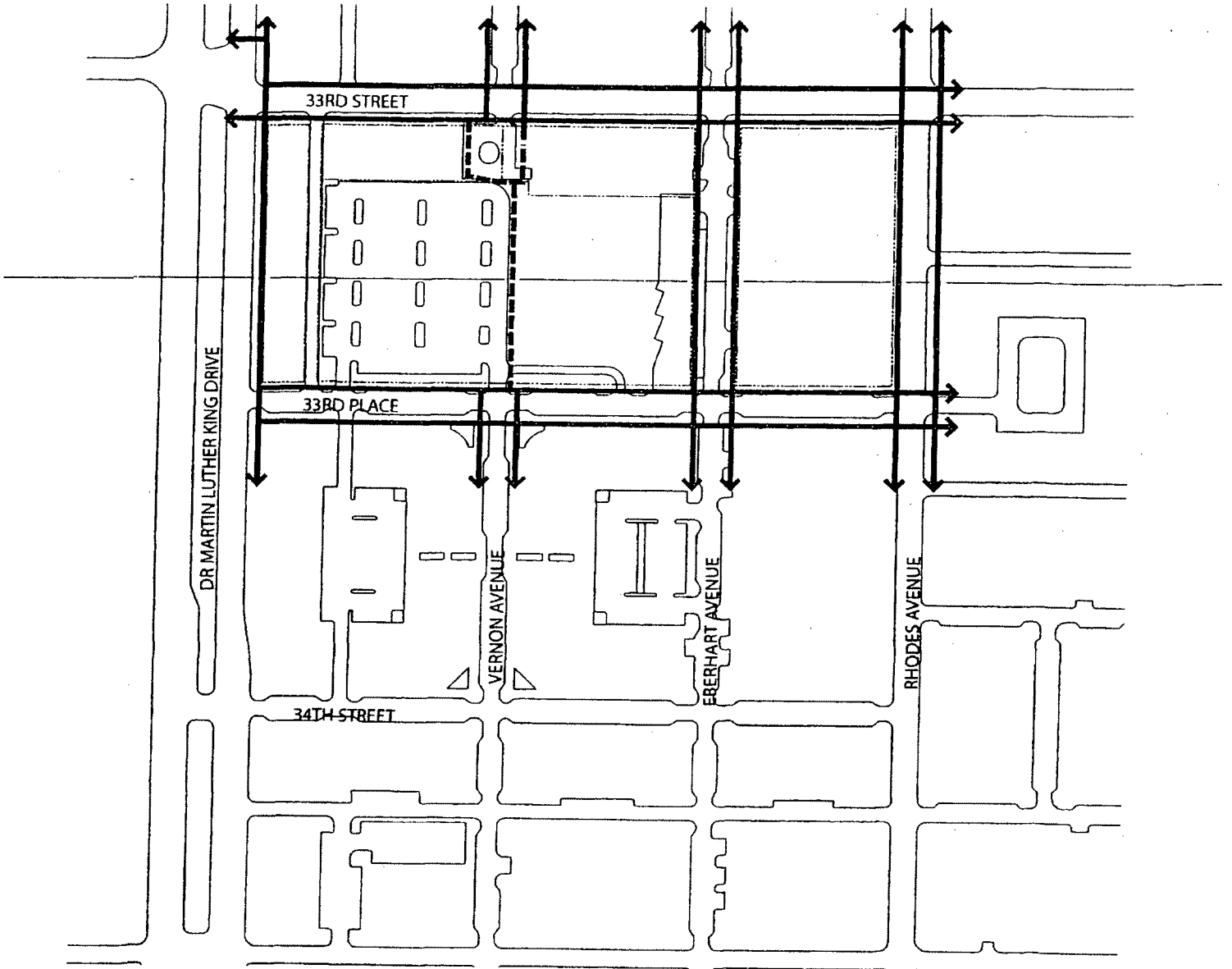
Subarea A1 -- Existing Development Context.



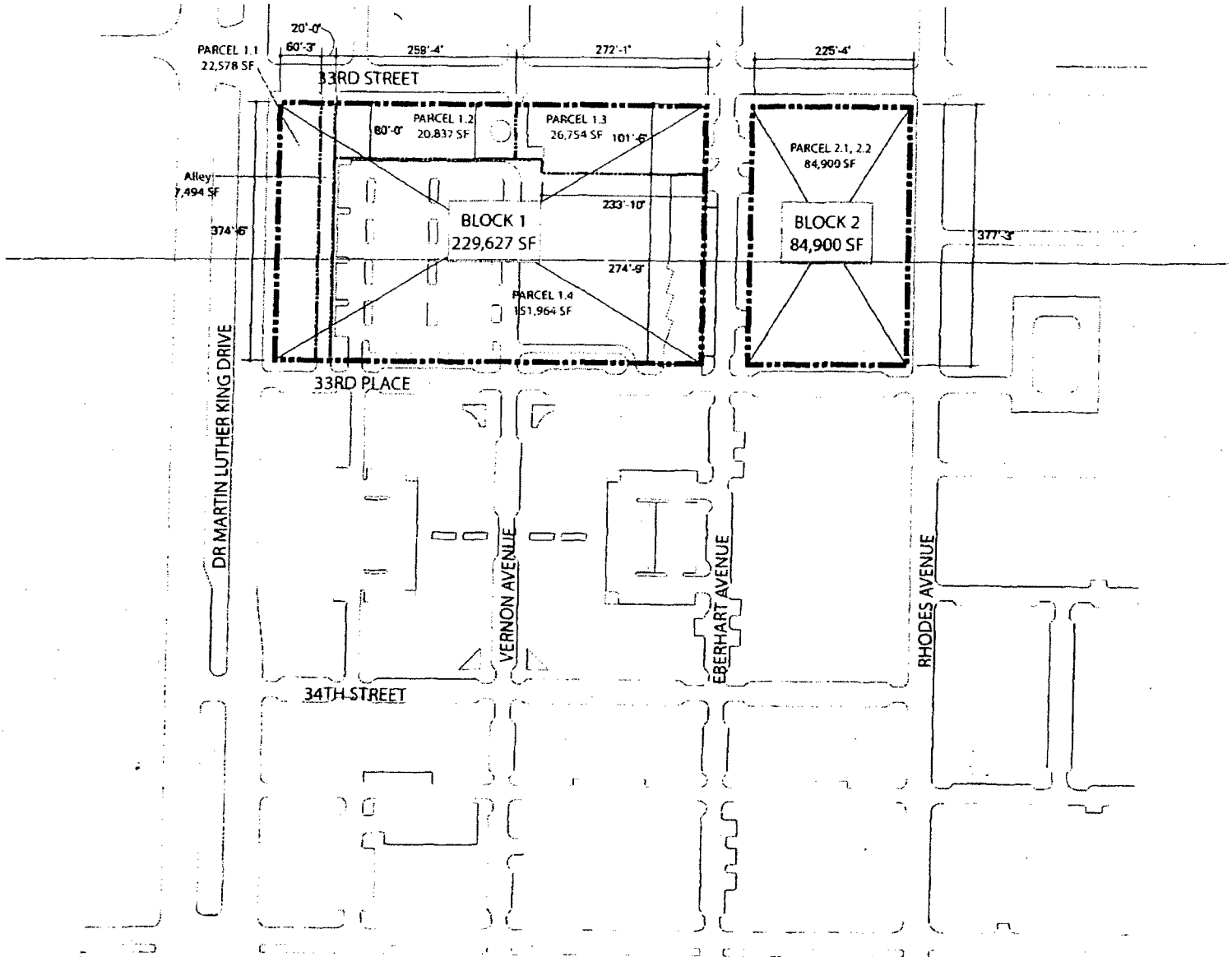
Subarea A1 -- Public And Private Roadways.



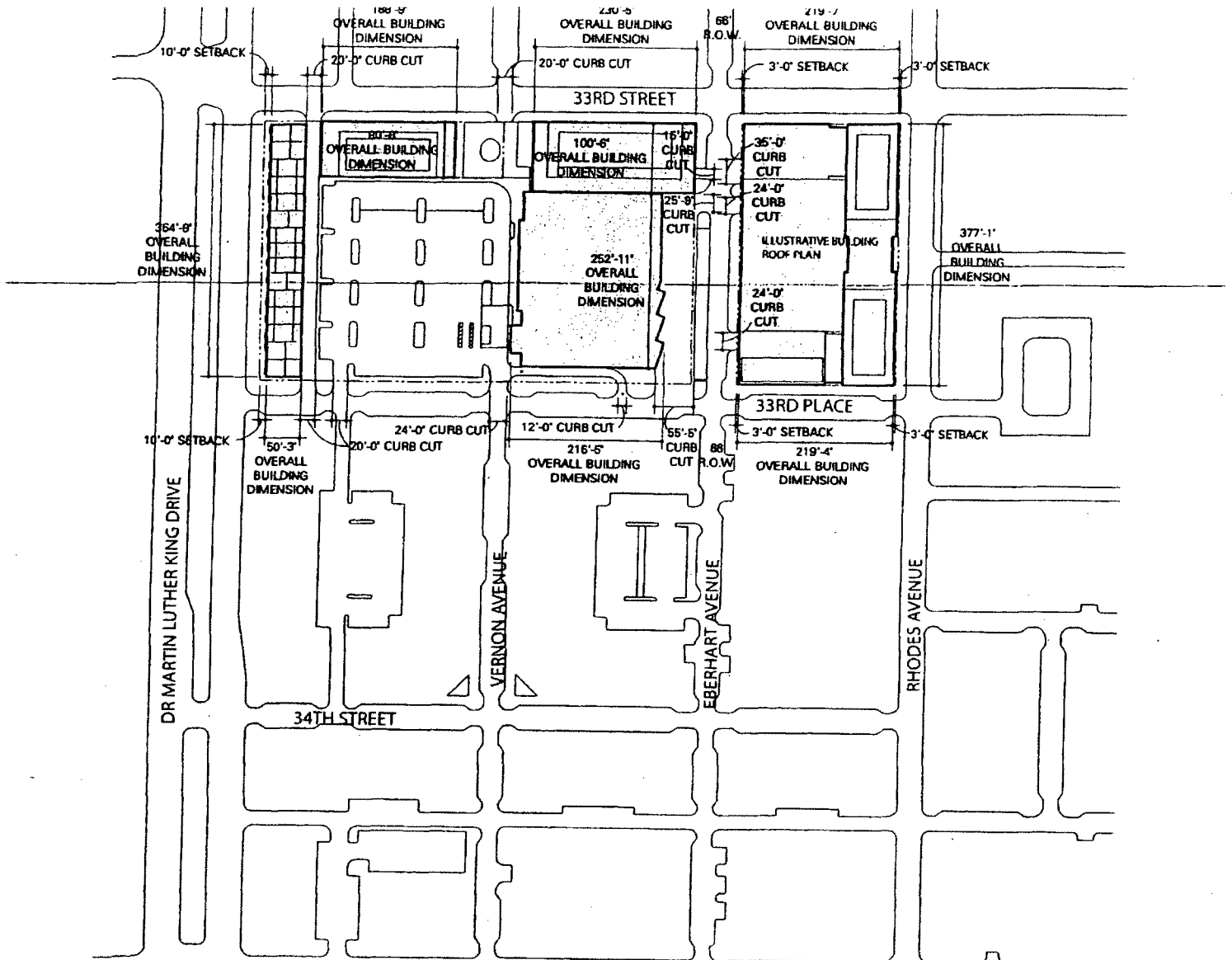
Subarea A1 -- Pedestrian Circulation.



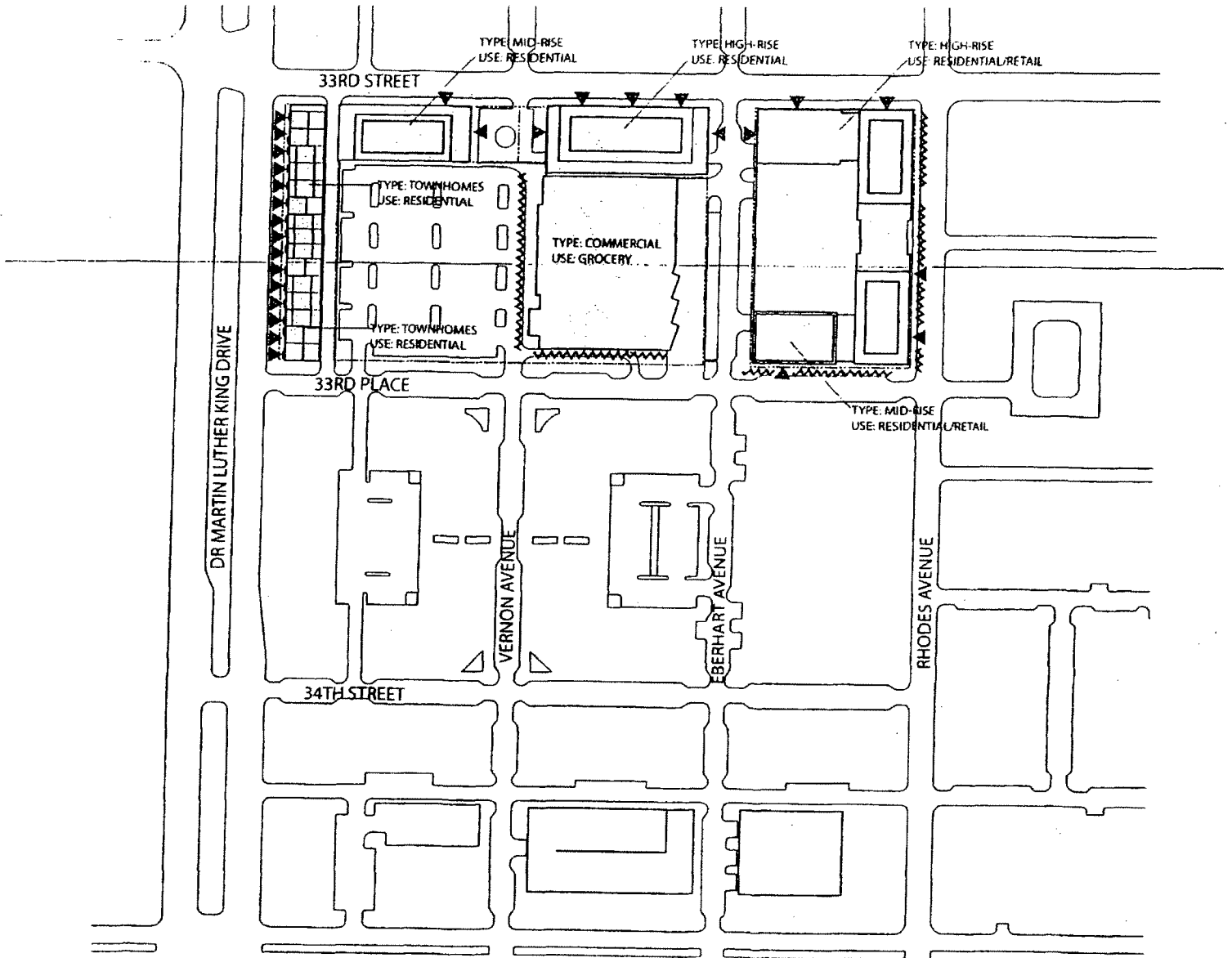
Subarea A1 -- Development Parcels And Blocks.



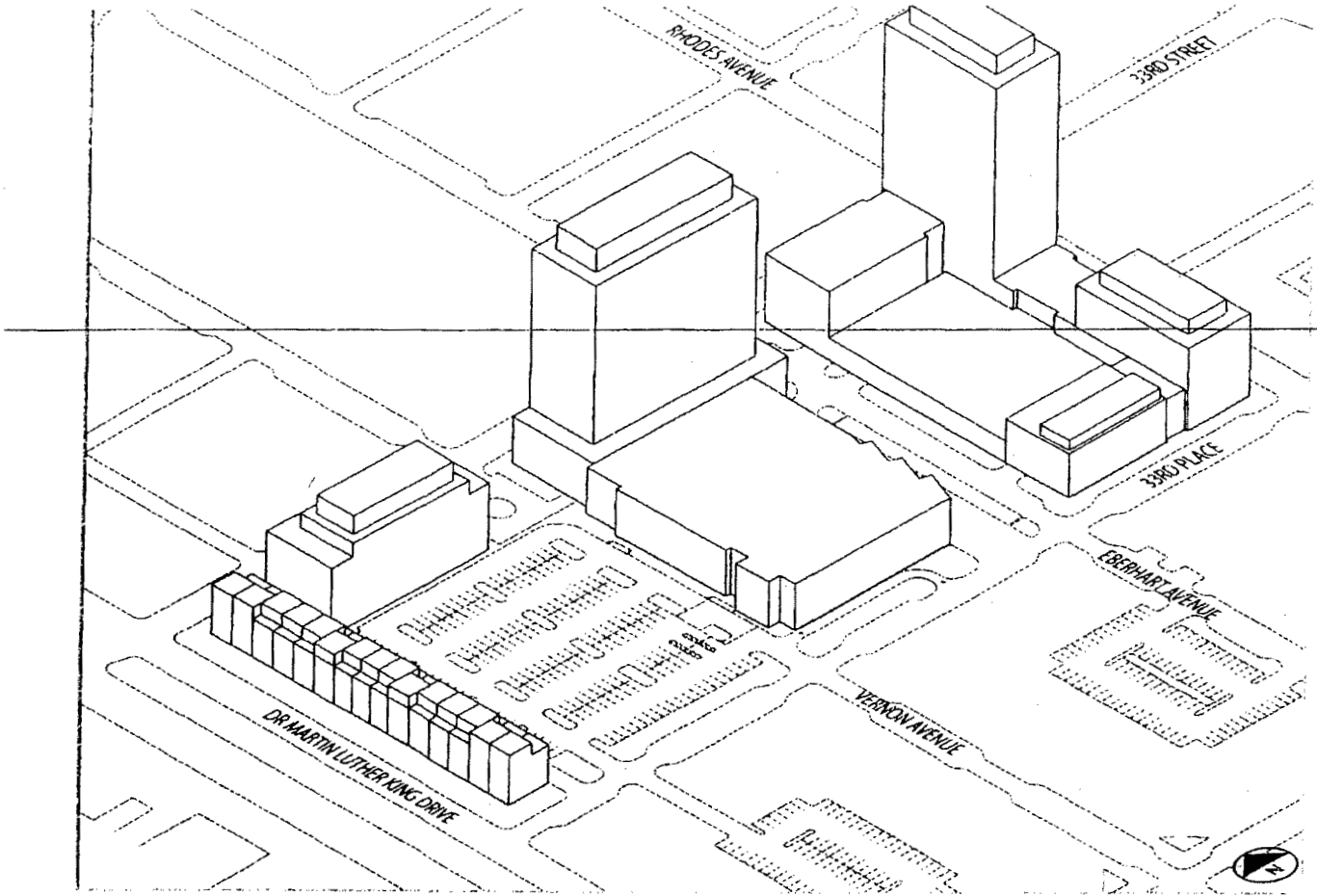
Subarea A1 -- Overall Building, Setback And Curb Cut Dimensions.



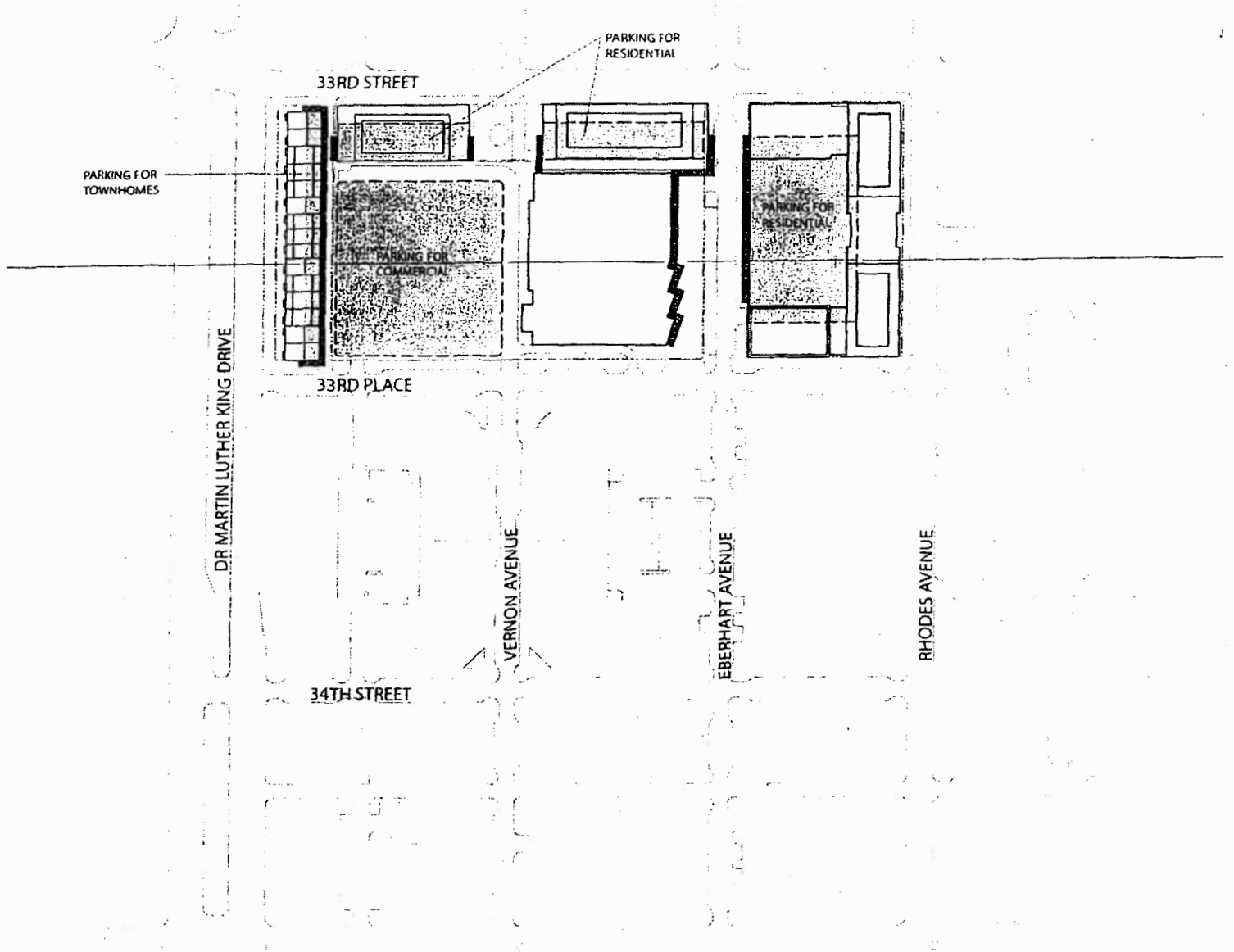
Subarea A1 -- Buildings.



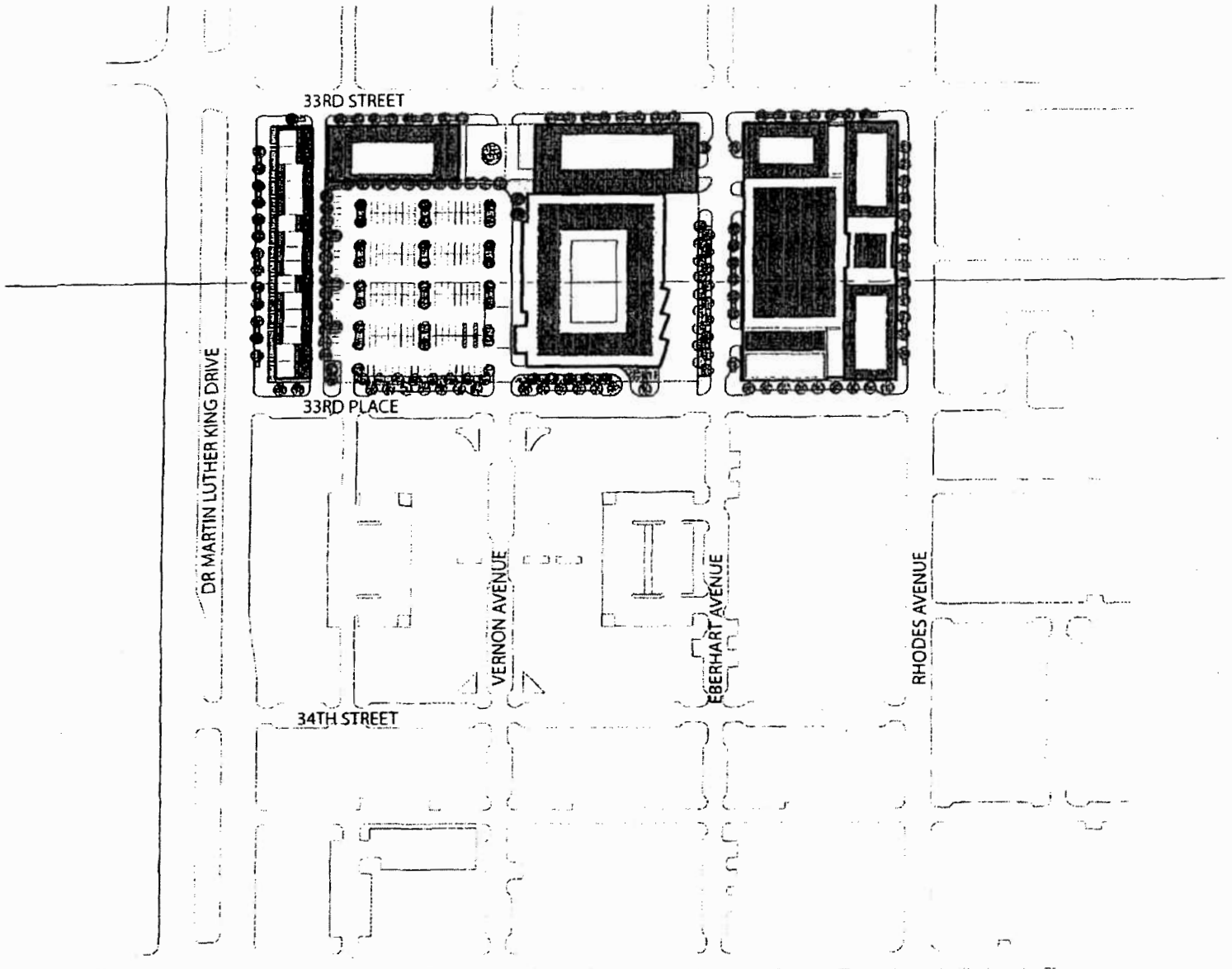
Subarea A1 -- Illustrative Massing Diagram.



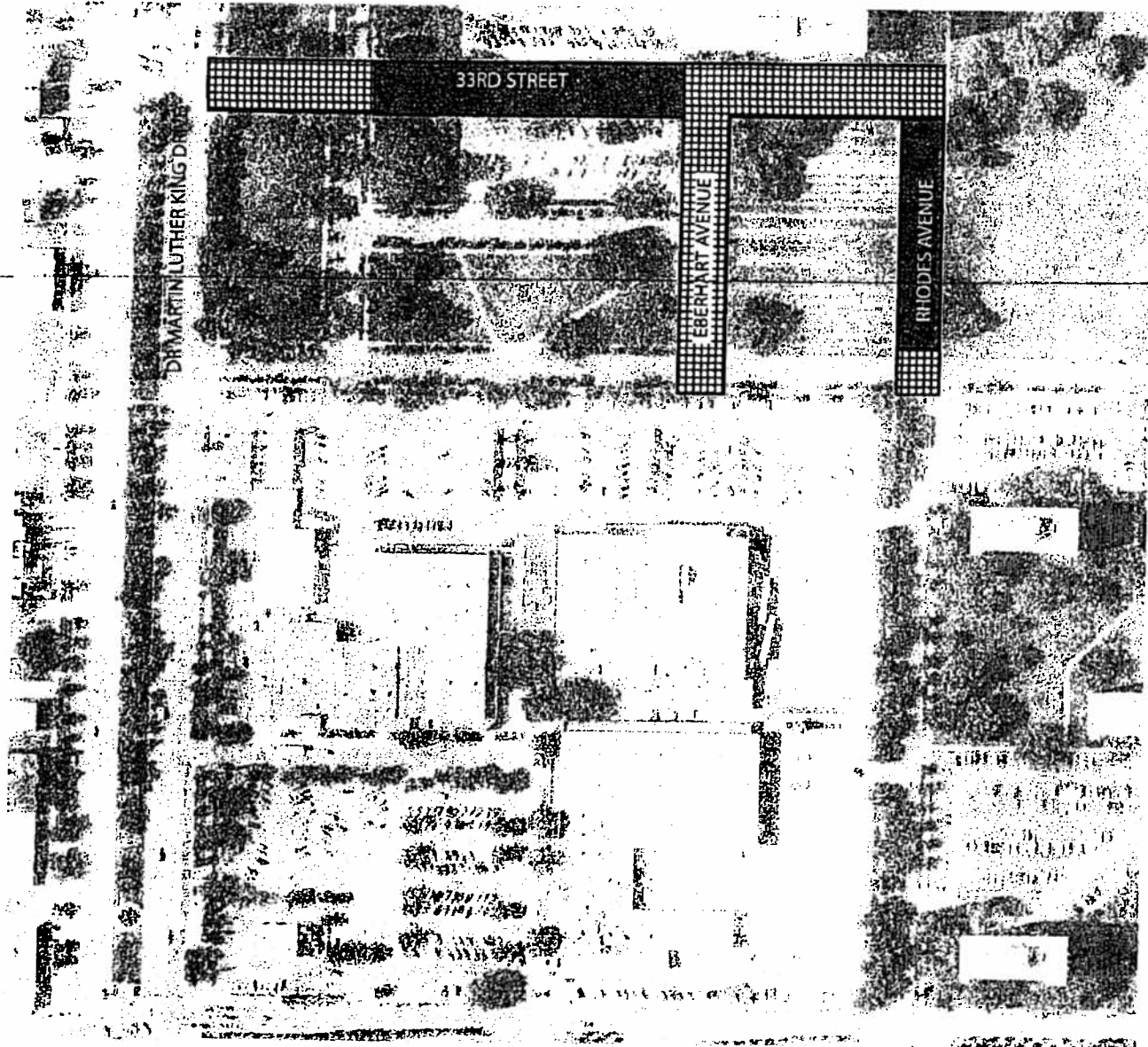
Subarea A1 -- Parking And Loading.



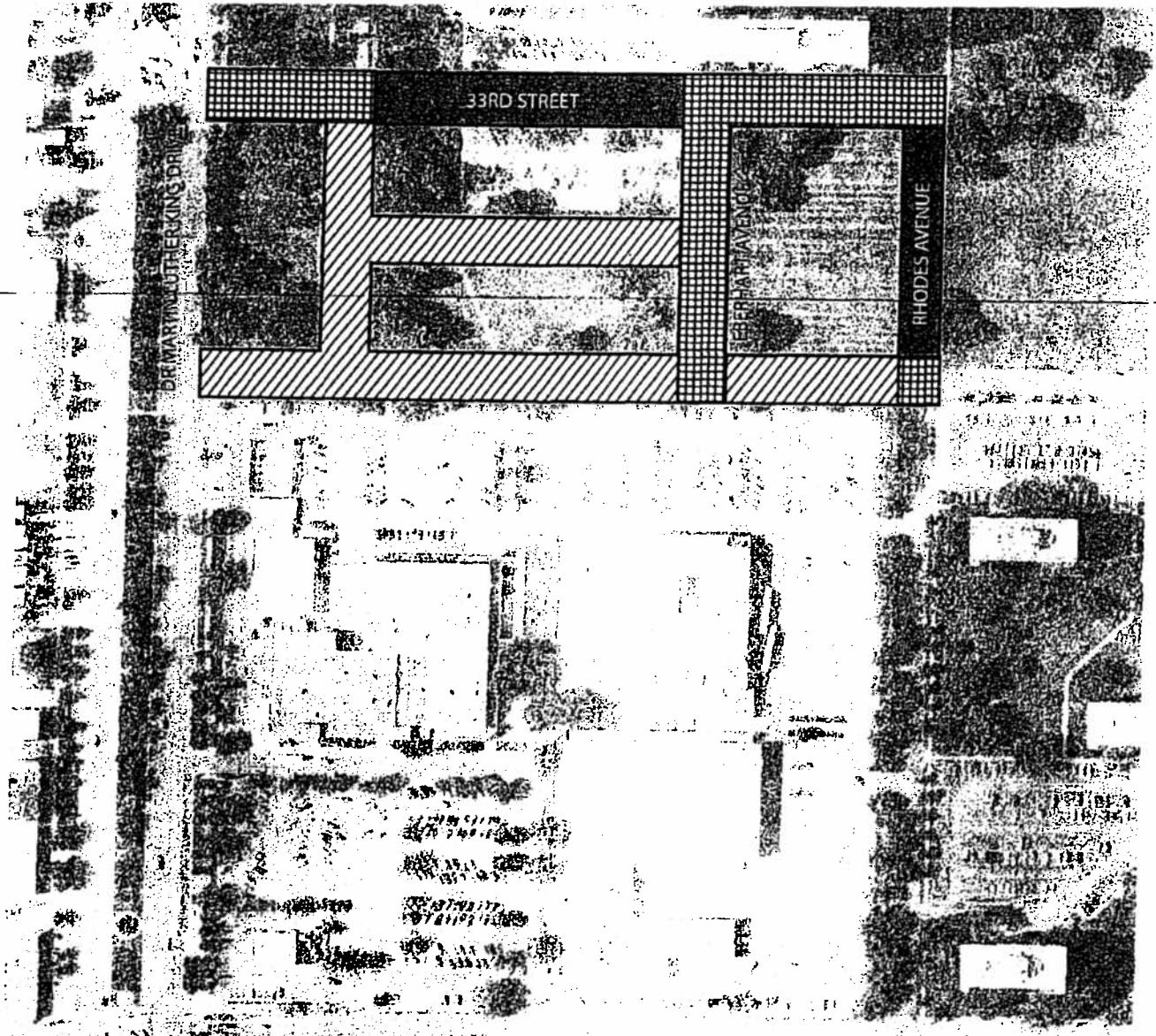
Subarea A1 -- Open Space And Landscaping.



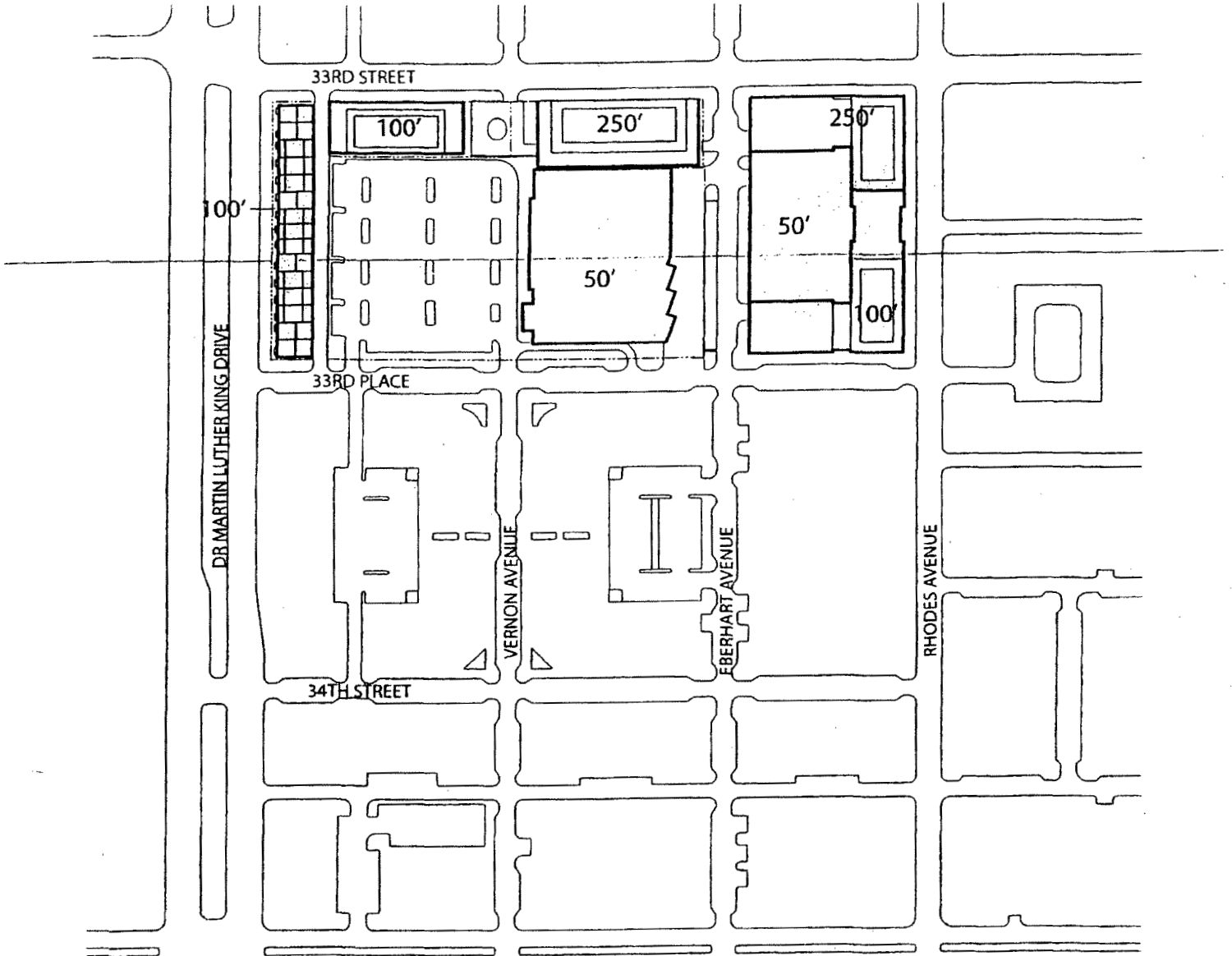
Subarea A1 -- Traffic Improvements.



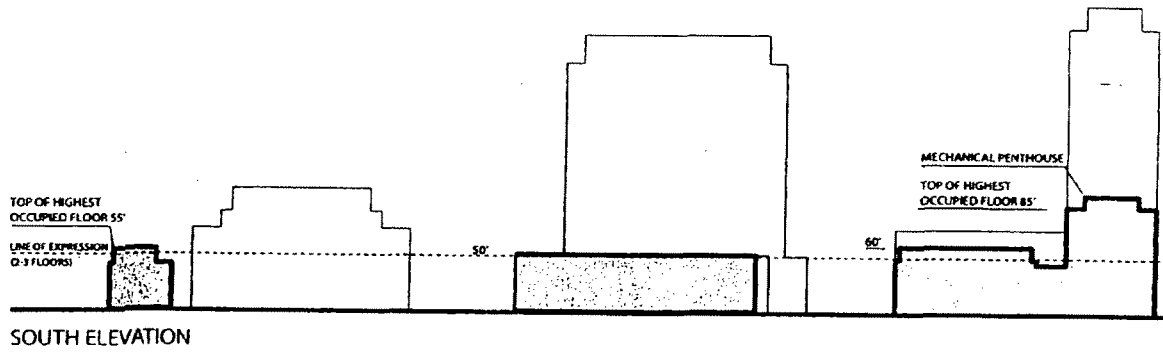
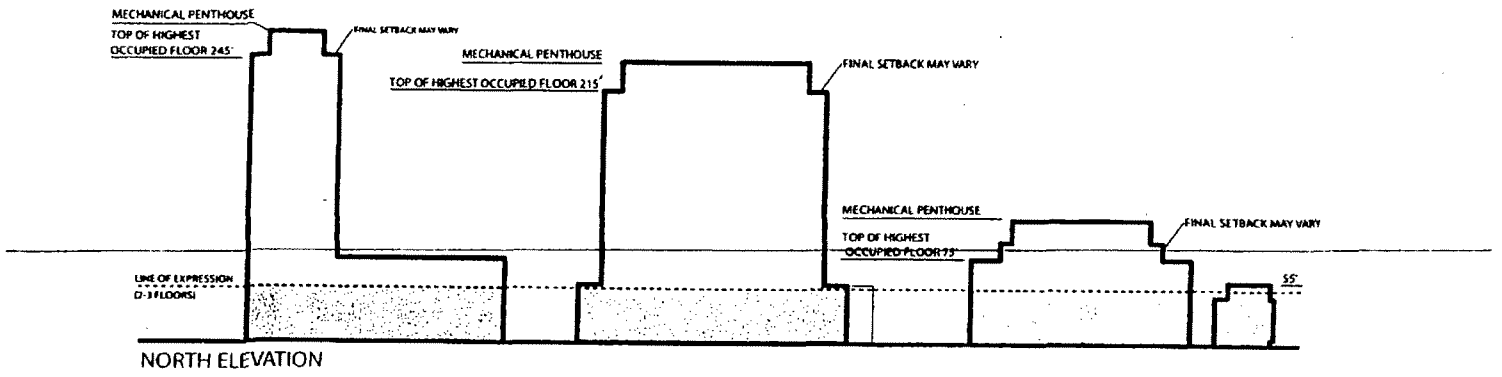
Subarea A1 - Vacations And Dedications.



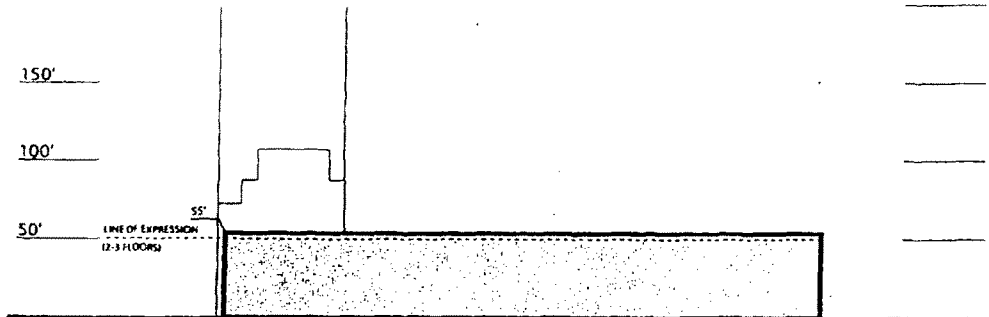
Subarea A1 -- Maximum Building Envelope And Height.



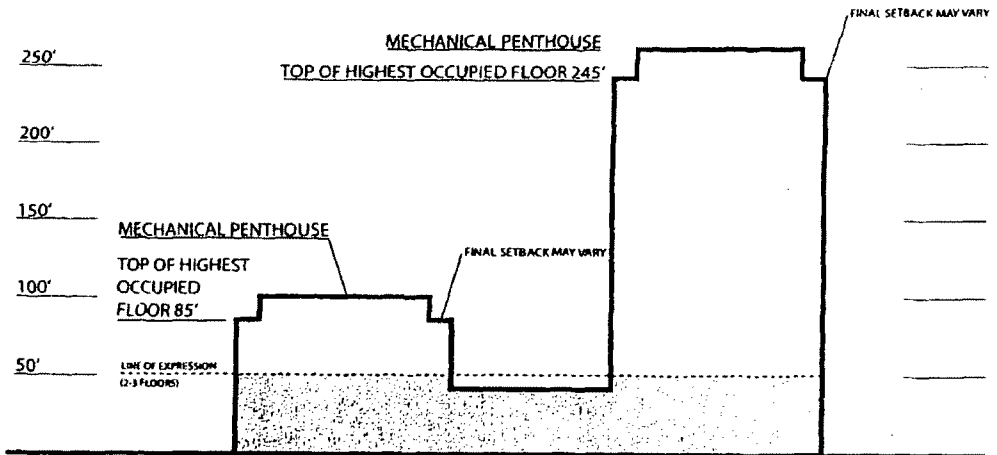
Subarea A1 -- North And South Illustrative Elevations.



Subarea A1 -- East And West Illustrative Elevations.

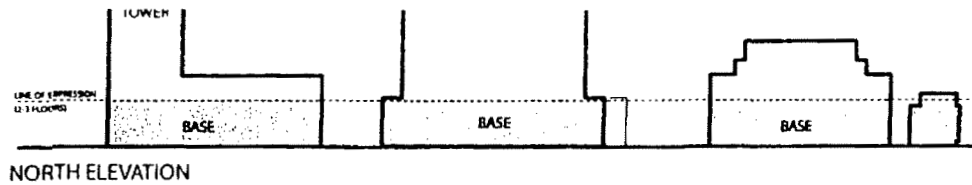


WEST ELEVATION

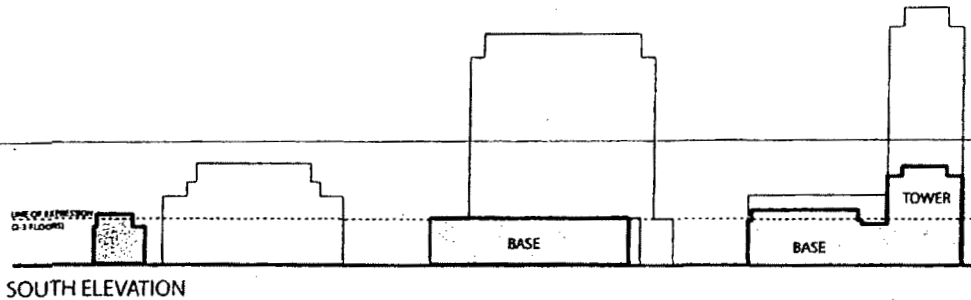


EAST ELEVATION

Subarea A1 -- Building Materials.



NORTH ELEVATION



SOUTH ELEVATION

Building Materials

The selection of appropriate building materials should be made with a concern for the existing context.

Highly reflective glass is discouraged. If all glass walls are used, high quality, low-e or clear/lightly tinted glass should be used.

Two categories of building material quality, Category 1 and Category 2, have been identified in the Master Plan.

NOTE: East and west elevations will be subject to the same material guidelines.

Category 1

- Natural Stone
- Cast Stone
- Brick
- Architectural Precast
- Glass and Metal Walls
- Architectural Metal Panels

Category 2

- Exposed Structural Concrete with high quality construction formwork
- Exterior Plaster or DEFS System
- Metal Panelized Exterior Cladding System
- Exposed Steel
- Synthetic Wood Siding

Generally, Category 1 materials should be used for signature buildings at the perimeter of the site and Category 2 materials may be used for buildings on the interior and service areas of the site. Unique materials and colors are encouraged along the ground level, at building entrances and on the rooftops. Whether Category 1 or Category 2 materials are used, a high quality level of finishes and details is important.

Building Base

Category 1 materials should be used on the building bases and low-rise structures. Clear or lightly tinted glass is preferred. Retail storefronts may include ornamental metals.

Building Tower

The portion of the building above the base may use Category 2 materials that are compatible with the material used for the base and also be complementary with neighboring buildings. Ornamental metals may be used for building accents.

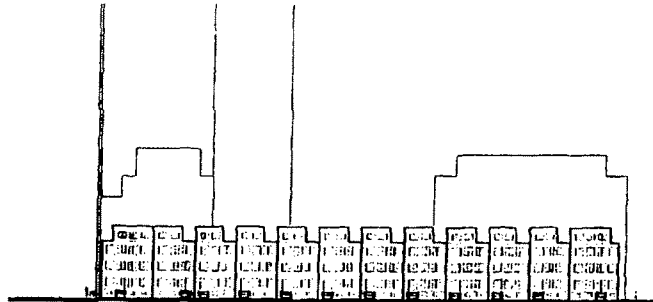
Building Top

The materials used for the building tops should be of high quality and present a distinctive image for the building.

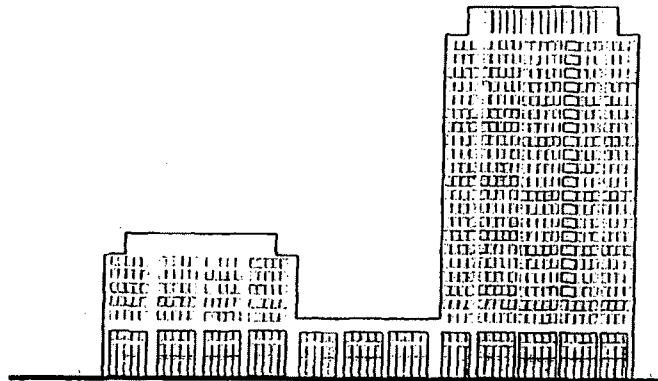
Material Color

A variety of color and materials are encouraged as a means to enhance the appearance of separate multiple adjacent buildings as opposed to a single mass. Stone, brick and concrete may range in color. Glass colors may include clear panes or slightly tinted gray, silver, green or blue.

Subarea A1 -- Facade Concepts.
(Page 1 of 2)

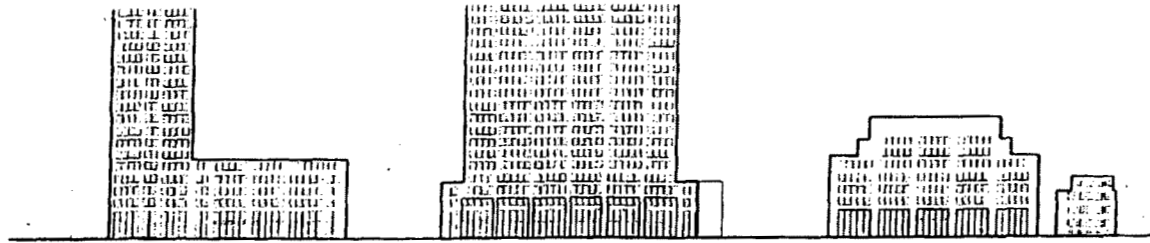


WEST (MLK BOULEVARD) ELEVATION

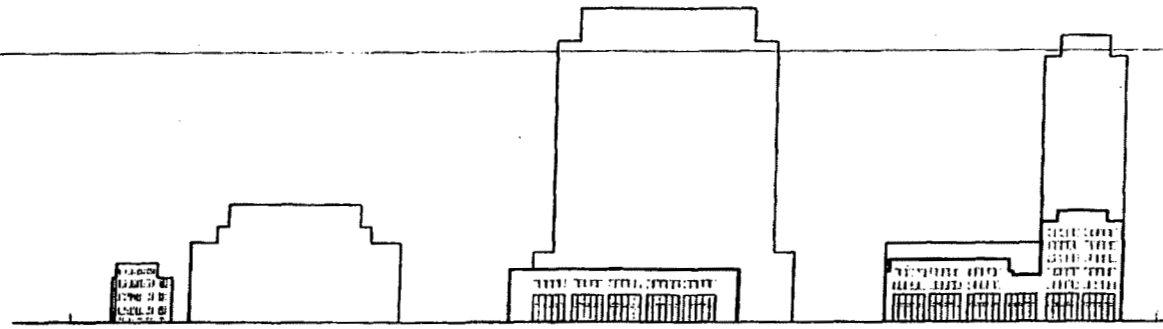


EAST (RHODES AVENUE) ELEVATION

Subarea A1 -- Facade Concepts.
(Page 2 of 2)

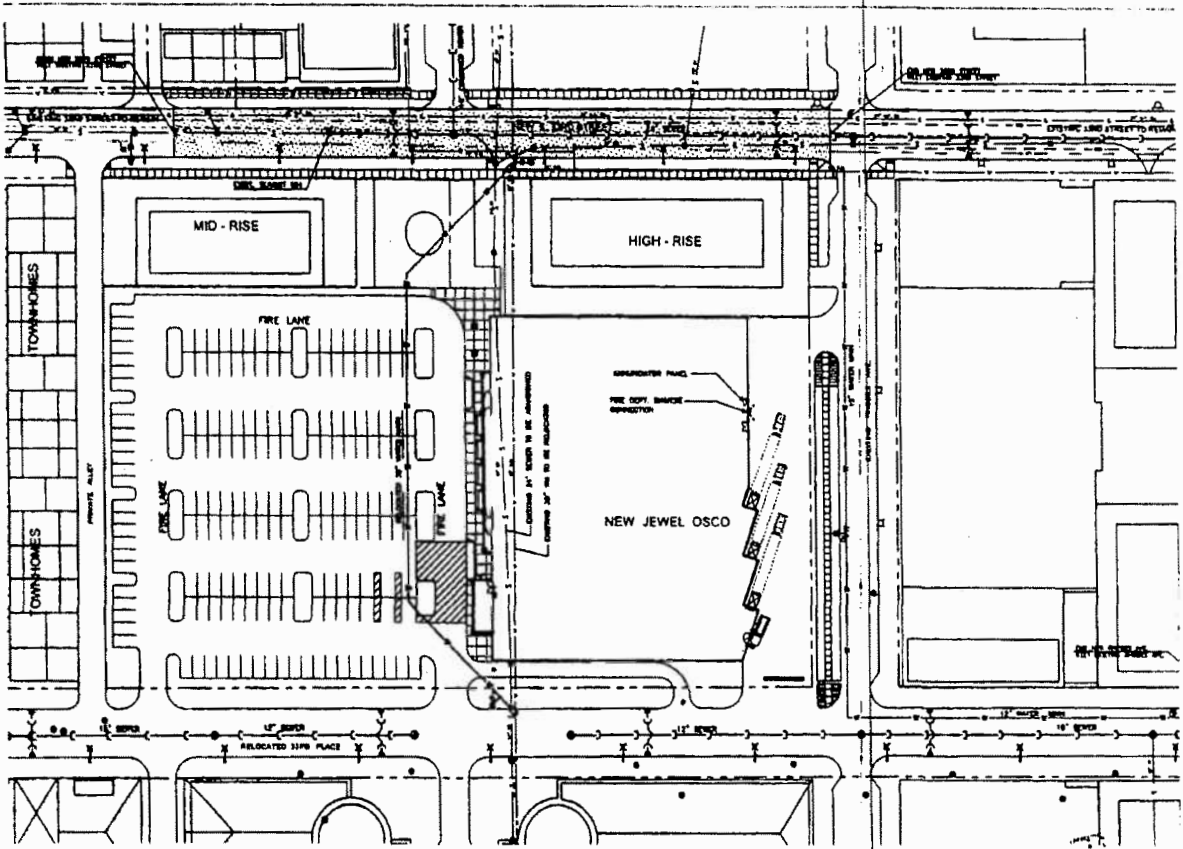


NORTH (33RD STREET) ELEVATION



SOUTH (33RD PLACE) ELEVATION

Subarea A1 -- Final Site Plan.
(Page 1 of 3)



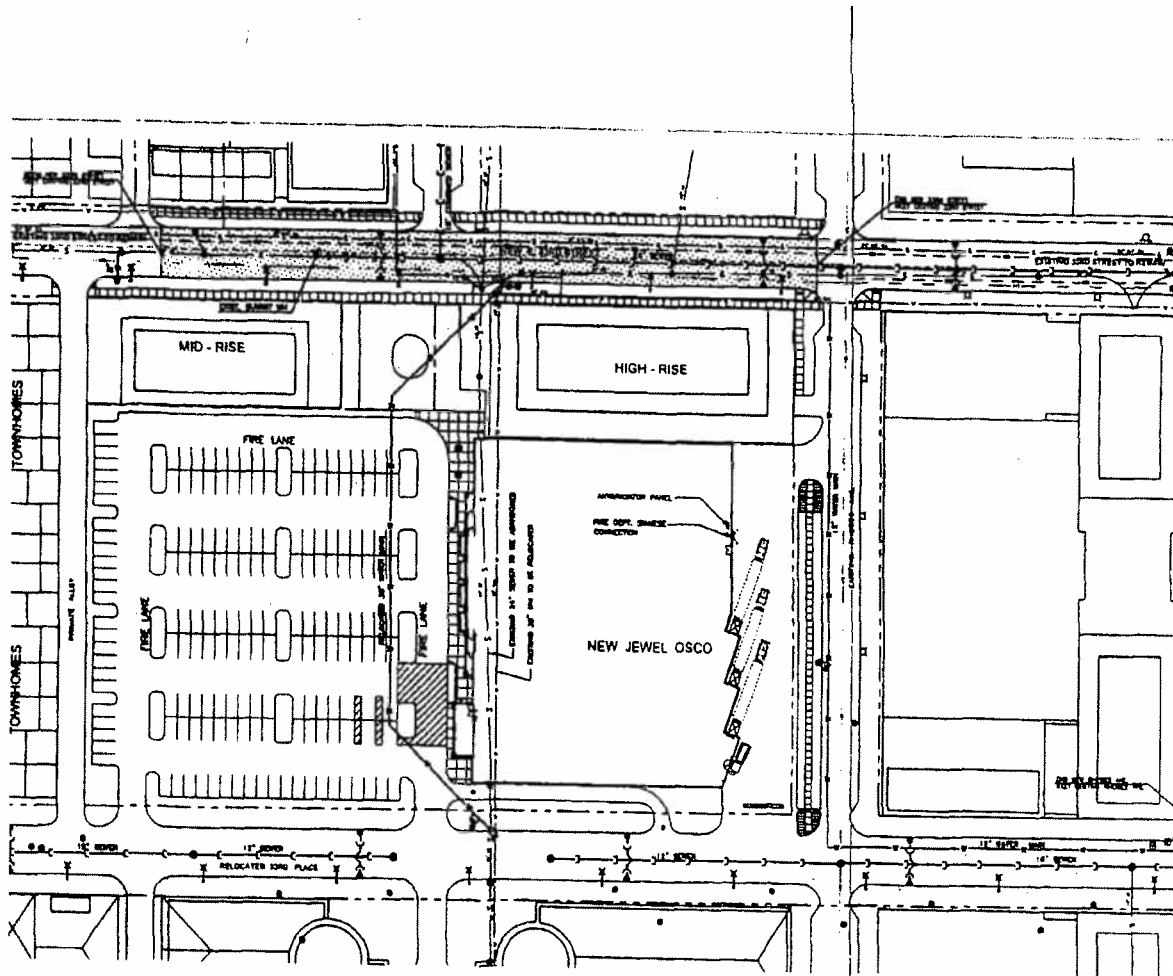
LEGEND

- | | | | |
|-----|------------------------|-------|-------------------------------|
| --- | PROPERTY LINE | ⊗ | EXISTING LIGHT POLE |
| ⊙ | EXISTING SEWER MANHOLE | ⊕ | NEW LIGHT POLE |
| ⊙ | NEW MANHOLE (18") | — S — | EXISTING STORM LINE |
| ⊙ | EXISTING CATCH BASIN | — S — | NEW STORM SEWER MAIN (ST) |
| ⊙ | NEW CATCH BASIN (CB) | — S — | NEW COMBINED STORM SEWER MAIN |
| ⊙ | EXISTING WATER MANHOLE | — W — | EXISTING WATER LINE |
| ⊙ | EXISTING COVAL MANHOLE | — W — | NEW WATER MAIN |
| ⊙ | GAS VALVE | ⊕ | NEW VALVE MANHOLE |
| ⊙ | WATER VALVE | ⊕ | NEW VALVE CHAMBER |
| ⊙ | NEW FIRE HYDRANT | | |
| ⊙ | EXISTING FIRE HYDRANT | | |

FINAL FOR PUBLICATION

PRELIMINARY LAYO

Subarea A1 -- Final Site Plan.
(Page 2 of 3)



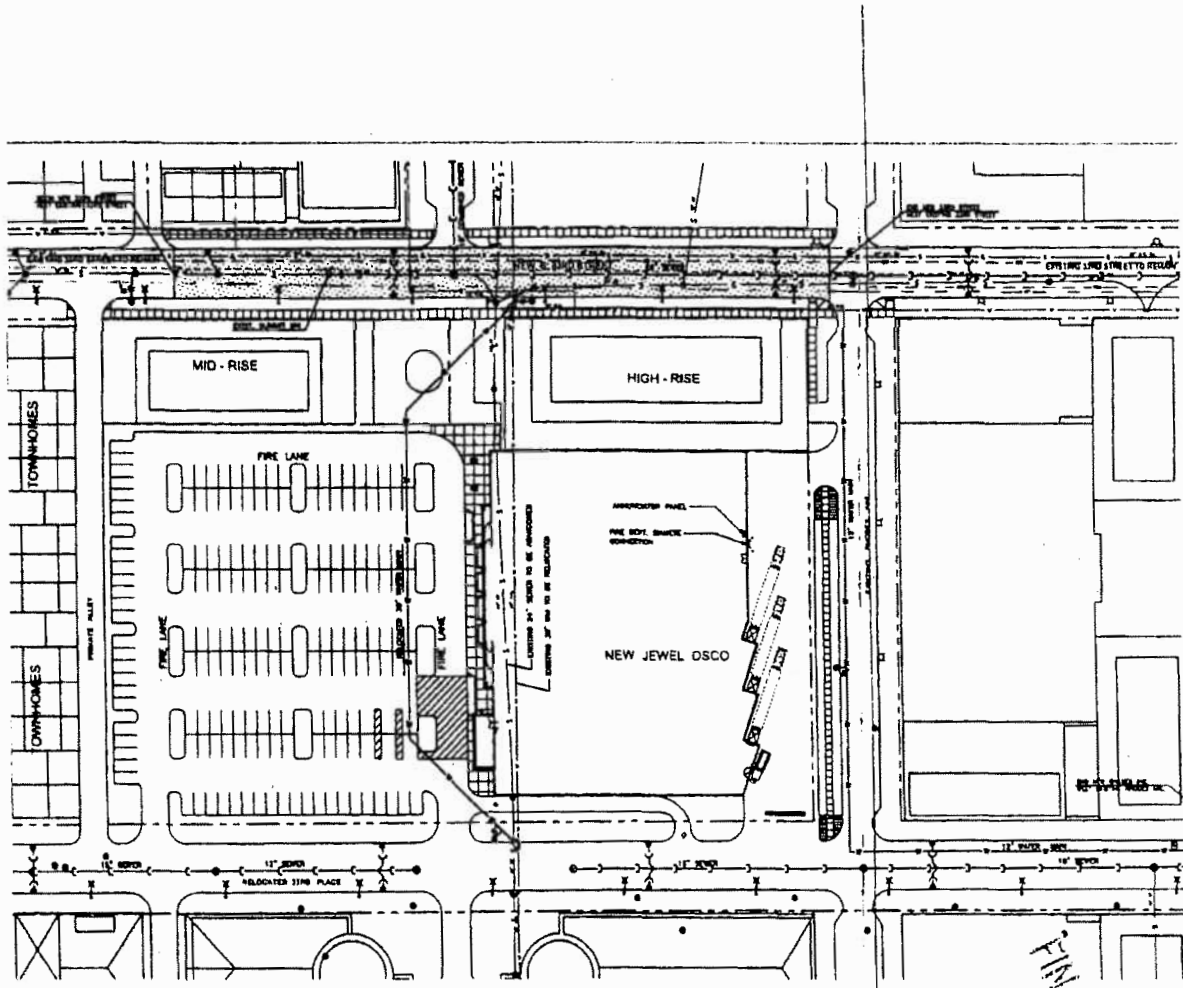
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- | | | | |
|---|------------------------|---|-------------------------------|
| — | PROPERTY LINE | ⊠ | EXISTING LIGHT POLE |
| ⊙ | EXISTING SEWER MANHOLE | ⊠ | NEW LIGHT POLE |
| ⊙ | NEW MANHOLE (NM) | — | EXISTING STORM LINE |
| ⊙ | EXISTING CATCH BASIN | — | NEW STORM SEWER MAIN (ST) |
| ⊙ | NEW CATCH BASIN (CB) | — | NEW COMBINED STORM SEWER MAIN |
| ⊙ | EXISTING WATER MANHOLE | — | EXISTING WATER LINE |
| ⊙ | EXISTING COMM. MANHOLE | — | NEW WATER MAIN |
| ⊙ | GAS VALVE | ⊠ | NEW VALVE MANHOLE |
| ⊙ | WATER VALVE | ⊠ | NEW VALVE CHAMBER |
| ⊙ | NEW FIRE HYDRANT | | |
| ⊙ | EXISTING FIRE HYDRANT | | |

FINAL FOR PUBLICATION

PRELIMINARY LAYOU

Subarea A1 -- Final Site Plan.
(Page 3 of 3)



LEGEND

- | | | | |
|-----|------------------------|-----|------------------------------|
| --- | PROPERTY LINE | ⊠ | EXISTING LIGHT POLE |
| ⊙ | EXISTING SEWER MANHOLE | ⊠ | NEW LIGHT POLE |
| ⊙ | NEW MANHOLE (NM) | --- | EXISTING STORM LINE |
| ⊙ | EXISTING CATCH BASIN | --- | NEW STORM SEWER MAN (ST) |
| ⊙ | NEW CATCH BASIN (CB) | --- | NEW COMBINED STORM SEWER MAN |
| ⊙ | EXISTING WATER MANHOLE | --- | EXISTING WATER LINE |
| ⊙ | EXISTING COMB. MANHOLE | --- | NEW WATER MAIN |
| ⊙ | GAS VALVE | ⊠ | NEW VALVE MANHOLE |
| ⊙ | WATER VALVE | ⊠ | NEW VALVE CHAMBER |
| ⊙ | NEW FIRE HYDRANT | | |
| ⊙ | EXISTING FIRE HYDRANT | | |

FINAL FOR PUBLICATION

PRELIMINARY LAYO

Chicago Builds Green.
(Page 1 of 3)

Project Location:

From*	To*	Direction:	Street Name:	Street Type:
			35 th Street and King Drive	Ave

Ward No:	Community Area No:
4	35

Project Type:

Check applicable:

Planned Development Redevelopment Agreement Zoning Change

PD No: RDA No: From: To:

Public project Landmark

Project Size:

Total land area in sq. ft.:	Total building(s) footprint in sq. ft.:	Total vehicular use area in sq. ft.:
314,527	193,200	96,618

Project Manager:

Enter First Name Last Name

Heather Gleason

Building Type:

Select project category:

Com. retail > 10,000 sf

Financial Incentives:

Check applicable:

TIF Empowerment Zone Grant Class L

SBIF Ind. Dev. Revenue Bonds Class 6b

Land Sale w/Write Down Bank Participation Loan DCD Housing Assistance

Density Bonus:

Check applicable:

<input type="checkbox"/> Public plaza & pocket park	<input type="checkbox"/> Water features in a plaza or pocket park
<input type="checkbox"/> Chicago Riverwalk improvements	<input type="checkbox"/> Setbacks above the ground floor
<input type="checkbox"/> Winter gardens	<input type="checkbox"/> Lower level planting terrace
<input type="checkbox"/> Indoor through-block connection	<input type="checkbox"/> Green roof
<input type="checkbox"/> Sidewalk widening	<input type="checkbox"/> Underground parking and loading
<input type="checkbox"/> Arcades	<input type="checkbox"/> Concealed above-ground parking

Chicago Builds Green.
(Page 2 of 3)

Open Space:

River Setback	Square footage:	0	0
Private Open Space	Square footage:	0	0
Privately developed Public Open Space	Square footage:	0	0

Stormwater Management (At-grade volume control):

Permeable paving	Square footage:	51,343
Raingarden	Check applicable:	<input type="checkbox"/>
Filter strip		<input type="checkbox"/>
Bioswale		<input type="checkbox"/>
Detention pond		<input type="checkbox"/>
Native landscaping	Square footage:	0
Rain-water collection cistern/barrel	Gallons:	0
Total impervious area reduction	Square footage:	0

Other sustainable surface treatments:

Green roof	Square footage:	96,600	96,600
Energy Star roof	Square footage:	0	0
High-albedo pavement	Square footage:	0	0

Transportation:

No. of accessory parking spaces	491	676
Total no. of parking spaces (Accessory + Non- Acc.)		676
No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)	0	0
No. of bicycle parking	123	123
Within 600 ft of CTA or Metra station entrance		<input type="checkbox"/>

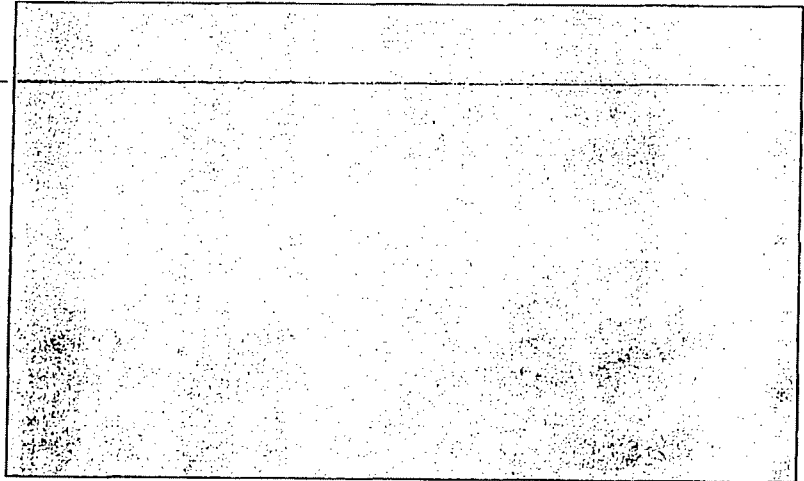
Check if applicable:

Chicago Builds Green.
(Page 3 of 3)

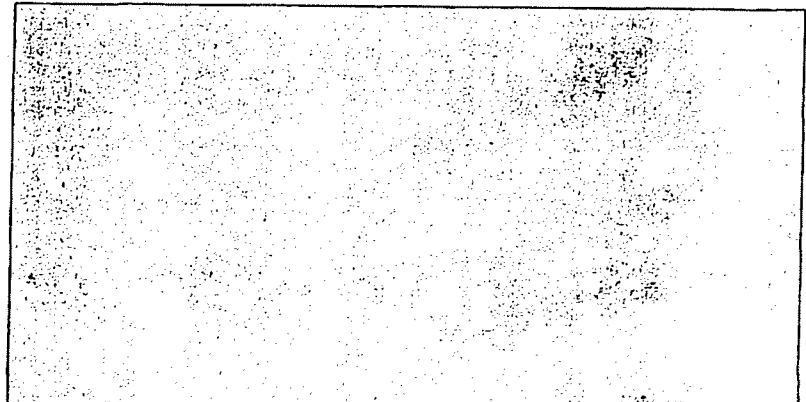
- Chicago Green Homes [one-star]
- Chicago Green Homes [two-star]
- Chicago Green Homes [three-star]

**Energy efficiency strategies
not captured above:**

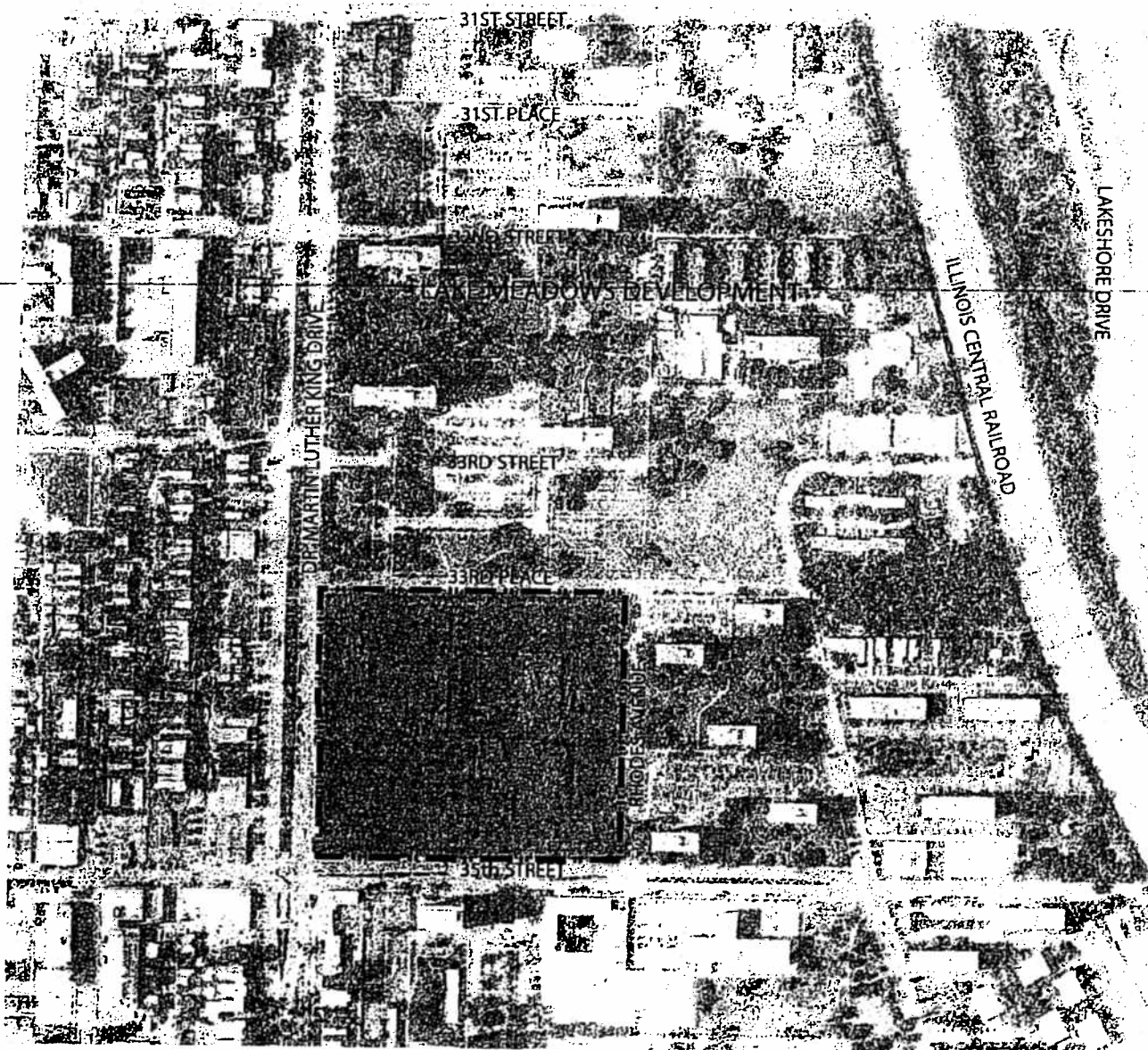
*-IE: Other than Energy Star Roof - or Energy Star Building
Certification-*



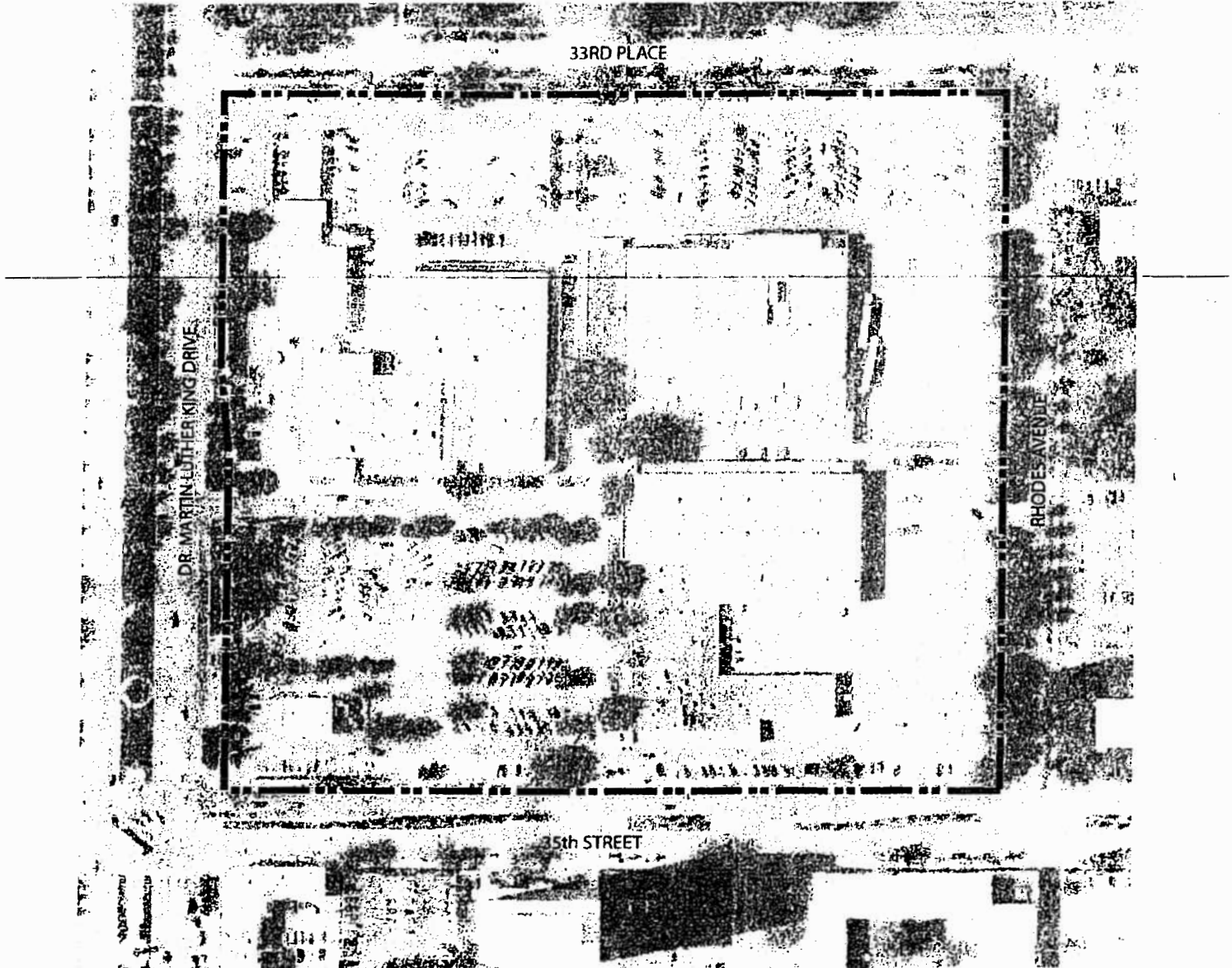
**Other sustainable strategies
and/or Project Notes:**



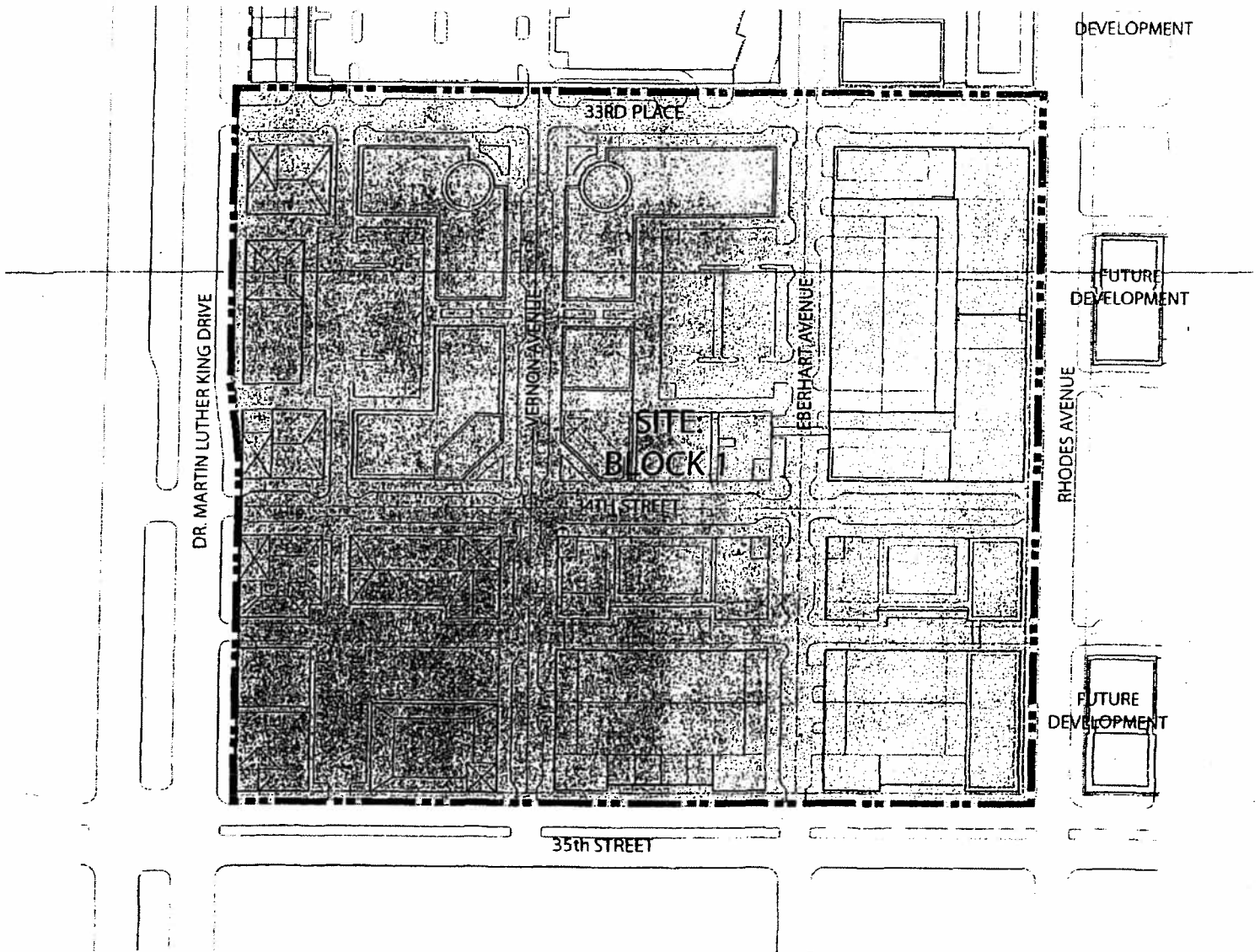
Subarea A2 -- Surrounding Area Context.



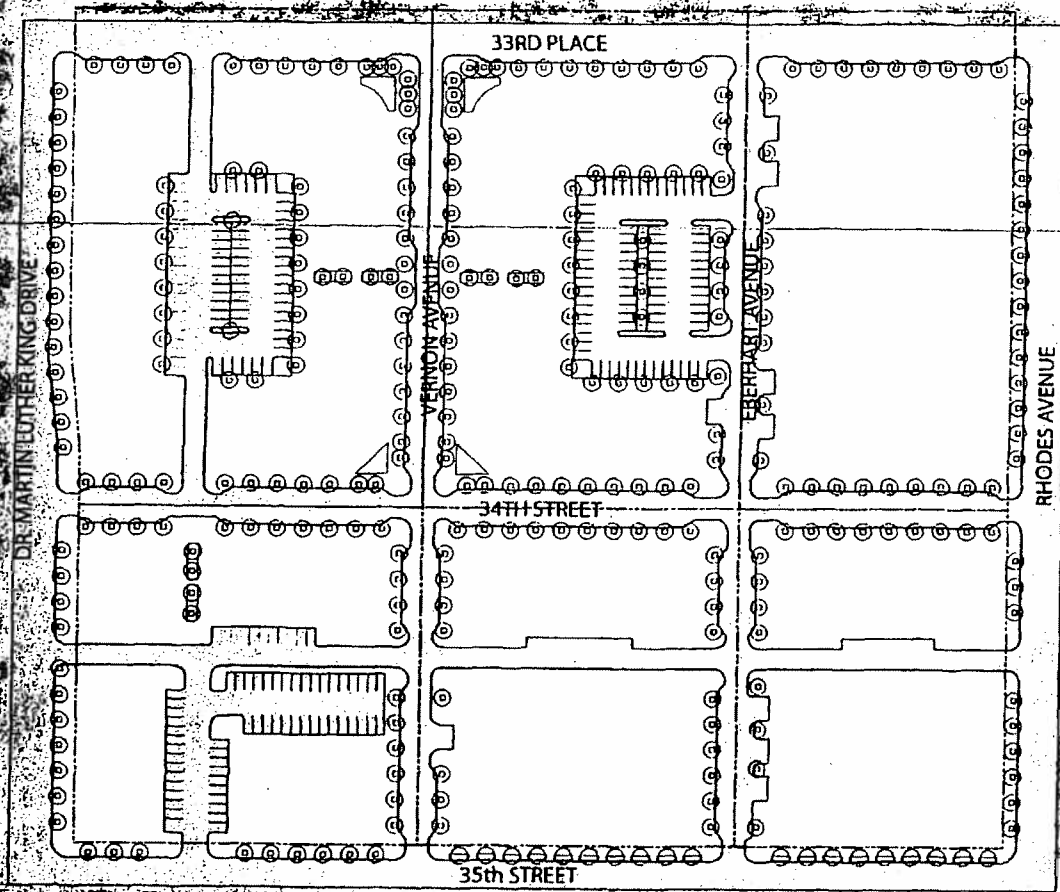
Subarea A2 -- Existing Conditions/Site Location.



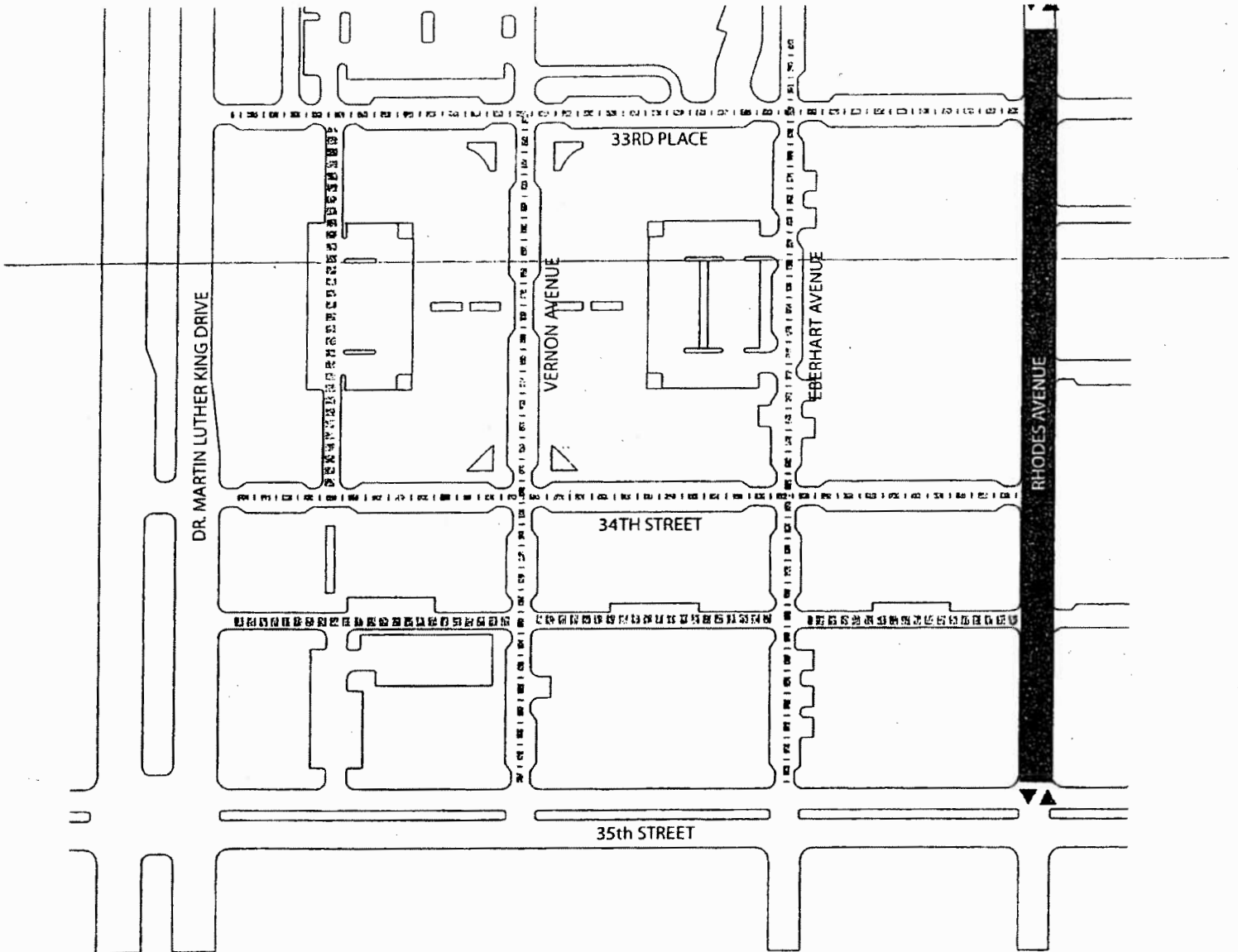
Subarea A2 – Future Development Context.



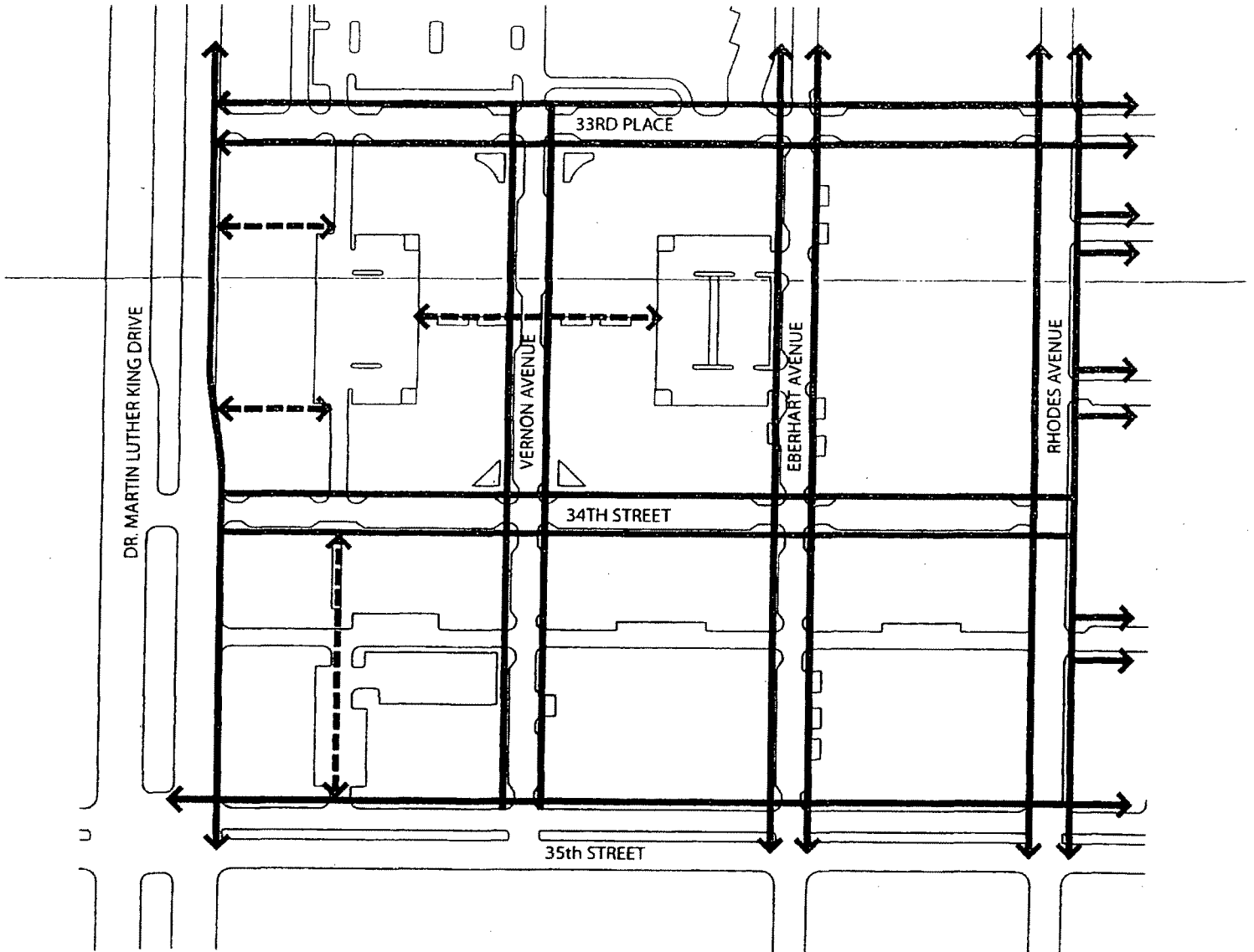
Subarea A2 -- Existing Development Context.



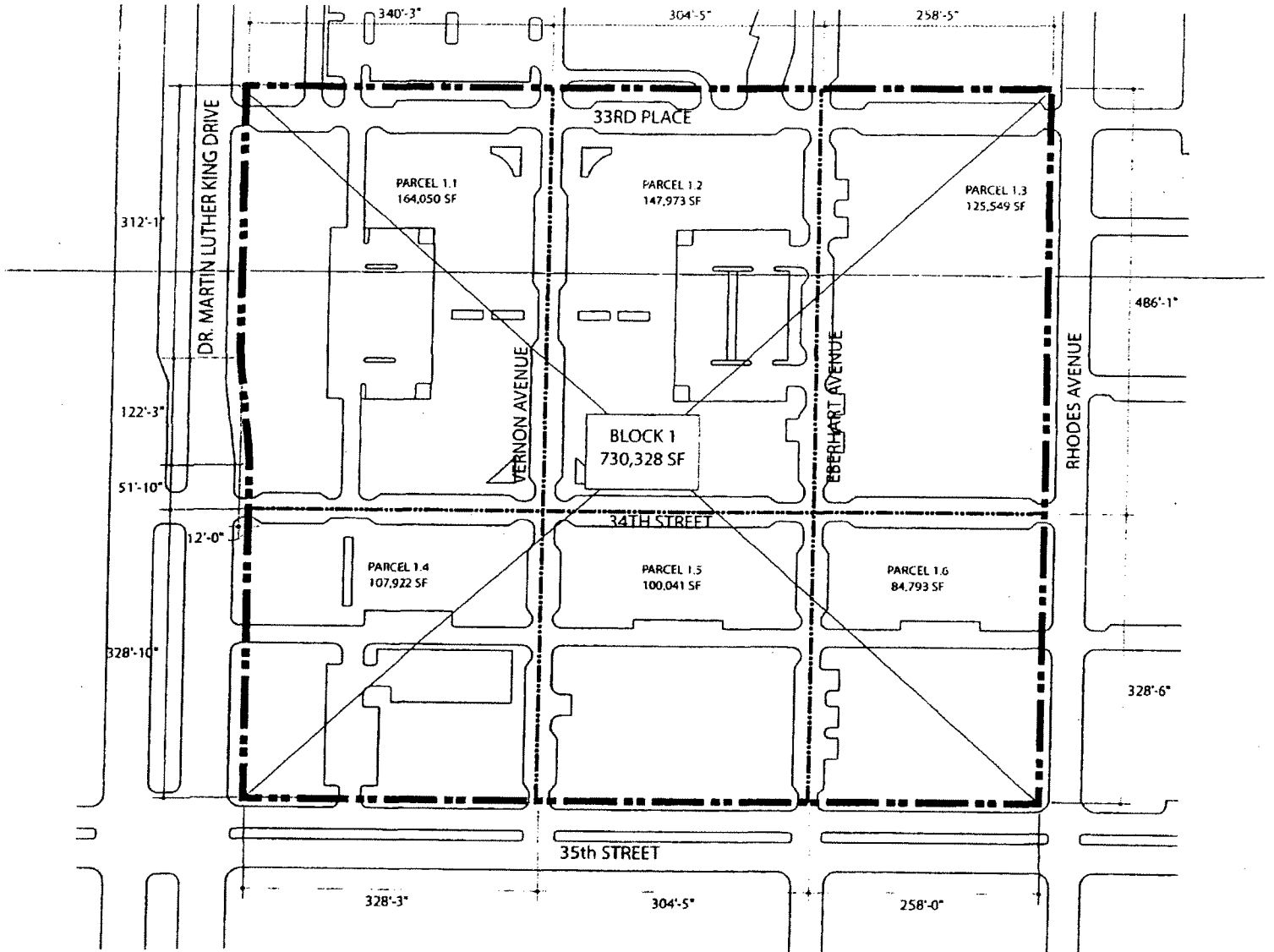
Subarea A2 -- Public And Private Roadways.



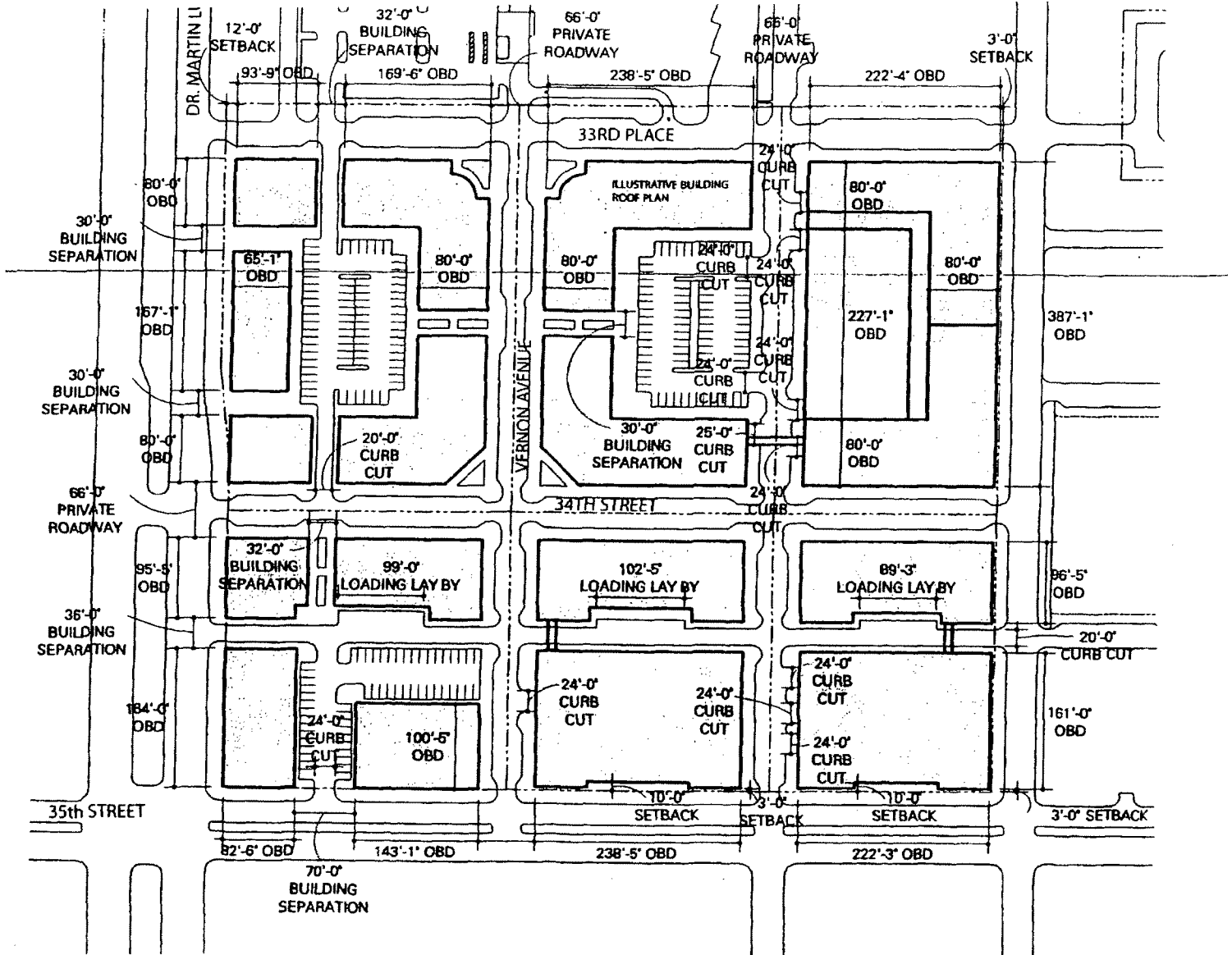
Subarea A2 -- Pedestrian Ciruclation.



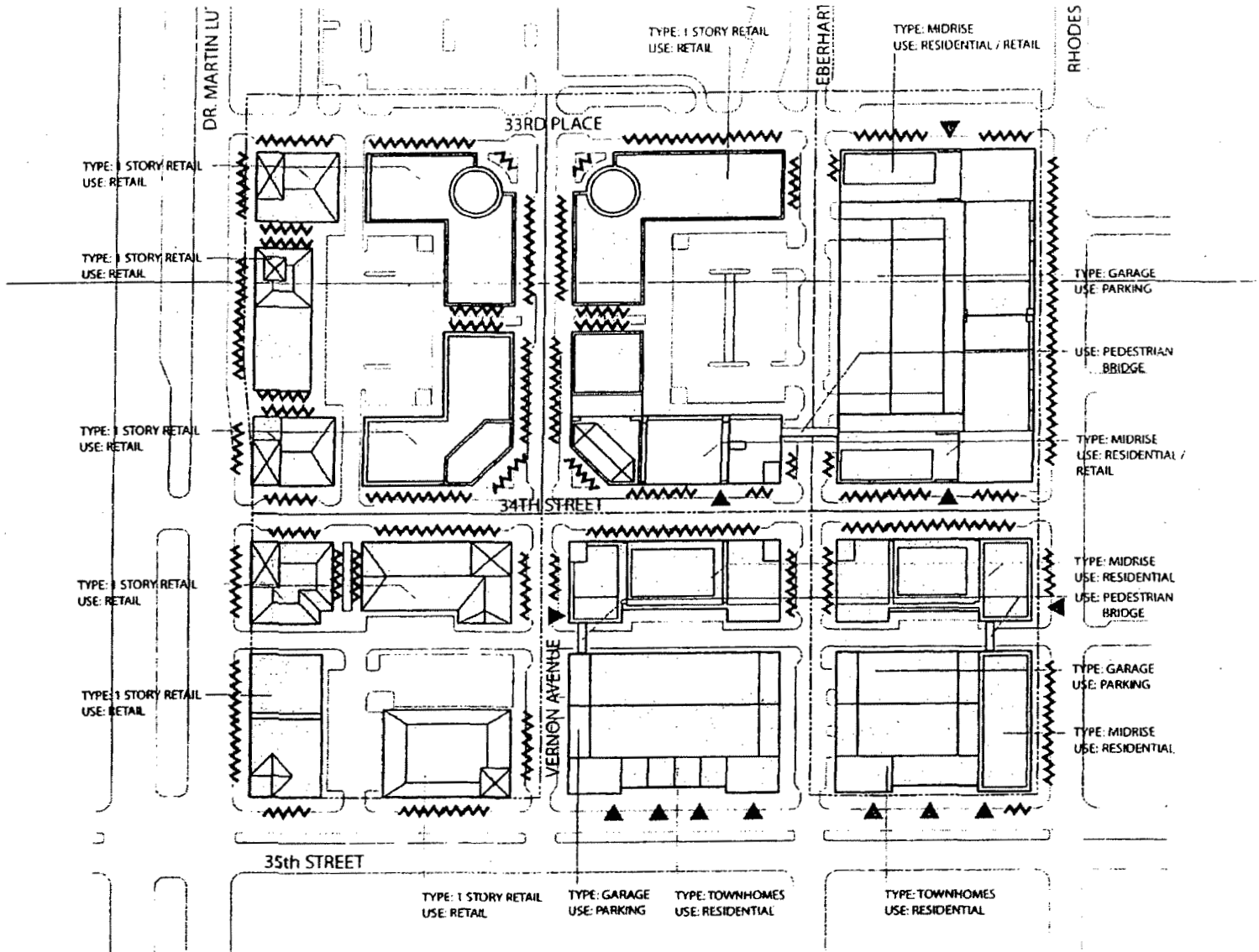
Subarea A2 -- Development Parcels And Blocks.



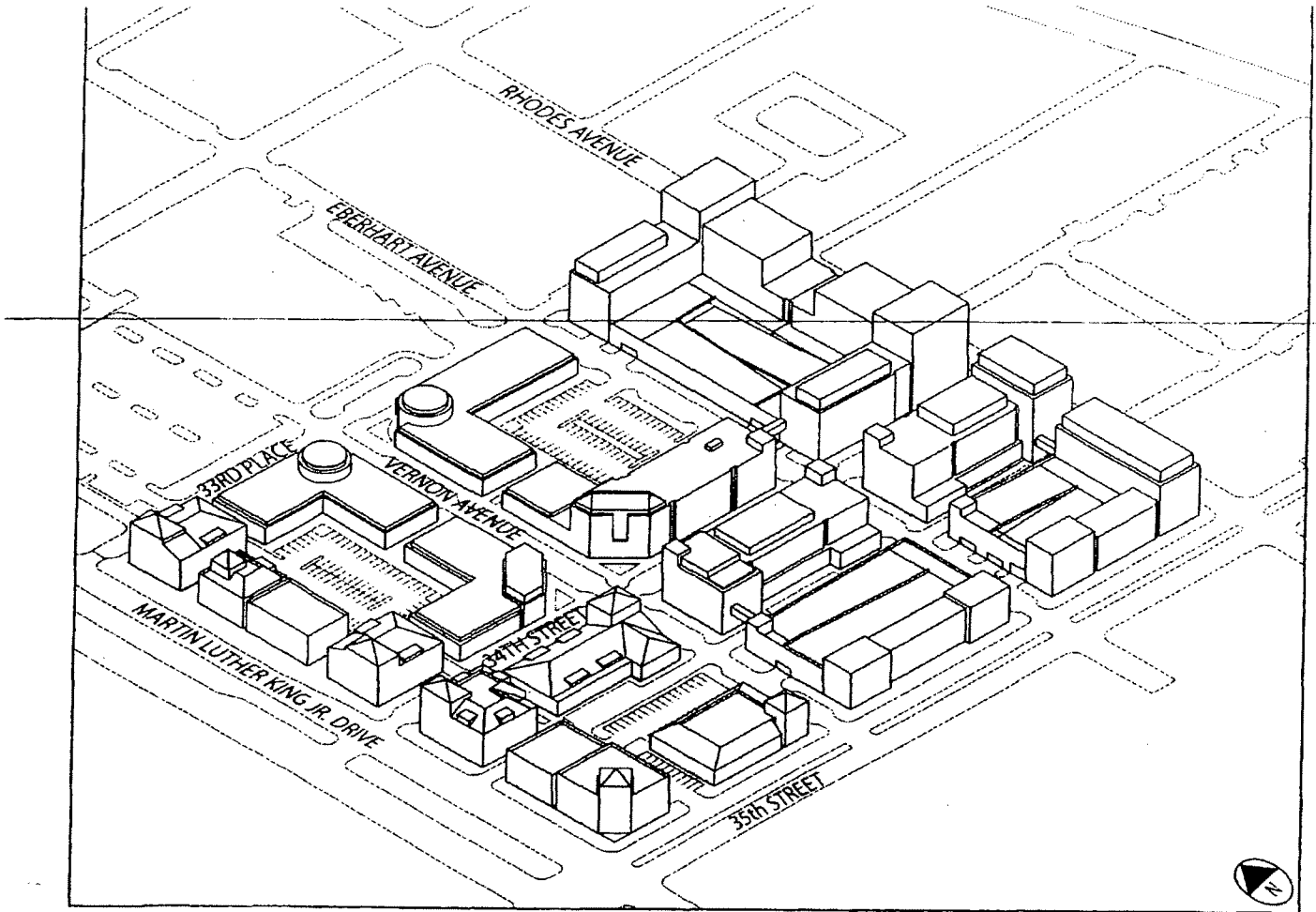
Subarea A2 - Overall Building Setback And Curb Cut Dimensions.



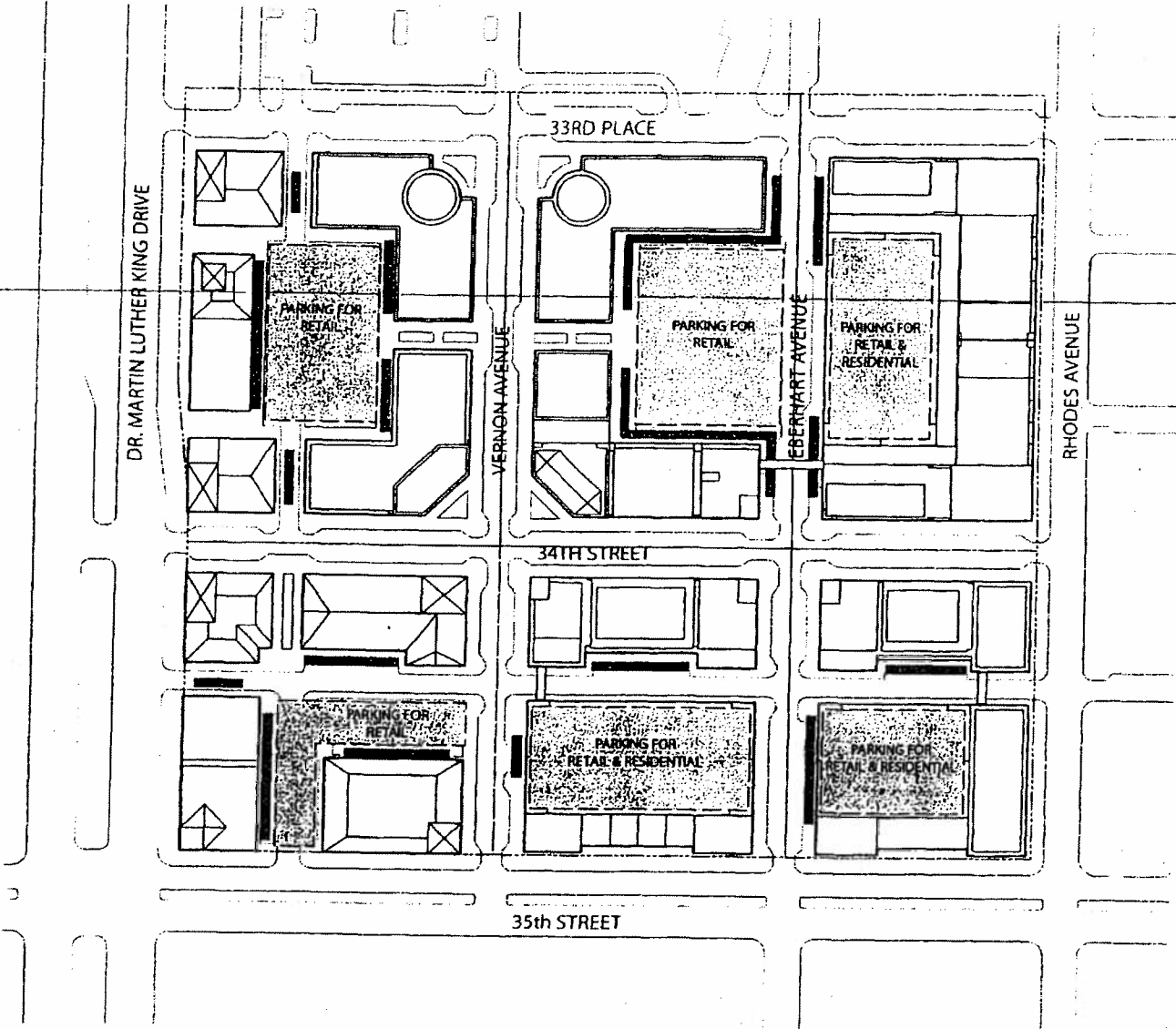
Subarea A2 -- Buildings.



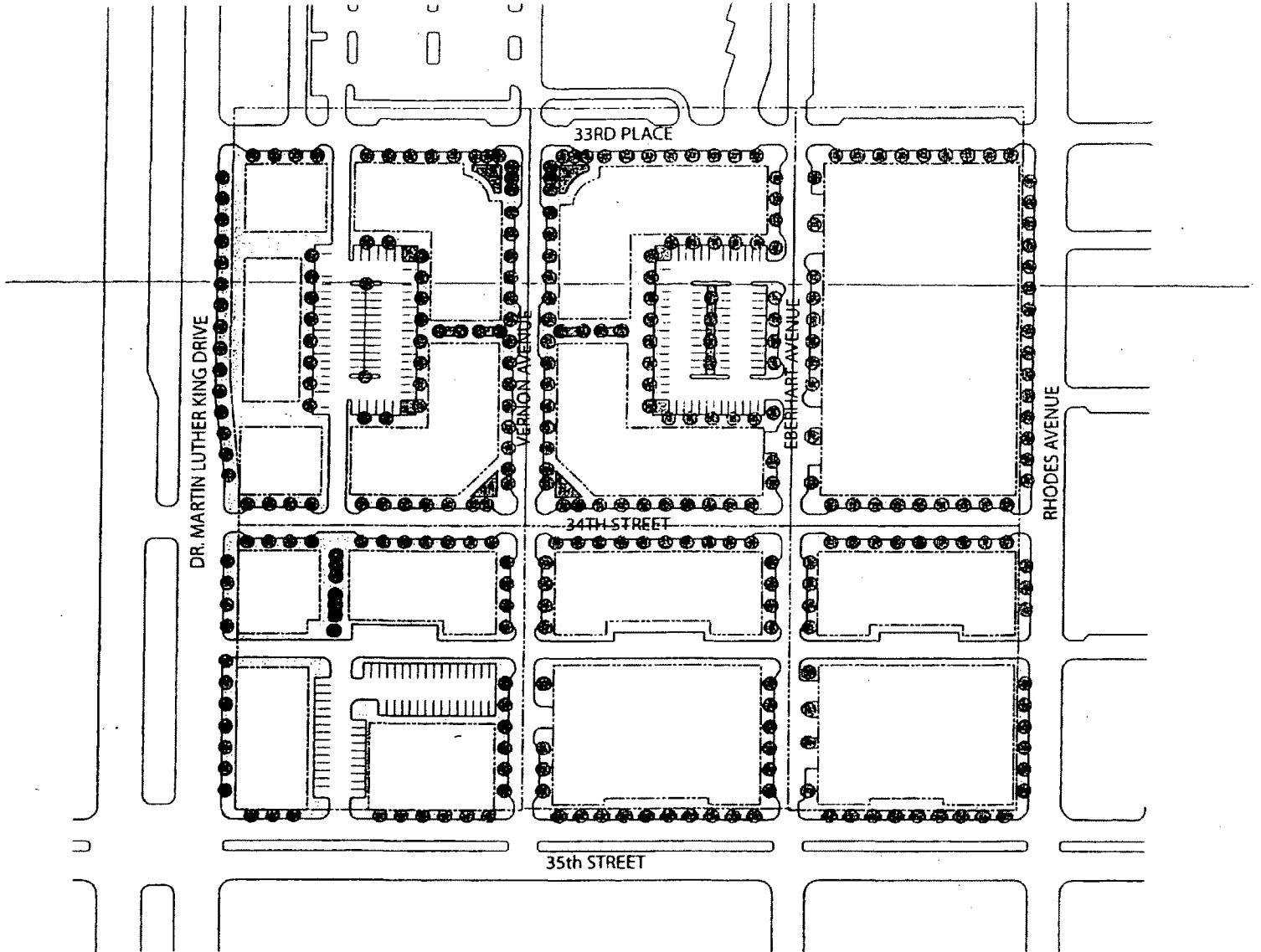
Subarea A2 -- Illustrative Massing Diagram.



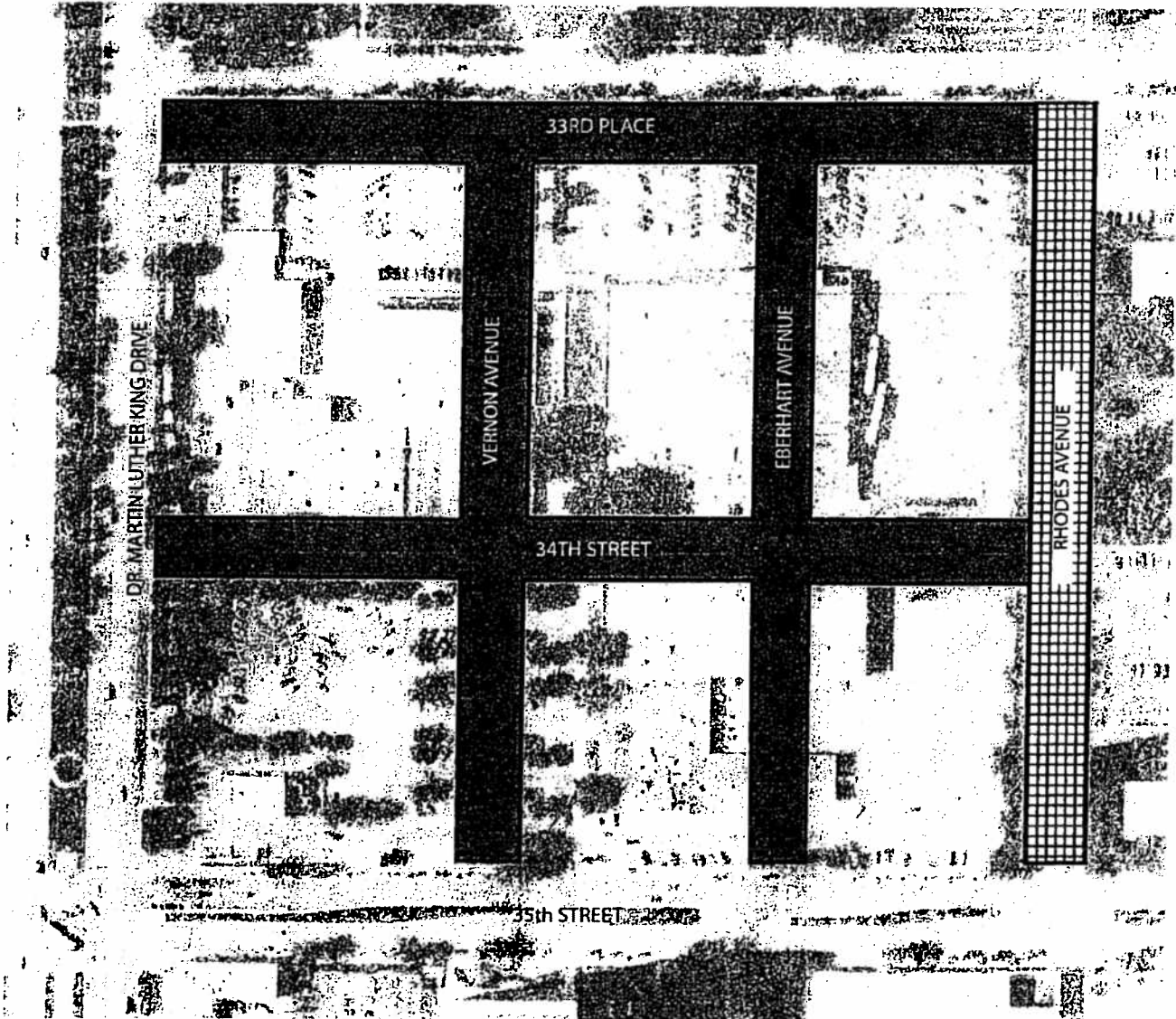
Subarea A2 -- Parking And Loading.



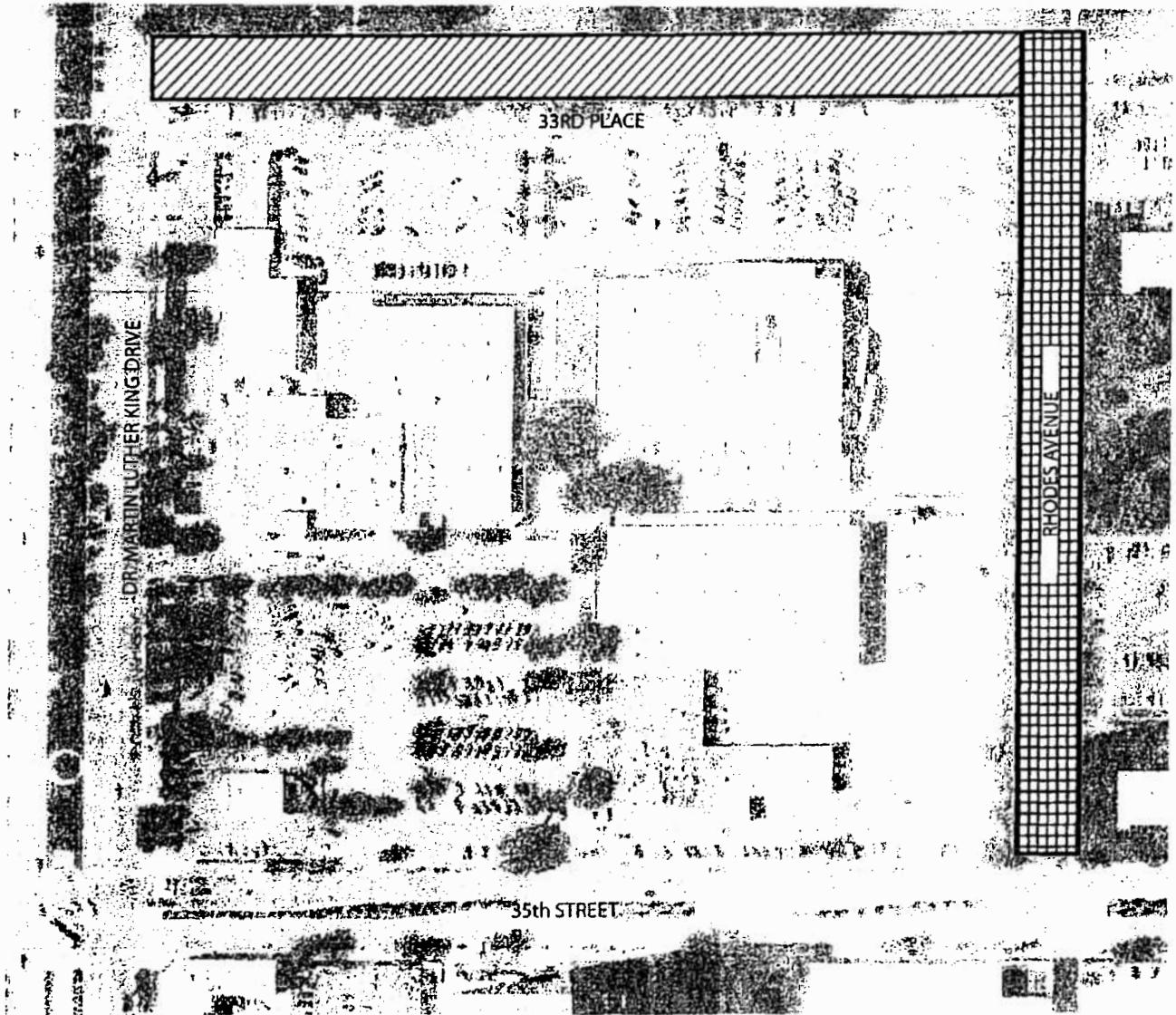
Subarea A2 -- Open Space And Landscaping.



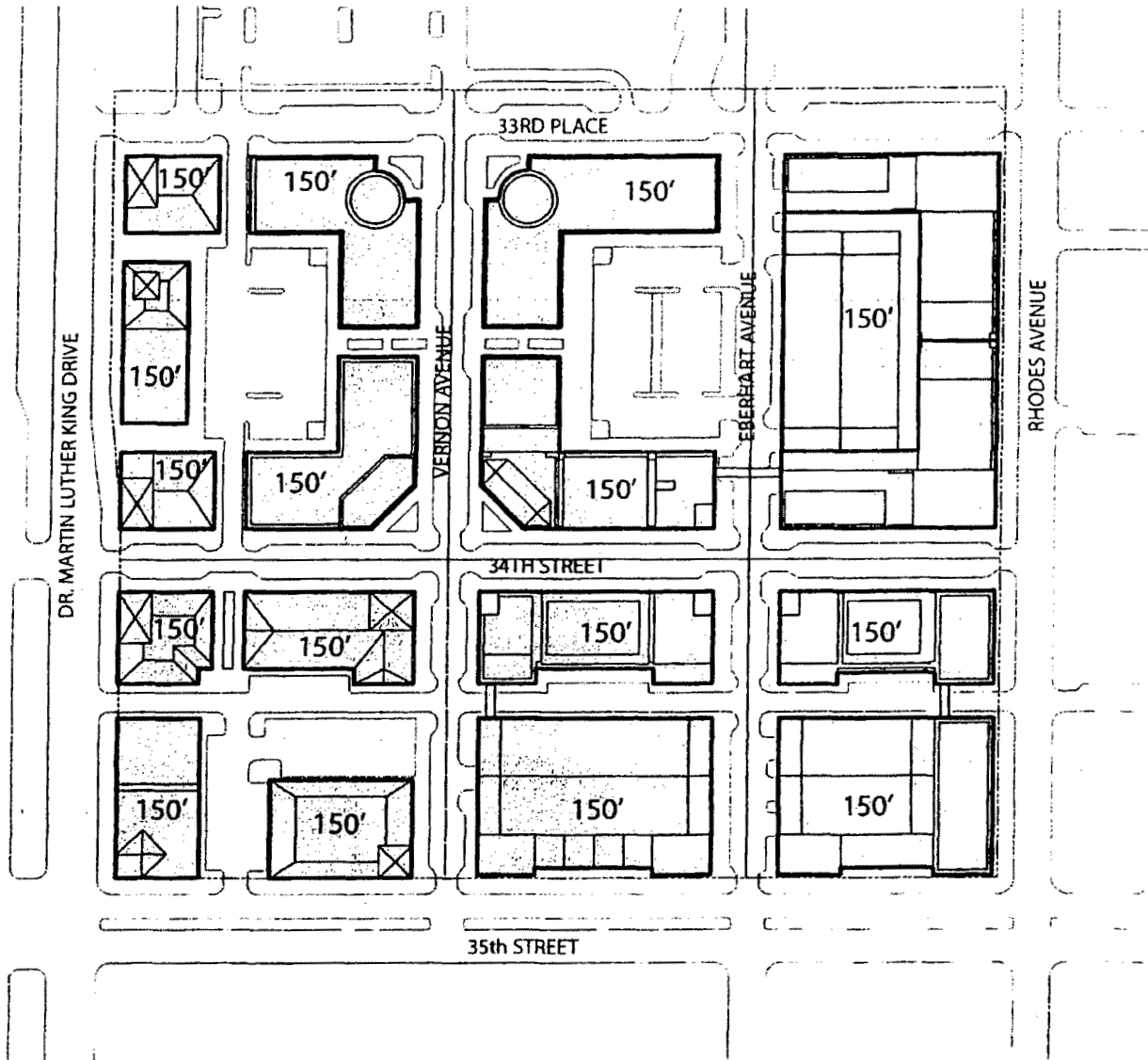
Subarea A2 -- Traffic Improvements.



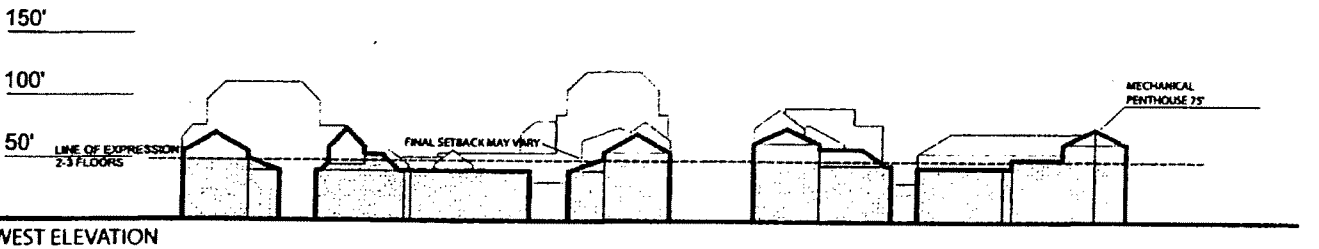
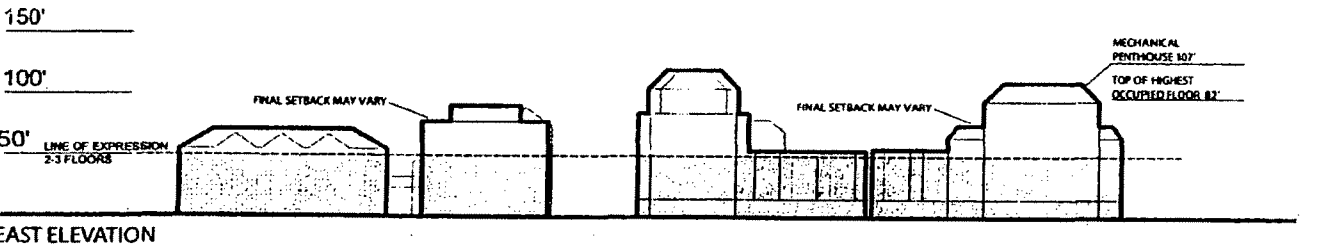
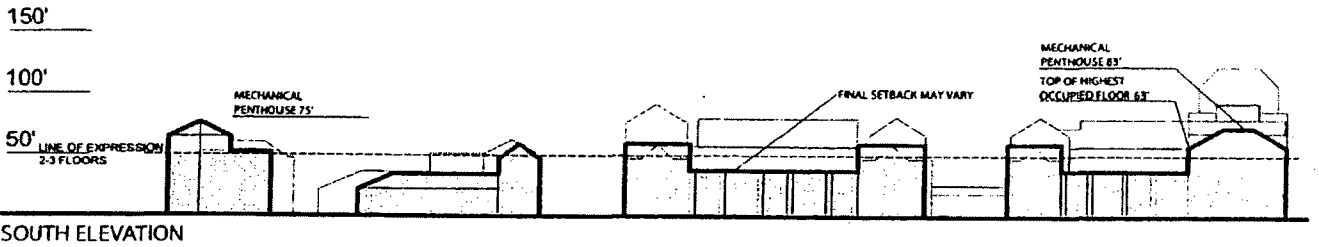
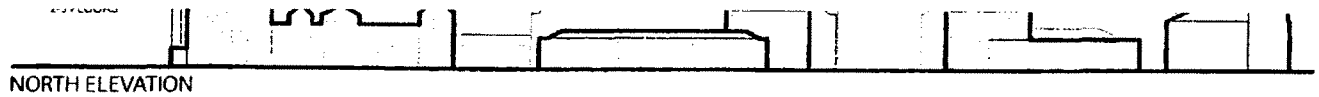
Subarea A2 -- Vacations And Dedications.



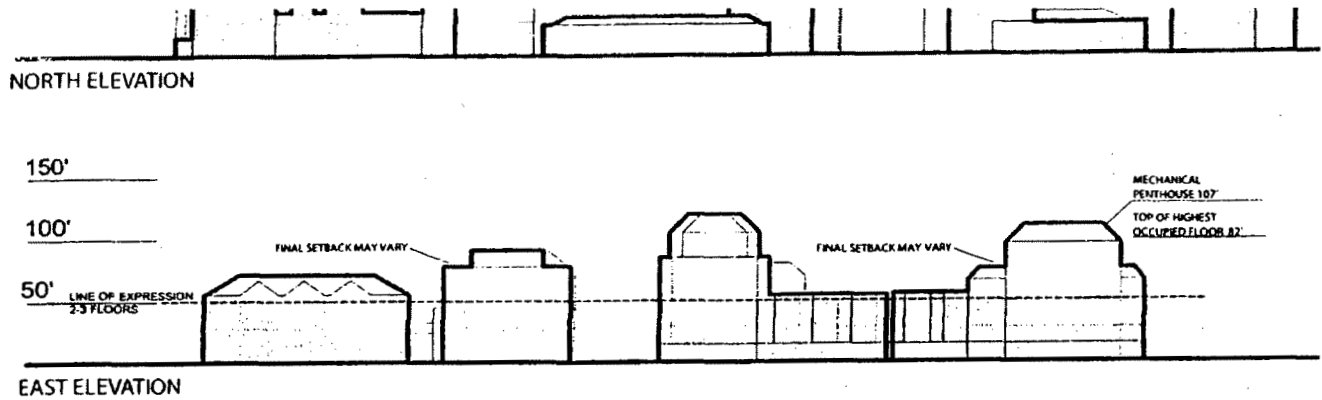
Subarea A2 -- Maximum Building Envelope And Height.



Subarea A2 -- North, South, East And West Illustrative Elevations.



Subarea A2 -- Building Materials.

**Building Materials**

The selection of appropriate building materials should be made with a concern for the existing context.

Highly reflective glass is discouraged. If all glass walls are used, high quality, low-e or clear/lightly tinted glass should be used.

Two categories of building material quality, Category 1 and Category 2, have been identified in the Master Plan.

NOTE: East and west elevations will be subject to the same material guidelines.

Category 1

- Natural Stone
- Cast Stone
- Brick
- Architectural Precast
- Glass and Metal Walls
- Architectural Metal Panels

Category 2

- Exposed Structural Concrete with high quality construction formwork
- Exterior Plaster or DEFS System
- Metal Panelized Exterior Cladding System
- Exposed Steel
- Synthetic Wood Siding

Generally, Category 1 materials should be used for signature buildings at the perimeter of the site and Category 2 materials may be used for buildings on the interior and service areas of the site. Unique materials and colors are encouraged along the ground level, at building entrances and on the rooftops. Whether Category 1 or Category 2 materials are used, a high quality level of finishes and details is important.

Building Base

Category 1 materials should be used on the building bases and low-rise structures. Clear or lightly tinted glass is preferred. Retail storefronts may include ornamental metals.

Building Tower

The portion of the building above the base may use Category 2 materials that are compatible with the material used for the base and also be complementary with neighboring buildings. Ornamental metals may be used for building accents.

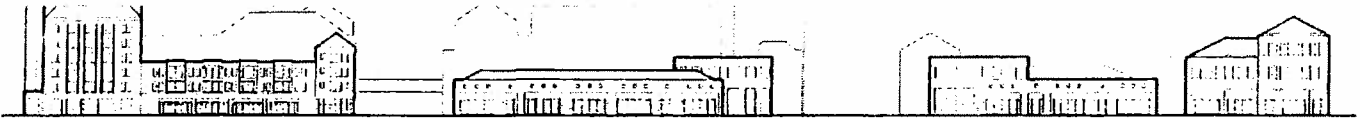
Building Top

The materials used for the building tops should be of high quality and present a distinctive image for the building.

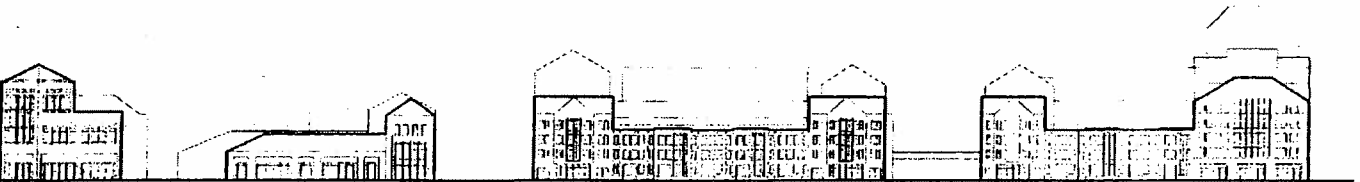
Material Color

A variety of color and materials are encouraged as a means to enhance the appearance of separate multiple adjacent buildings as opposed to a single mass. Stone, brick and concrete may range in color. Glass colors may include clear panes or slightly tinted gray, silver, green or blue.

Subarea A2 -- Facade Concepts.



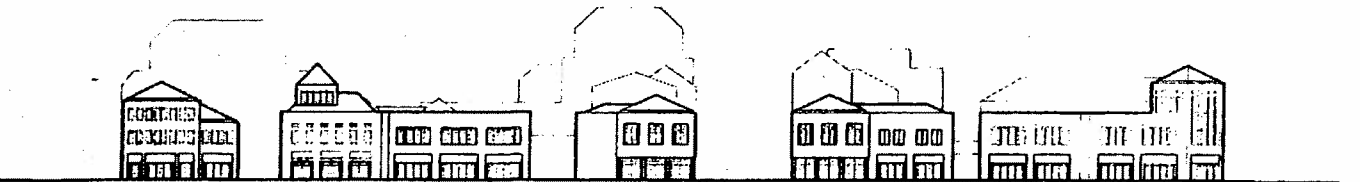
NORTH ELEVATION



SOUTH ELEVATION

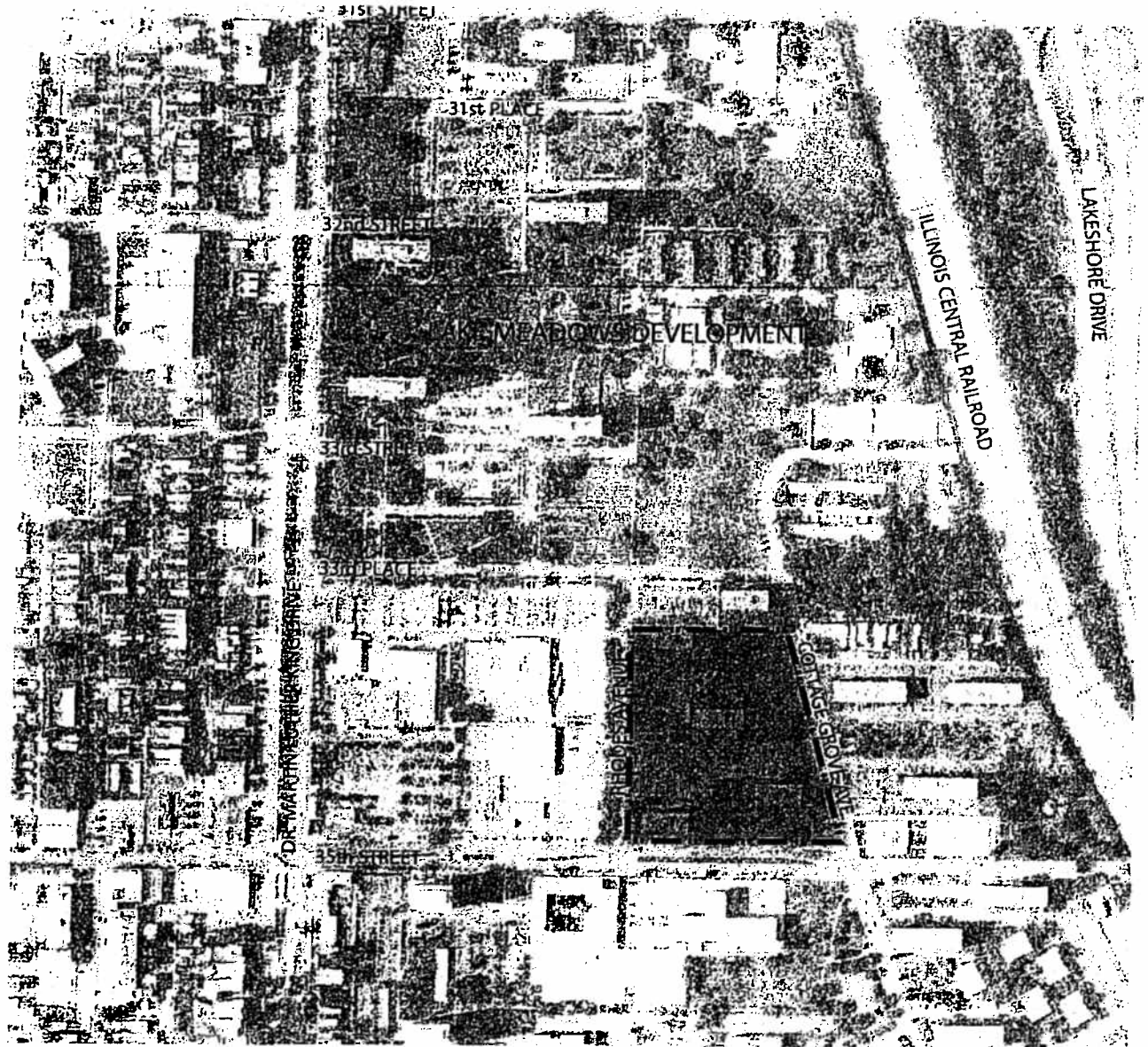


EAST ELEVATION

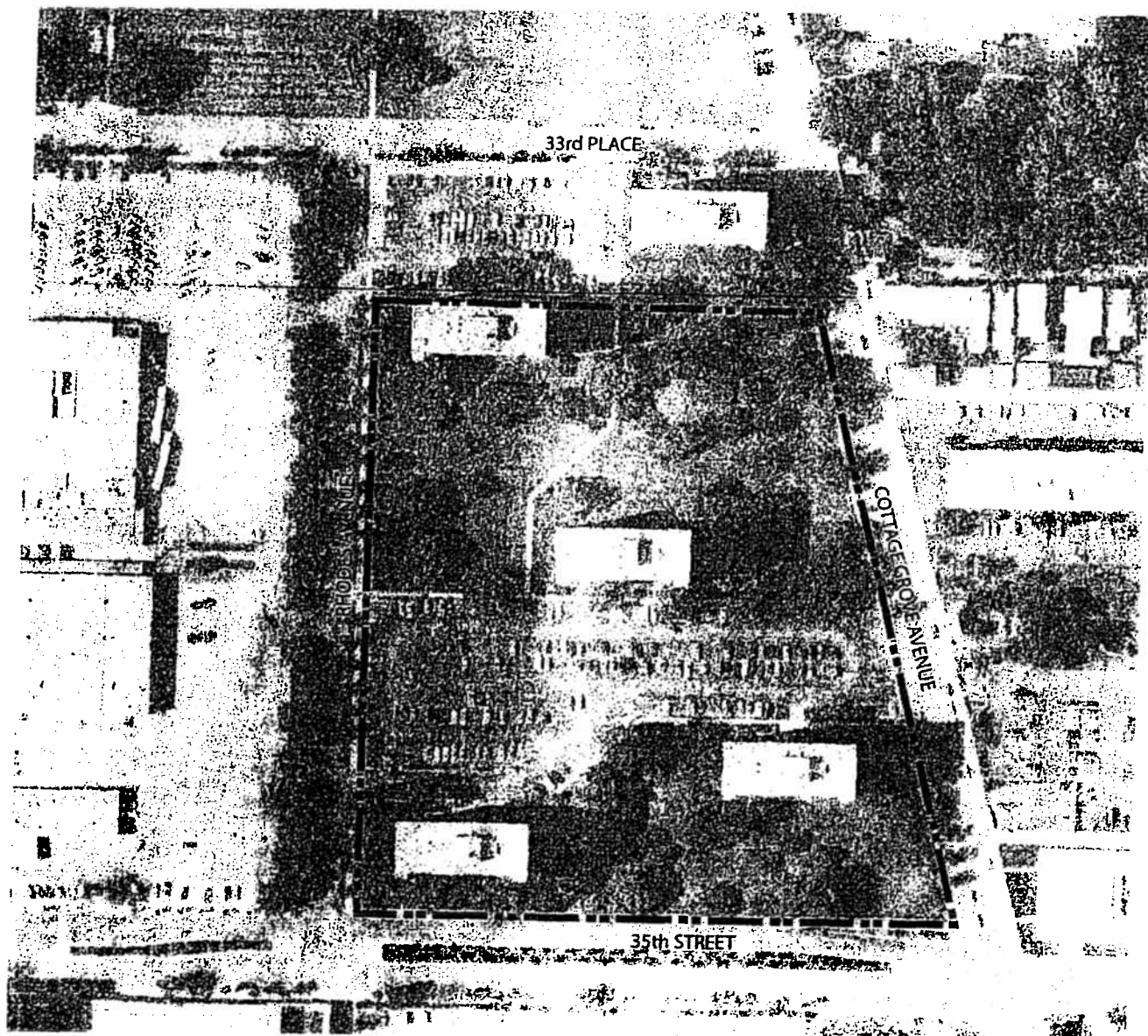


WEST ELEVATION

Subarea A3 -- Surrounding Area Context.



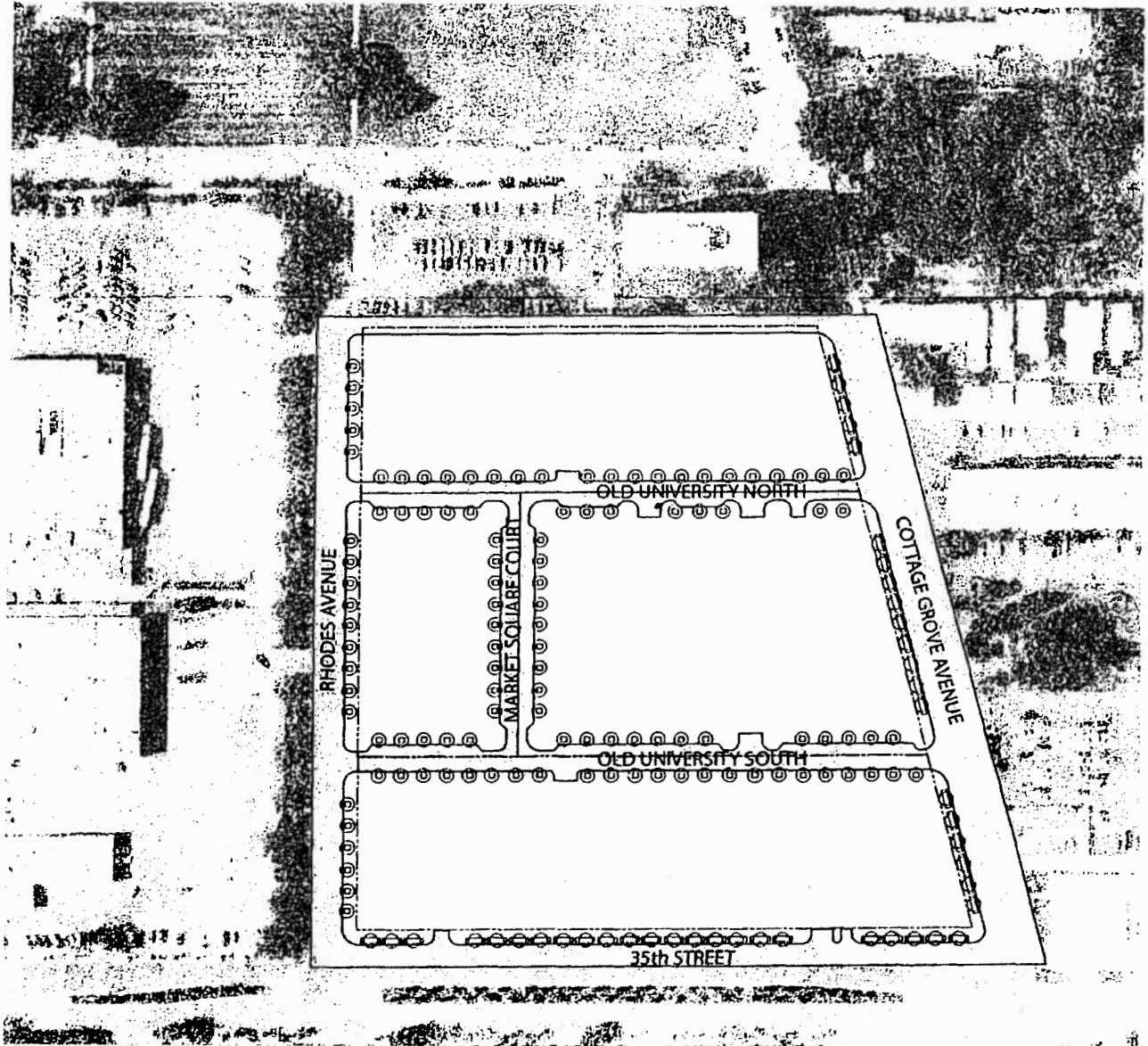
Subarea A3 -- Existing Conditions/Site Location.



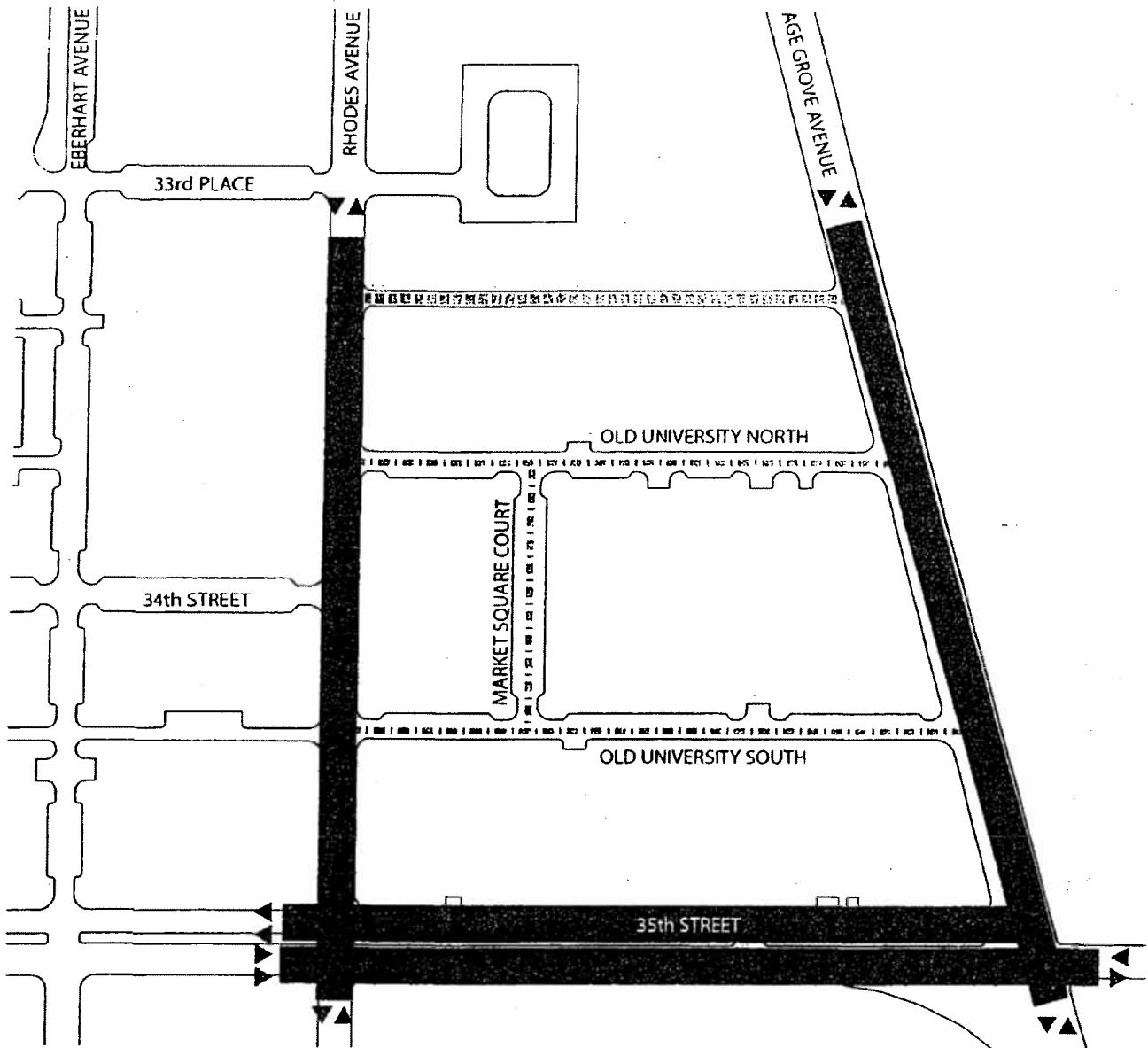
Subarea A3 – Future Development Context.



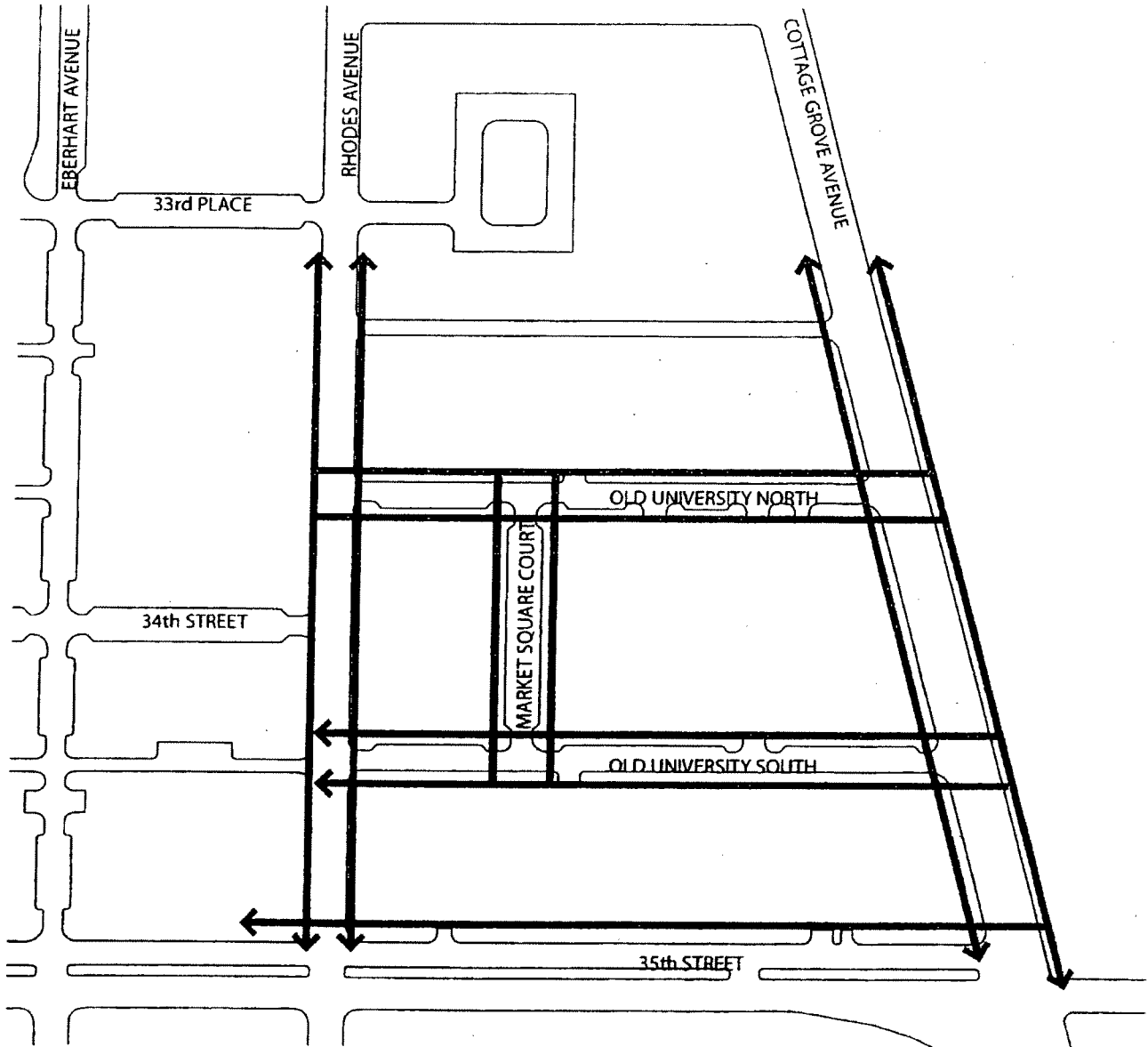
Subarea A3 -- Existing Development Context.



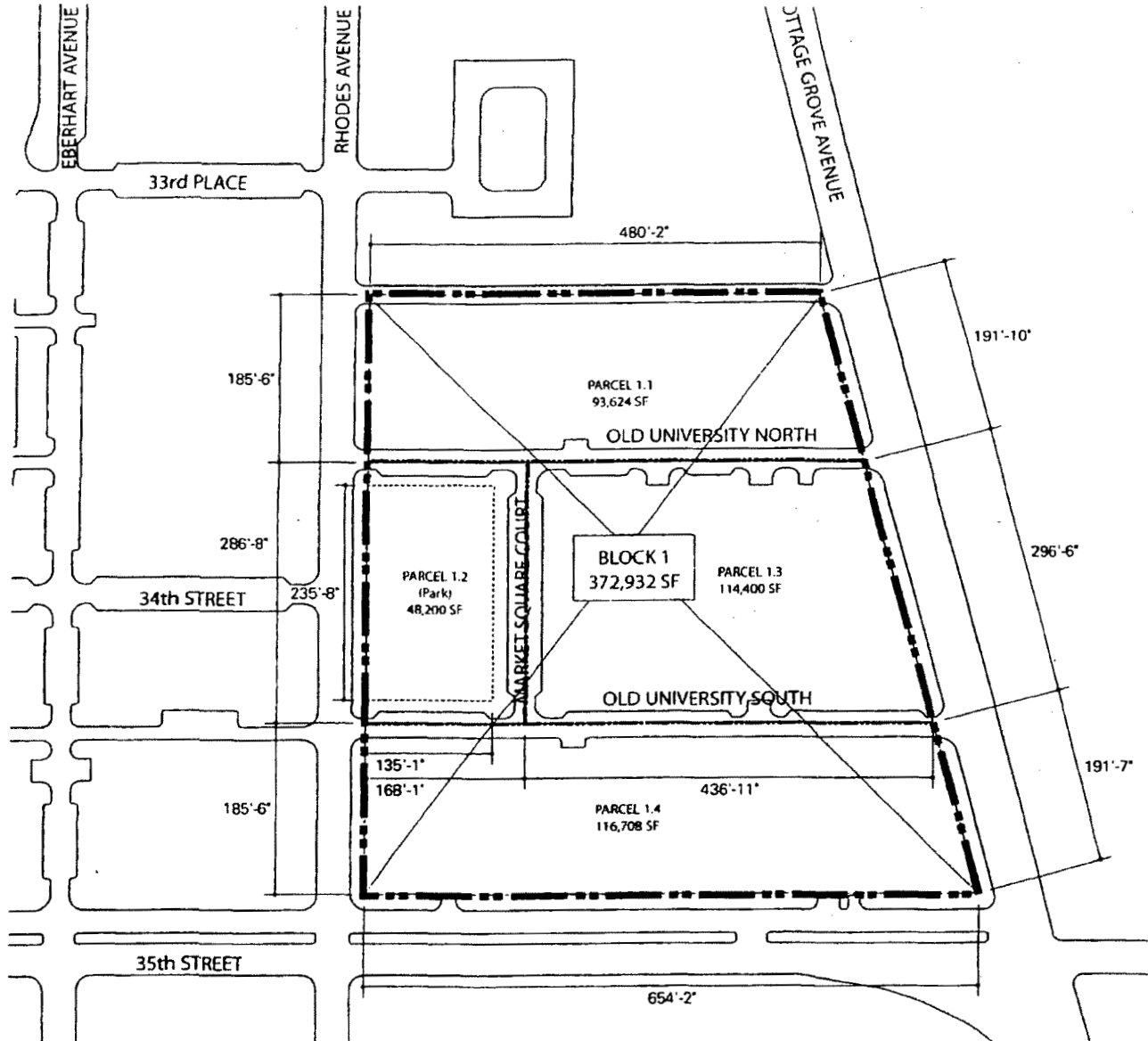
Subarea A3 -- Public And Private Roadways.



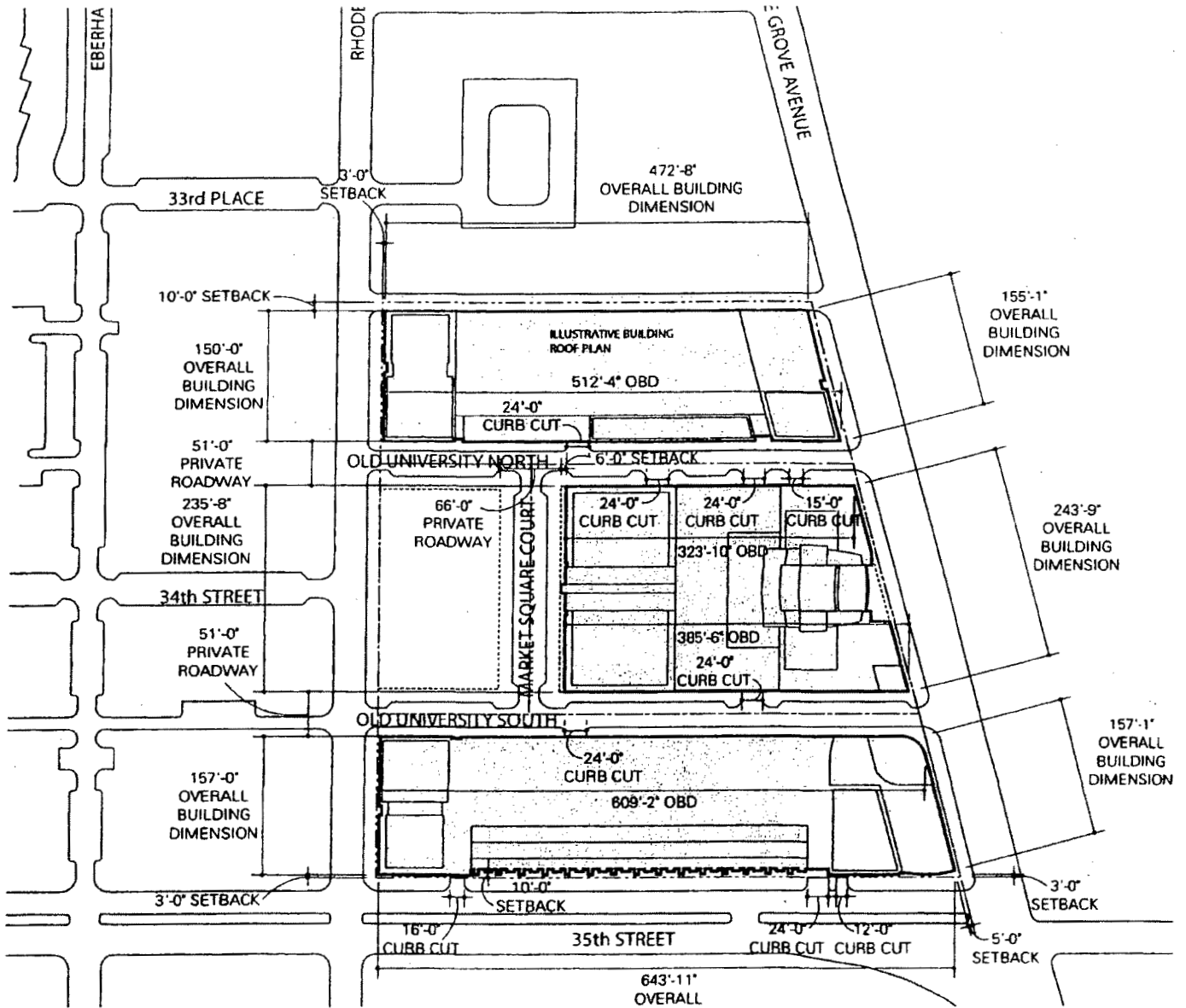
Subarea A3 -- Pedestrian Circulation.



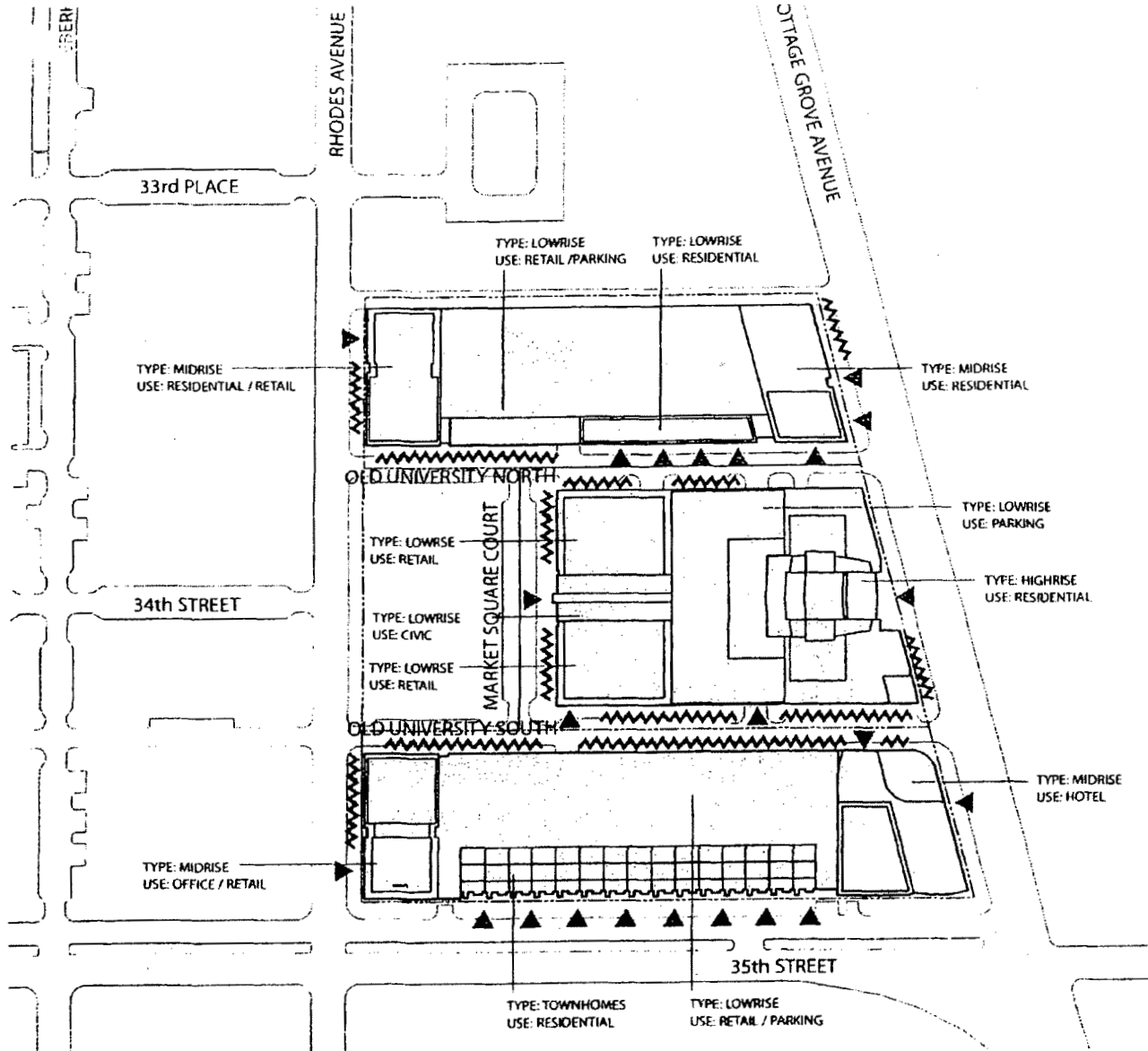
Subarea A3 -- Development Parcels And Blocks.



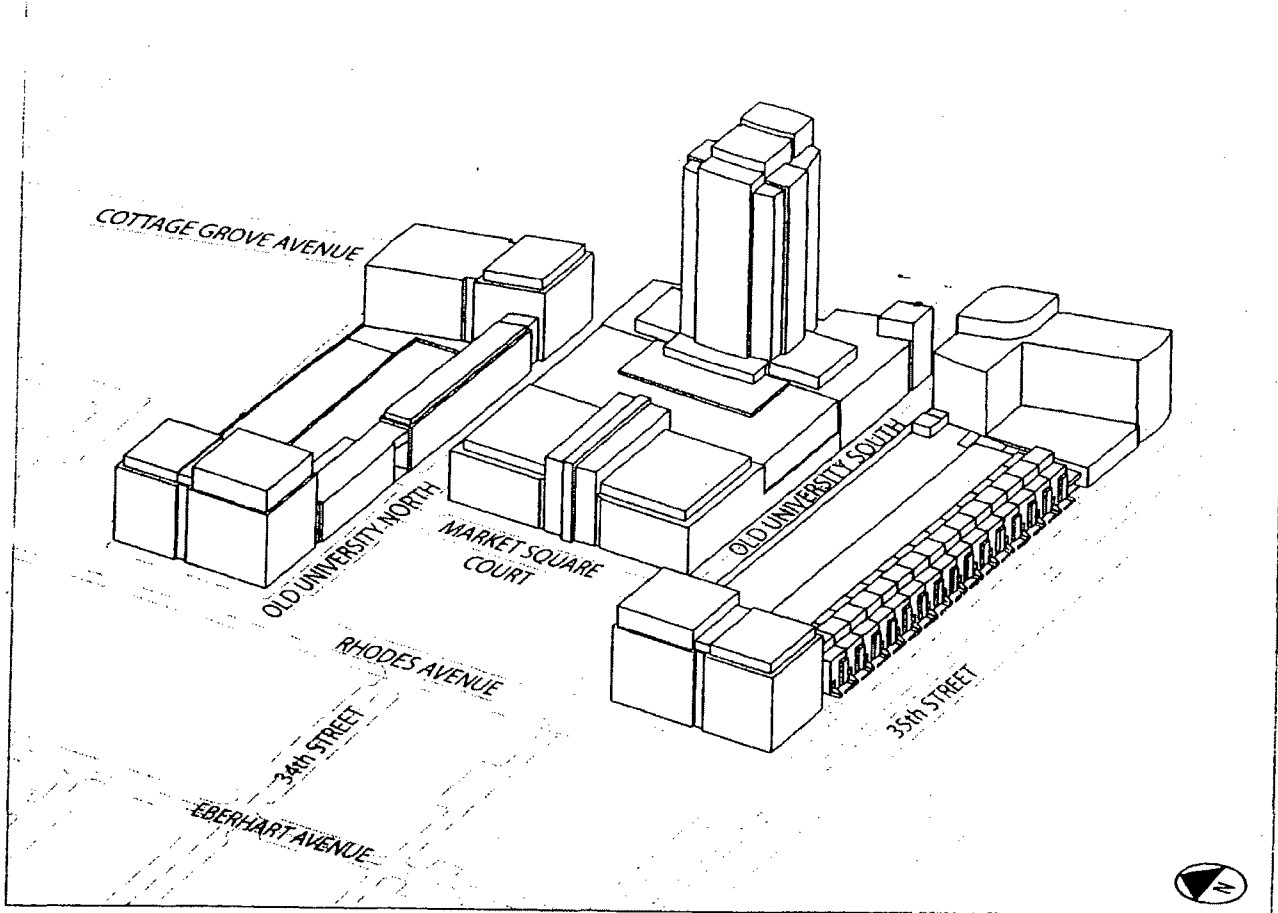
Subarea A3 -- Overall Building, Setback And Curbcut Dimensions.



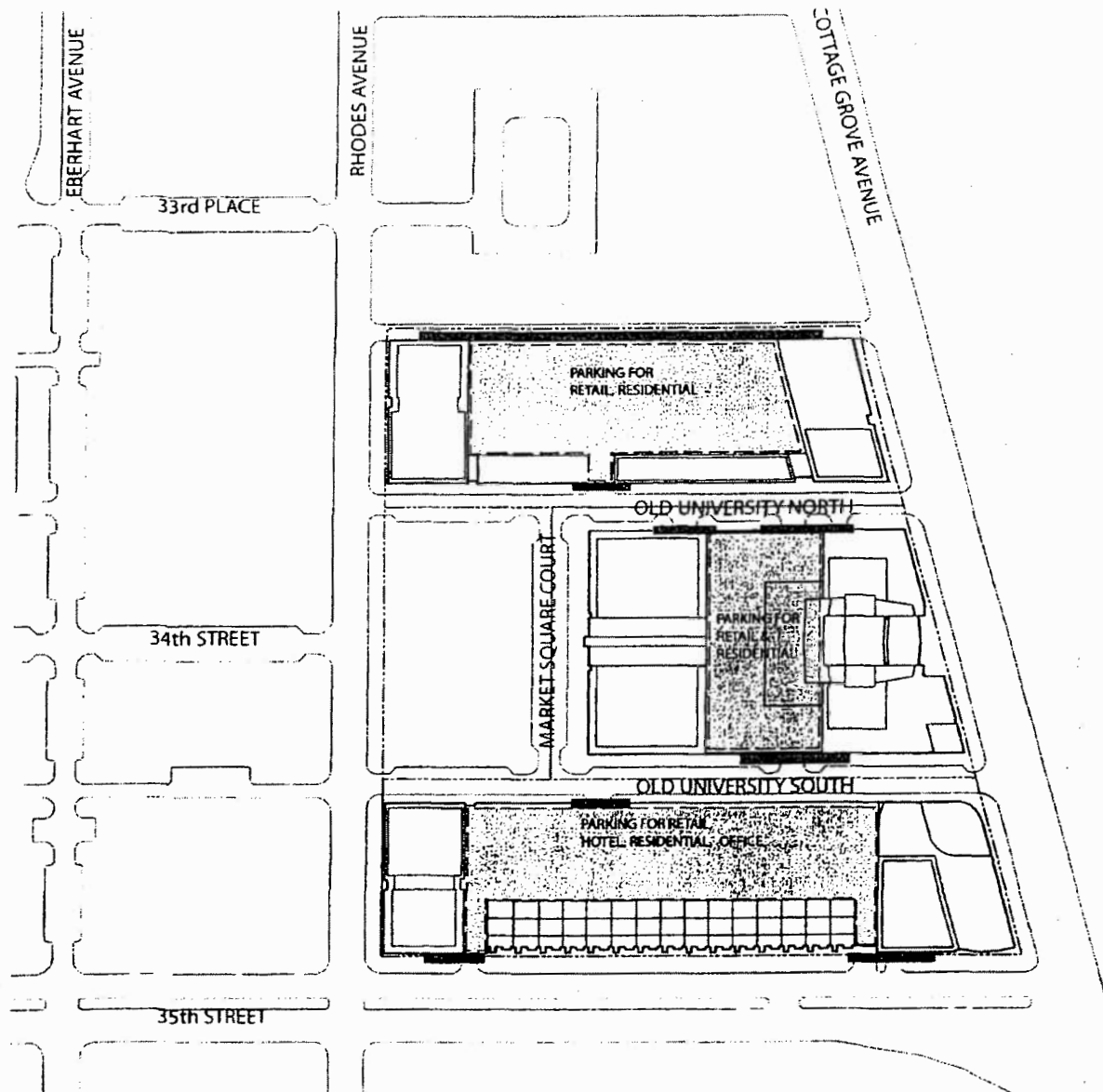
Subarea A3 -- Buildings.



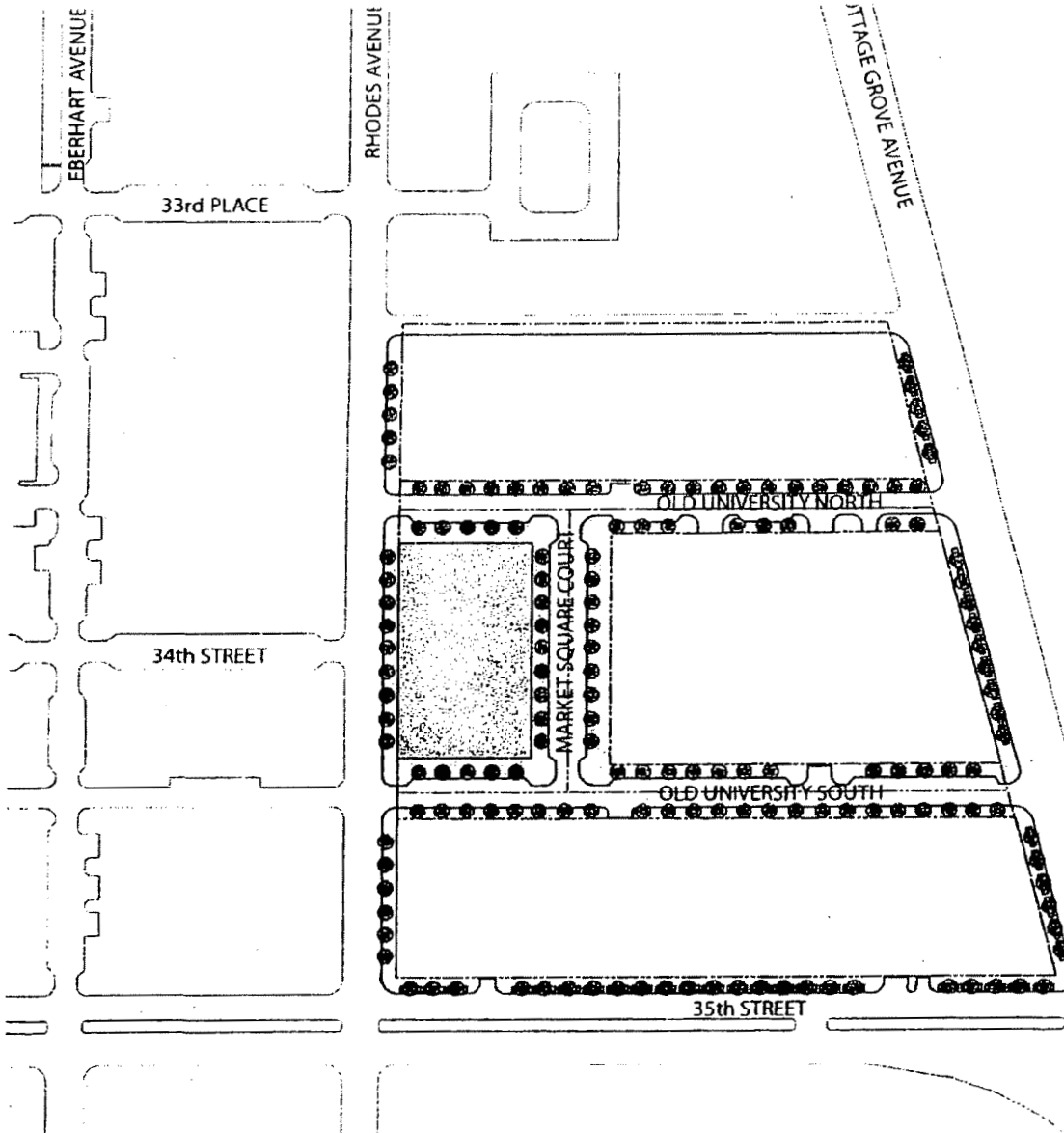
Subarea A3 -- Illustrative Massing Diagram.



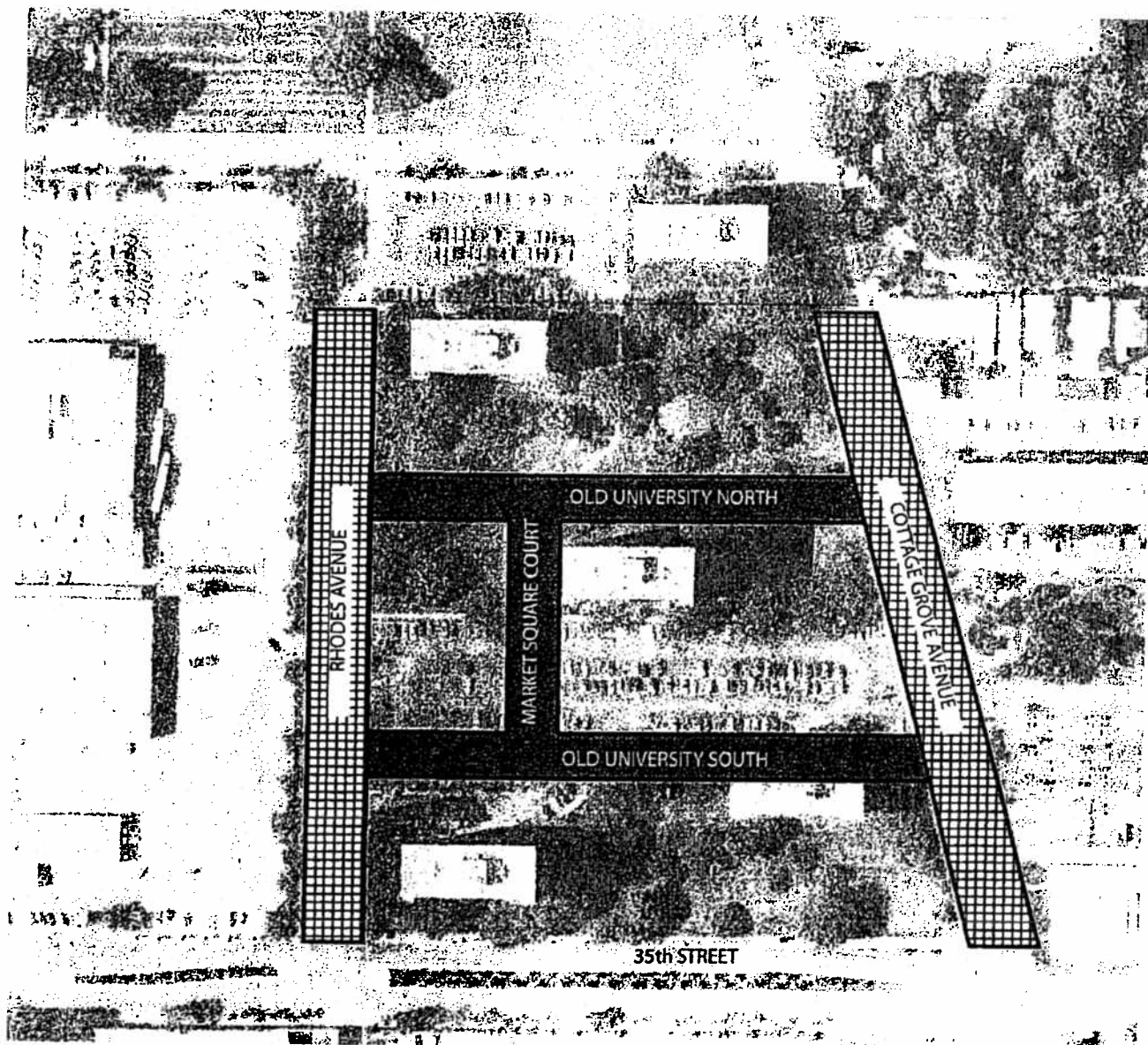
Subarea A3 -- Parking And Loading.



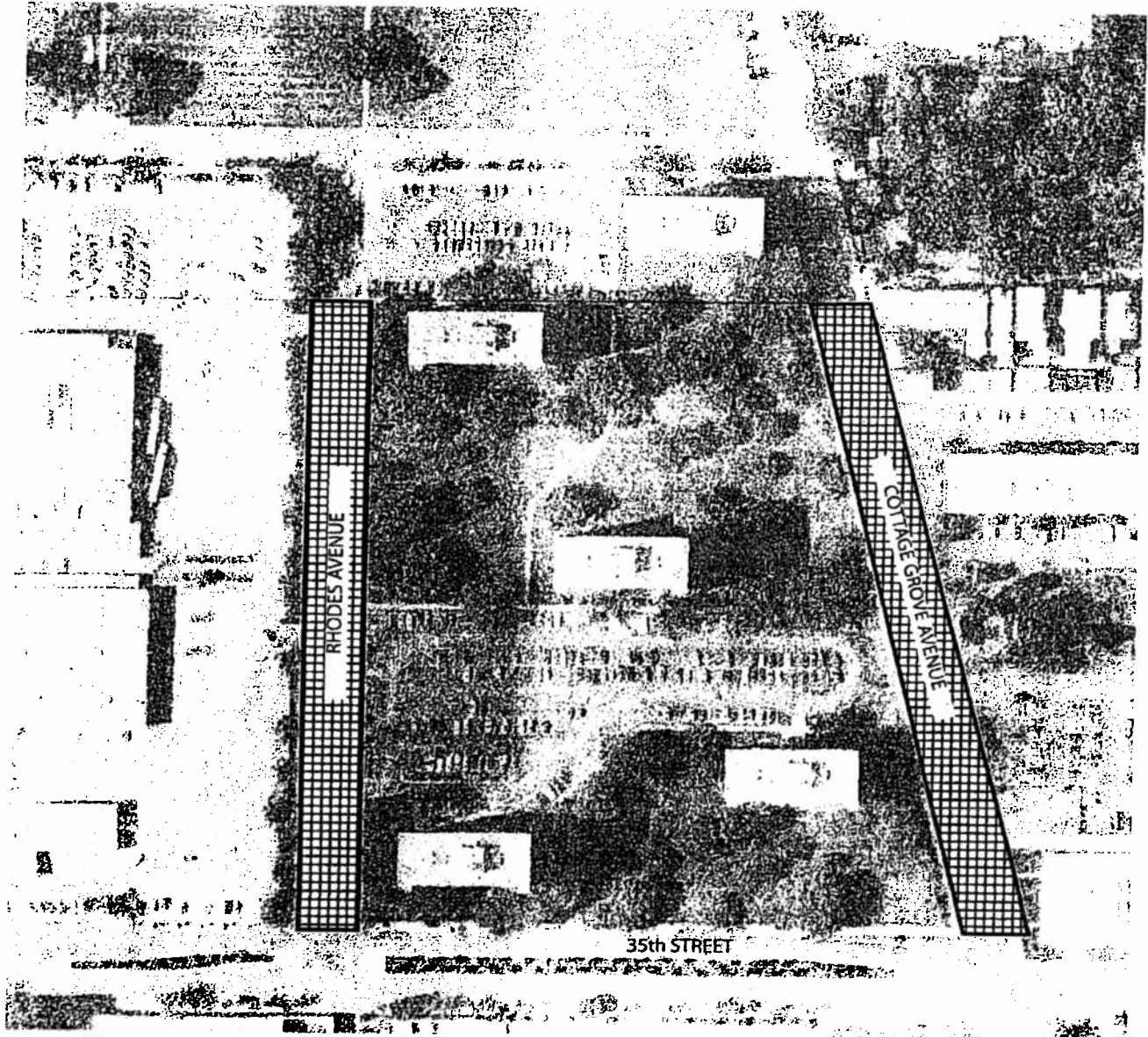
Subarea A3 -- Open Space And Landscaping.



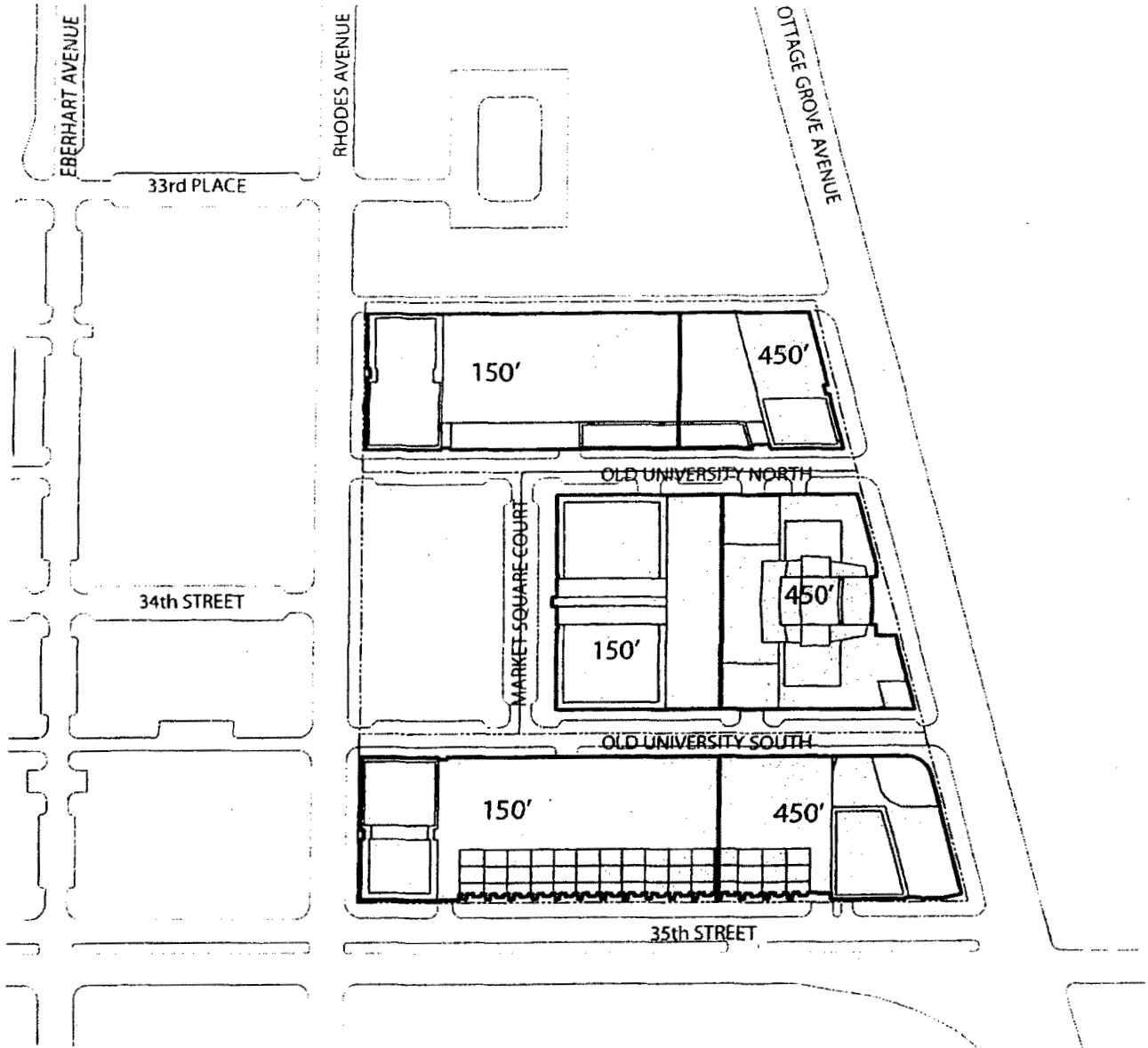
Subarea A3 – Traffic Improvements.



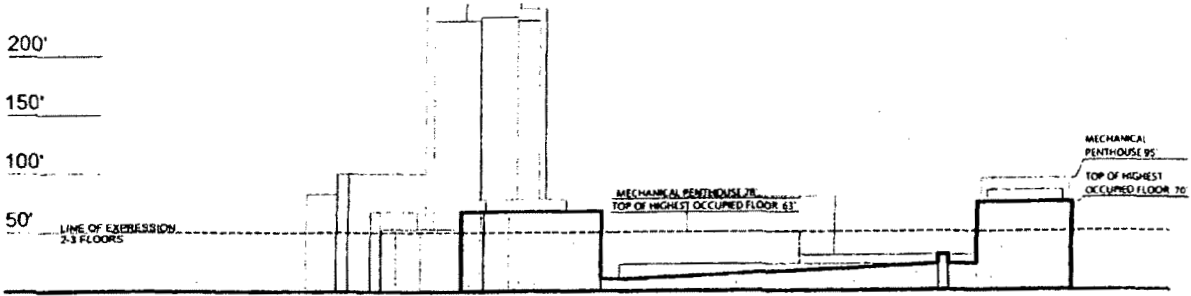
Subarea A3 -- Vacations And Dedications.



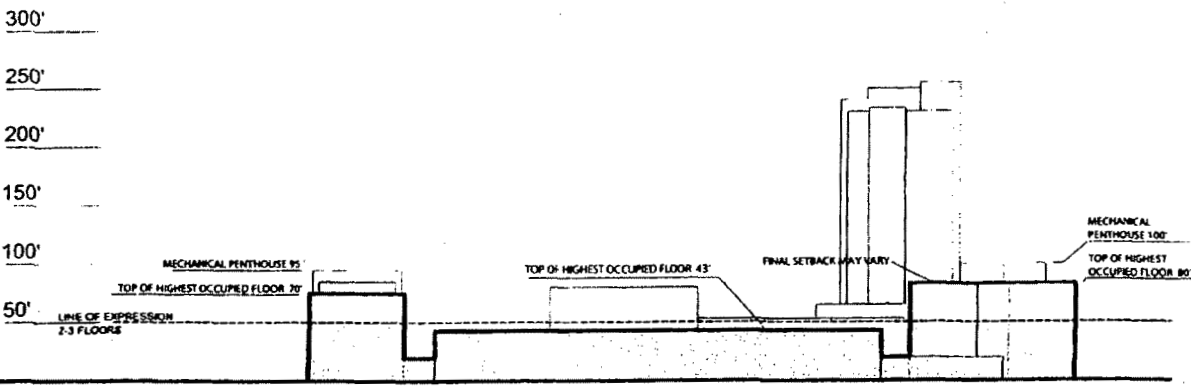
Subarea A3 -- Maximum Building Envelope And Height.



Subarea A3 -- North And South Illustrative Elevations.

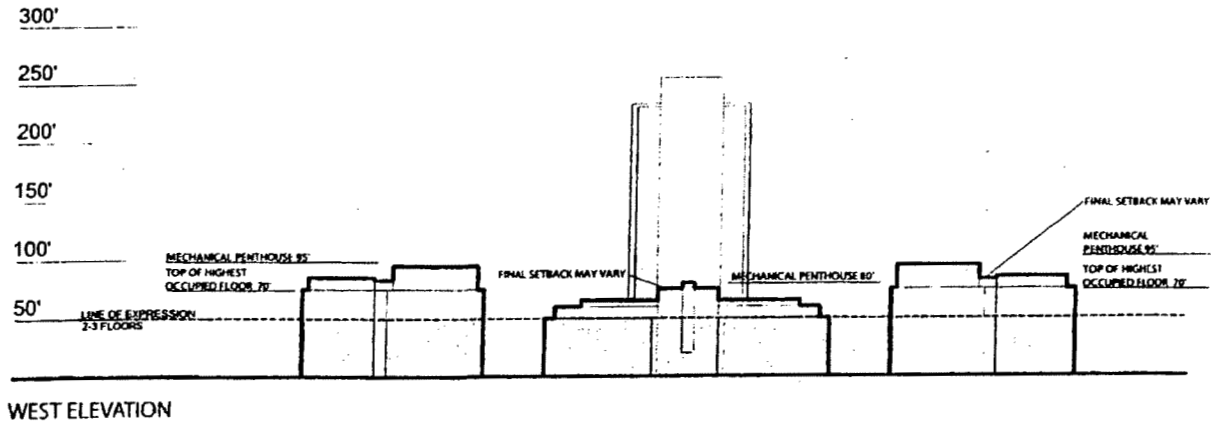
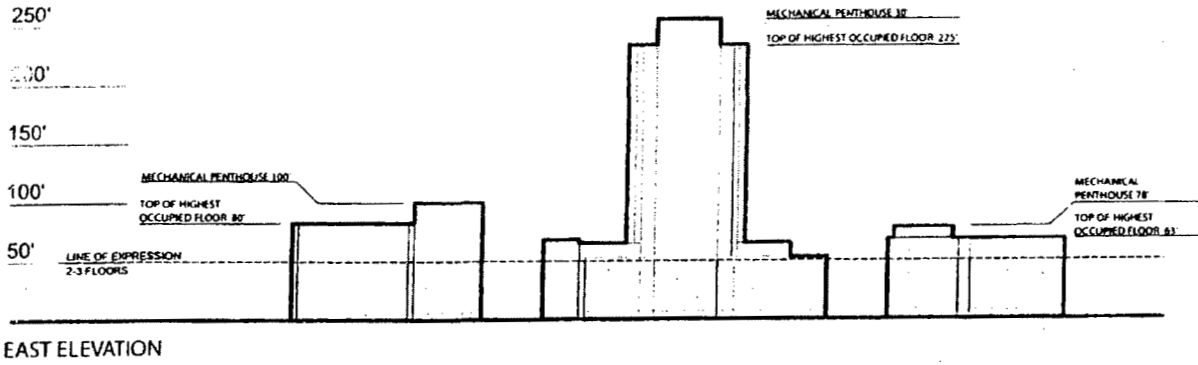


NORTH ELEVATION

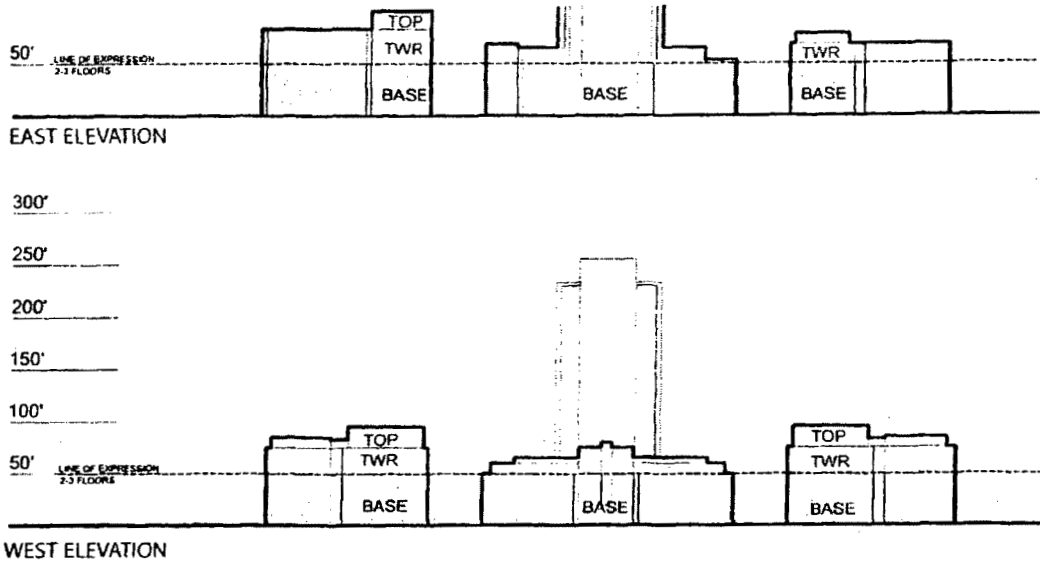


SOUTH ELEVATION

Subarea A3 -- East And West Illustrative Elevations.



Subarea A3.



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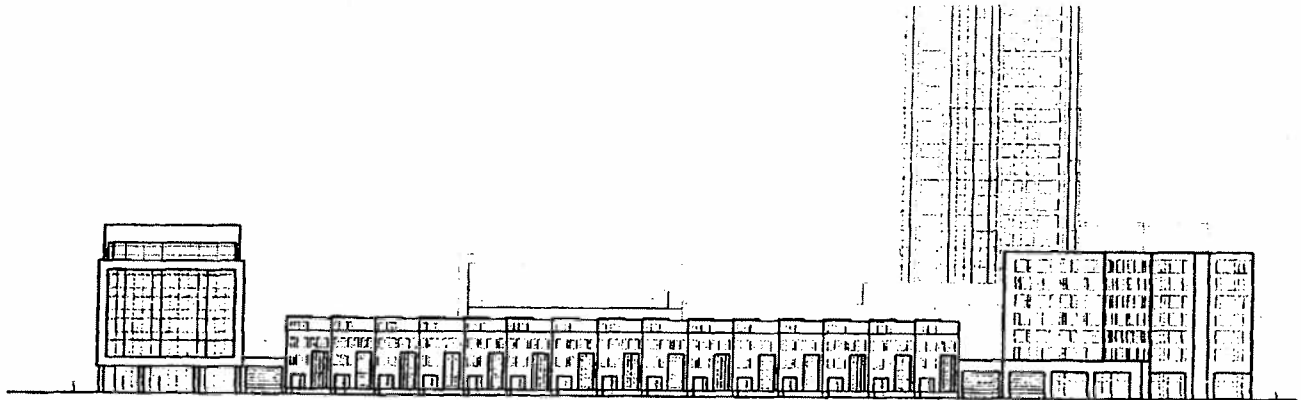
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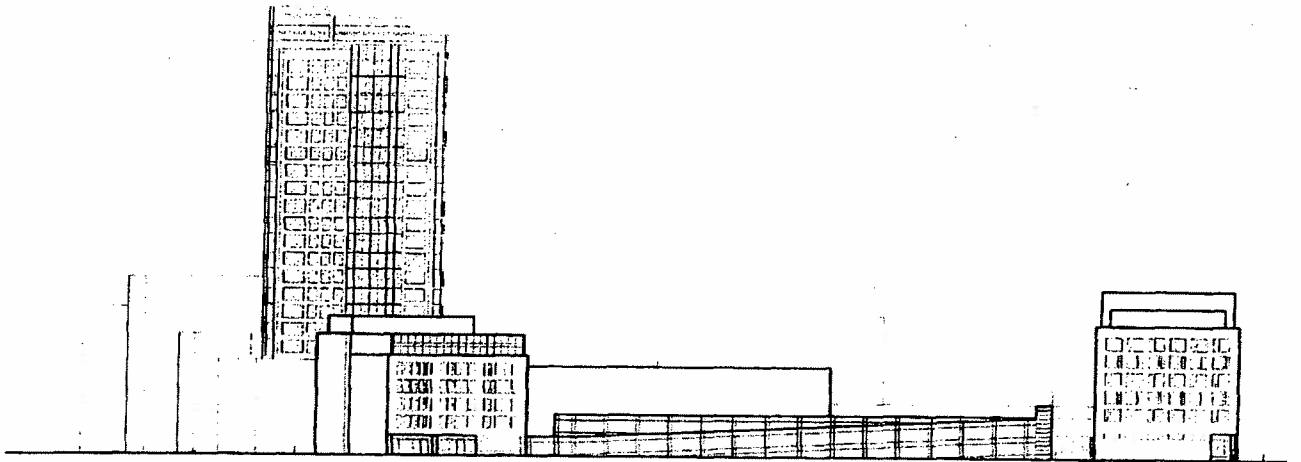
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Subarea A3 -- Facade Concepts.
(Page 1 of 2)

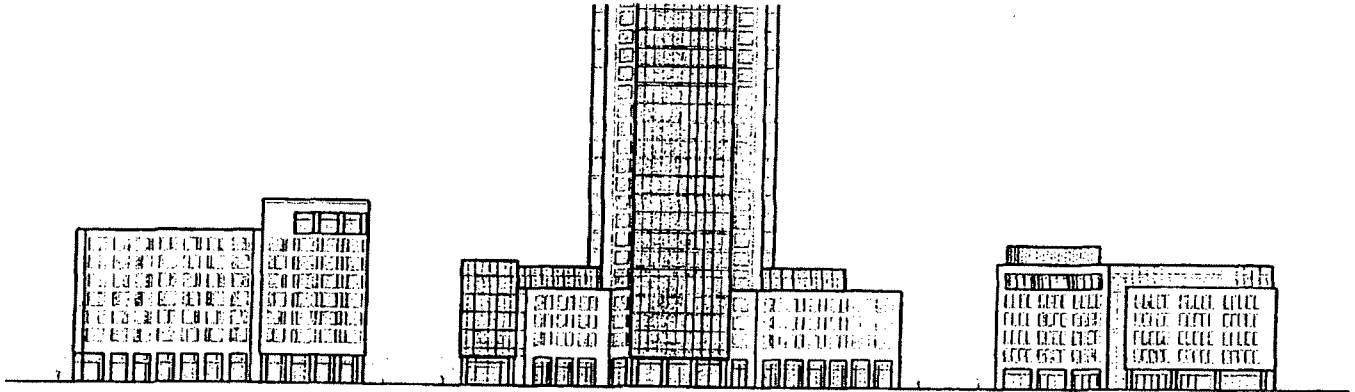


SOUTH ELEVATION

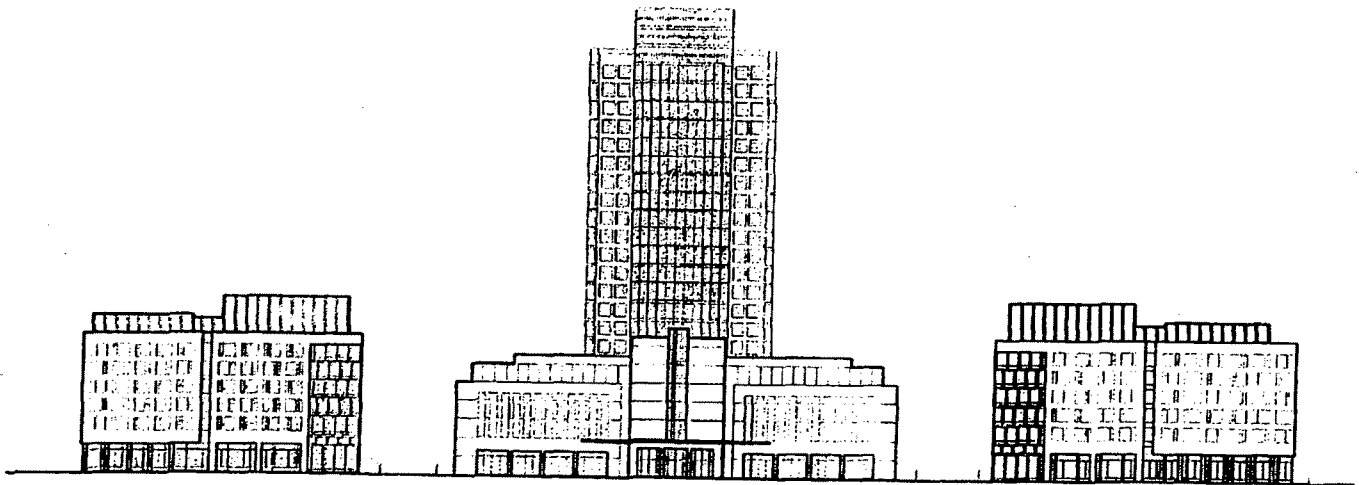


NORTH ELEVATION

Subarea A3 -- Facade Concepts.
(Page 2 of 2)

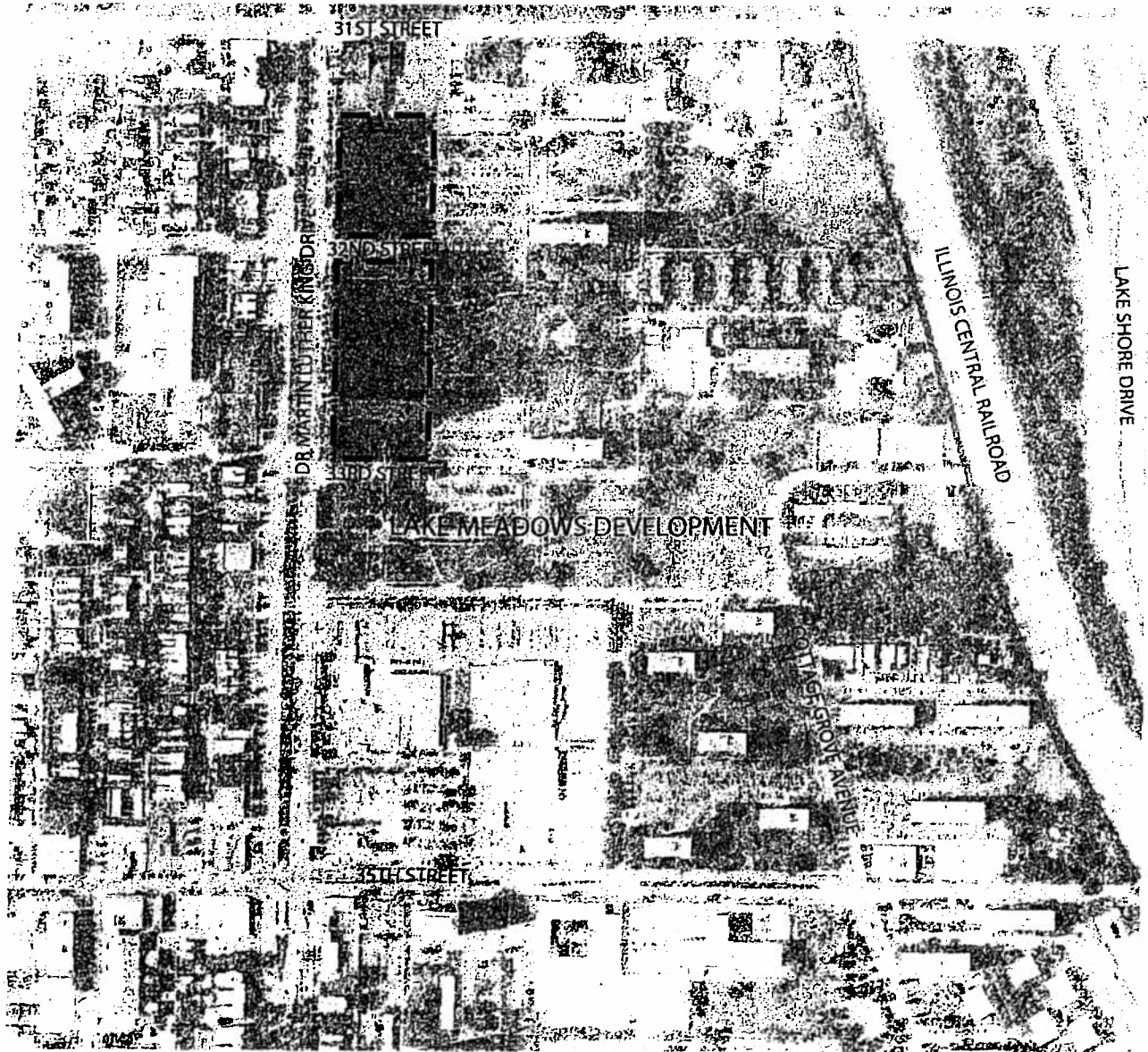


EAST ELEVATION



WEST ELEVATION

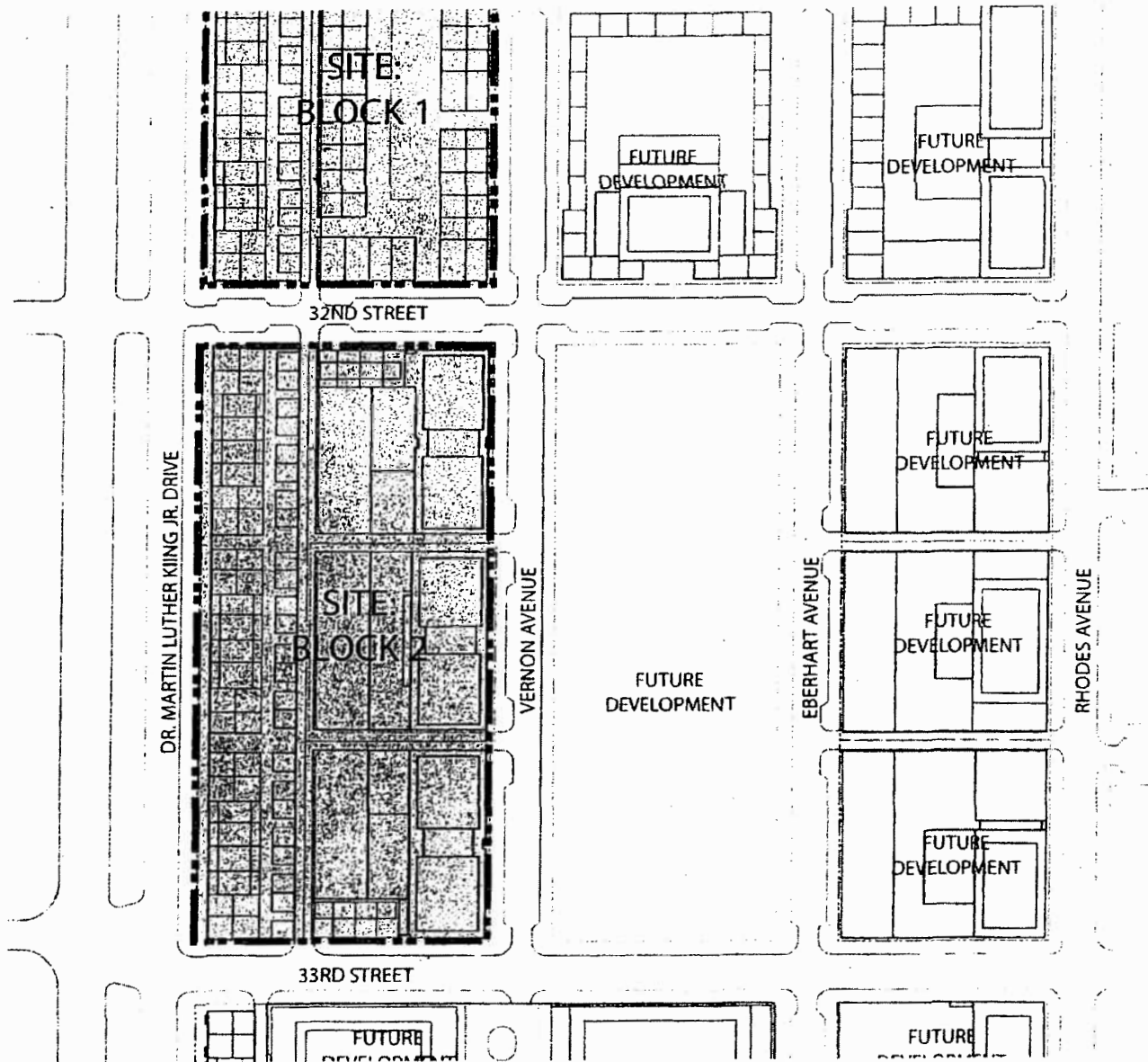
Subarea B1 -- Surrounding Area Context.



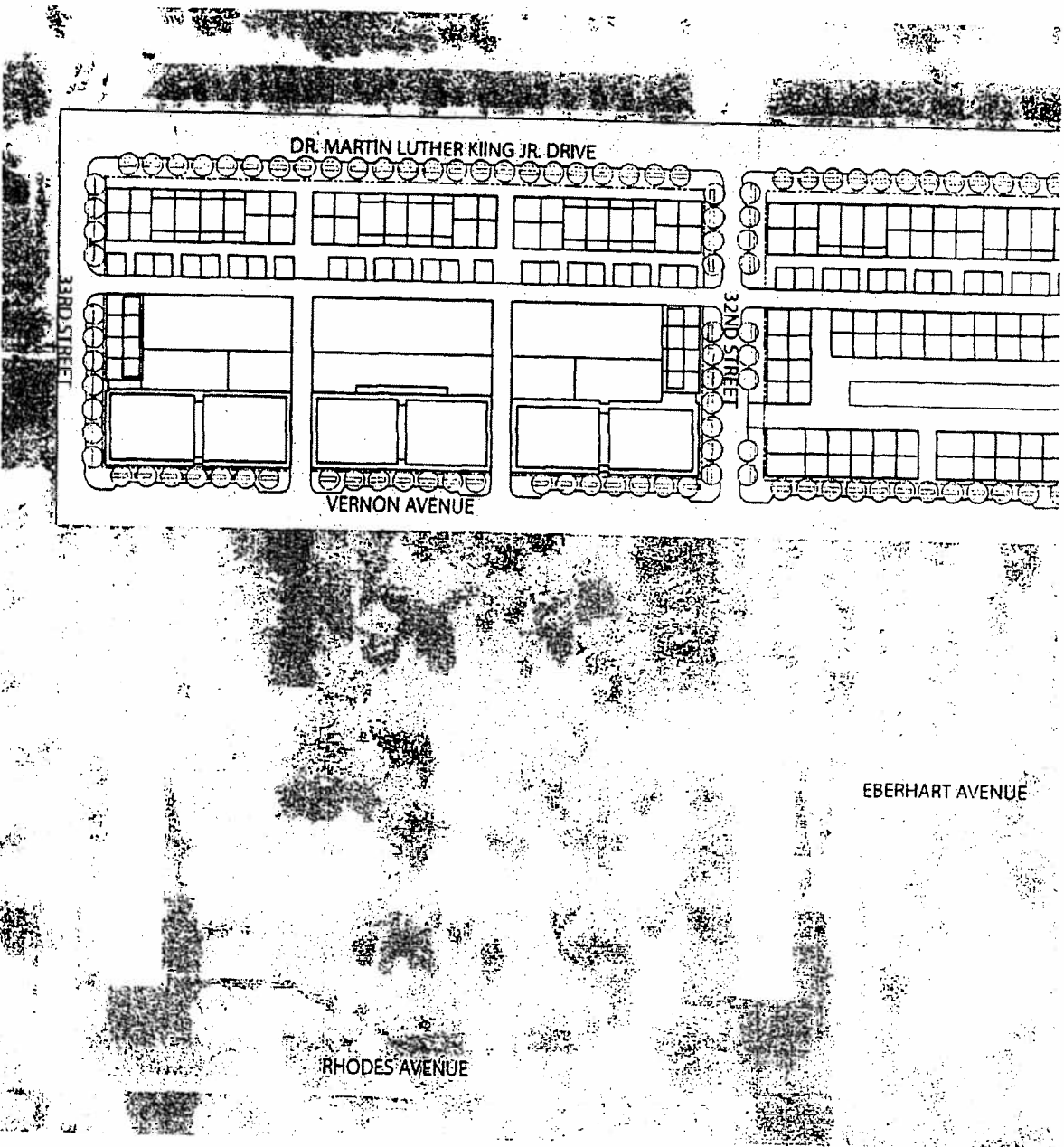
Subarea B1 -- Existing Conditions/Site Location.



Subarea B1 -- Future Development Context.



Subarea B1 -- Existing Development Context.

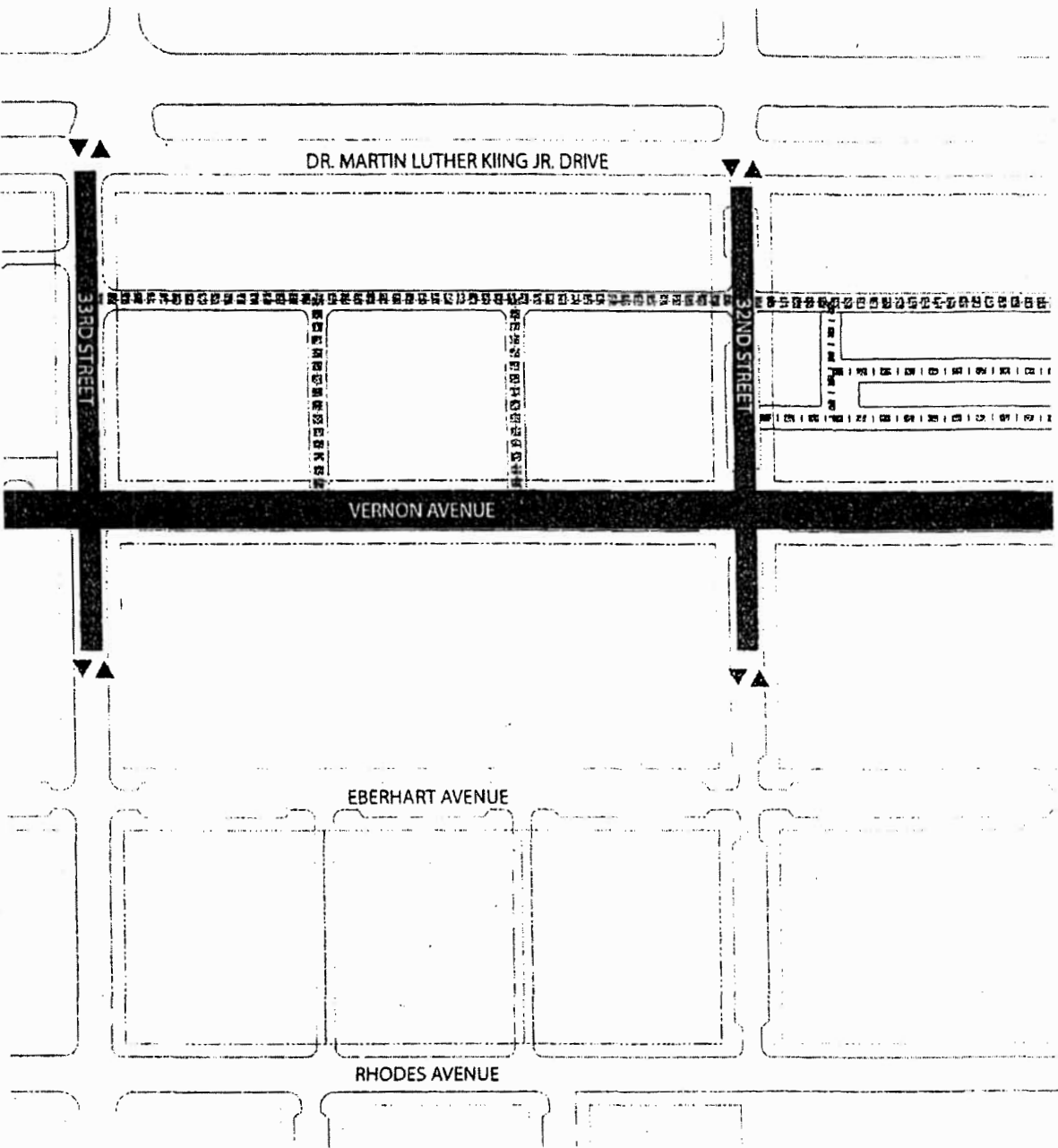


6/30/2010

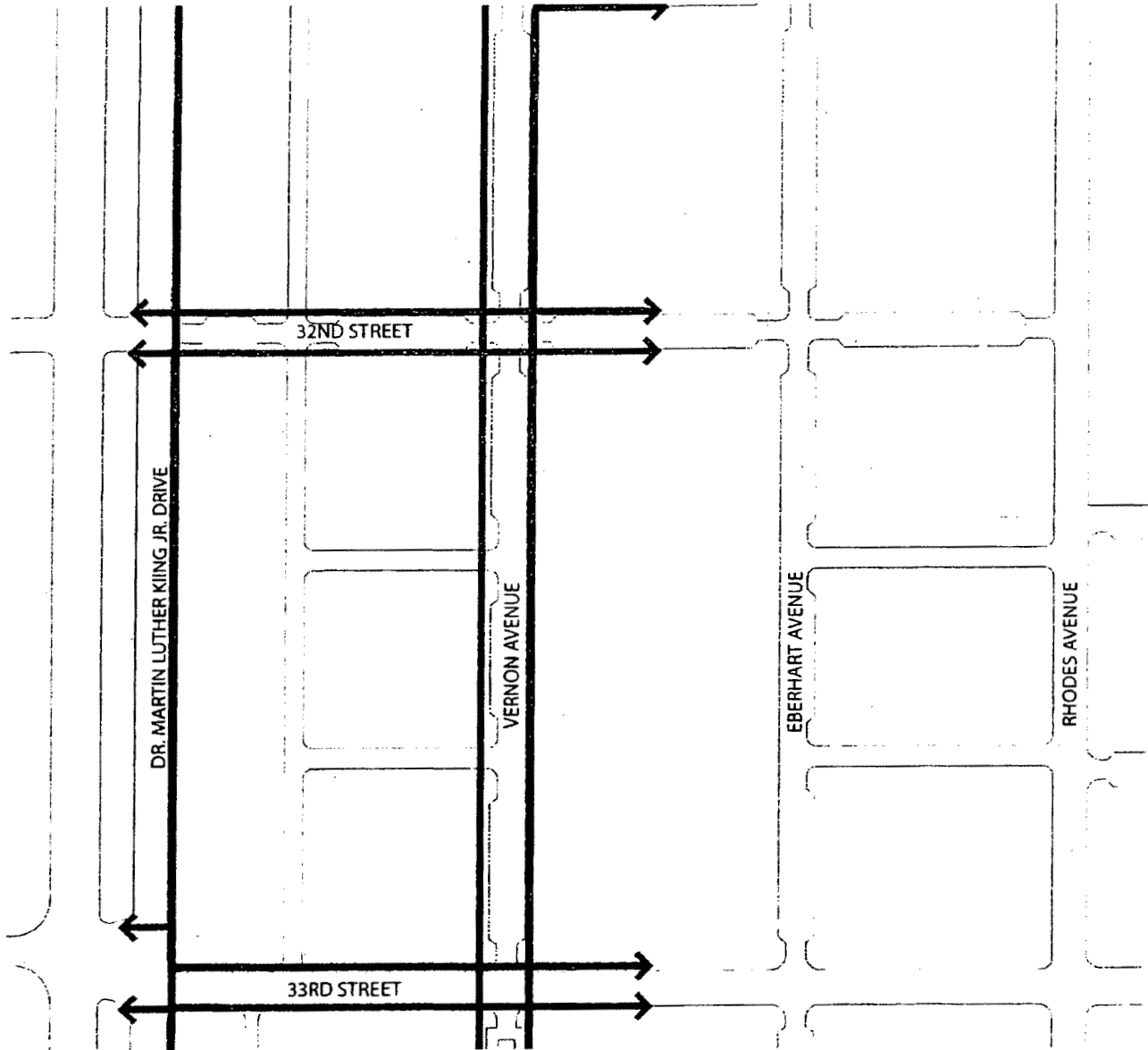
REPORTS OF COMMITTEES

95955

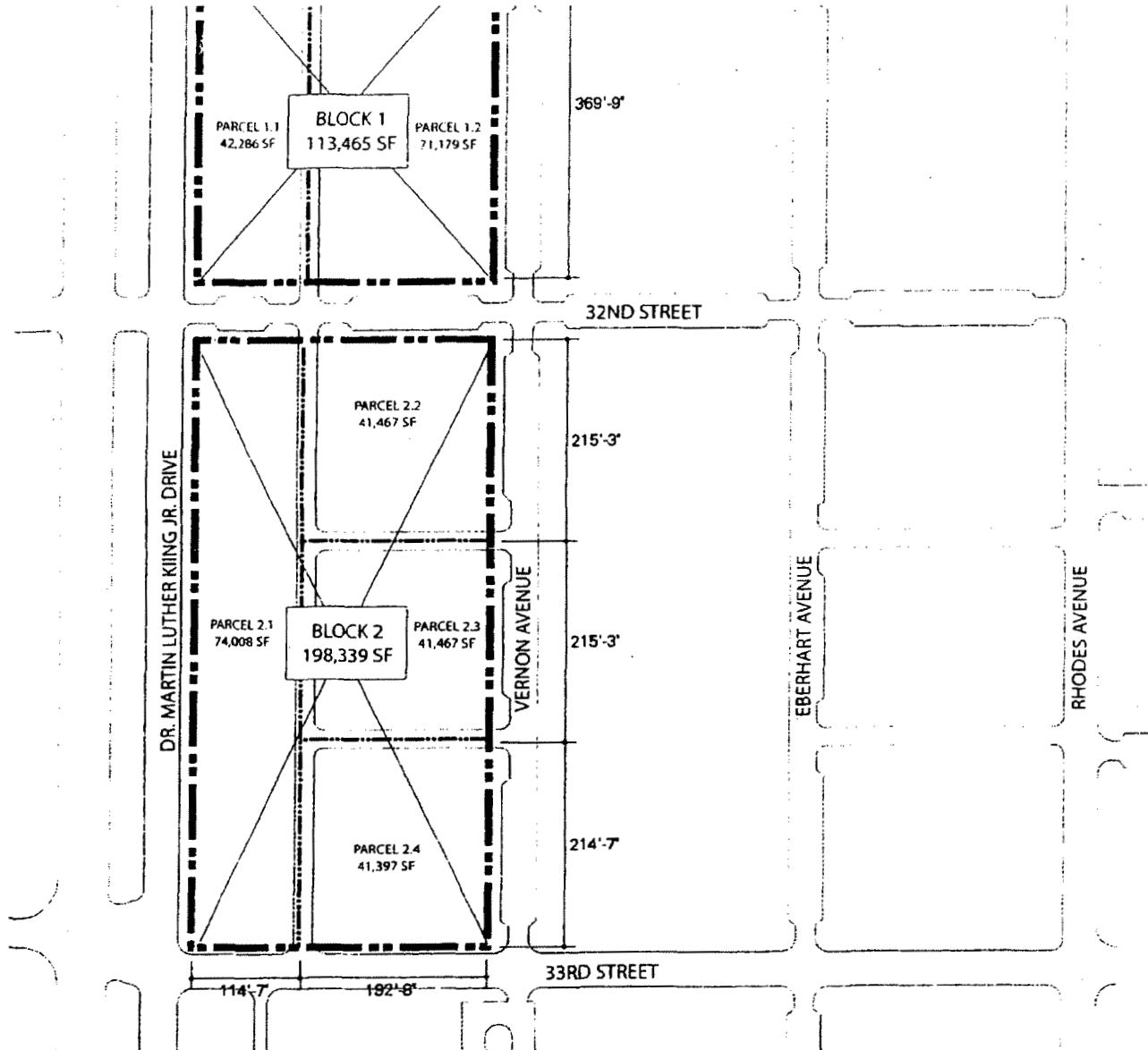
Subarea B1 -- Public And Private Roadways.



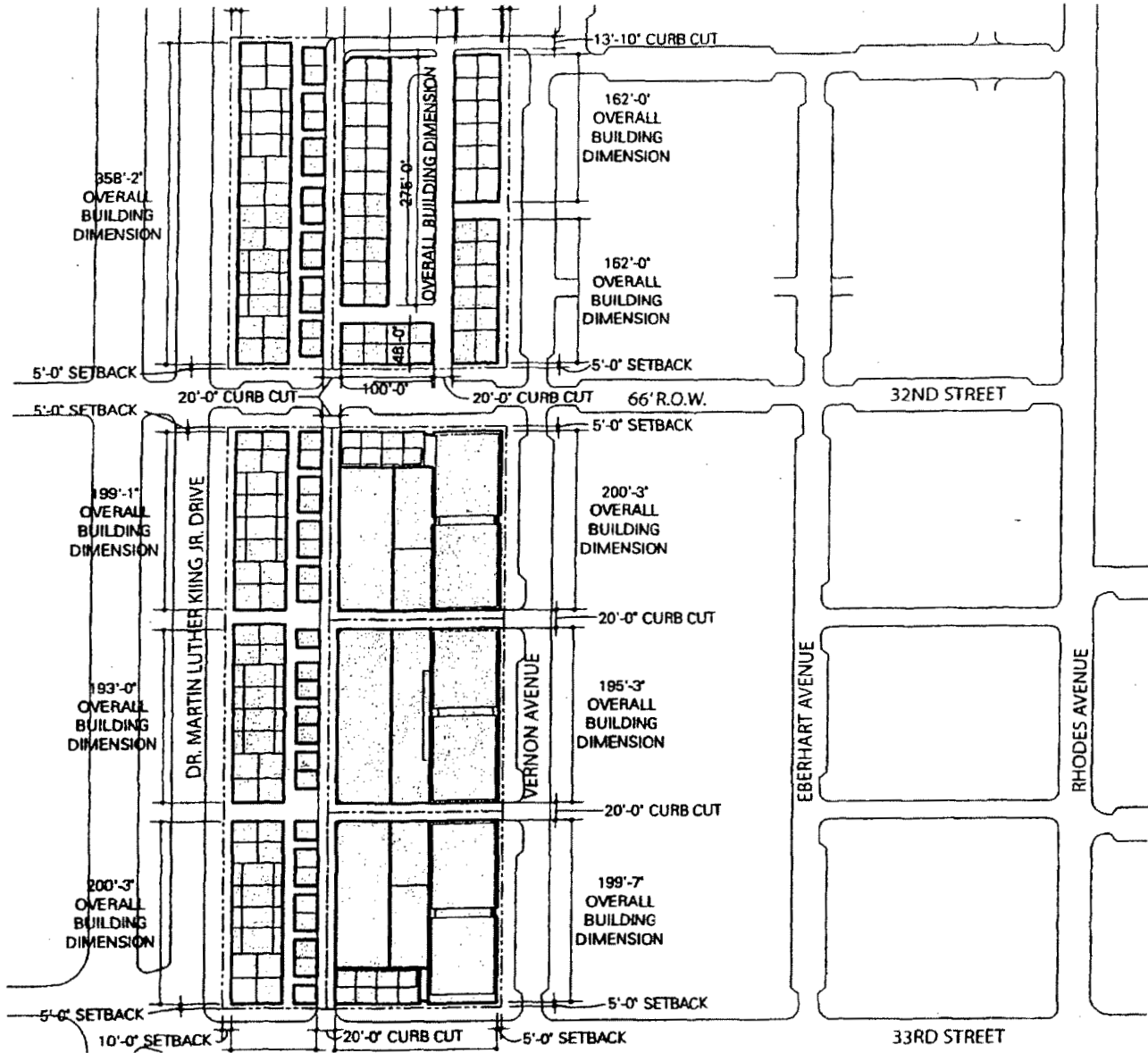
Subarea B1 -- Pedestrian Circulation.



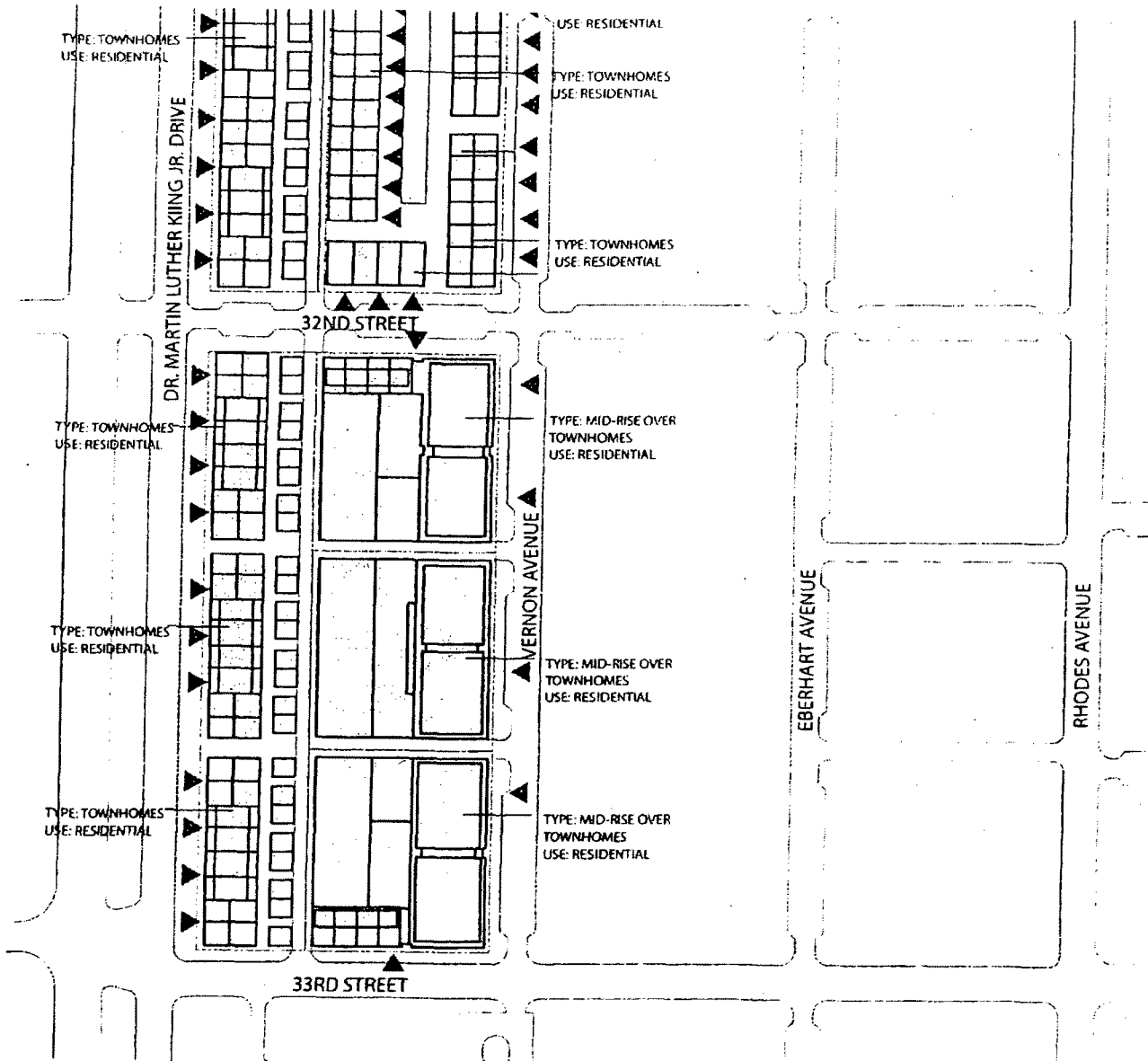
Subarea B1 -- Development Parcels And Blocks.



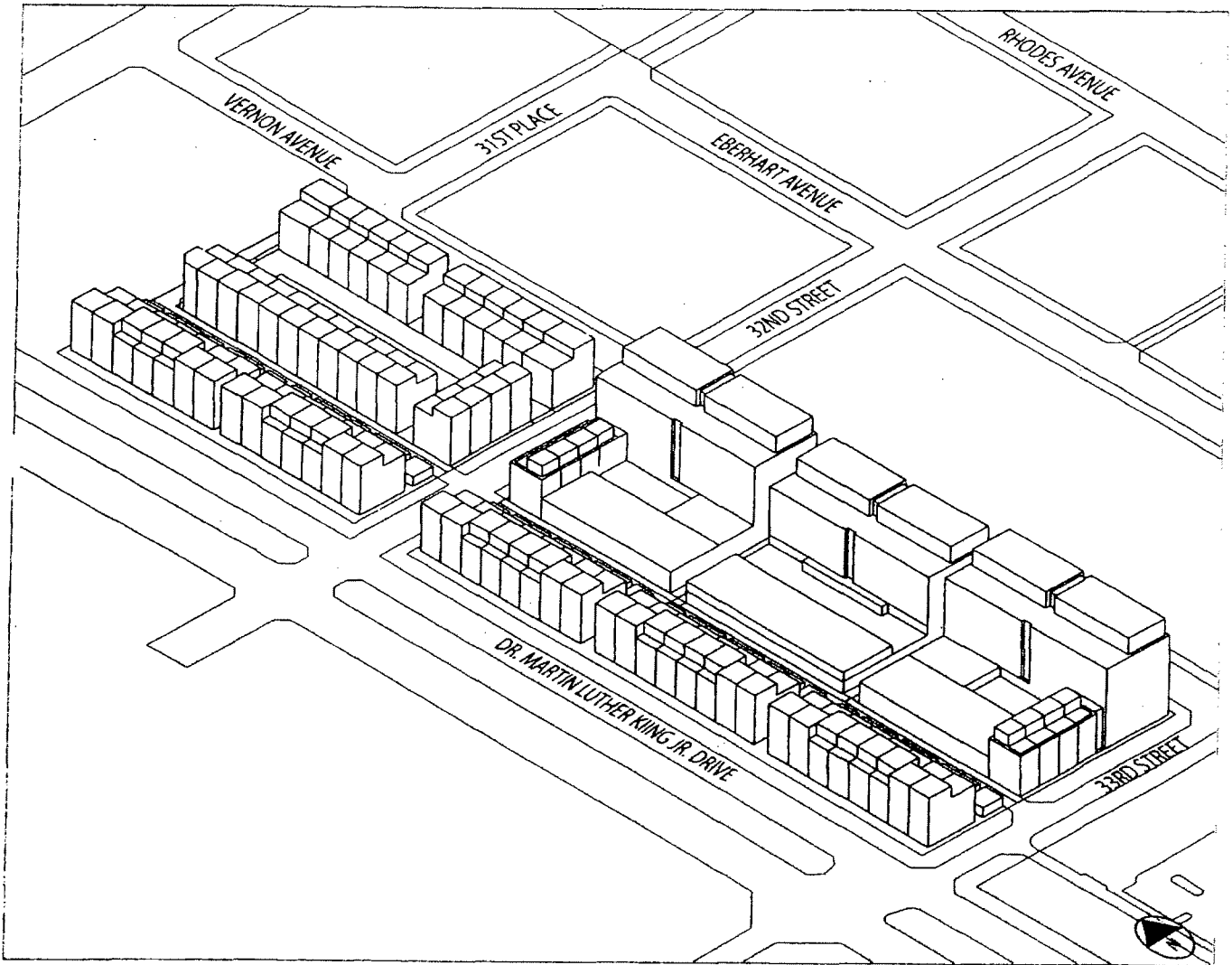
Subarea B1 -- Overall Buildings Setback And Curbcut Dimensions.



Subarea B1 -- Buildings.



Subarea B1 -- Illustrative Massing Diagram.

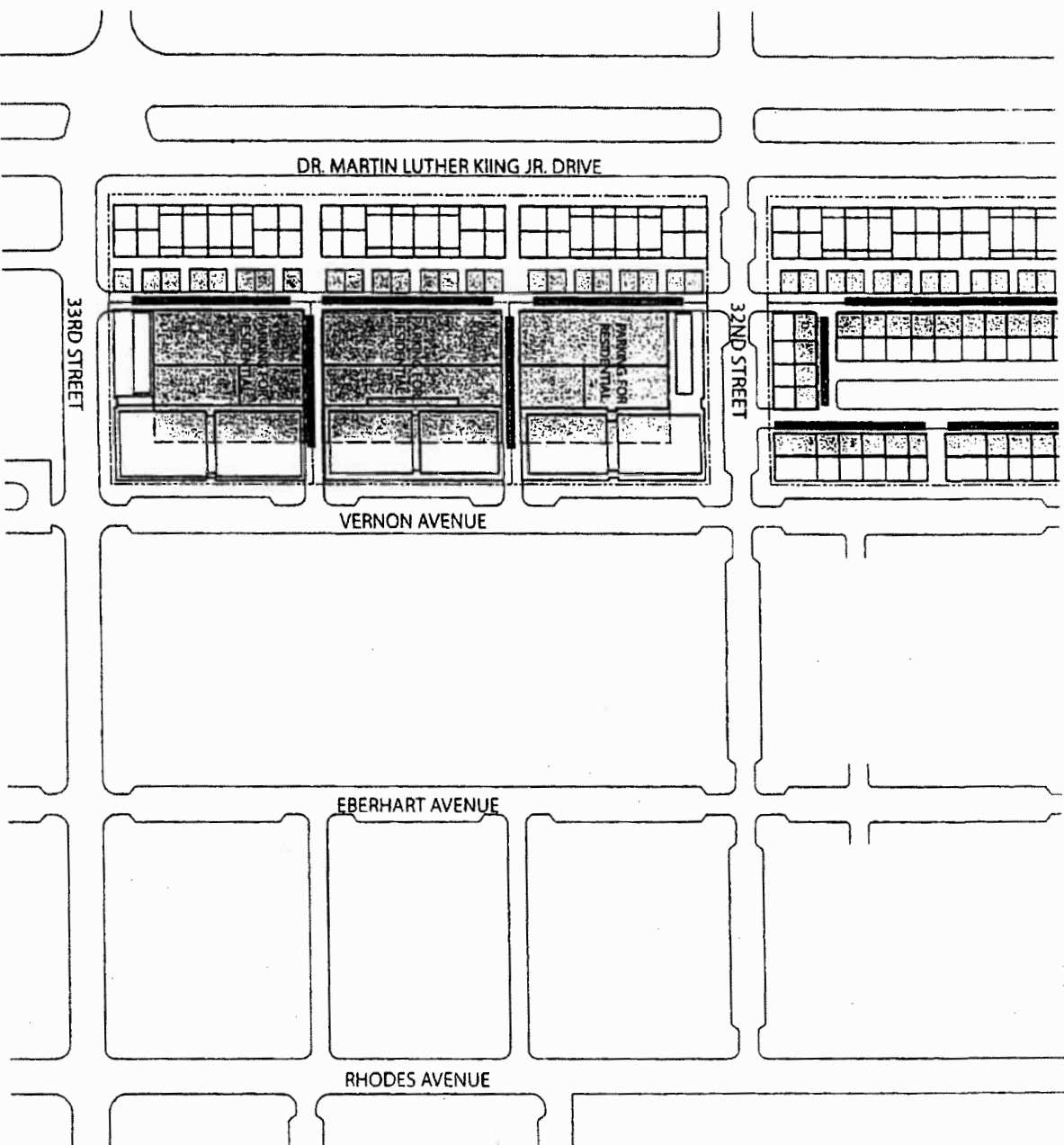


6/30/2010

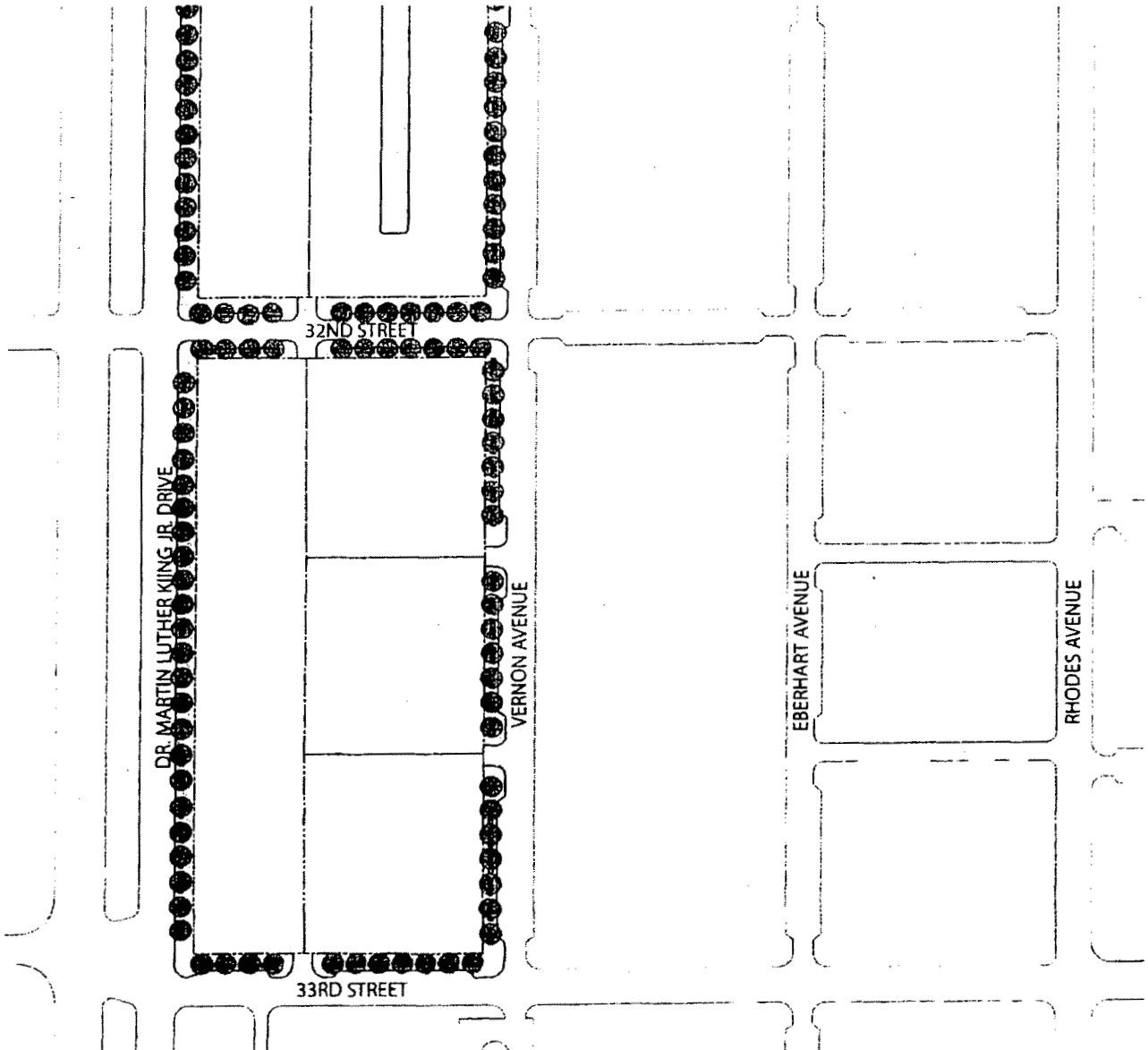
REPORTS OF COMMITTEES

95961

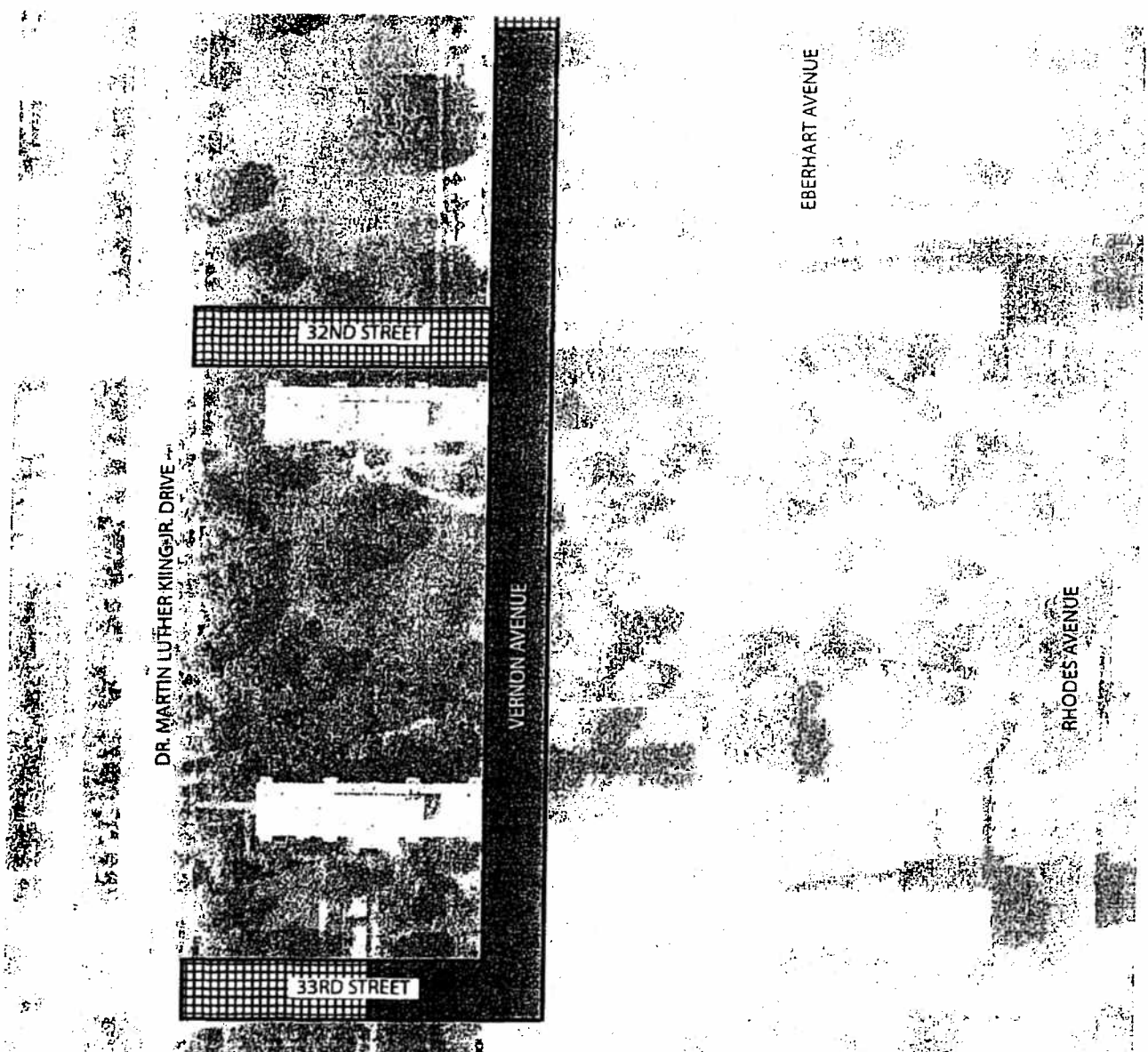
Subarea B1 -- Parking And Loading.



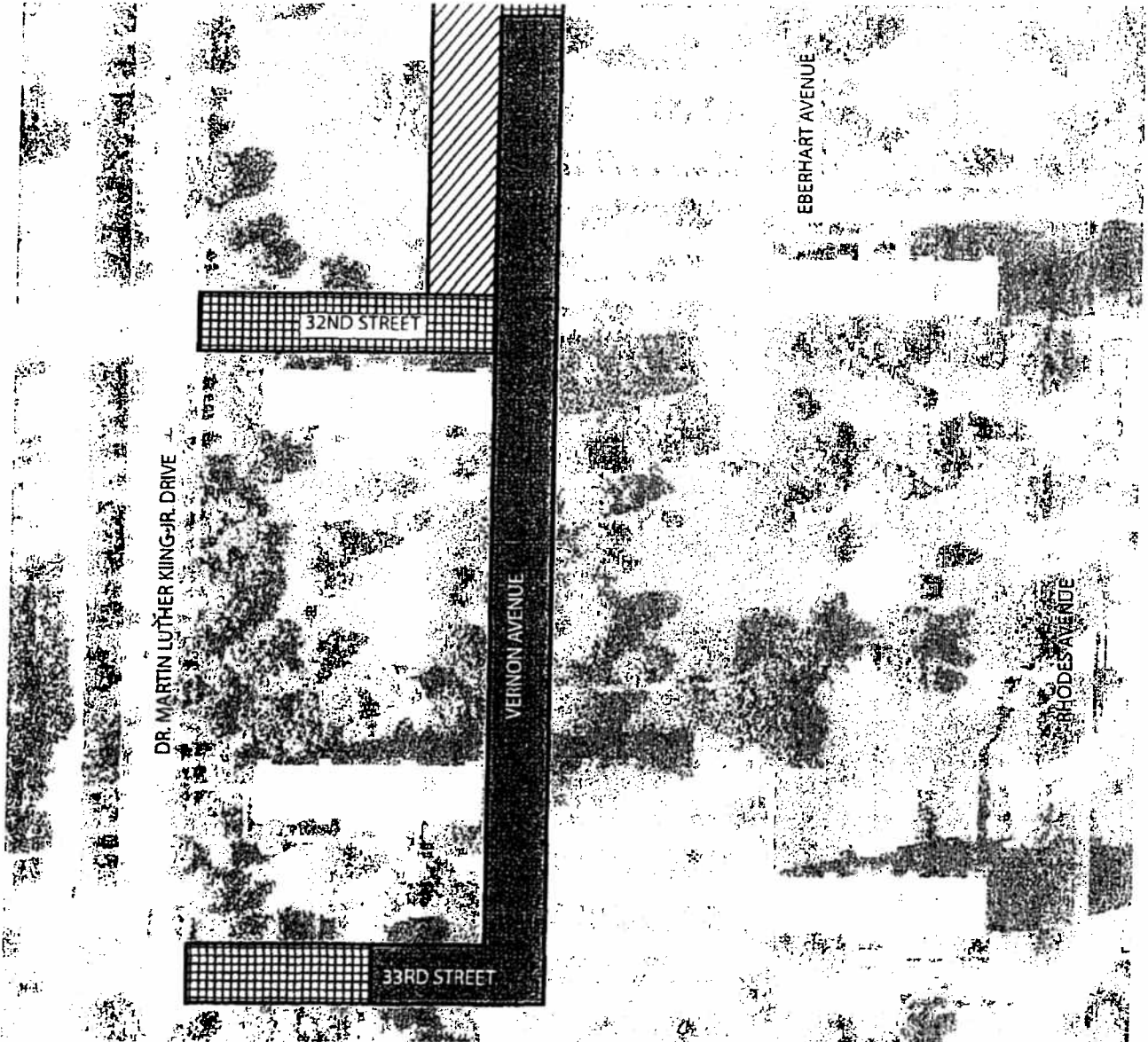
Subarea B1 -- Open Space And Landscaping.



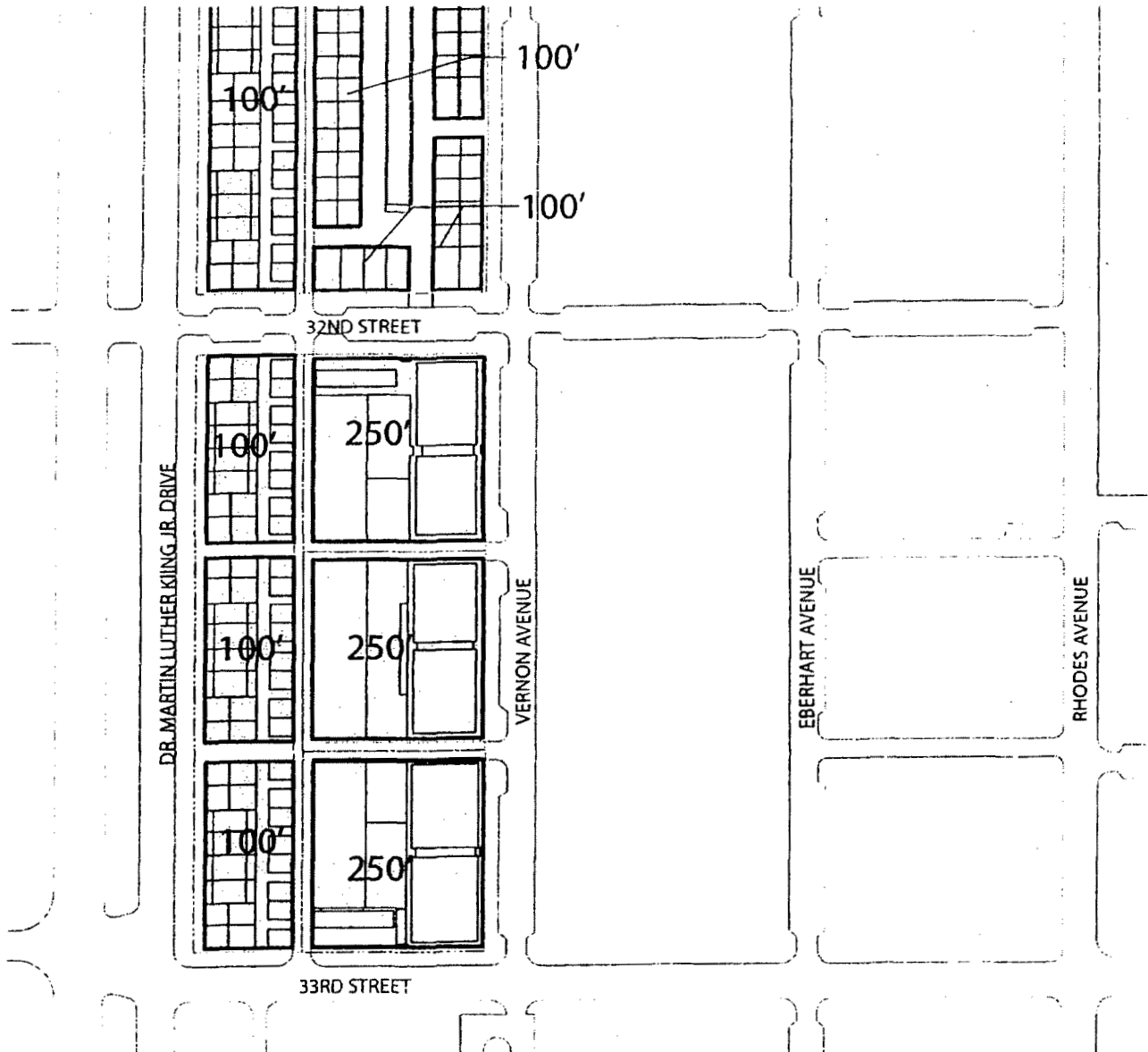
Subarea B1 -- Traffic Improvements.



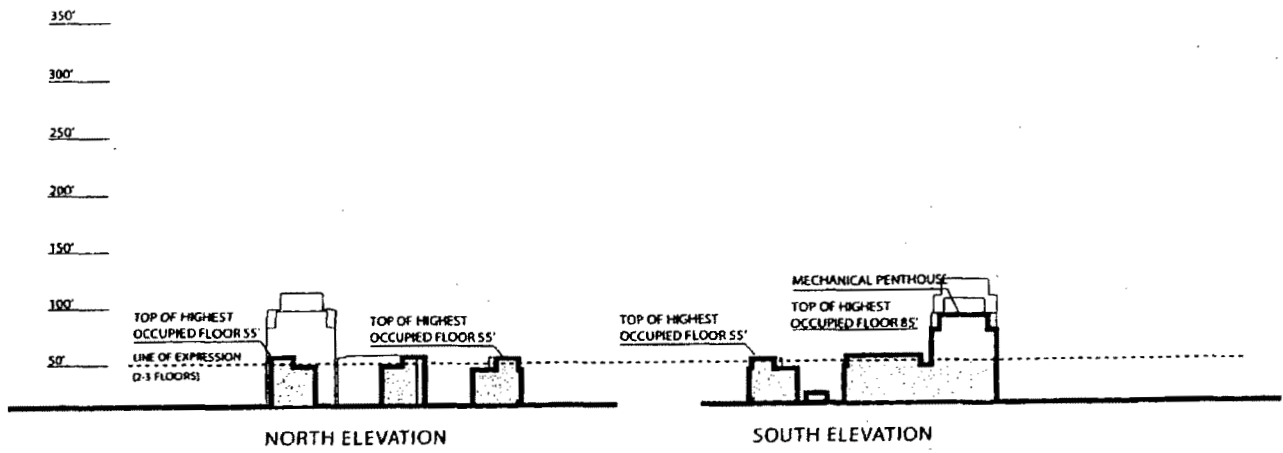
Subarea B1 -- Vacations And Dedications.



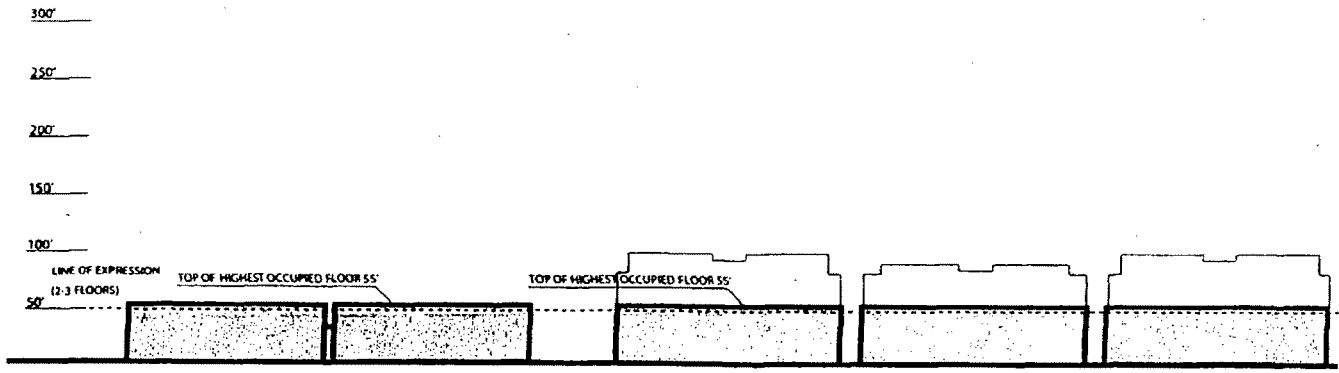
Subarea B1 -- Maximum Building Envelope And Height.



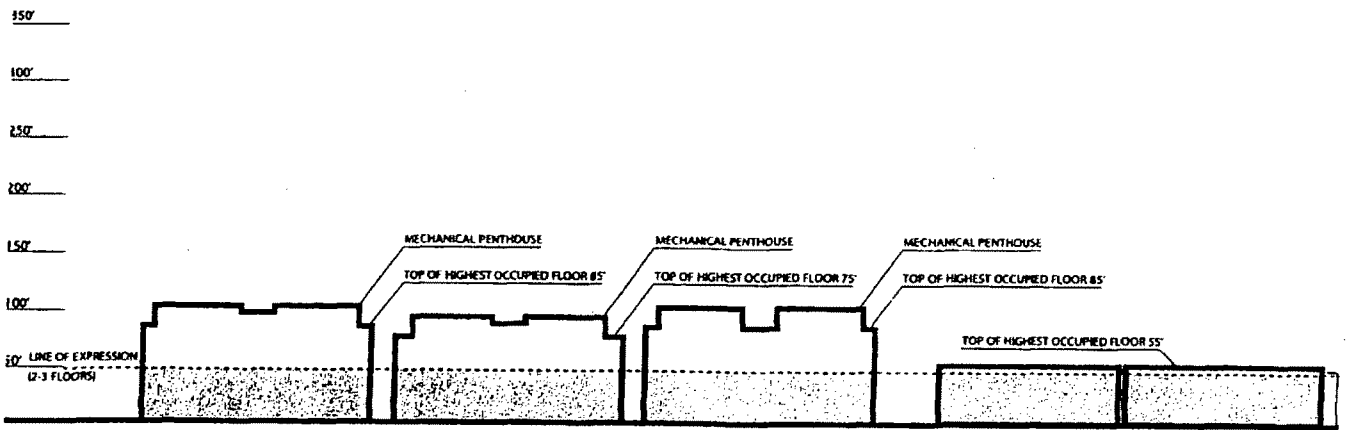
Subarea B1 -- North And South Elevations.



Subarea B1 -- East And West Elevations.

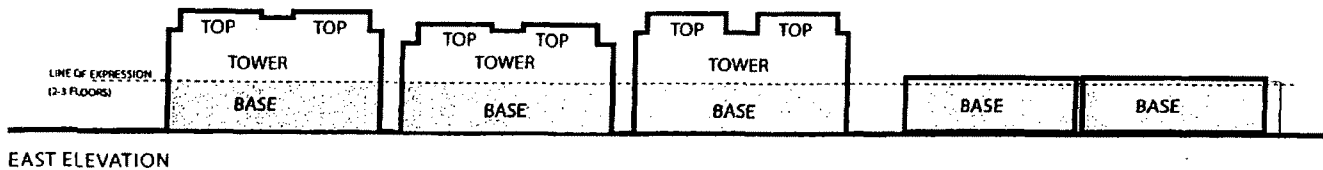
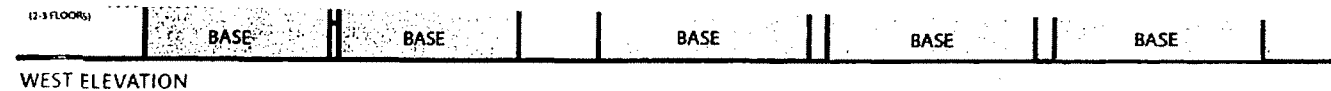


WEST ELEVATION



EAST ELEVATION

Subarea B1 -- Building Materials.

**Building Materials**

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Building Top

The materials used for the building tops should be of high quality and present a distinctive image for the building.

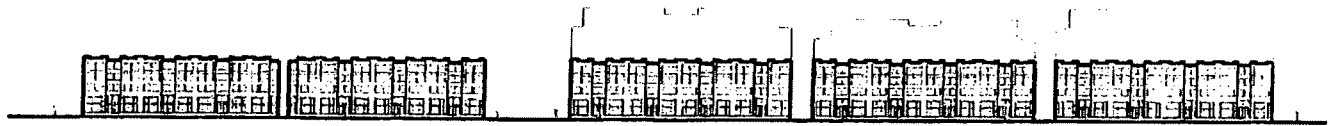
Material Color

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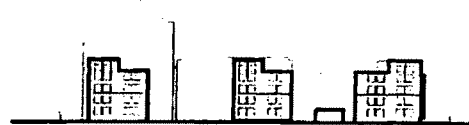
Subarea B1 -- Facade Concepts.



EAST ELEVATION



WEST ELEVATION

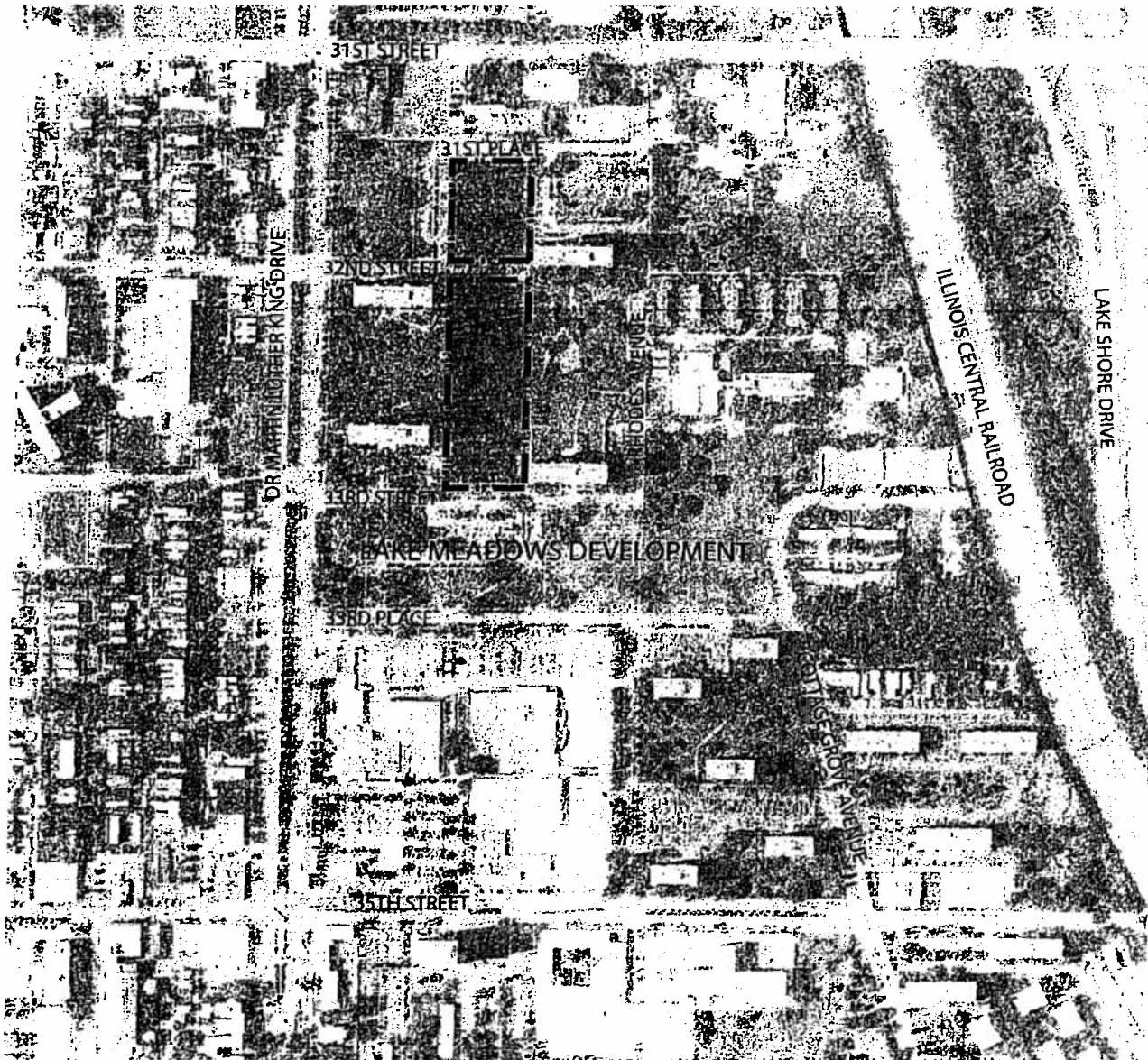


NORTH ELEVATION



SOUTH ELEVATION

Subarea B2 -- Surrounding Area Context.

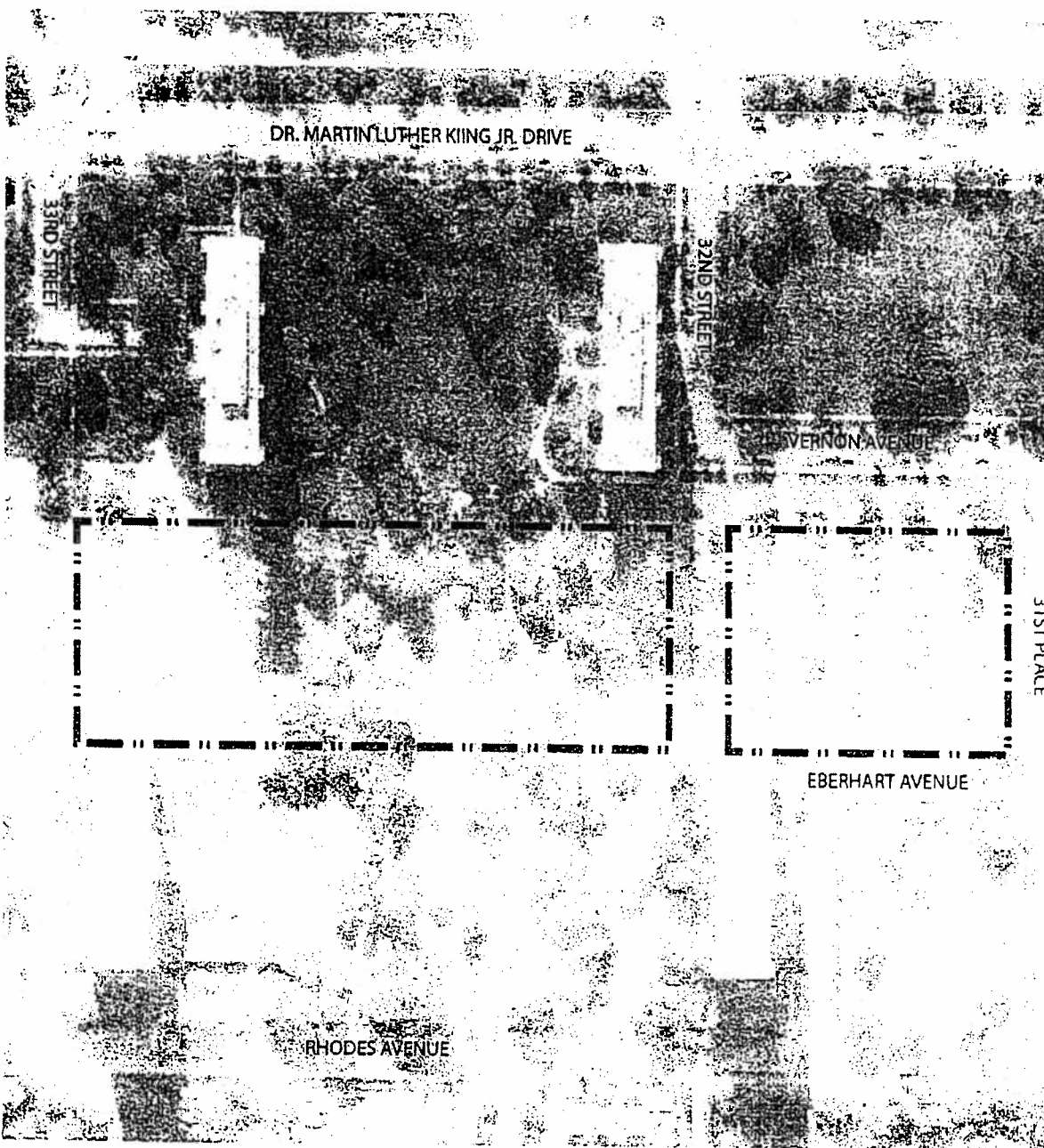


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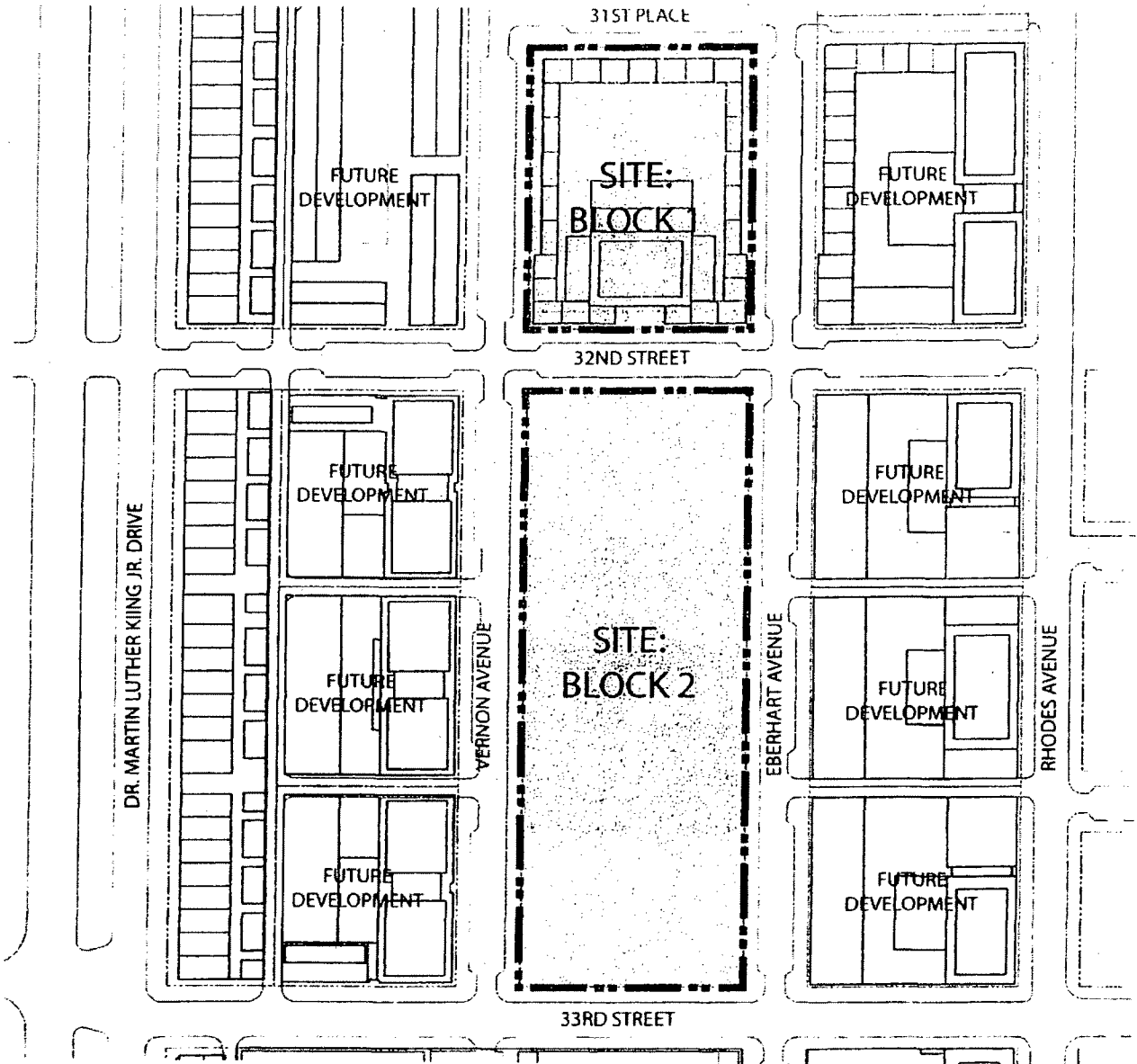
REPORTS OF COMMITTEES

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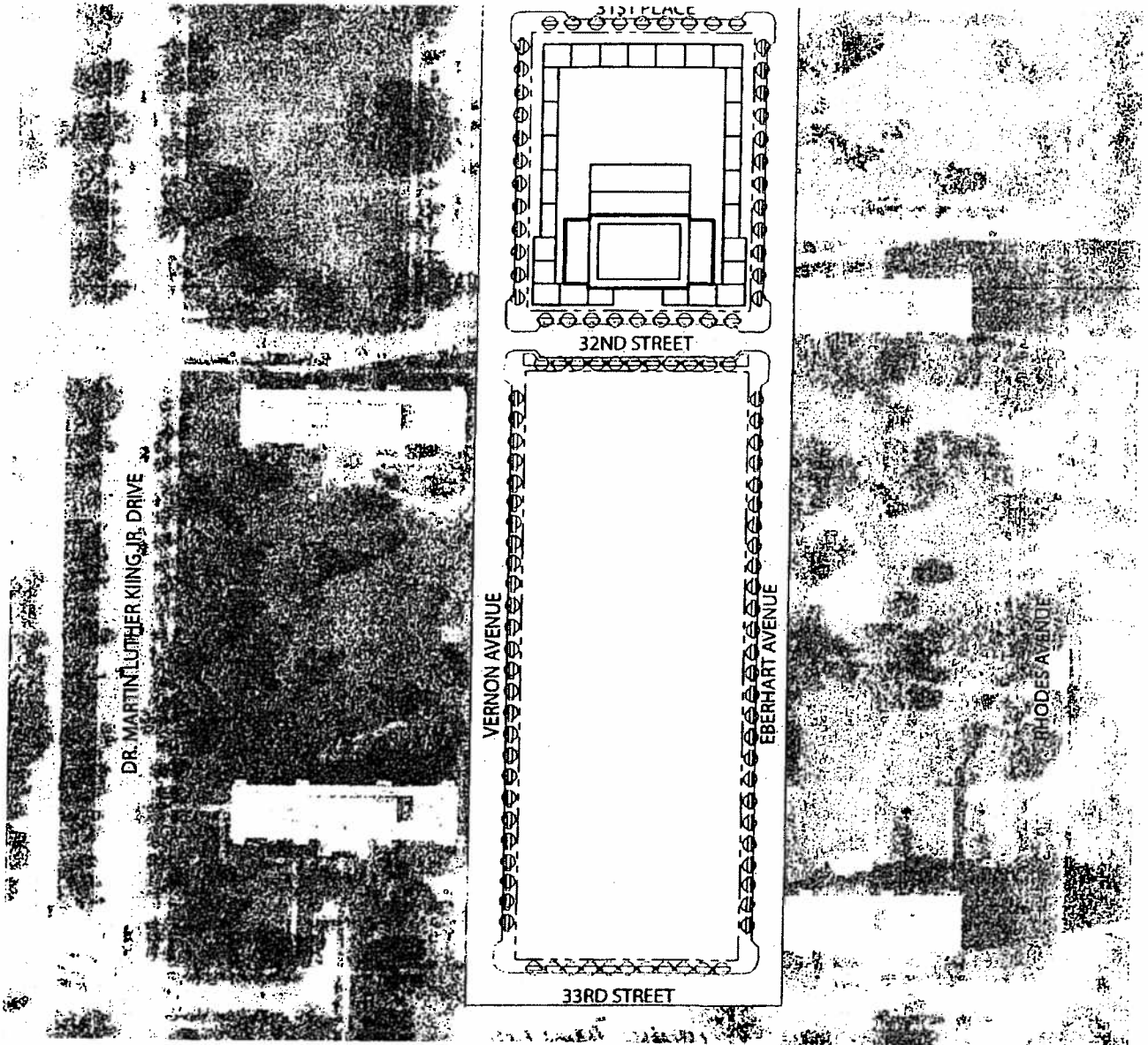
Subarea B2 -- Existing Conditions/ Site Location.



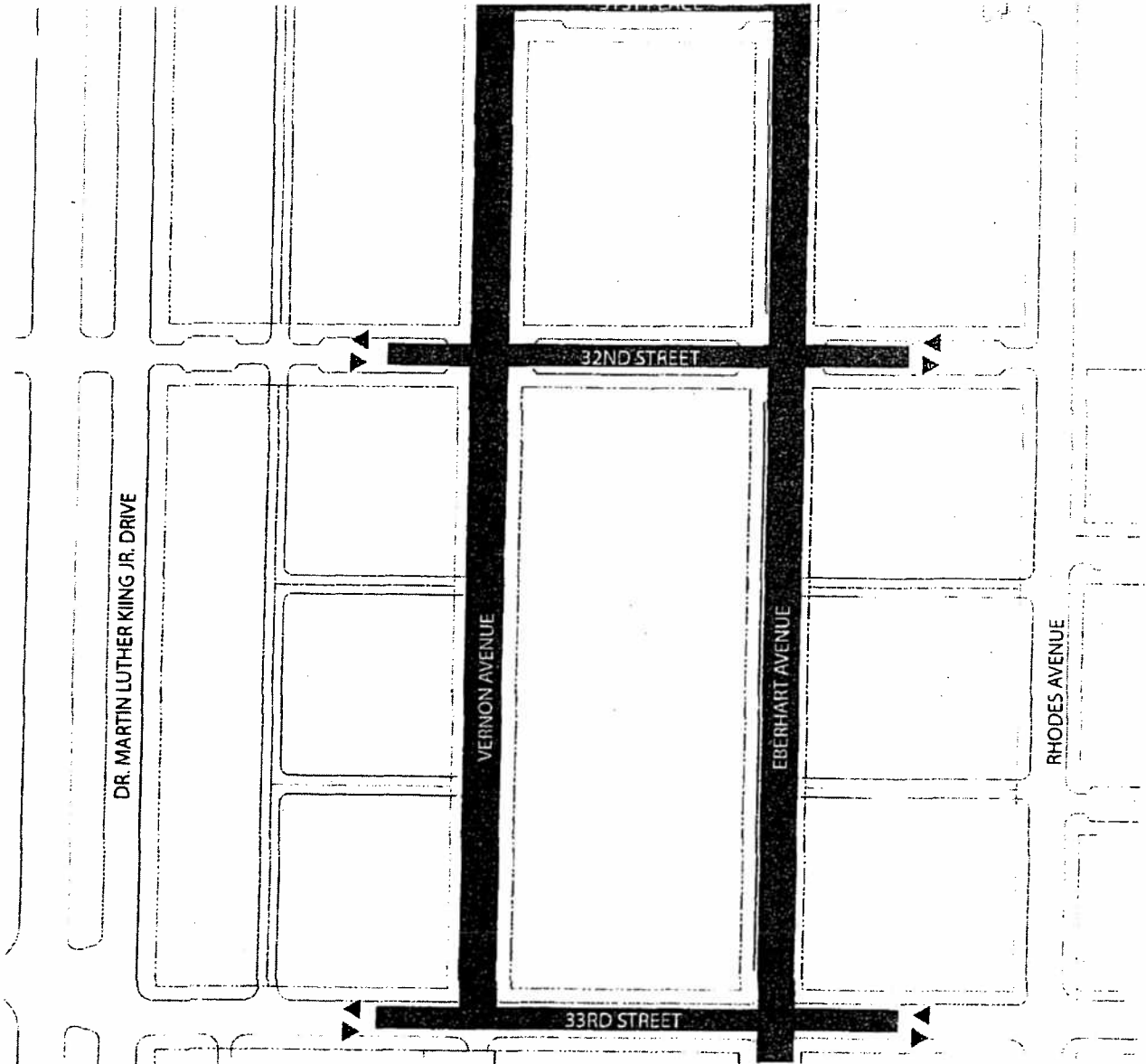
Subarea B2 -- Future Development Context.



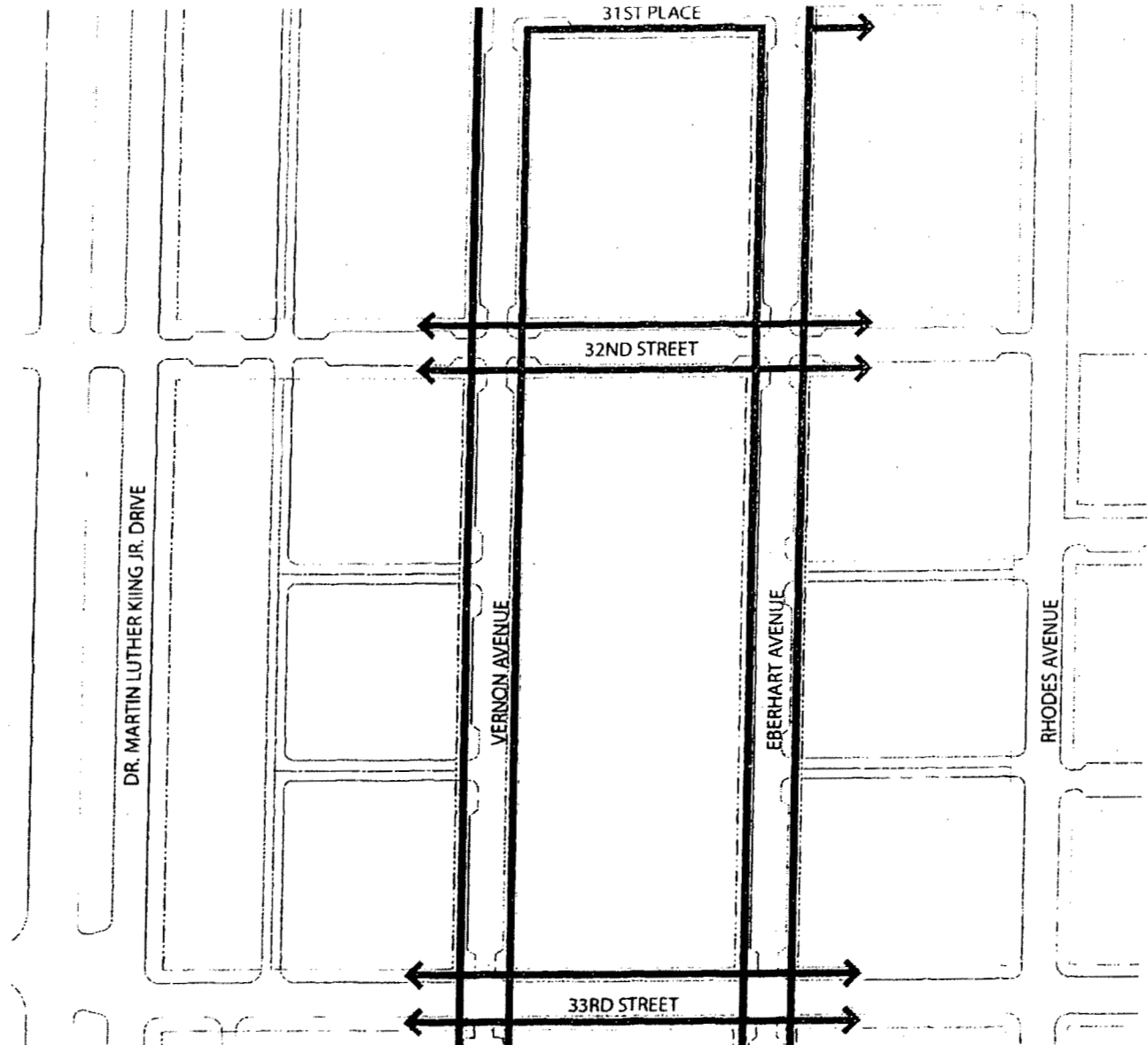
Subarea B2 -- Existing Development Context.



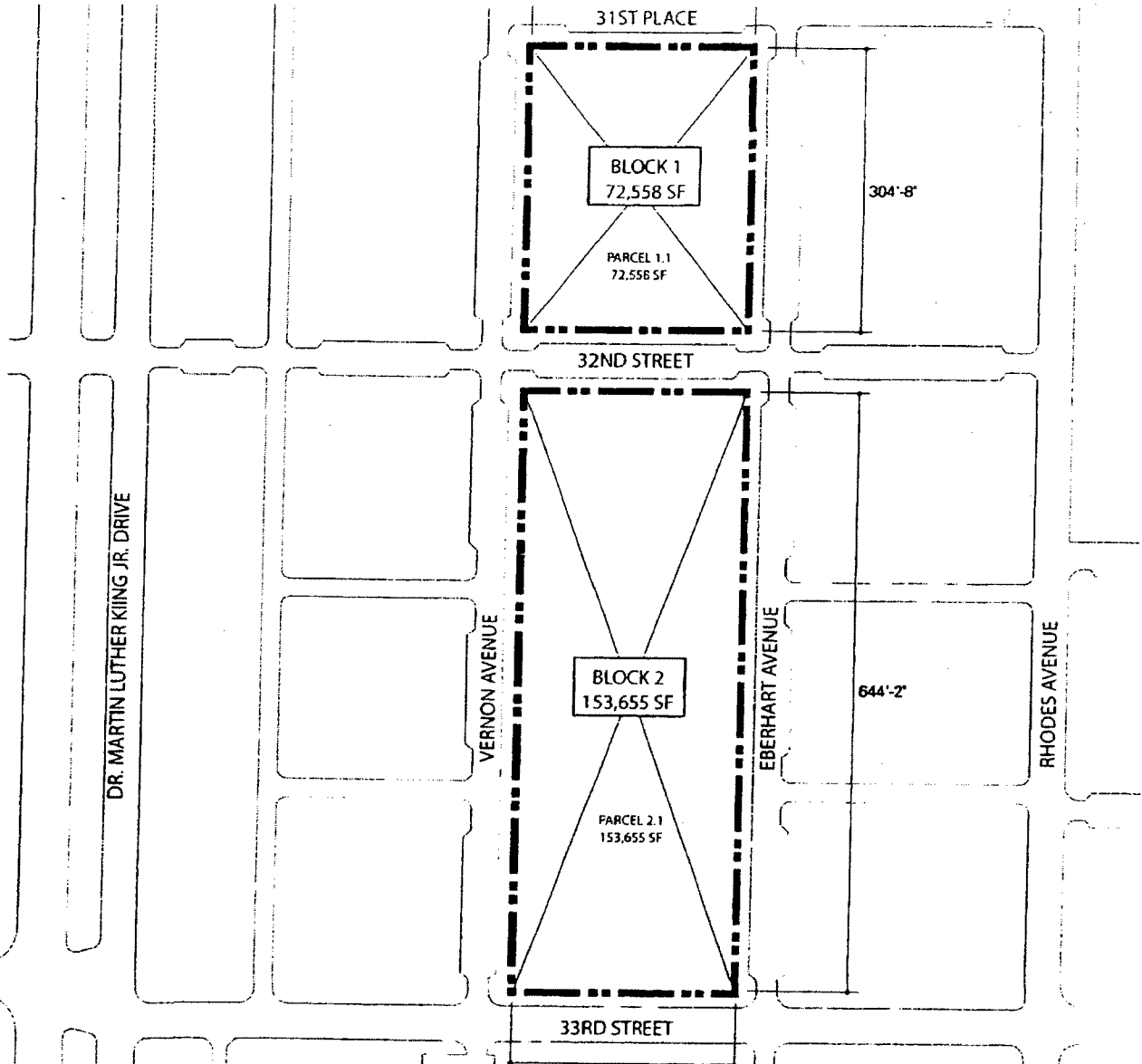
Subarea B2 -- Public And Private Roadways.



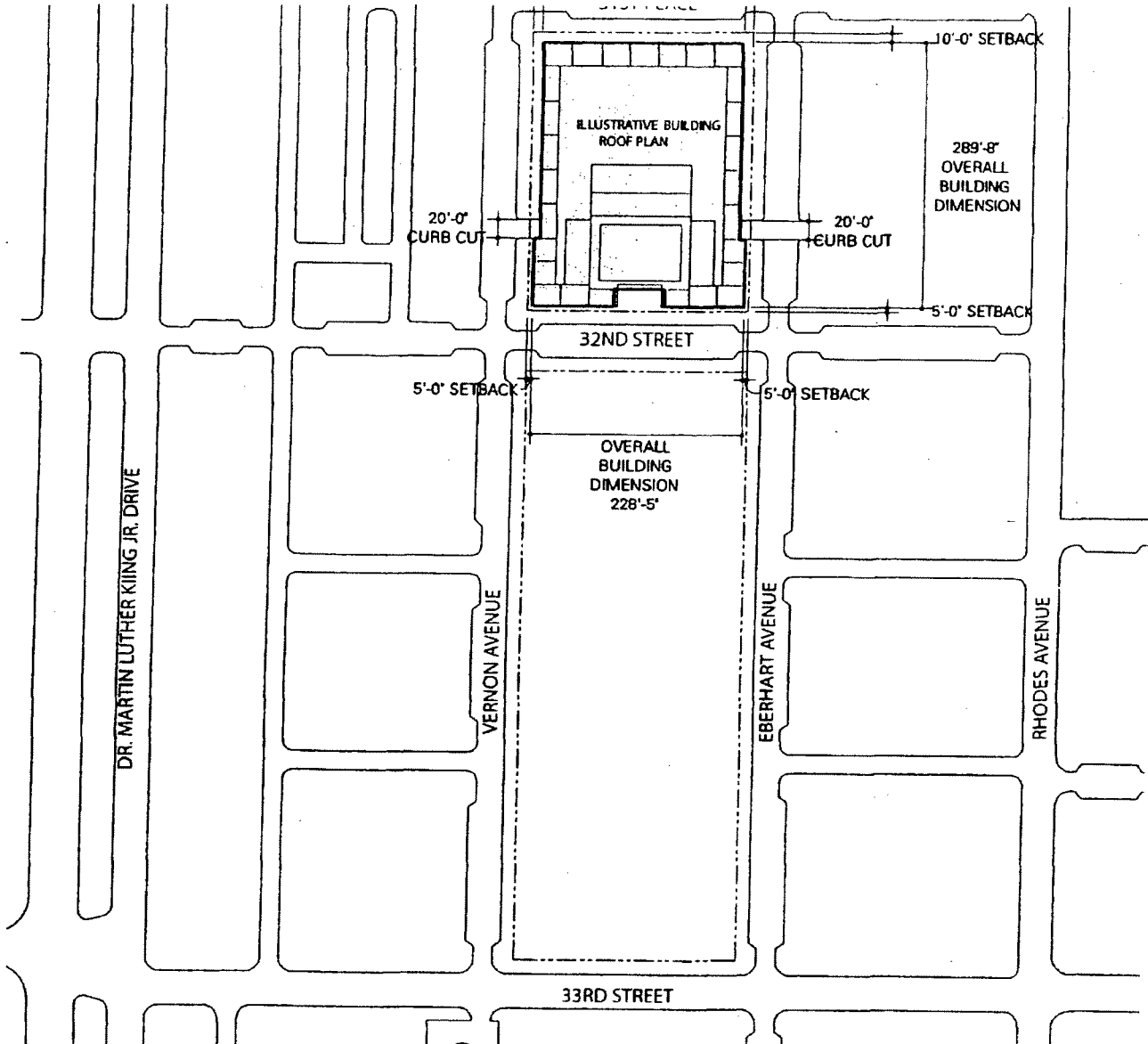
Subarea B2 -- Pedestrian Circulation.



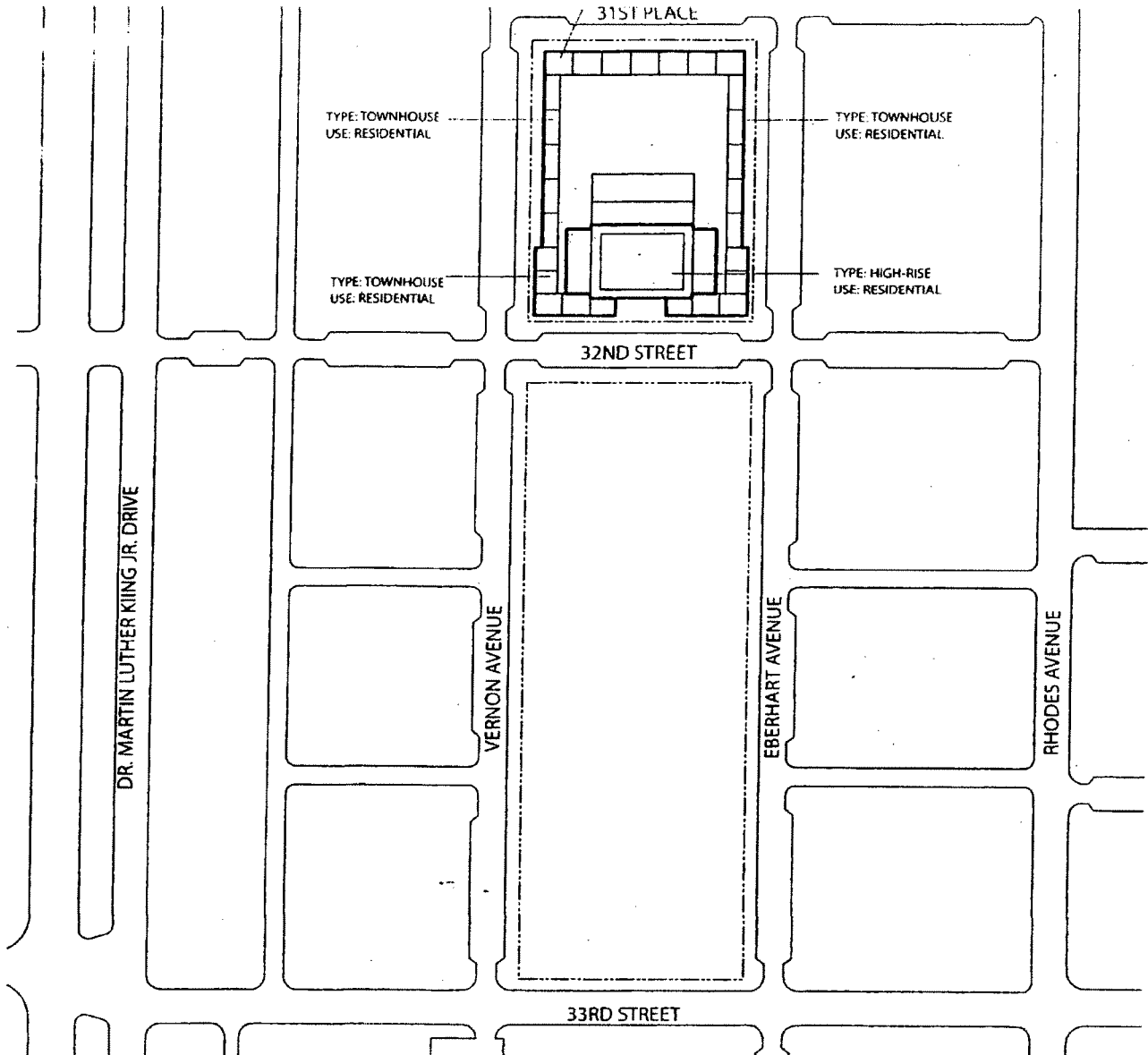
Subarea B2 -- Development Parcels And Blocks.



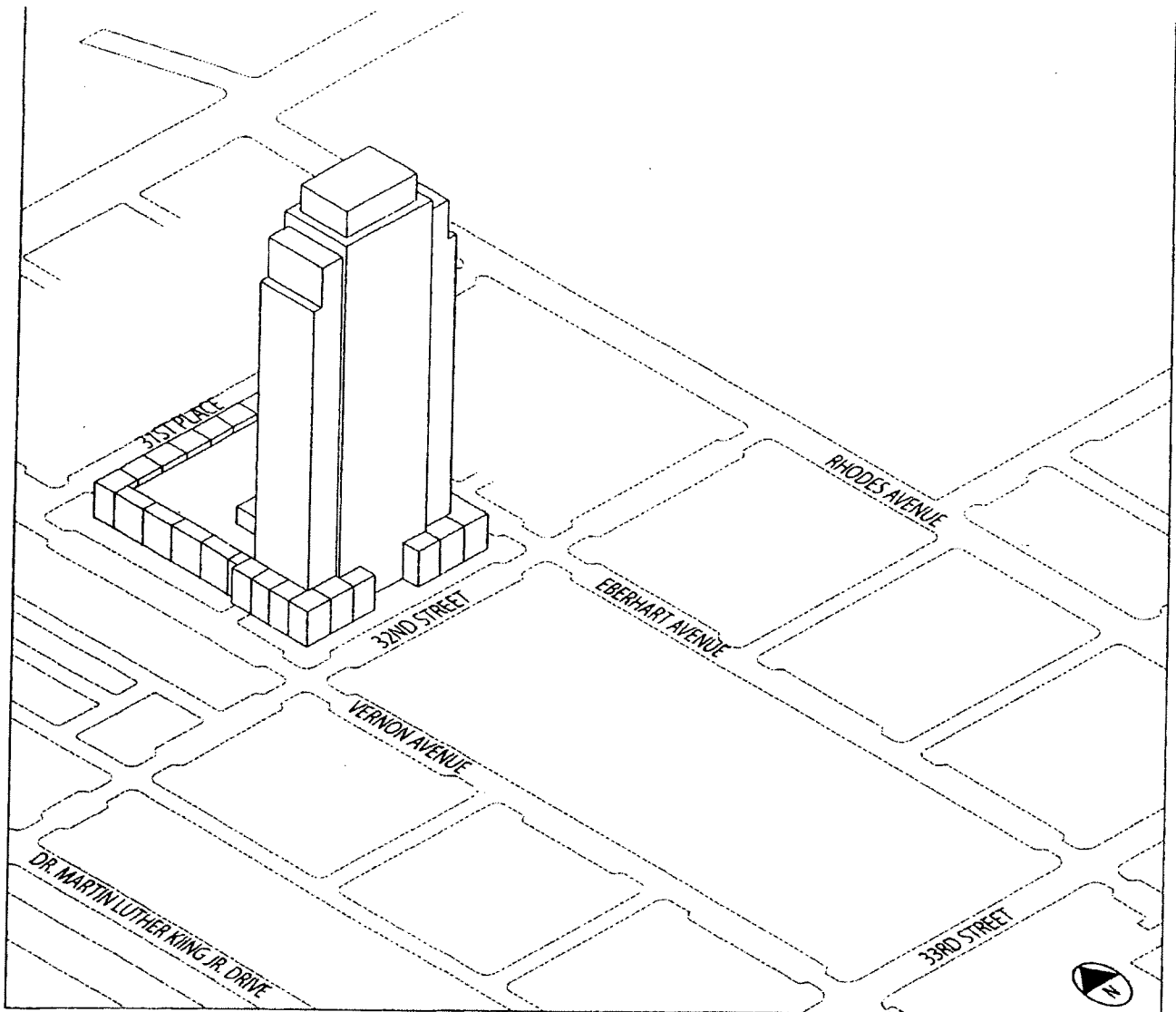
Subarea B2 -- Overall Building, Setback And Curbcut Dimensions.



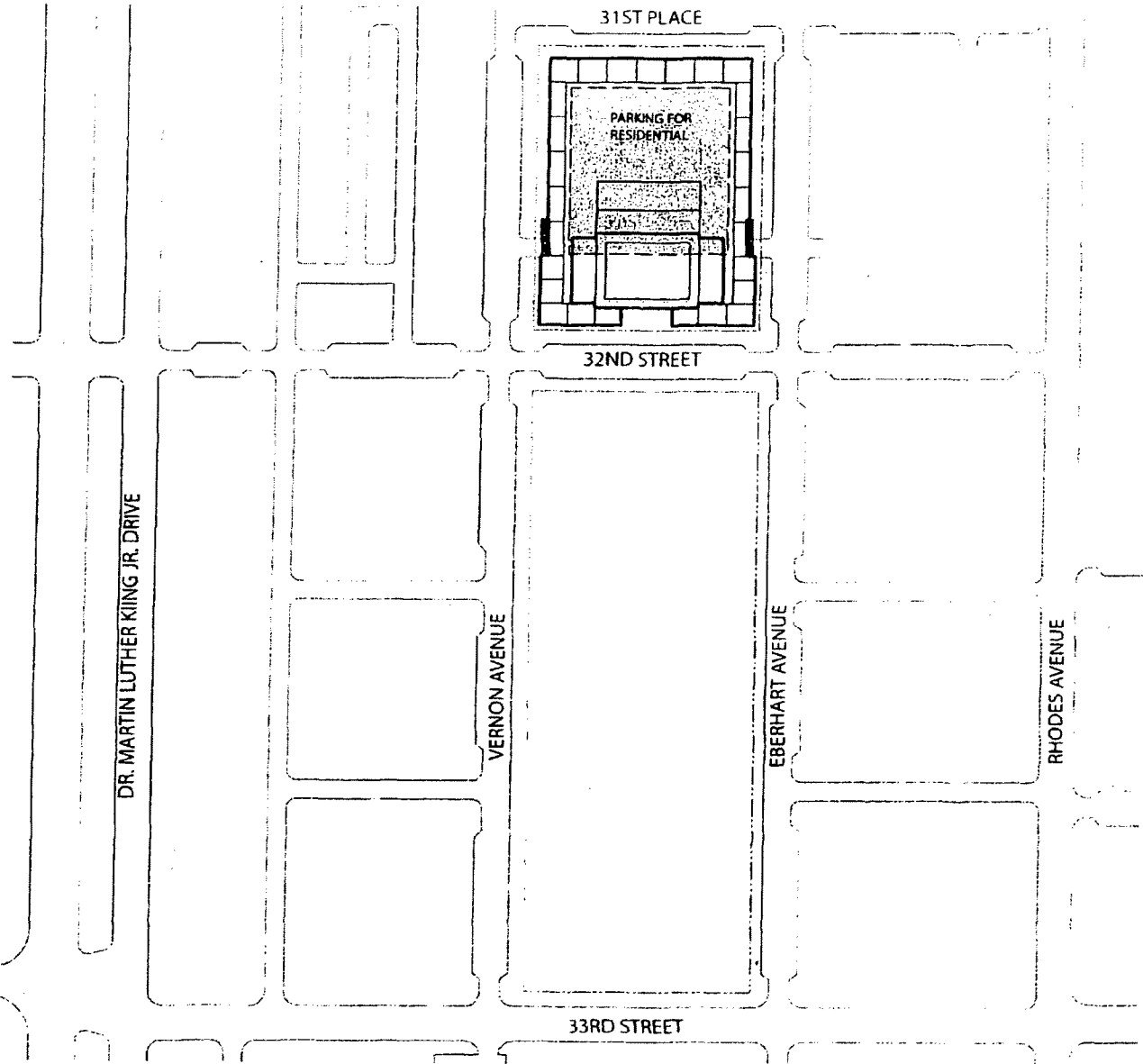
Subarea B2 -- Buildings.



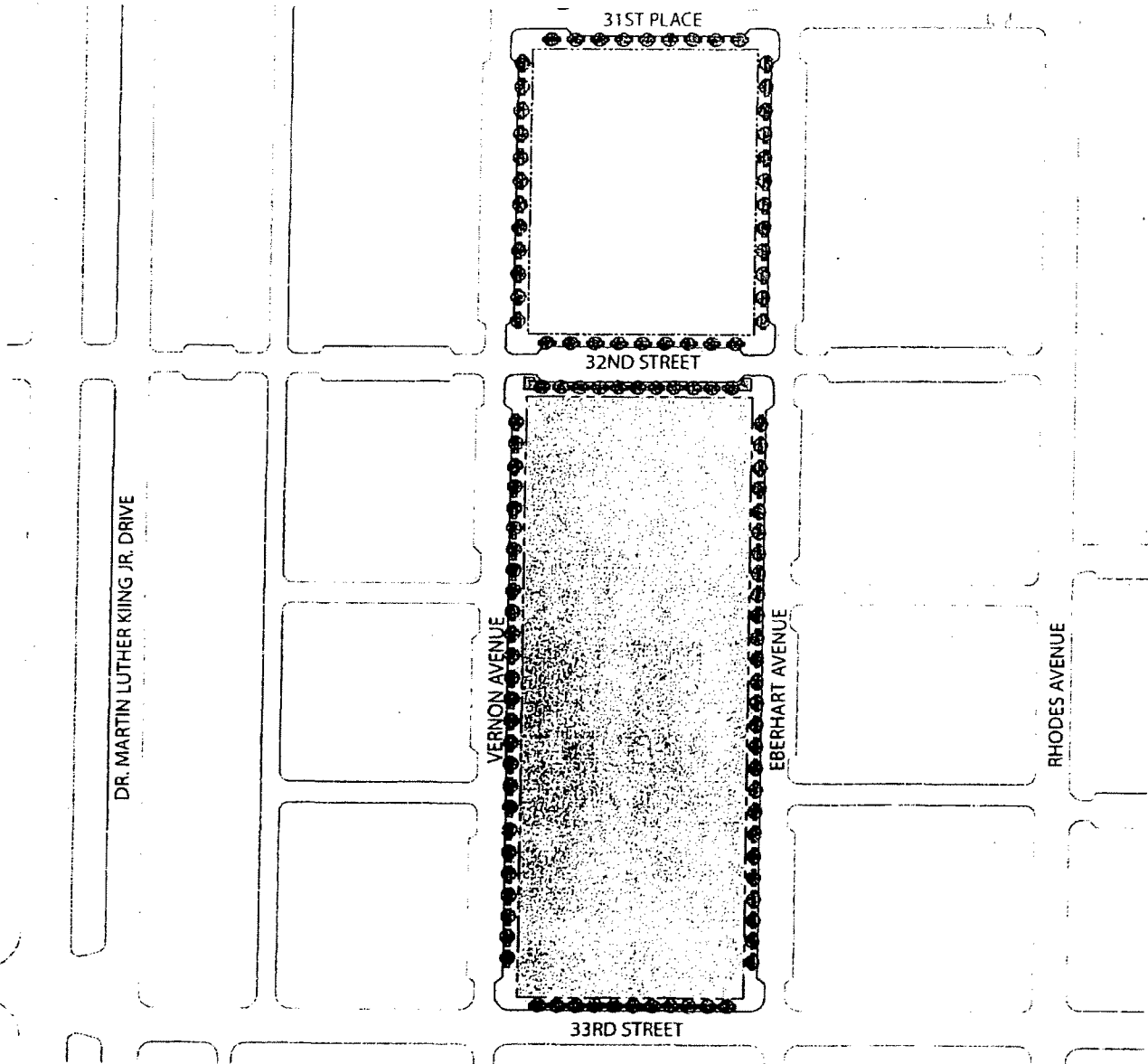
Subarea B2 -- Illustrative Massing Diagram.



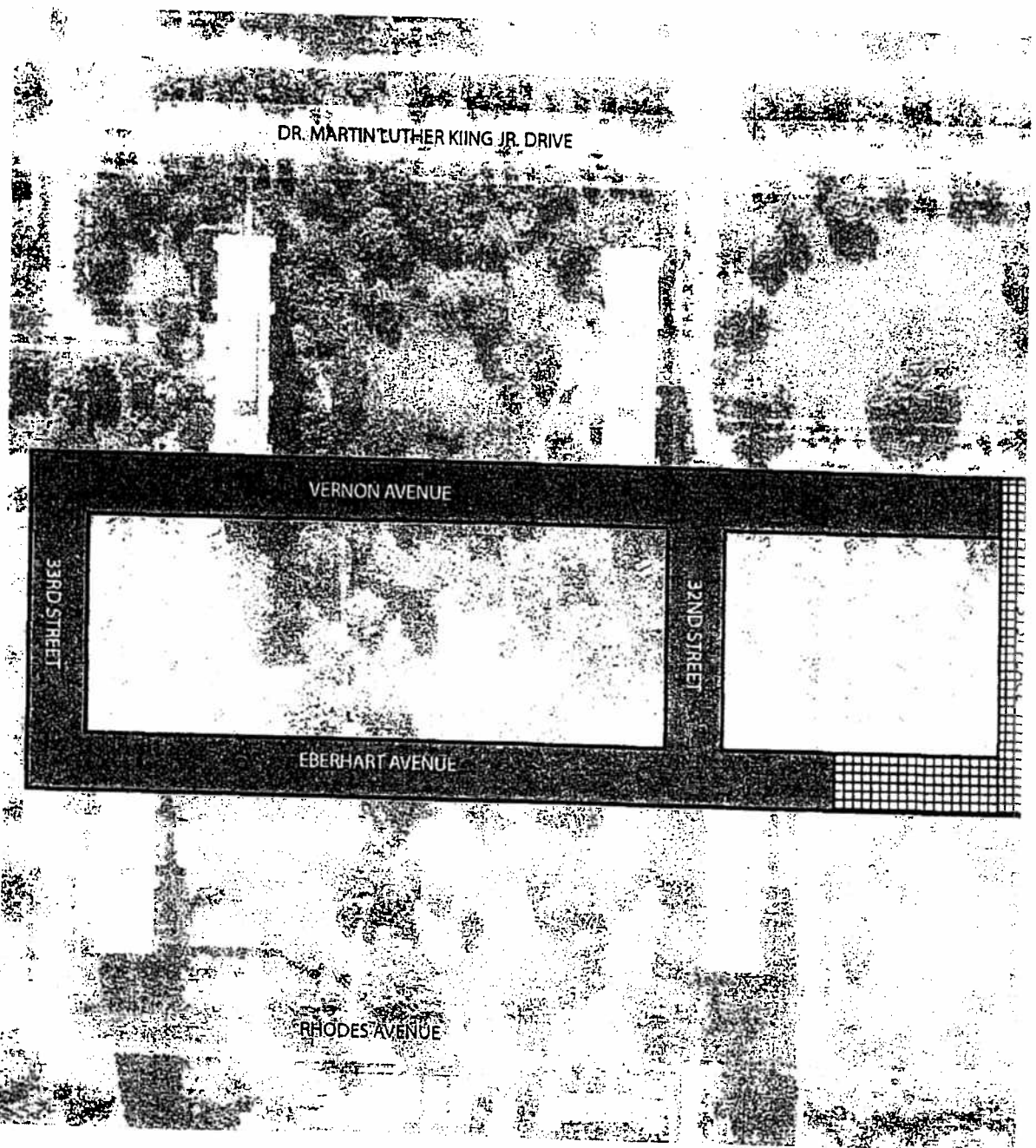
Subarea B2 -- Parking And Loading.



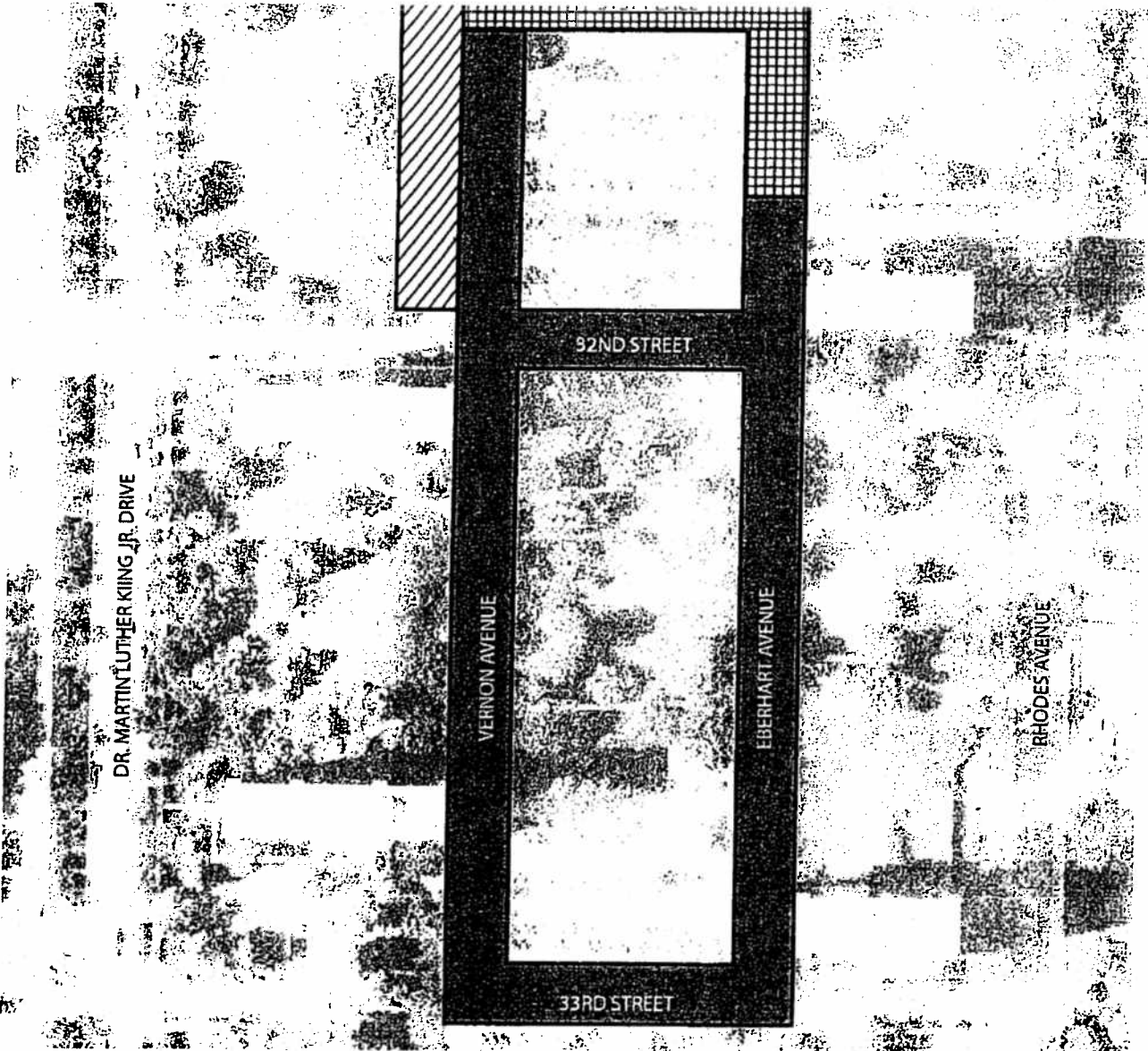
Subarea B2 -- Open Space And Landscaping.



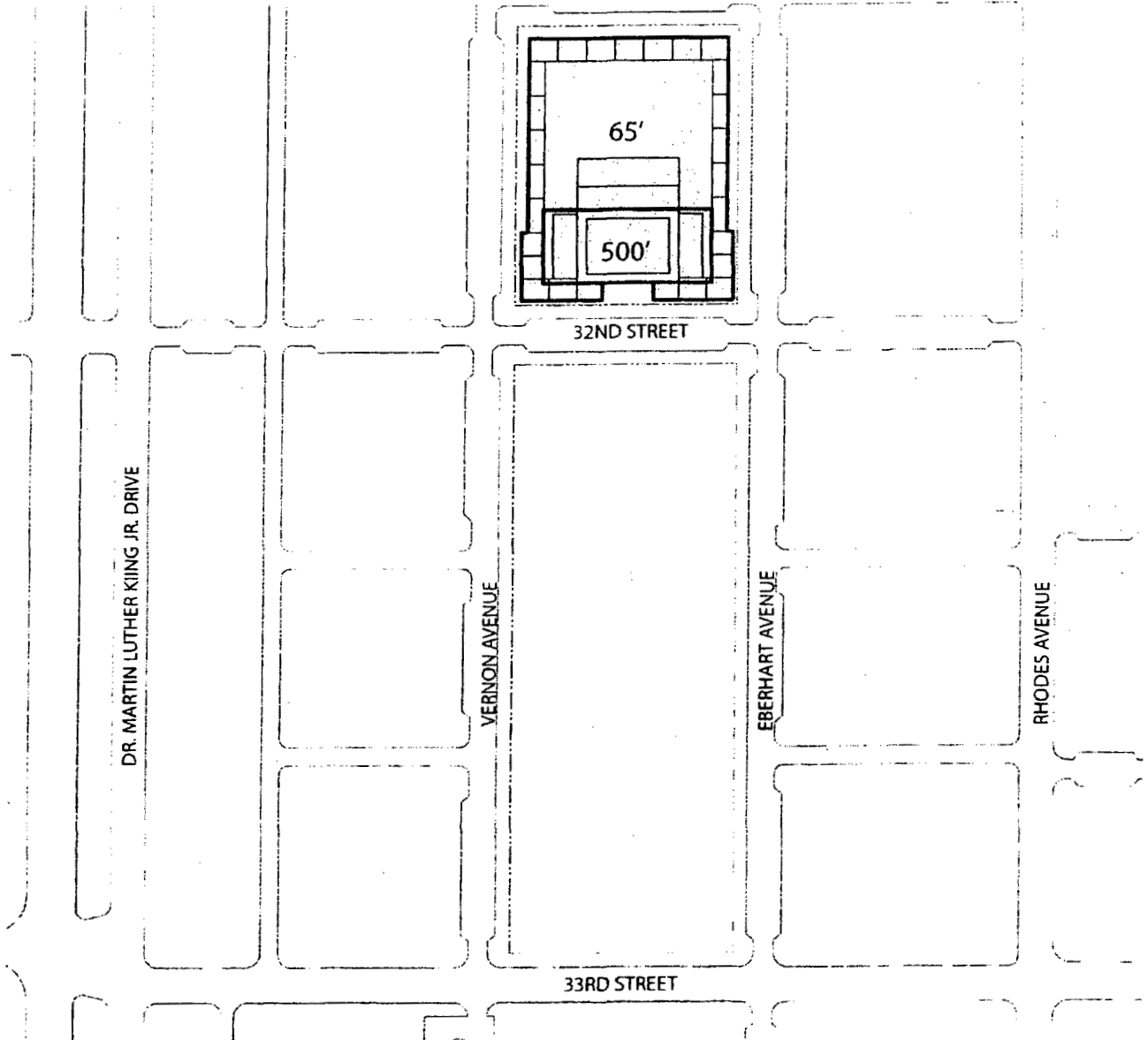
Subarea B2 -- Traffic Improvements.



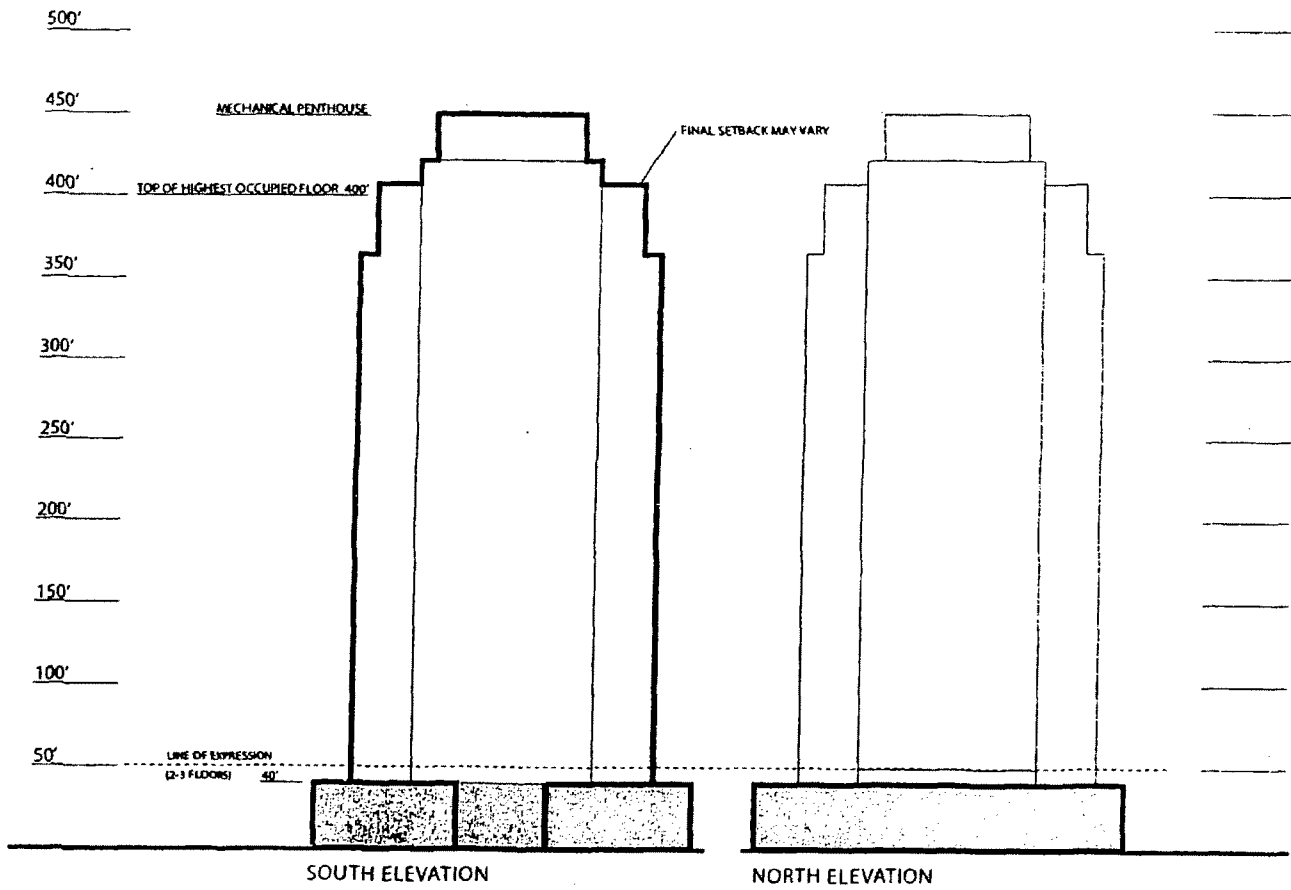
Subarea B2 -- Vacations And Dedications.



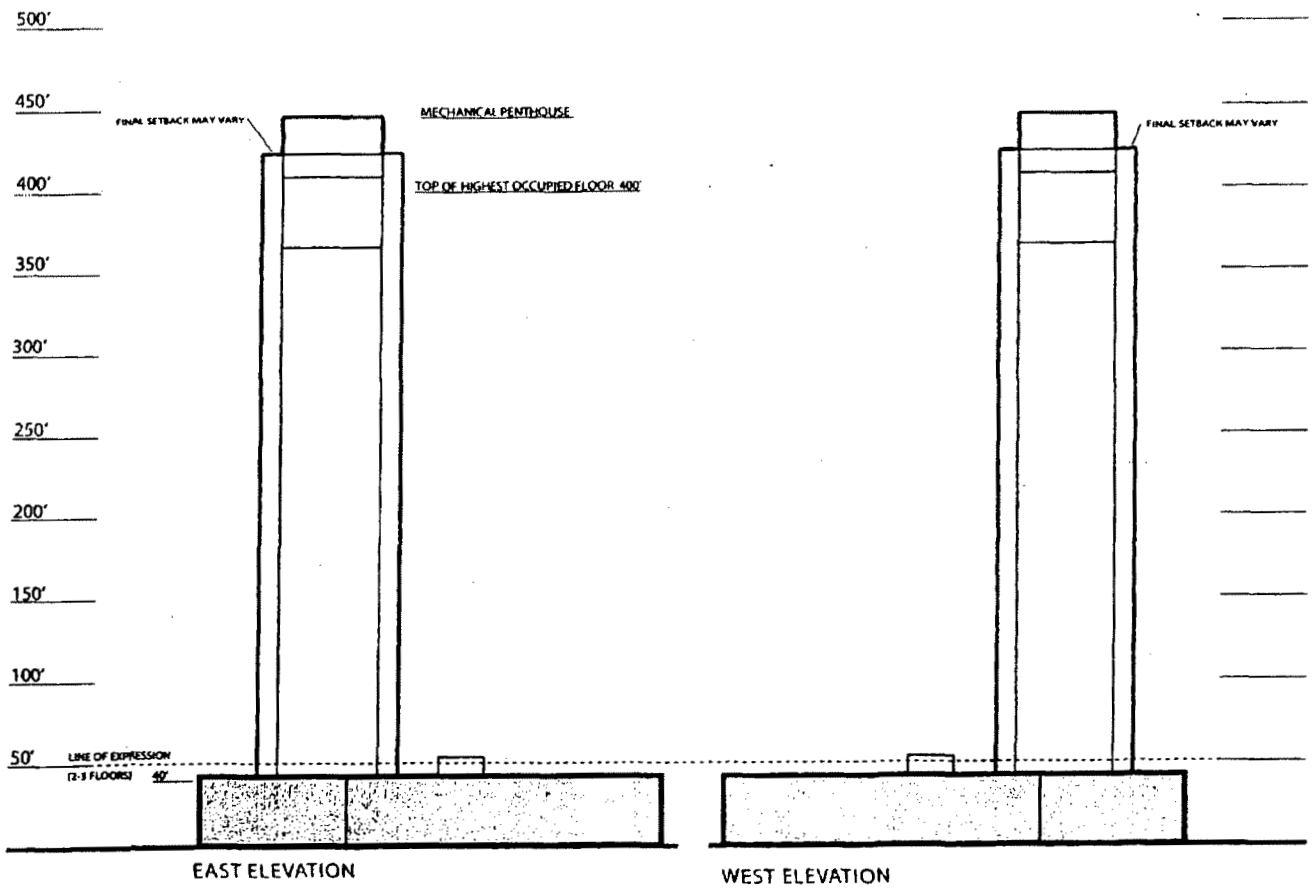
Subarea B2 -- Maximum Building Envelope And Height.



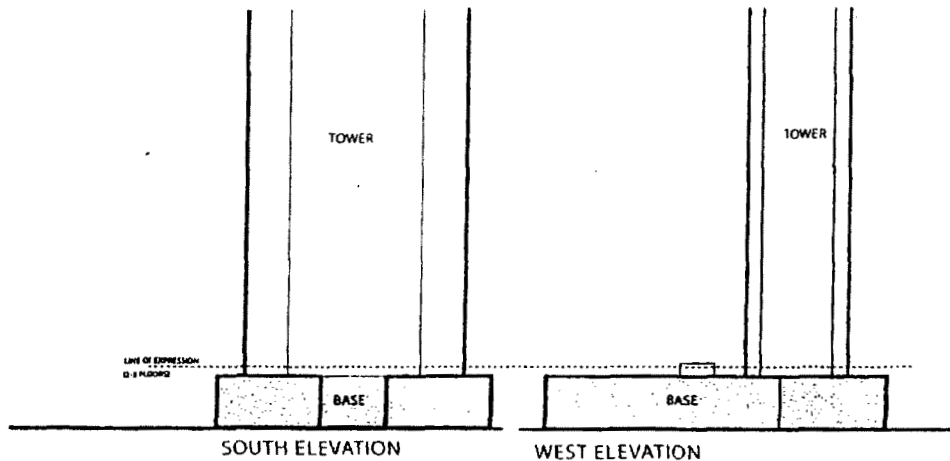
Subarea B2 -- North And South Illustrative Elevations.



Subarea B2 -- East And West Illustrative Elevations.



Subarea B2 -- Building Materials.

**Building Materials**

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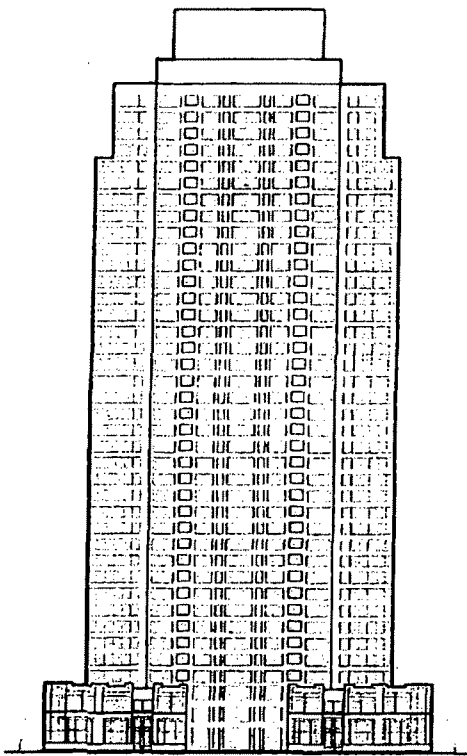
Building Top

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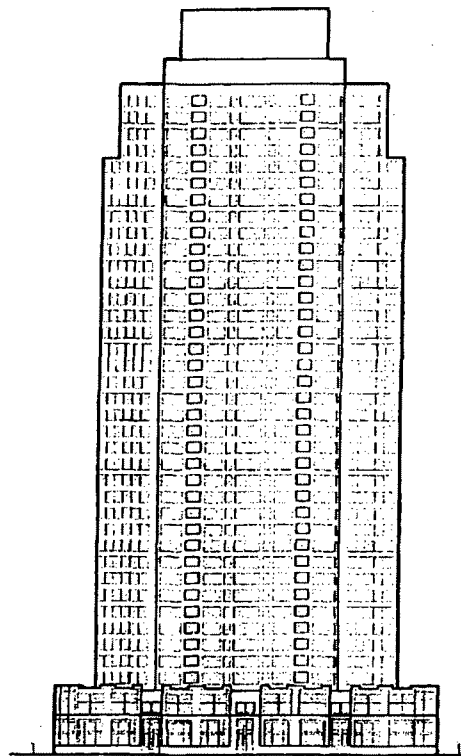
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Subarea B2 -- Facade Concepts.
(Page 1 of 2)

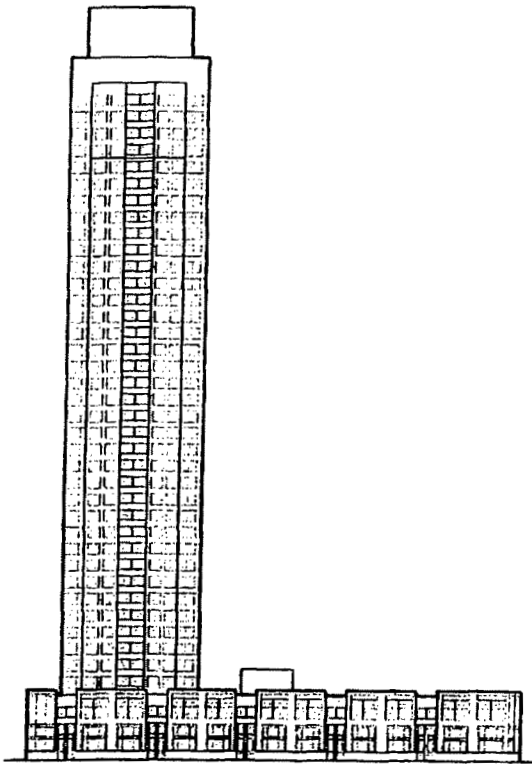


SOUTH ELEVATION

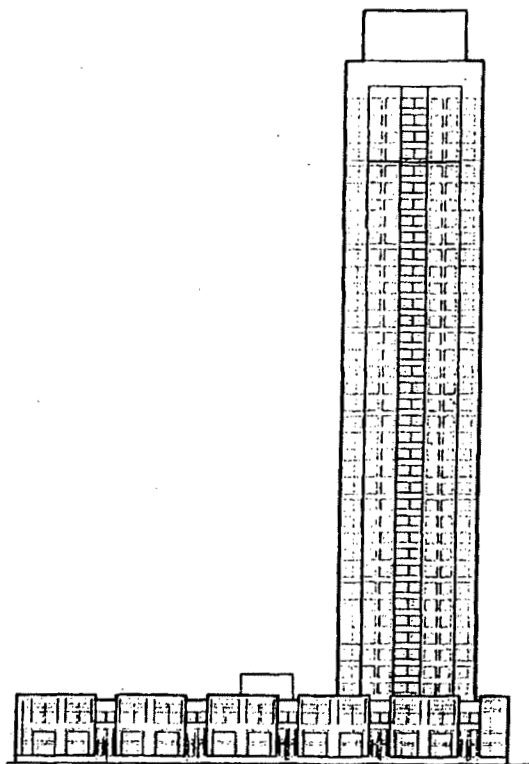


NORTH ELEVATION

Subarea B2 -- Facade Concepts.
(Page 2 of 2)

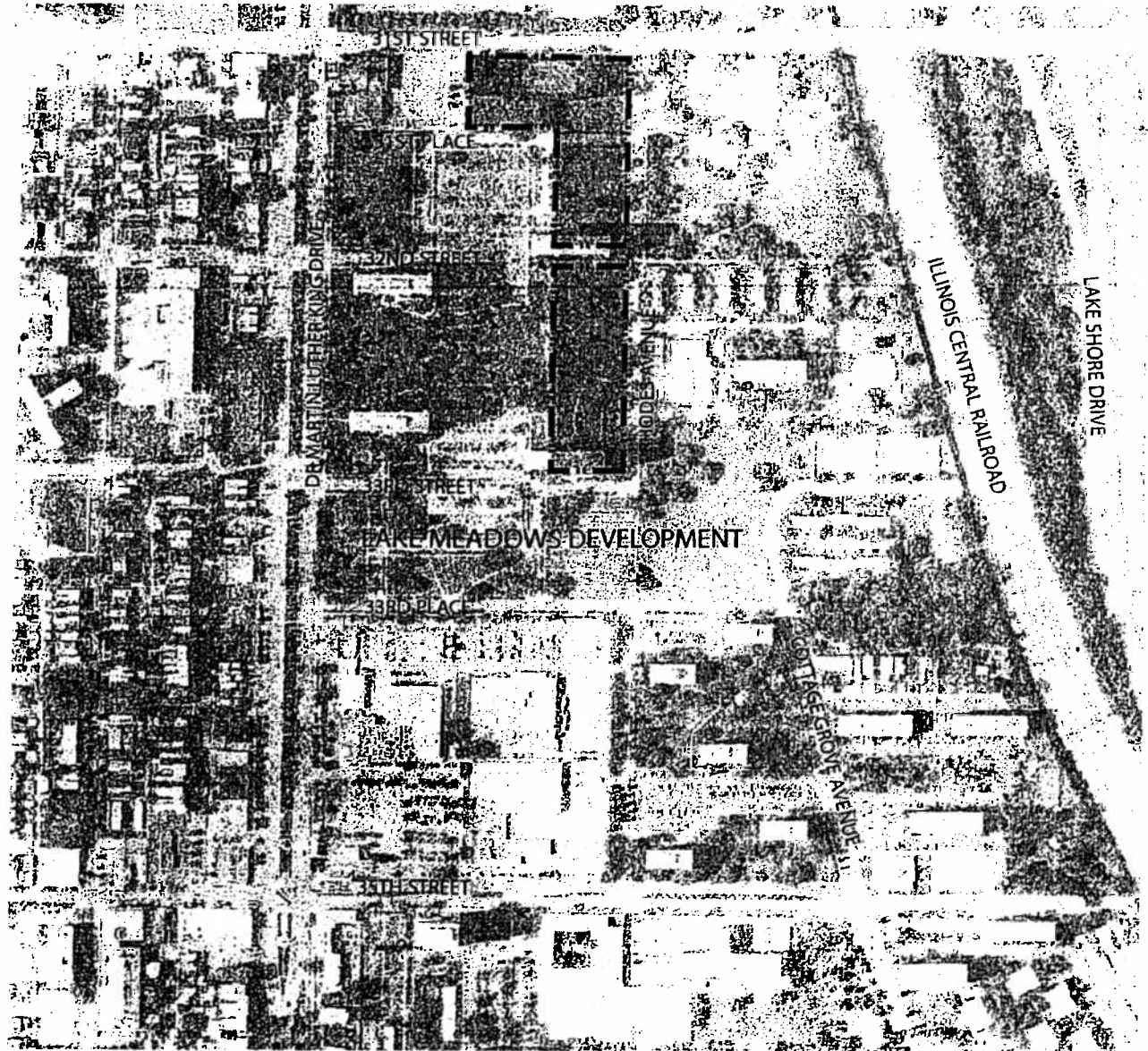


EAST ELEVATION

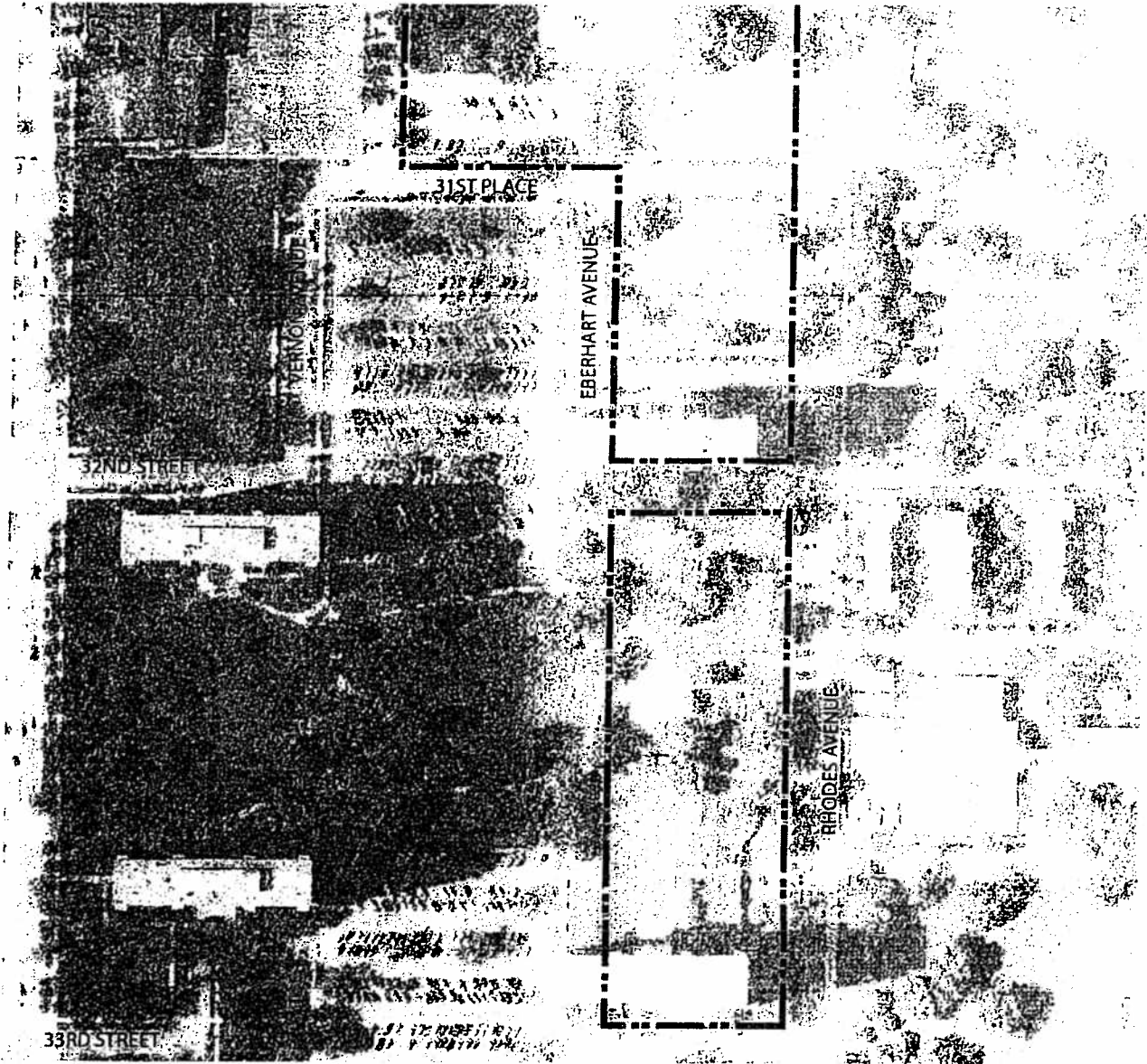


WEST ELEVATION

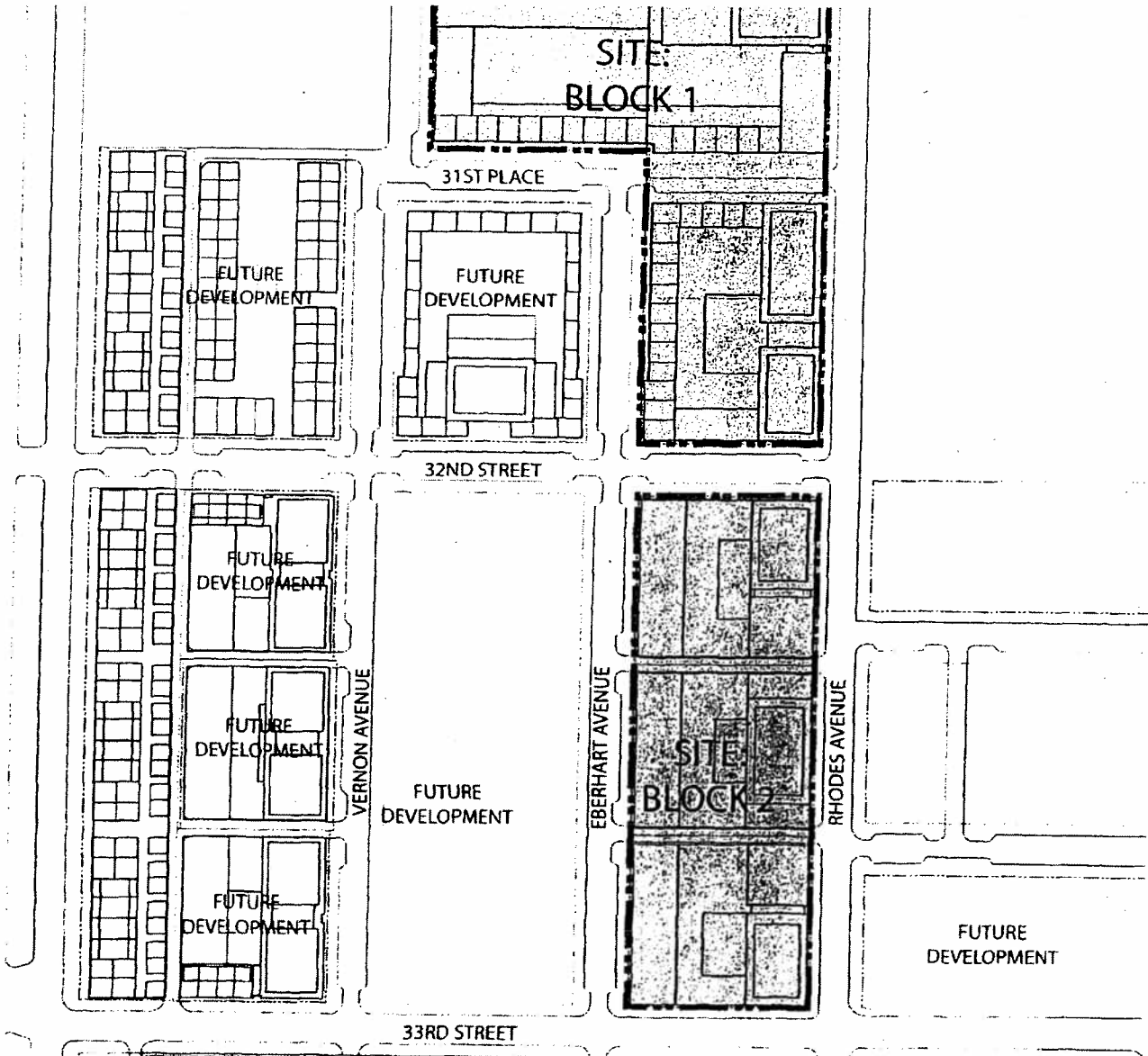
Subarea B3 -- Surrounding Area Context.



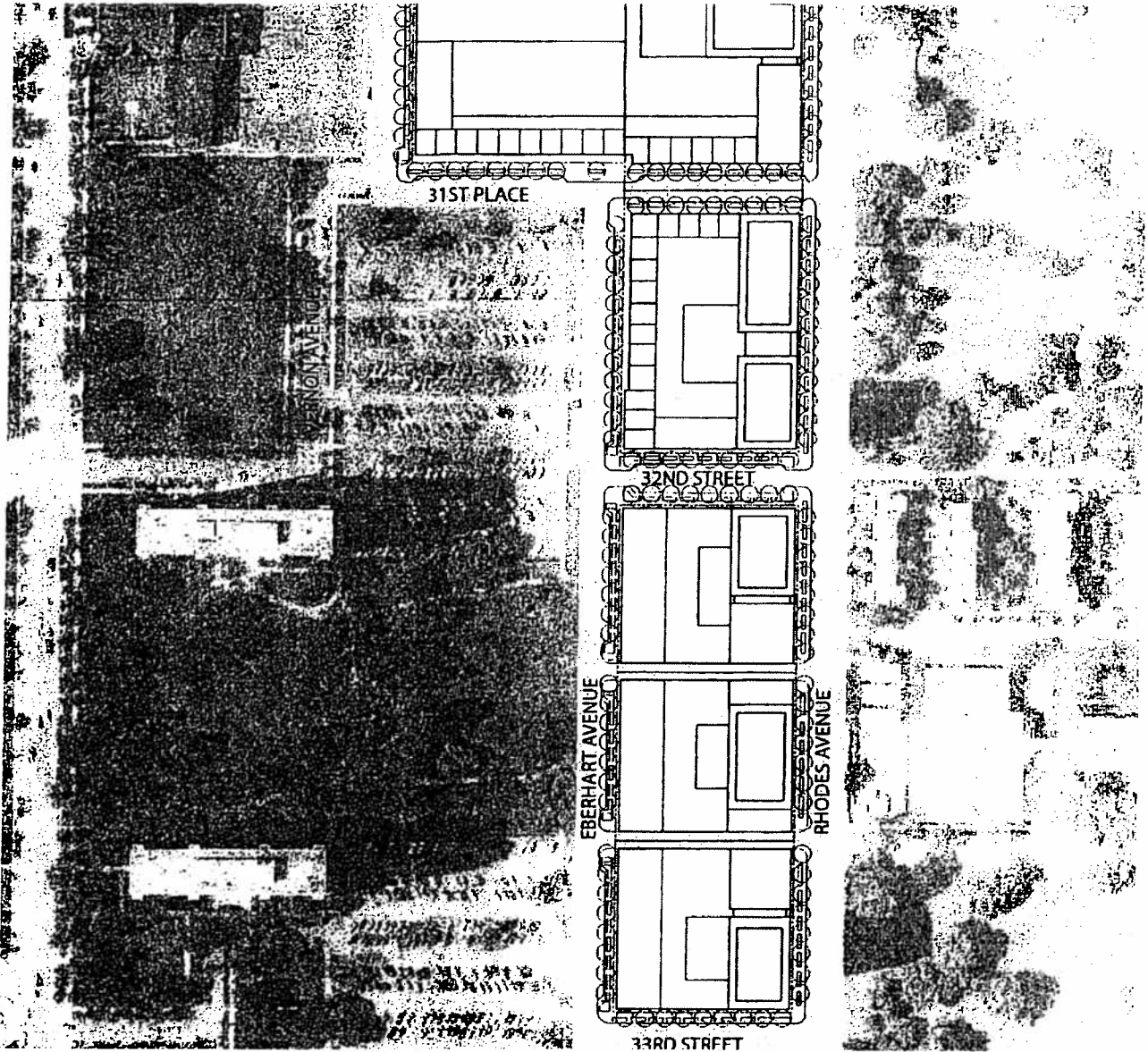
Subarea B3 – Existing Conditions/Site Location.



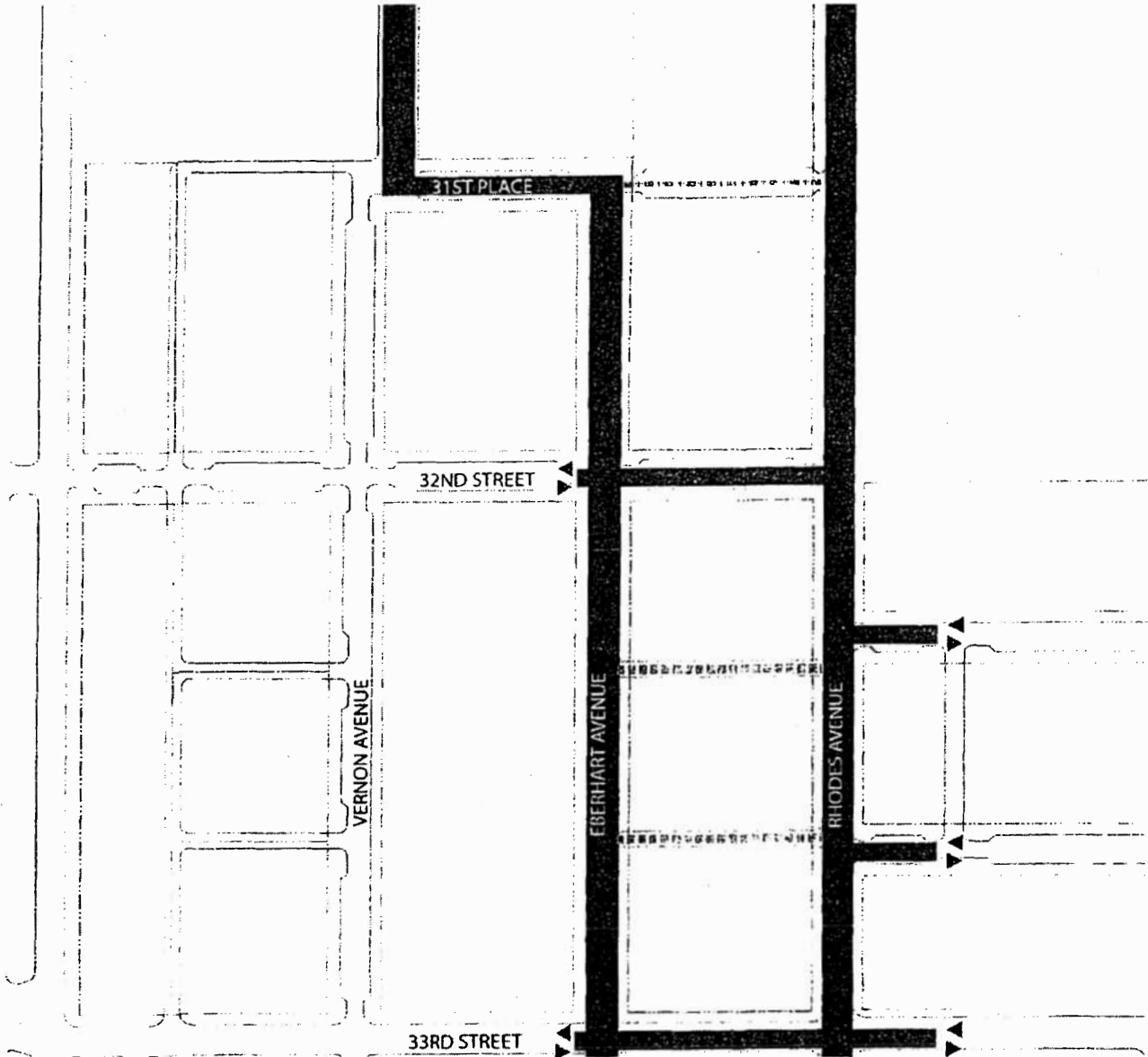
Subarea B3 -- Future Development Context.



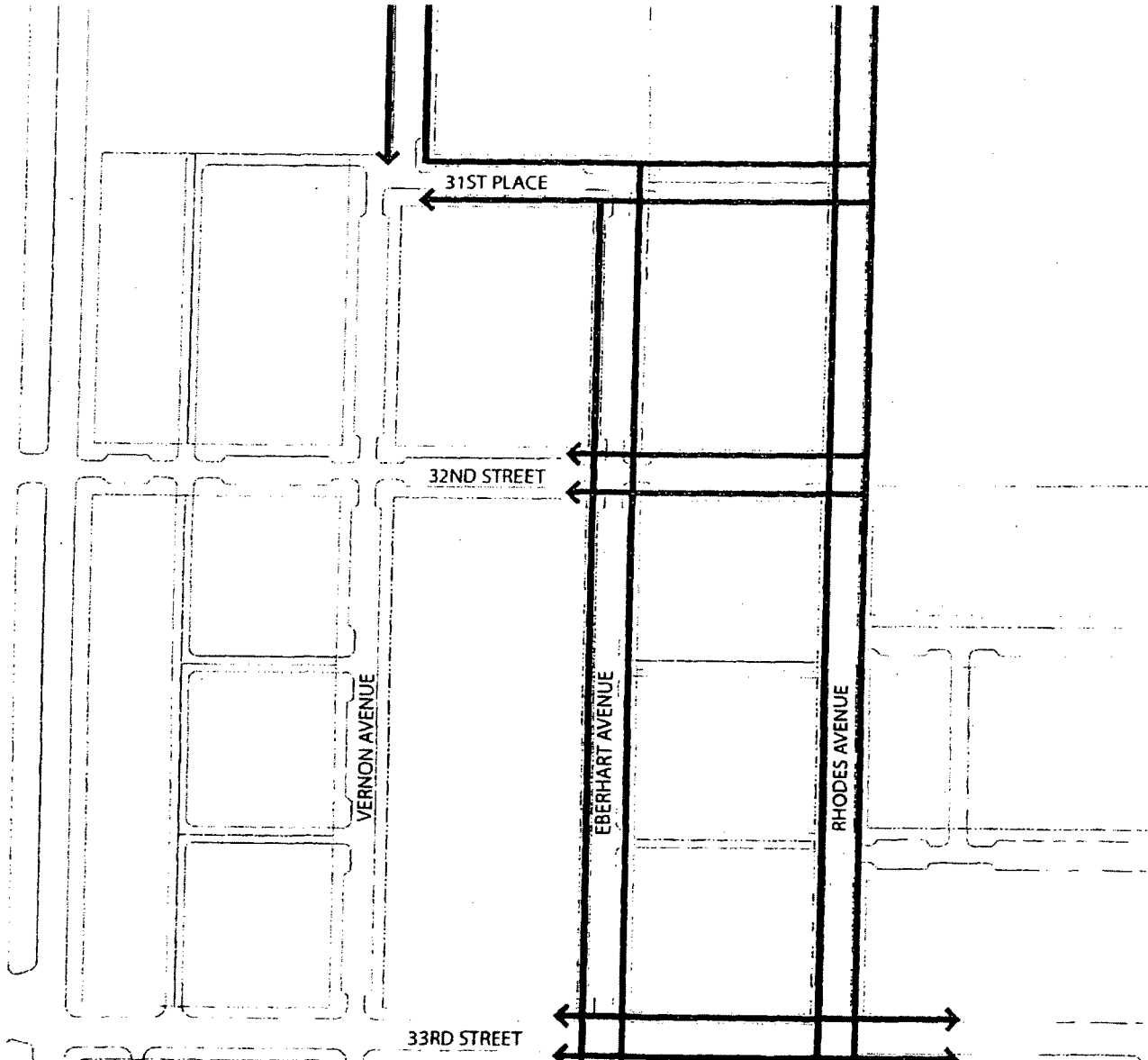
Subarea B3 – Existing Development Context.



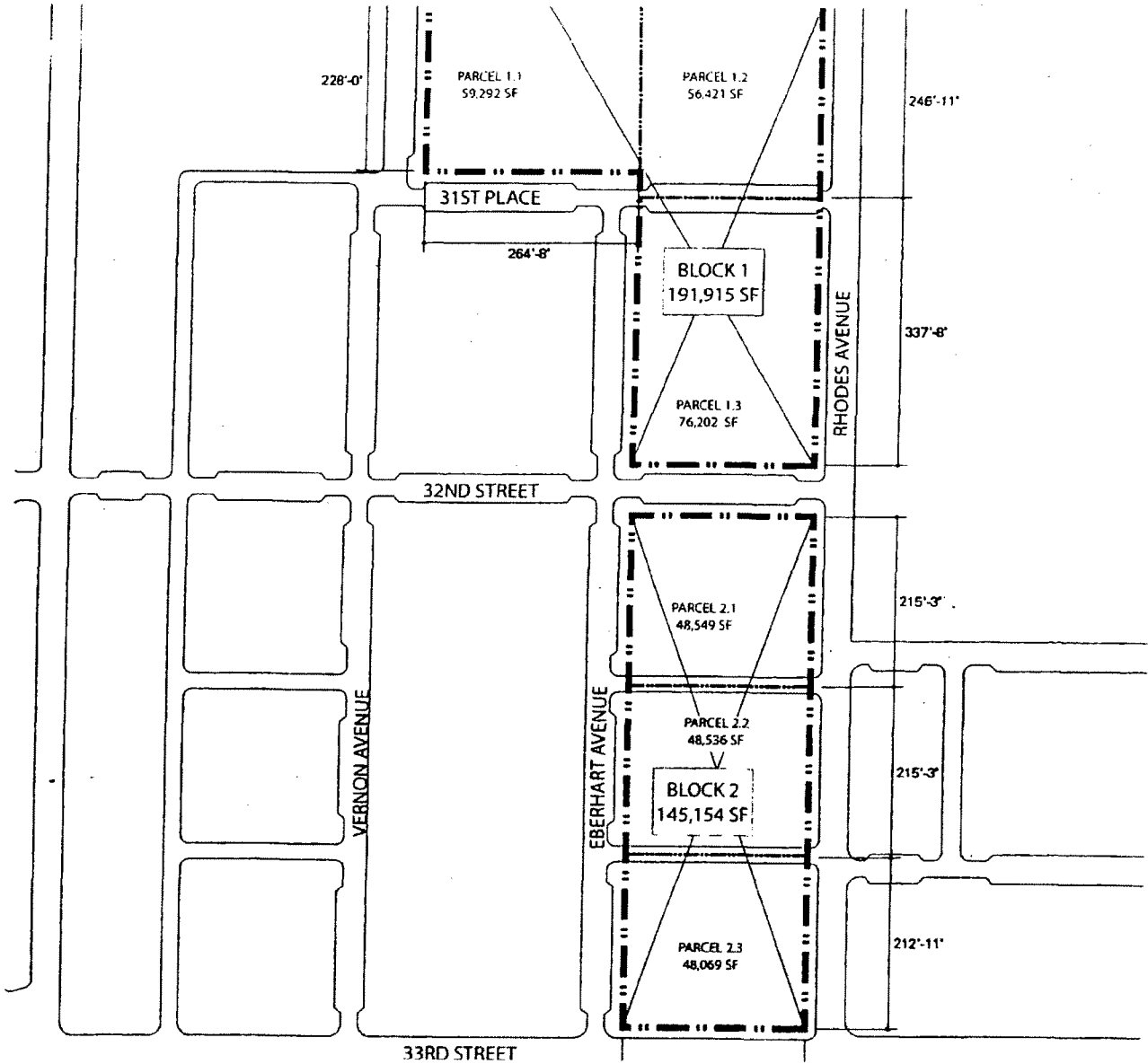
Subarea B3 -- Public And Private Roadways.



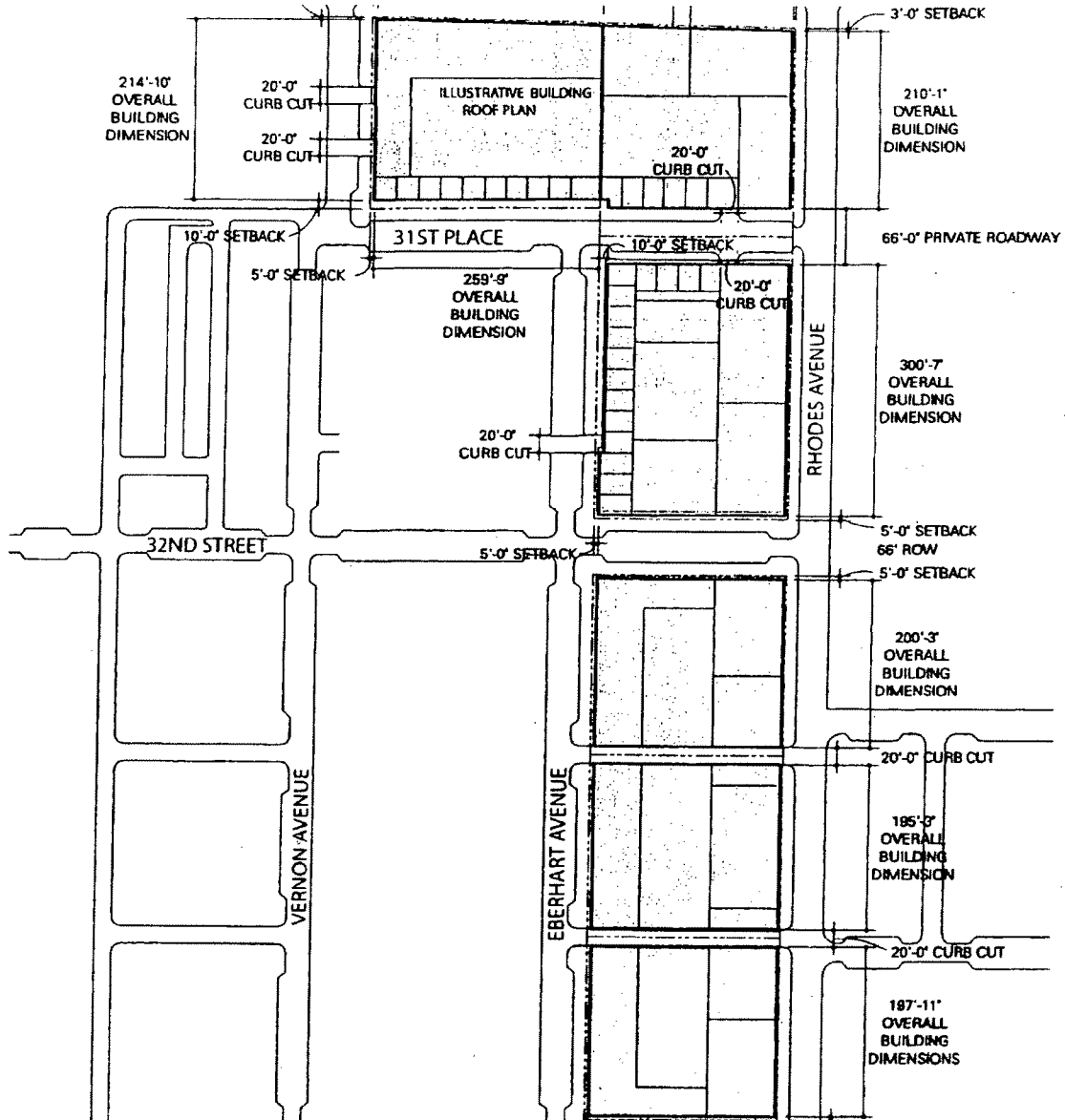
Subarea B3 -- Pedestrian Circulation.



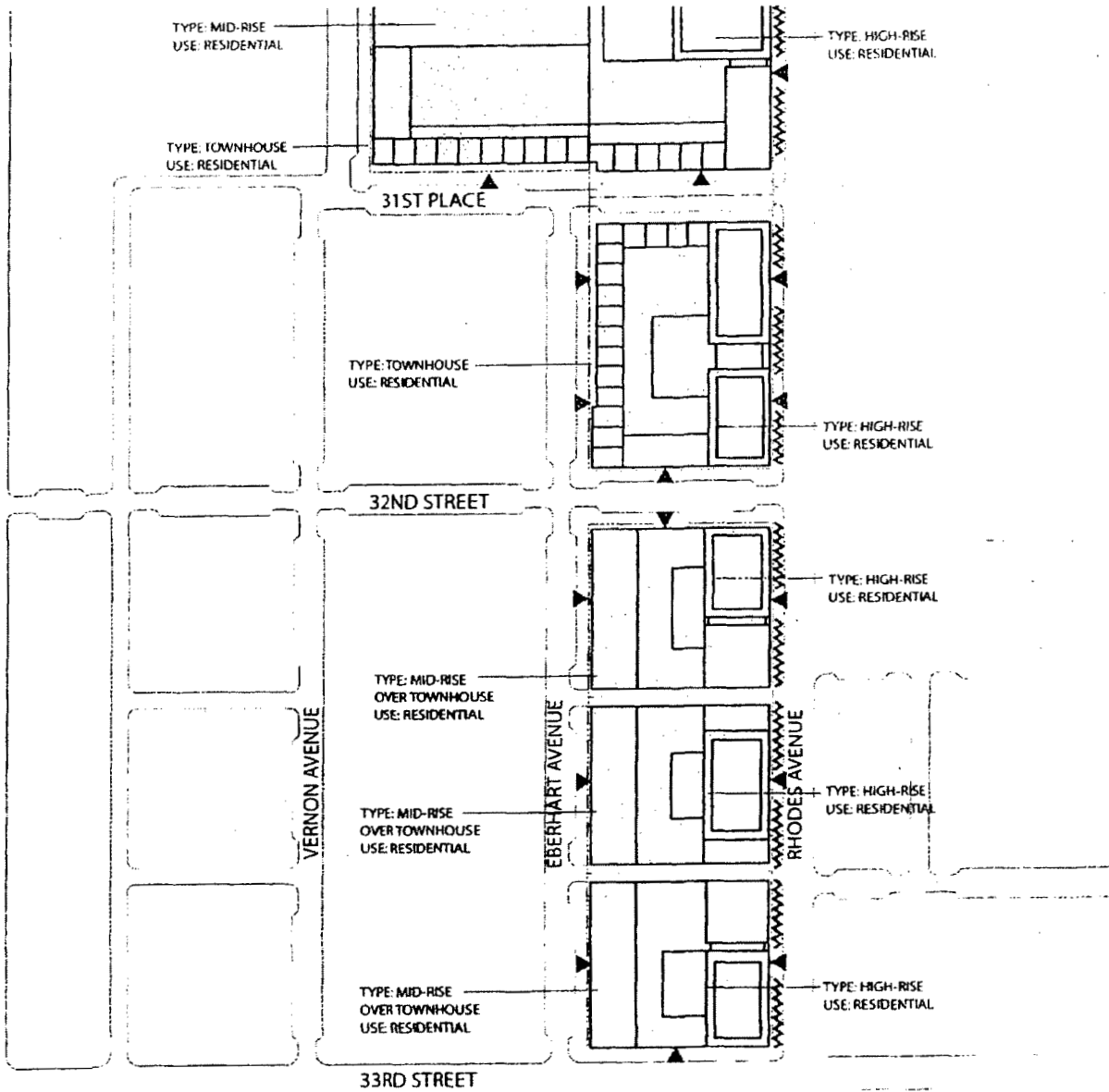
Subarea B3 -- Development Parcels And Blocks.



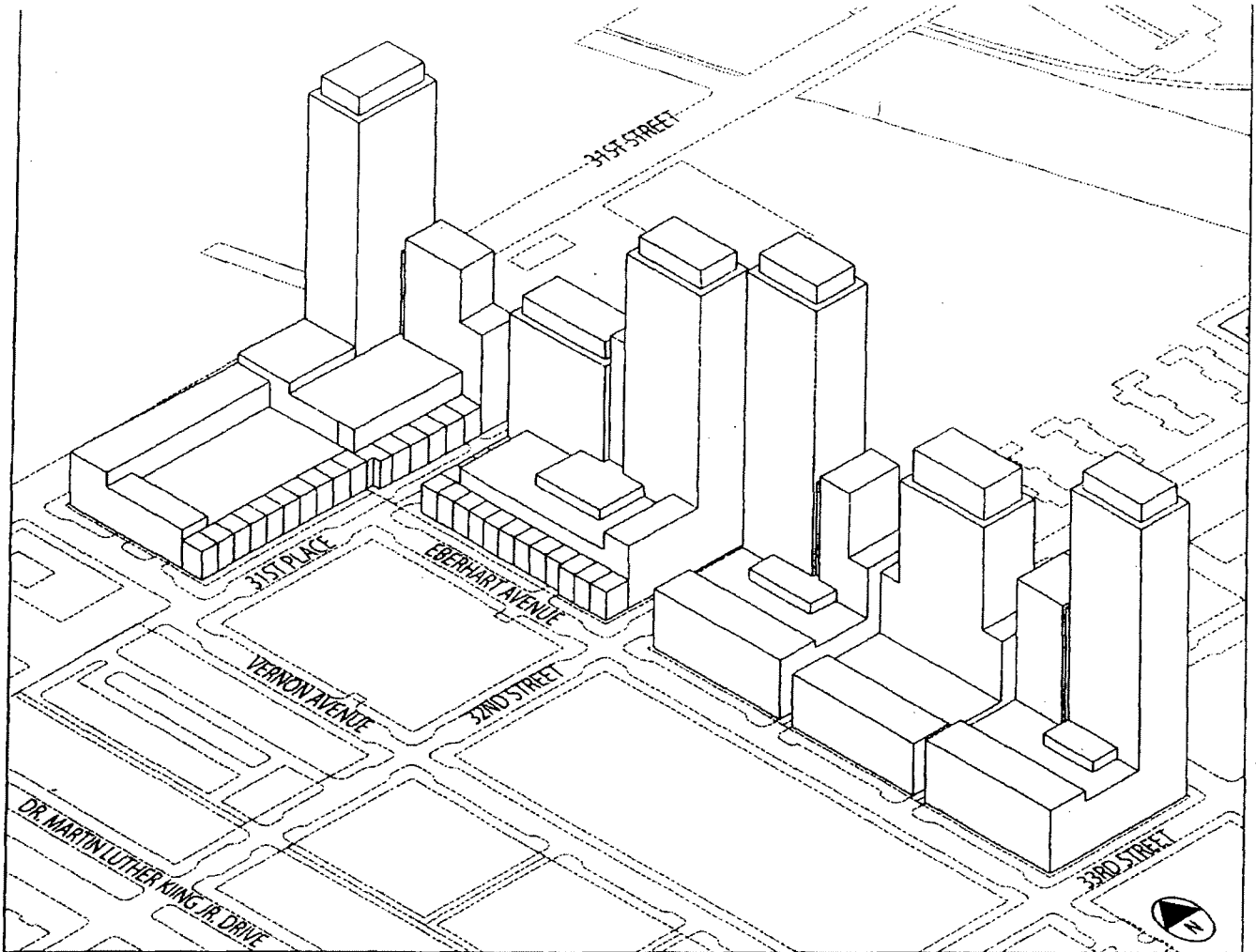
Subarea B3 -- Overall Building, Setback And Curbcut Dimensions.



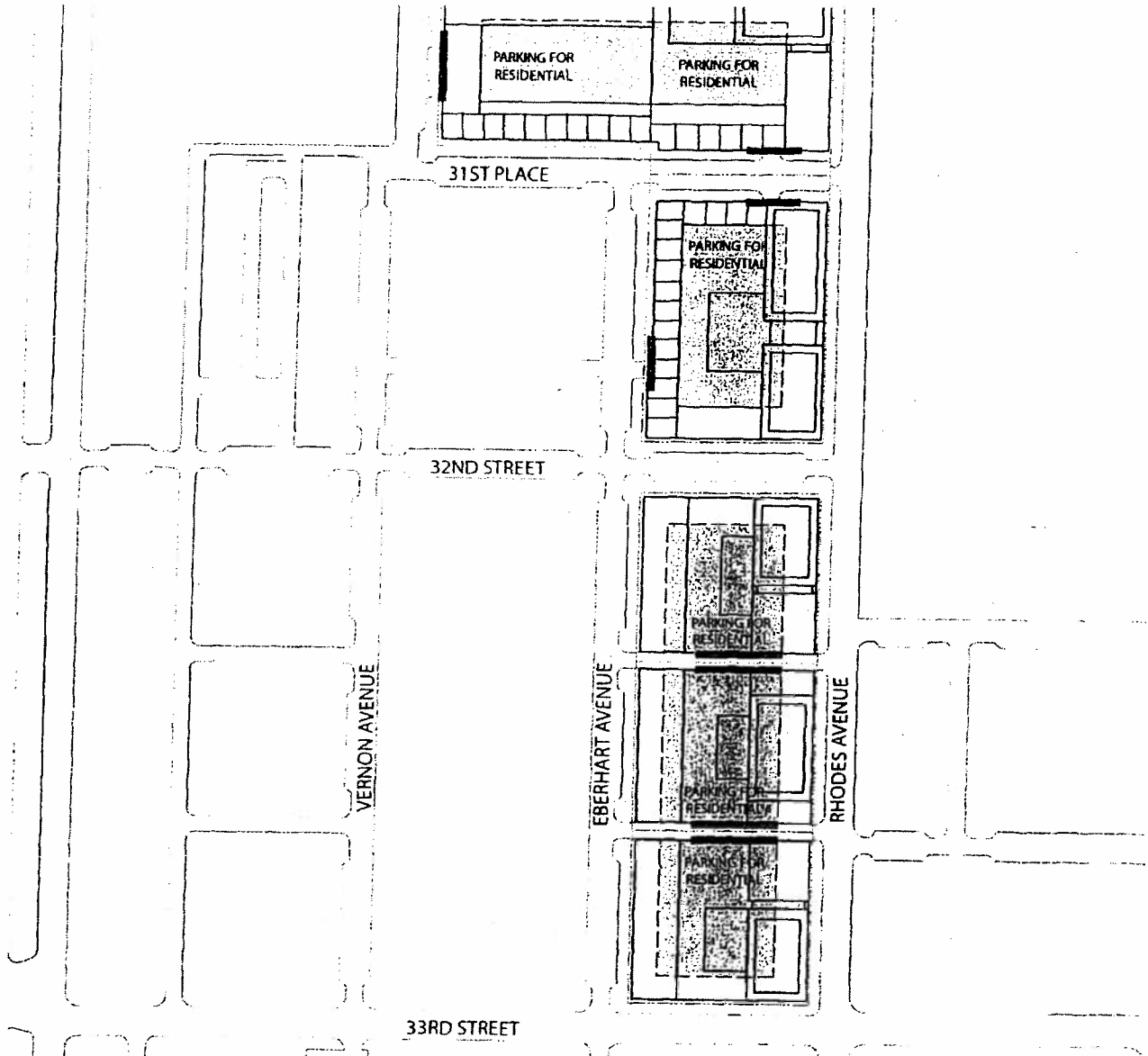
Subarea B3 -- Buildings.



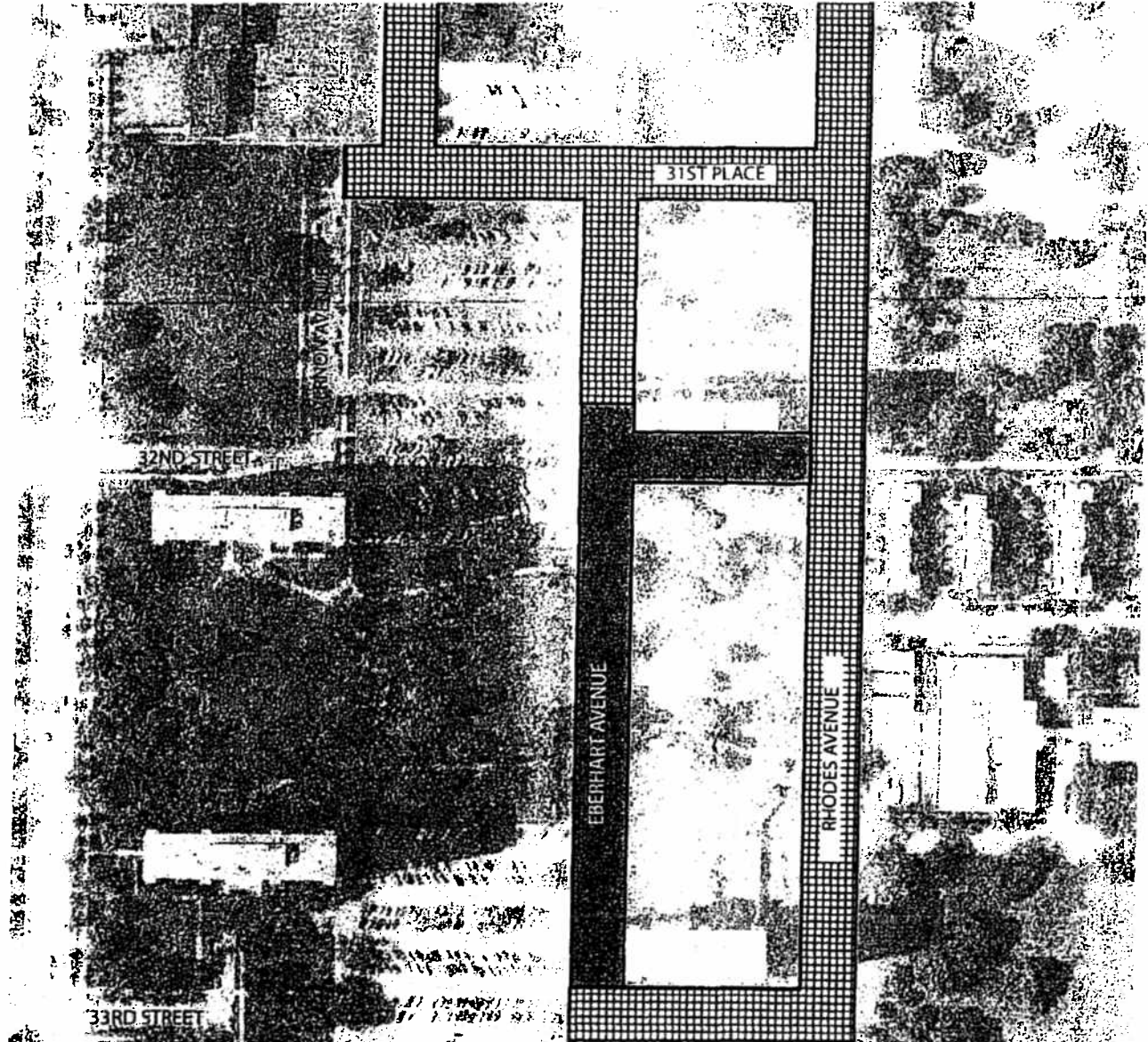
Subarea B3 -- Illustrative Massing Diagram.



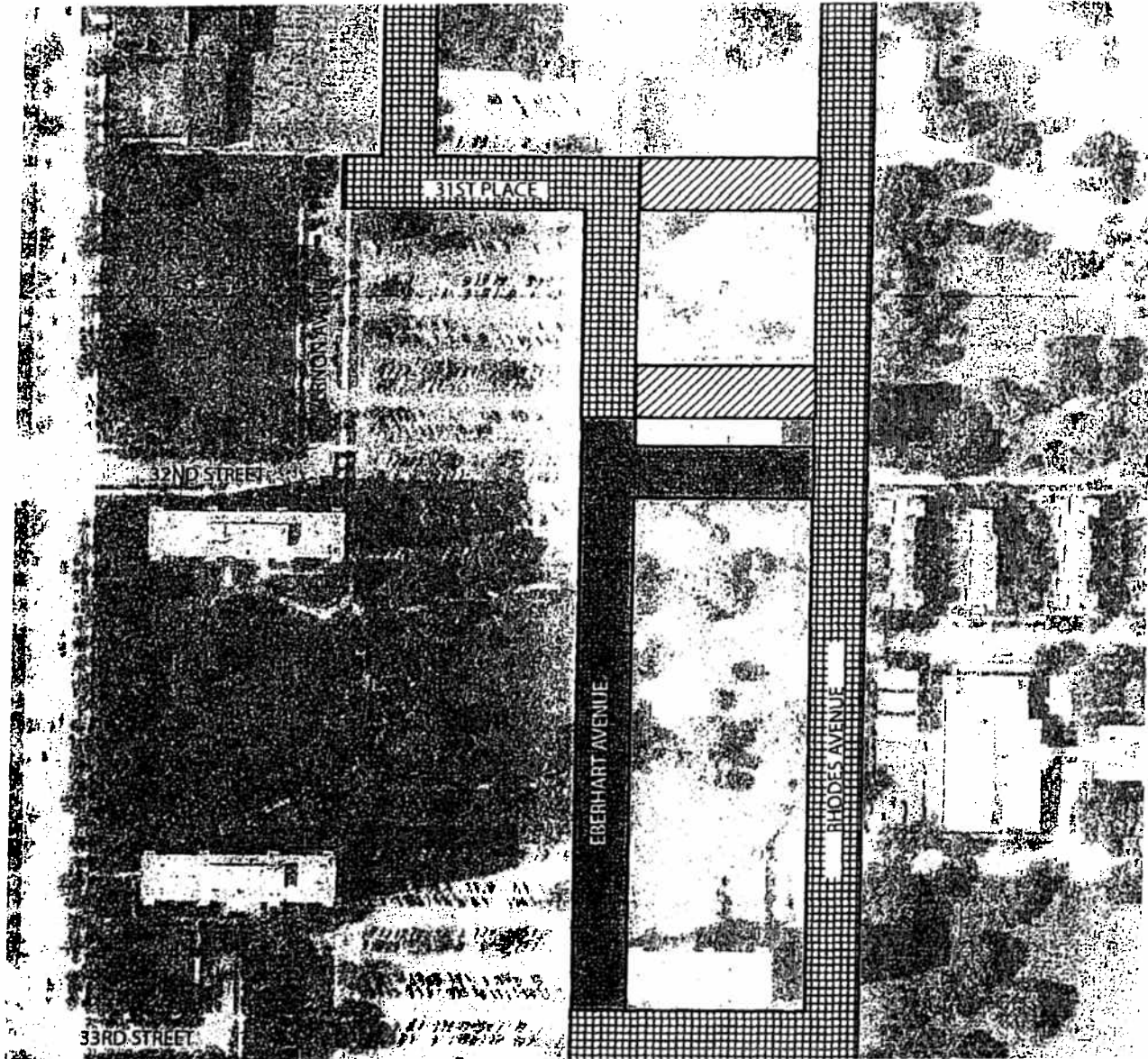
Subarea B3 -- Parking And Loading.



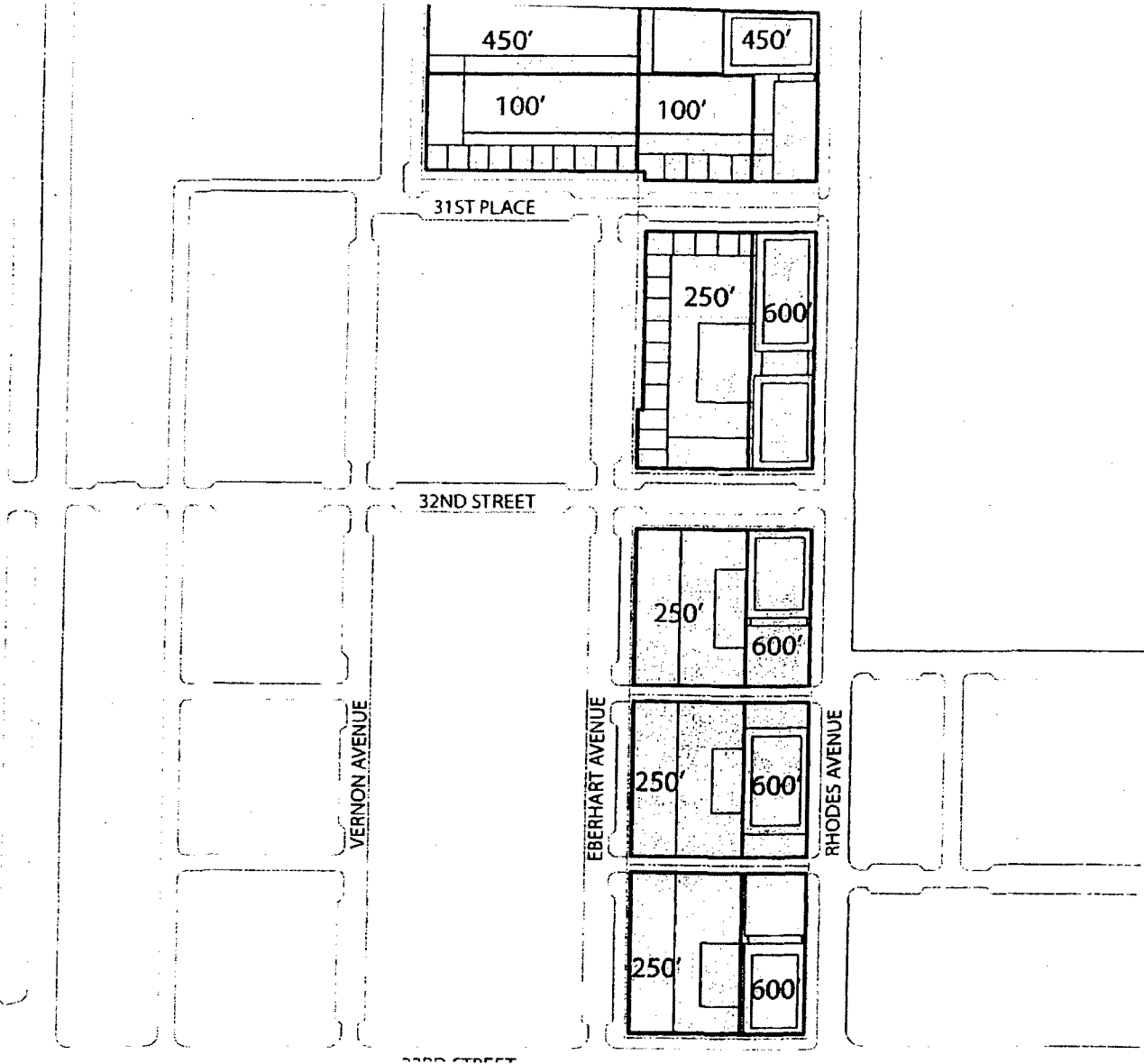
Subarea B3 -- Traffic Improvements.



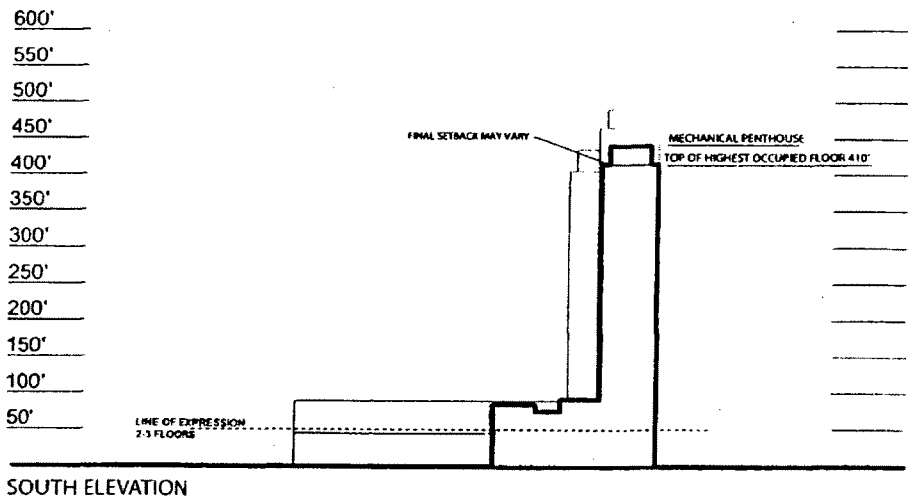
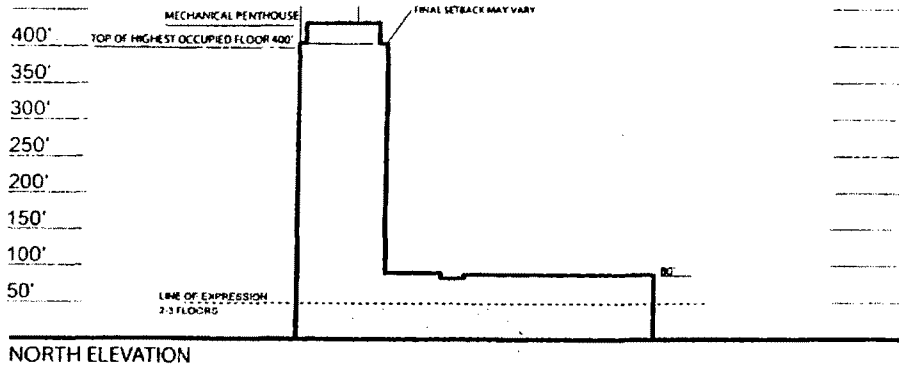
Subarea B3 -- Vacations And Dedications.



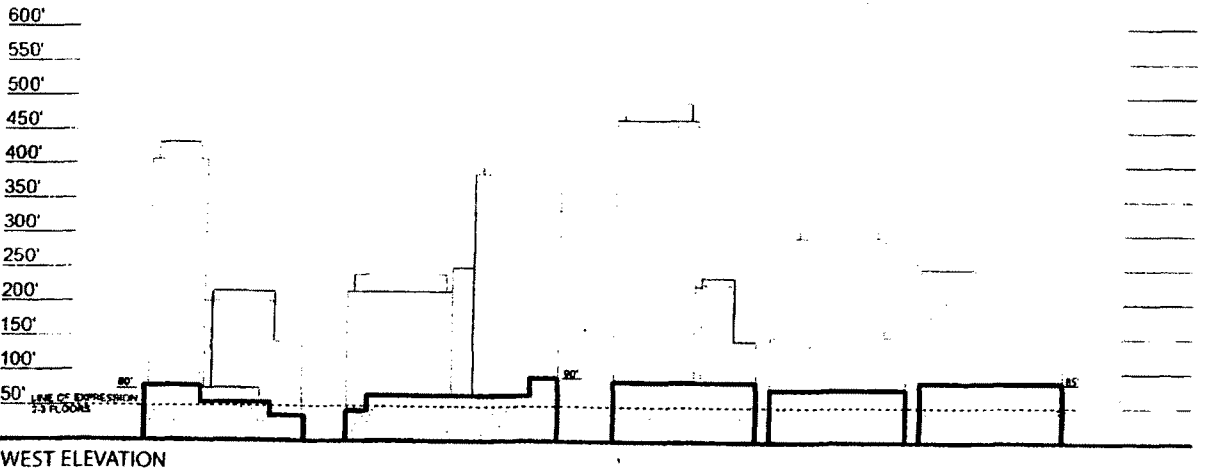
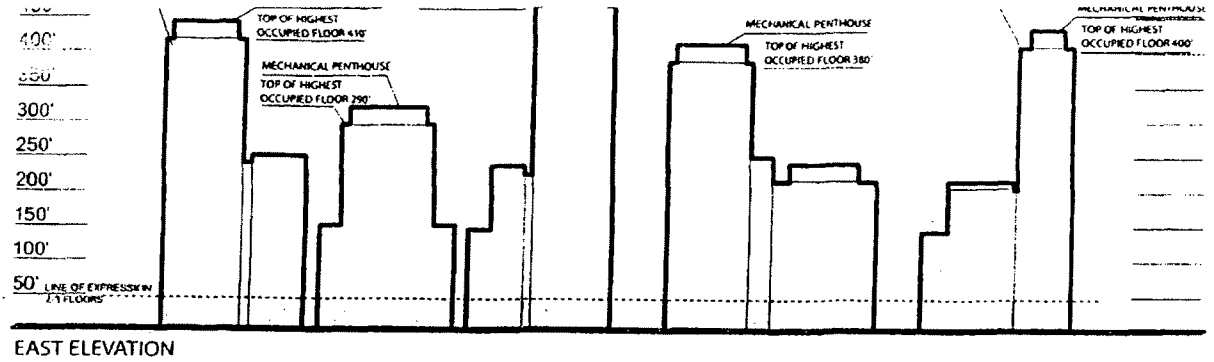
Subarea B3 -- Maximum Building Envelope And Height.



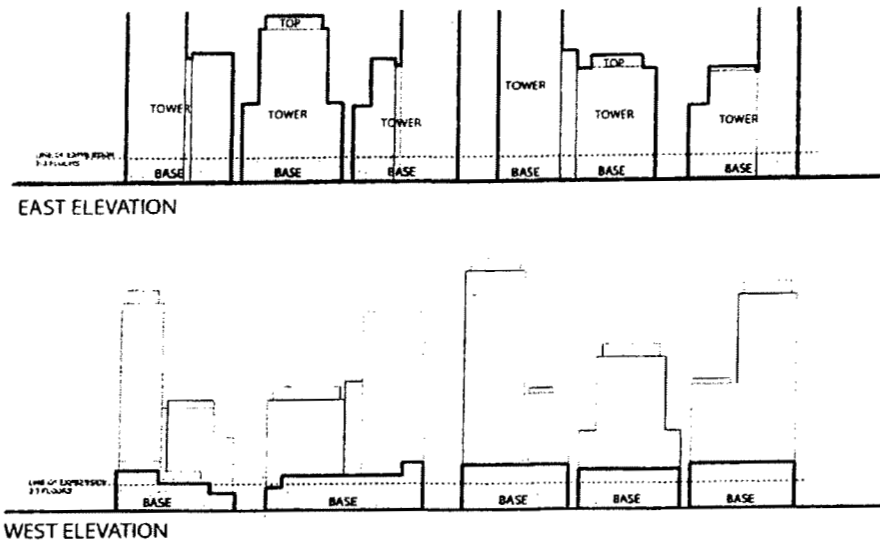
Subarea B3 – North And South Illustrative Elevations.



Subarea B3 -- East And West Illustrative Elevations.



Subarea B3 -- Building Materials.

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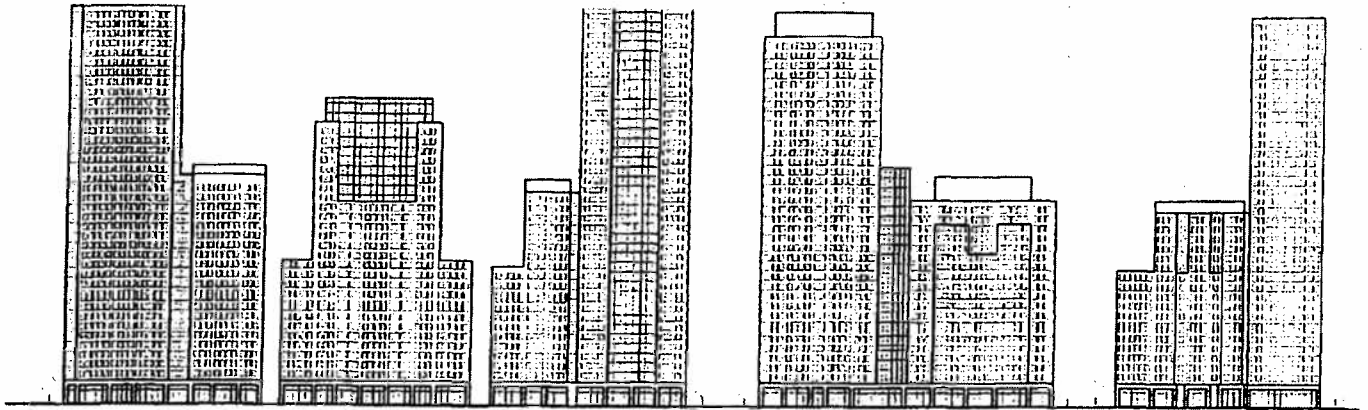
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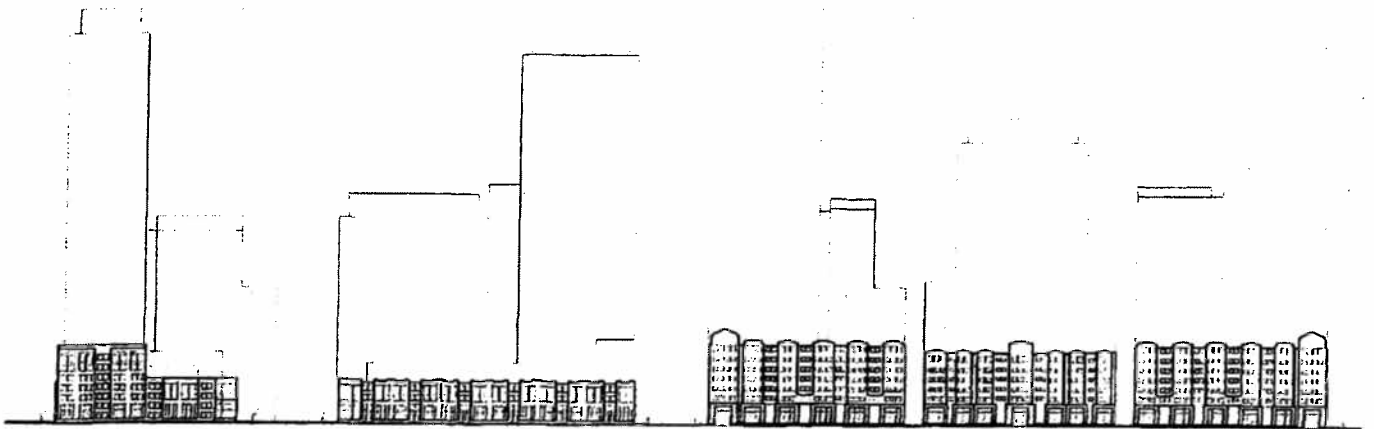
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Subarea B3 -- Facade Concepts.
(Page 1 of 2)

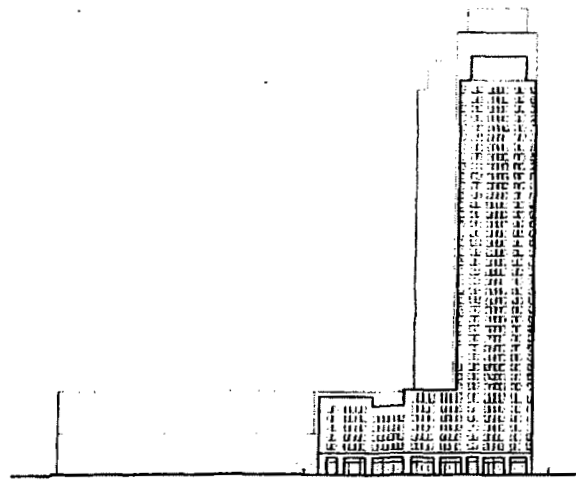


EAST ELEVATION

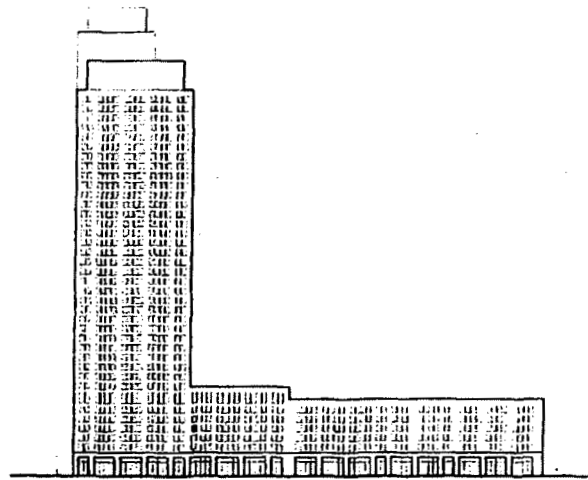


WEST ELEVATION

Subarea B3 -- Facade Concepts.
(Page 2 of 2)

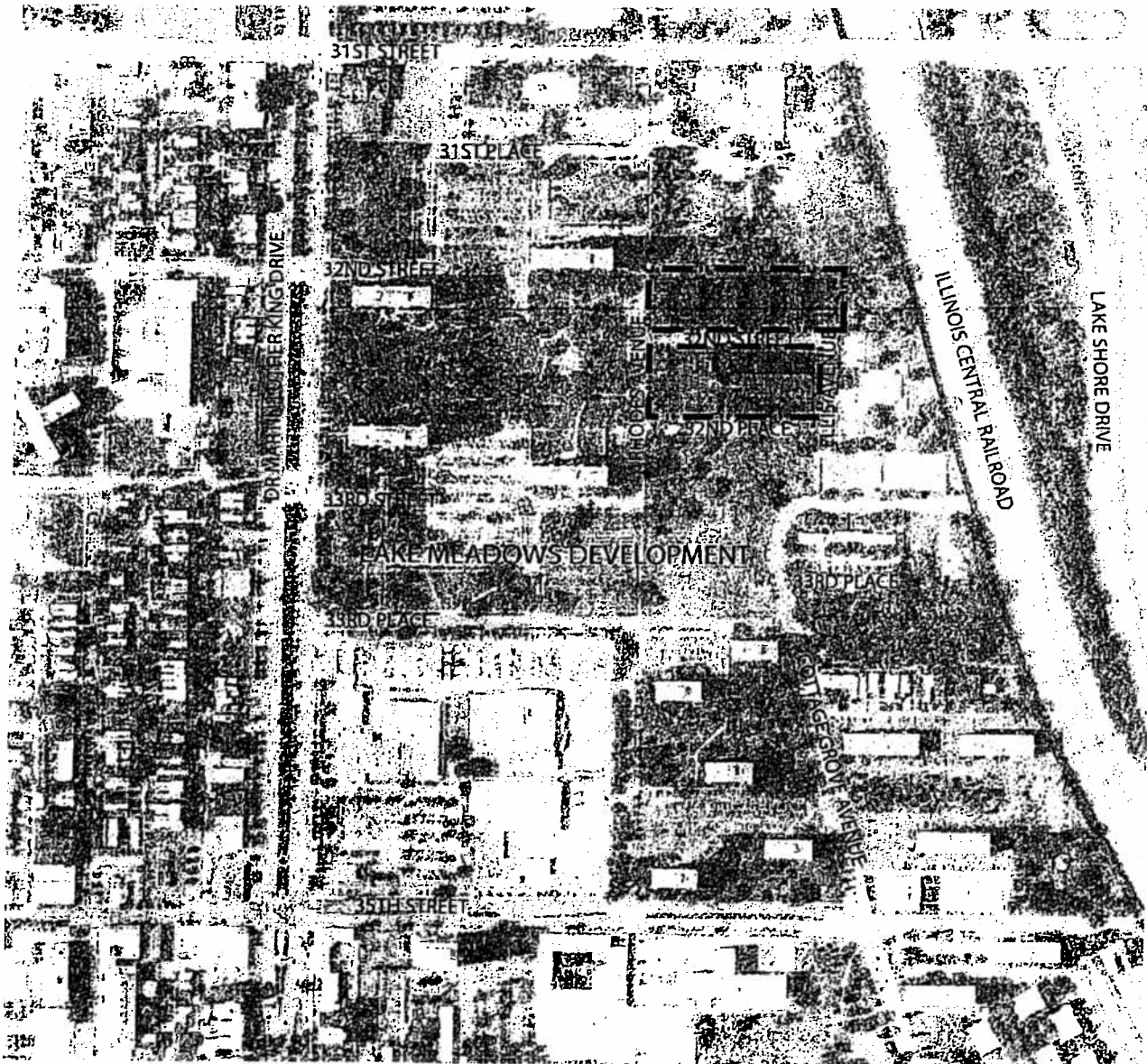


SOUTH ELEVATION

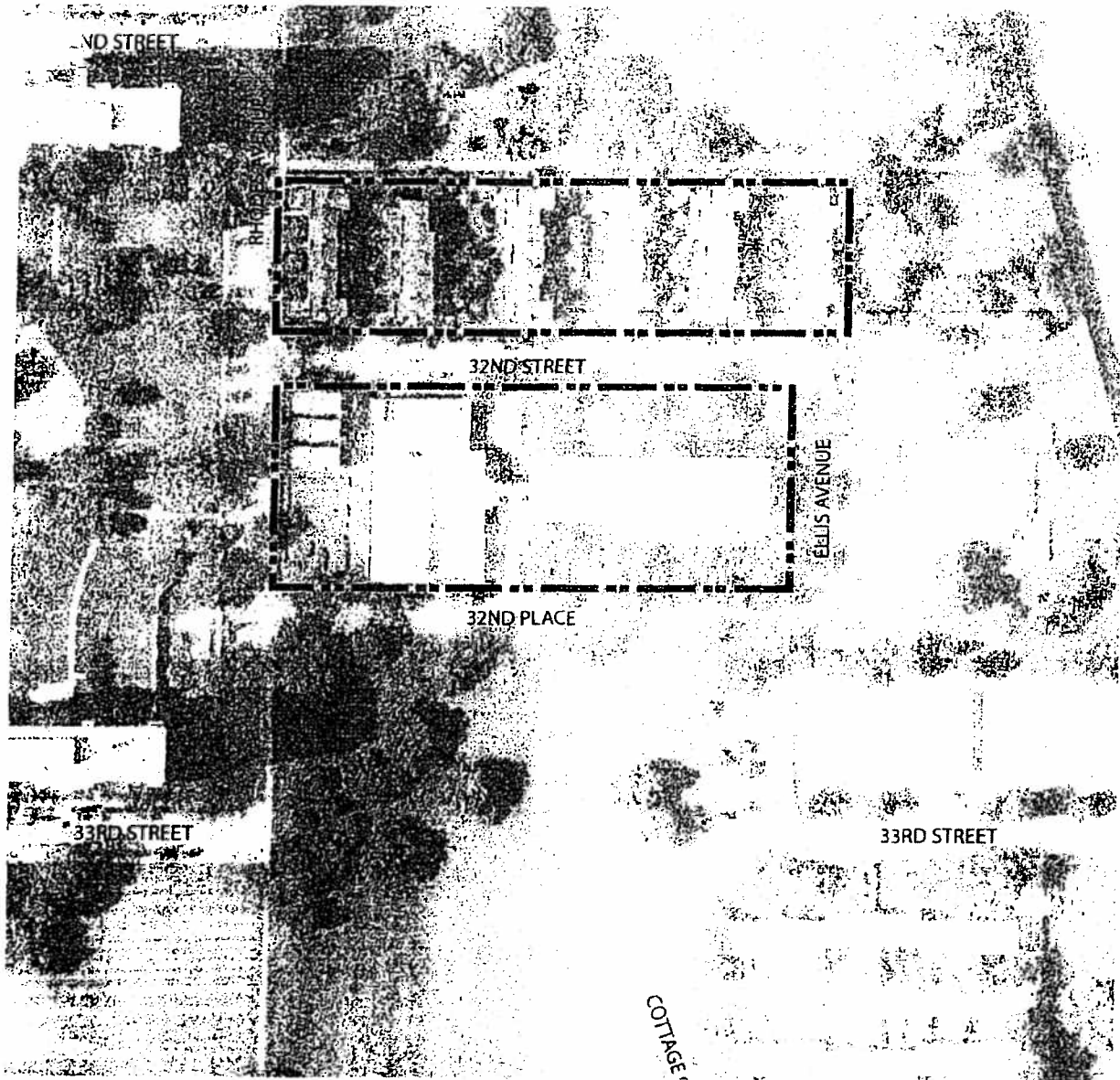


NORTH ELEVATION

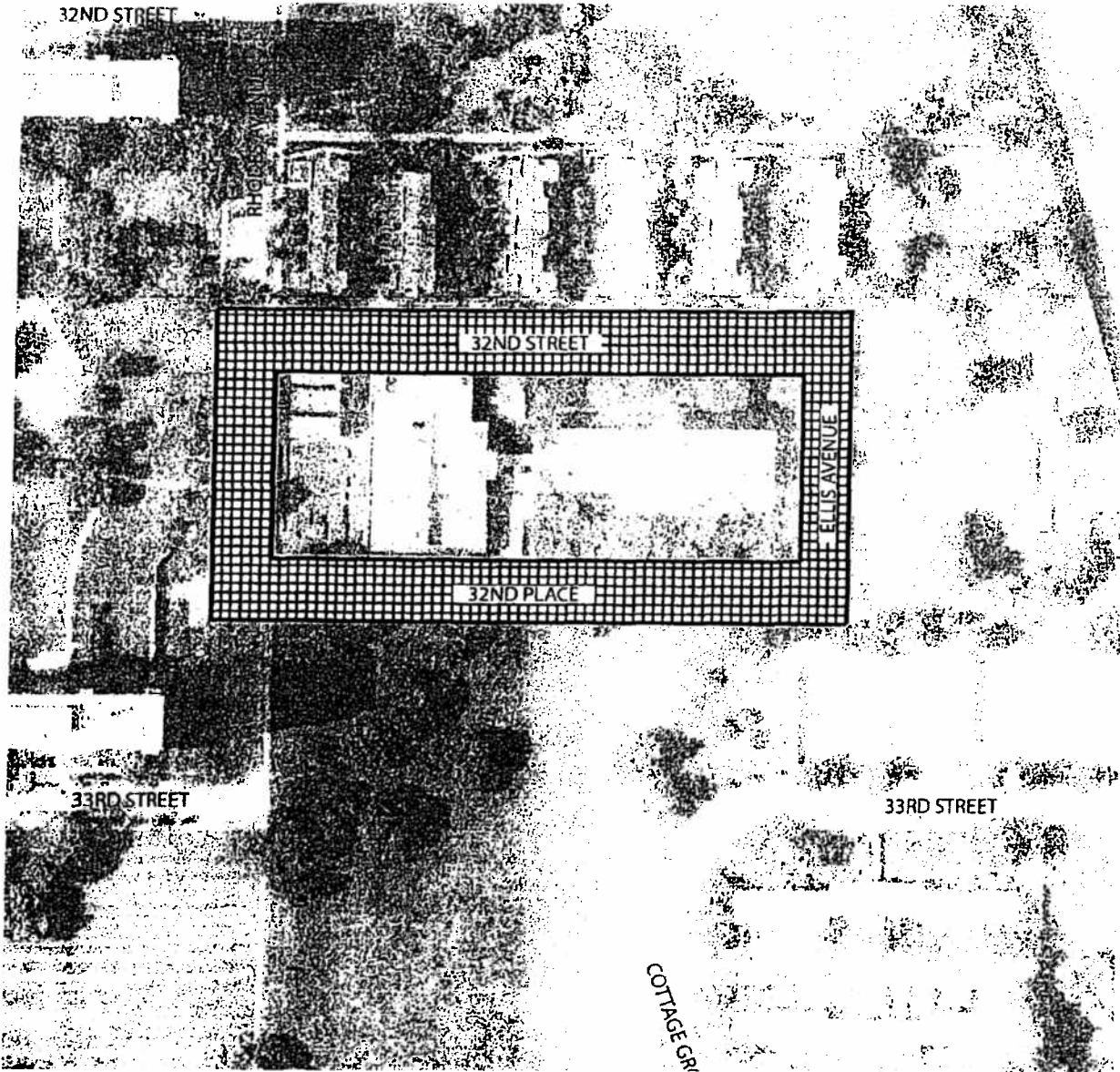
Subarea C -- Surrounding Area Content.



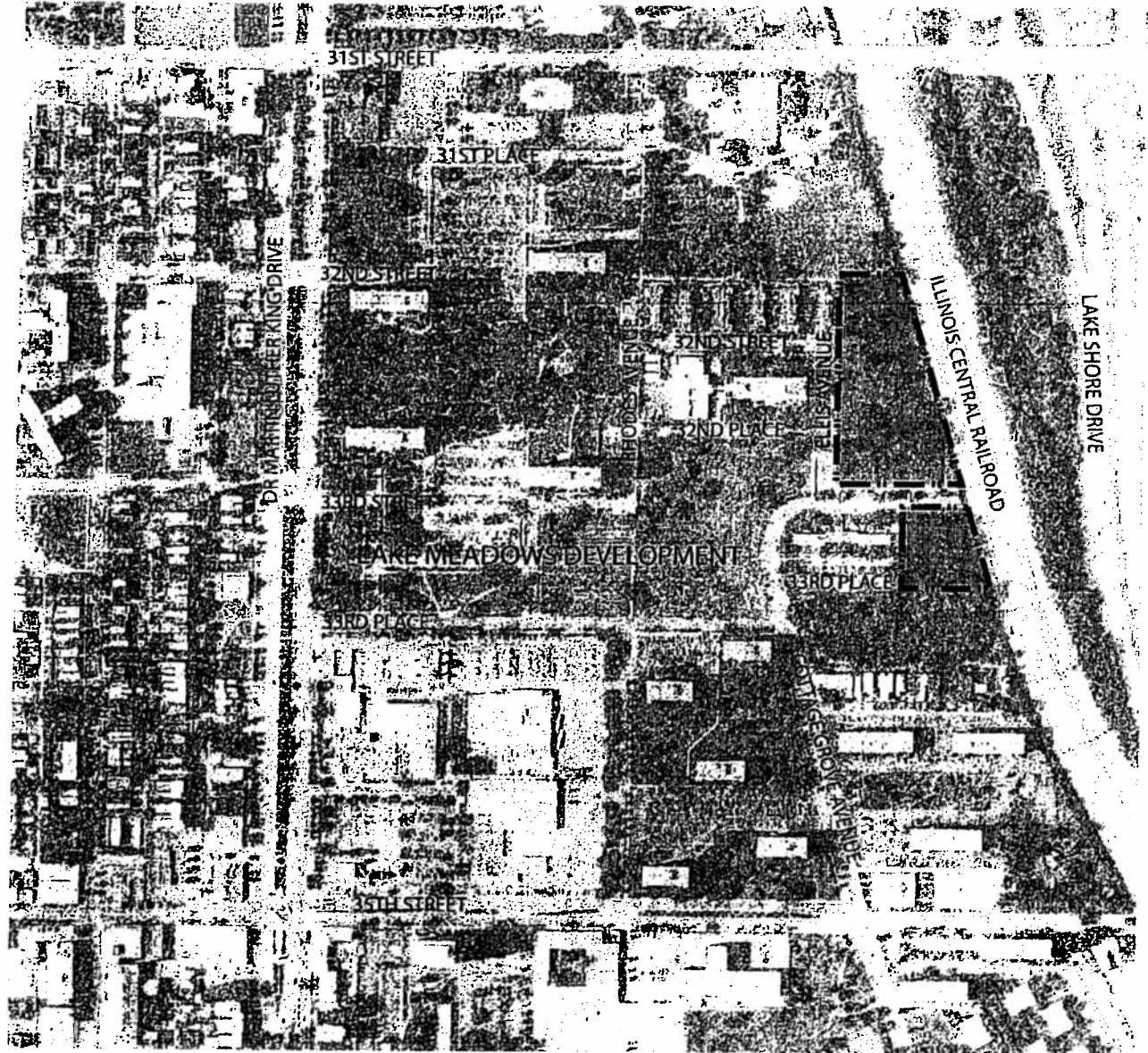
Subarea C -- Existing Conditions/Site Location.



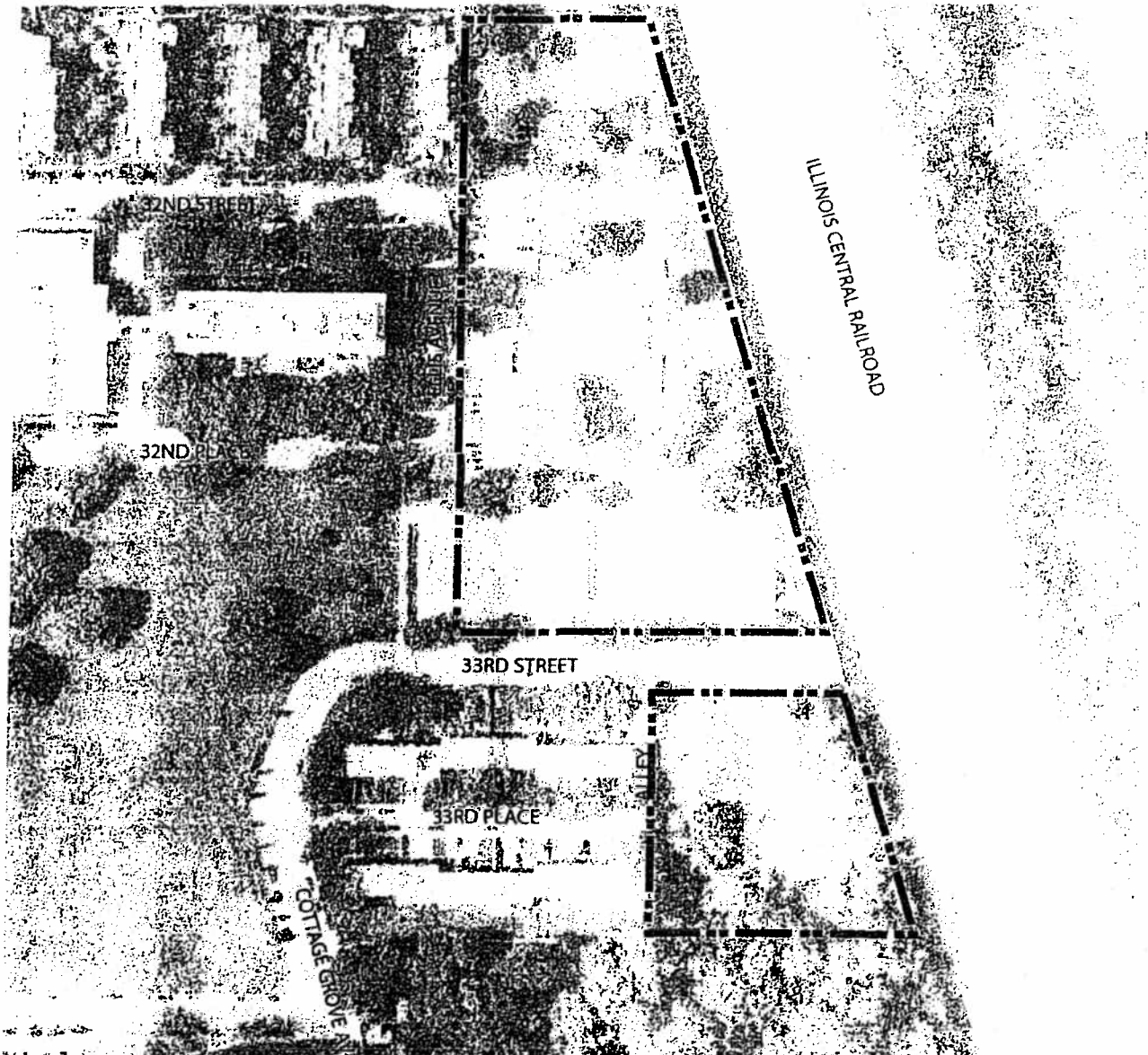
Subarea C -- Traffic Improvements.



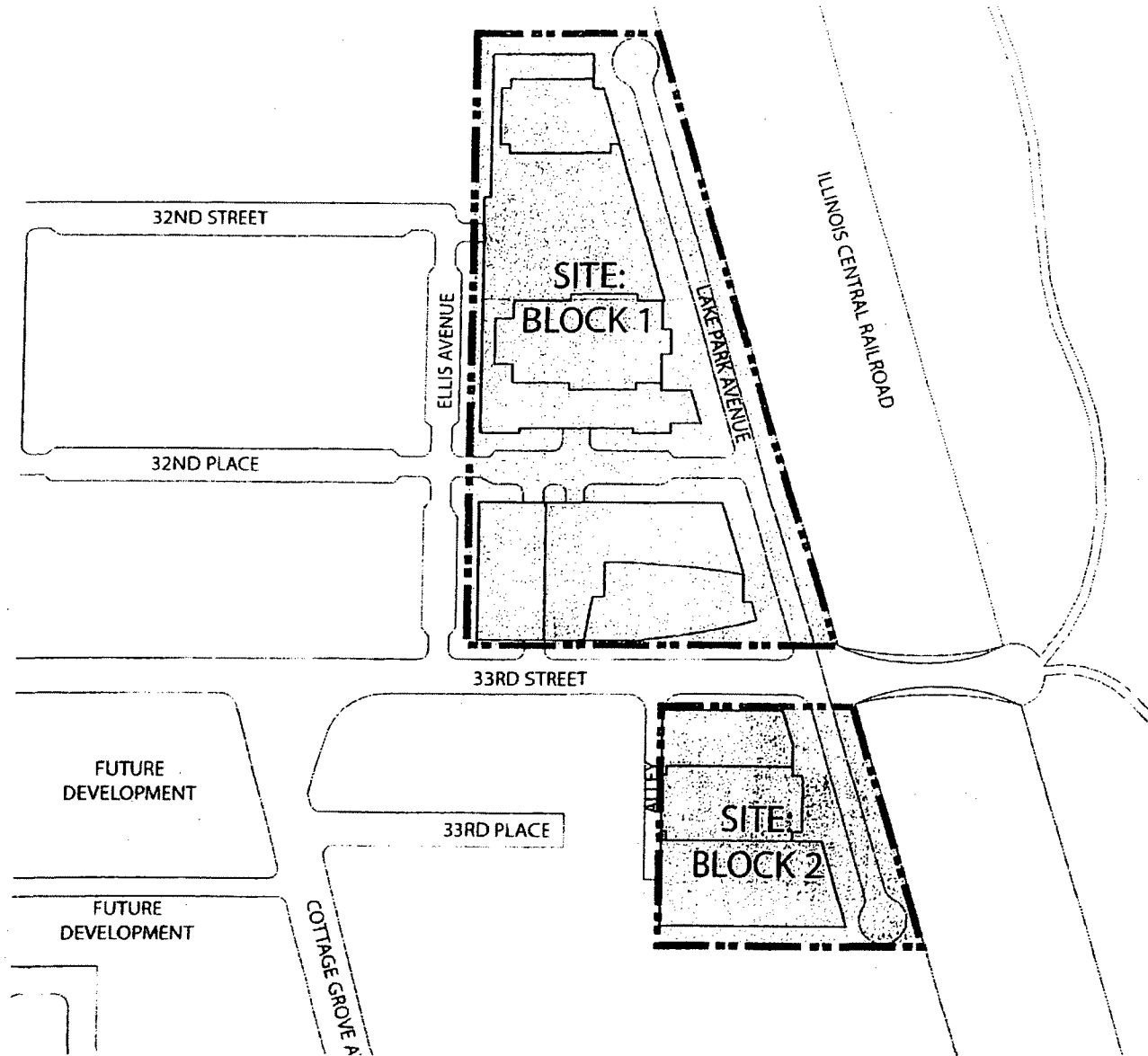
Subarea D -- Surrounding Area Content.



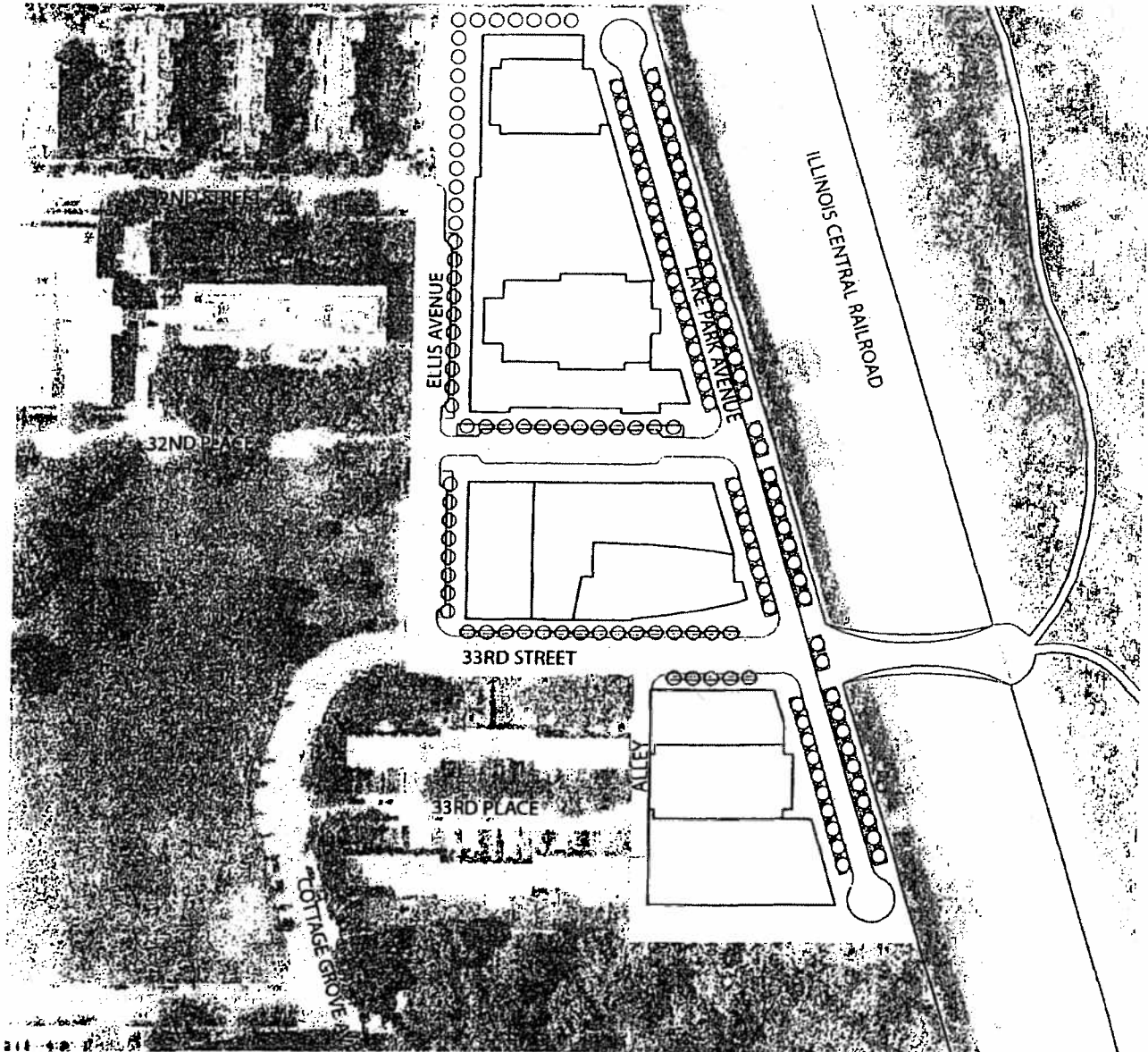
Subarea D -- Existing Conditions/Site Location.



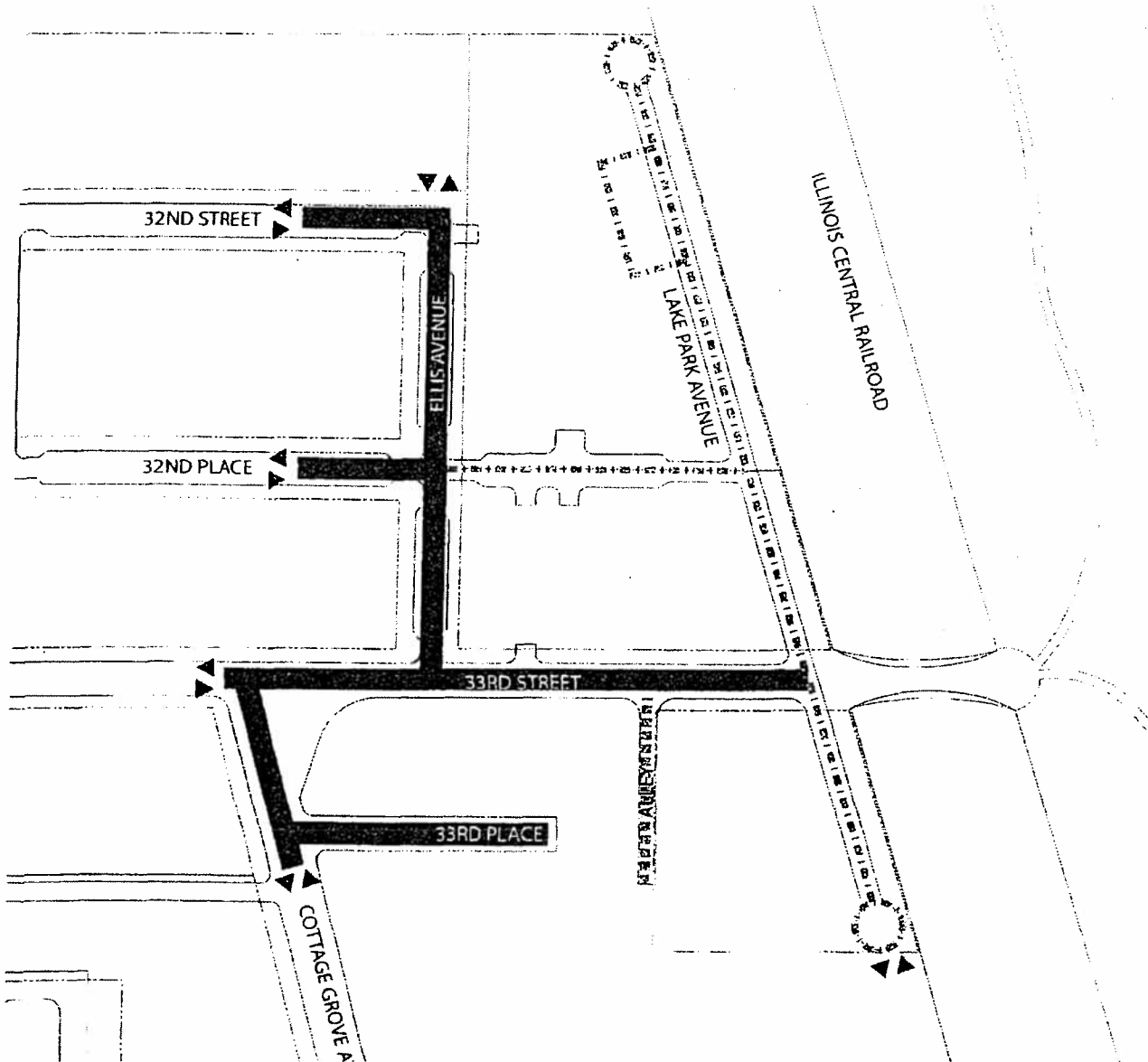
Subarea D -- Future Development Context.



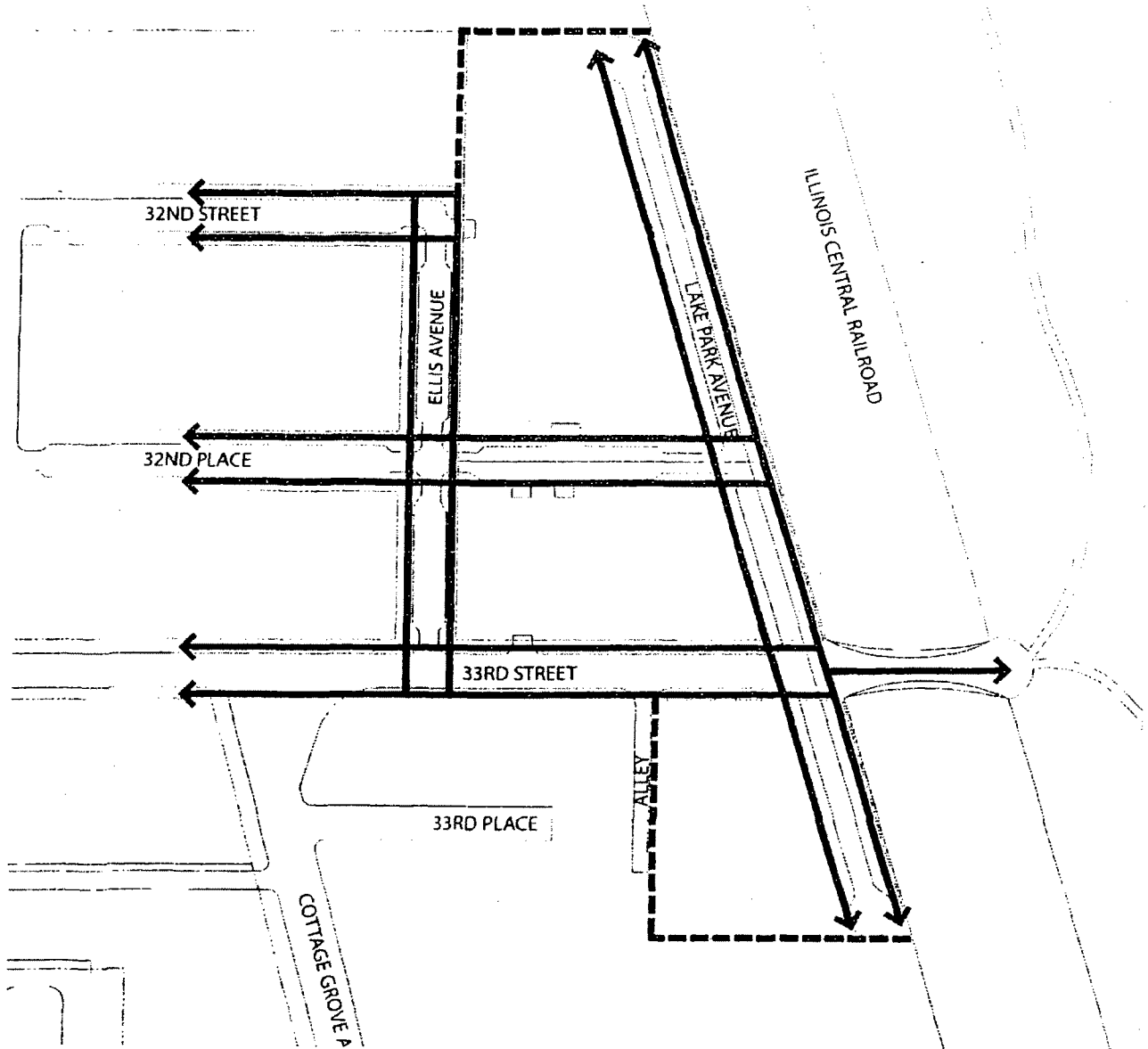
Subarea D – Existing Development Context.



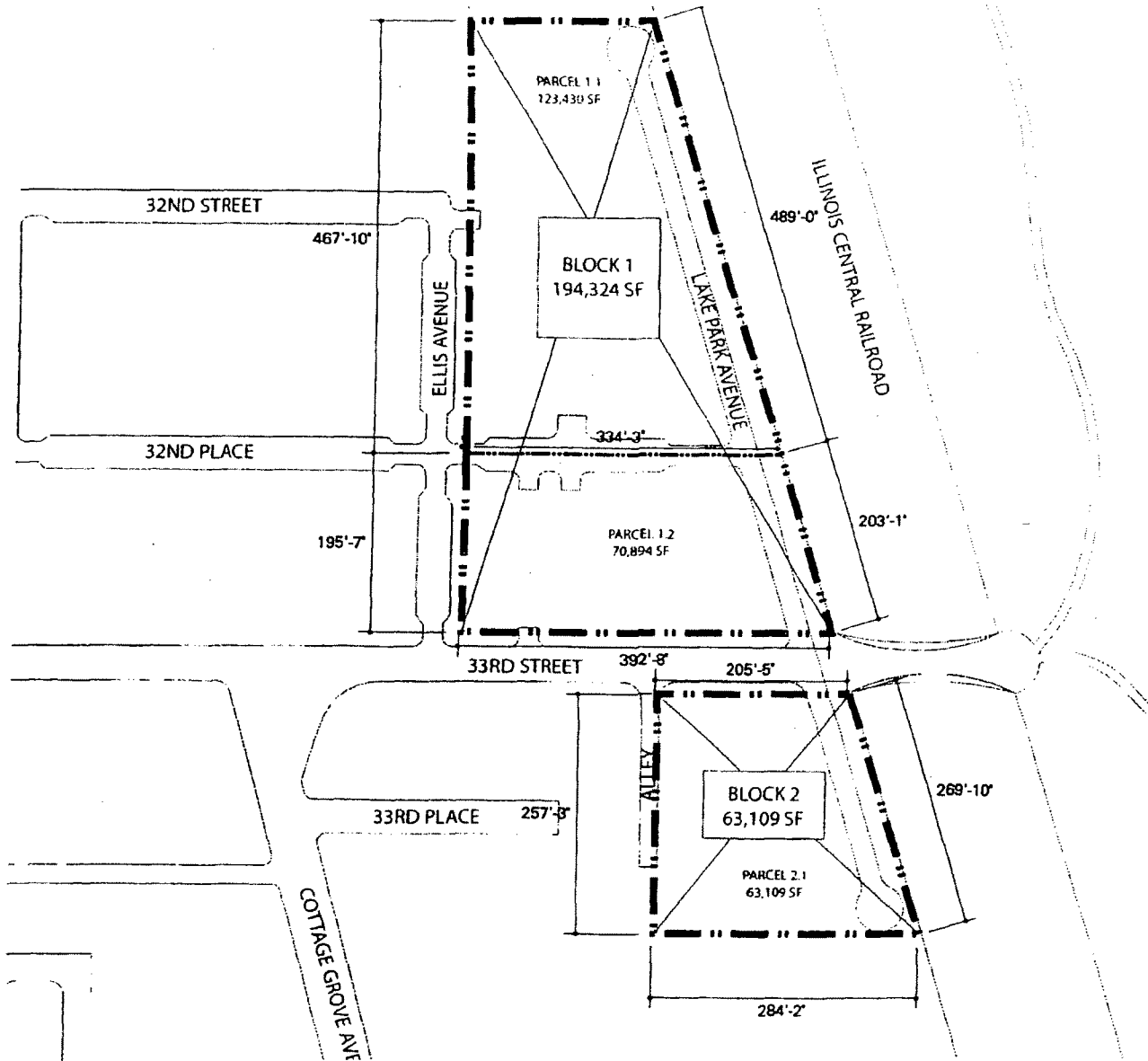
Subarea D -- Public And Private Roadways.



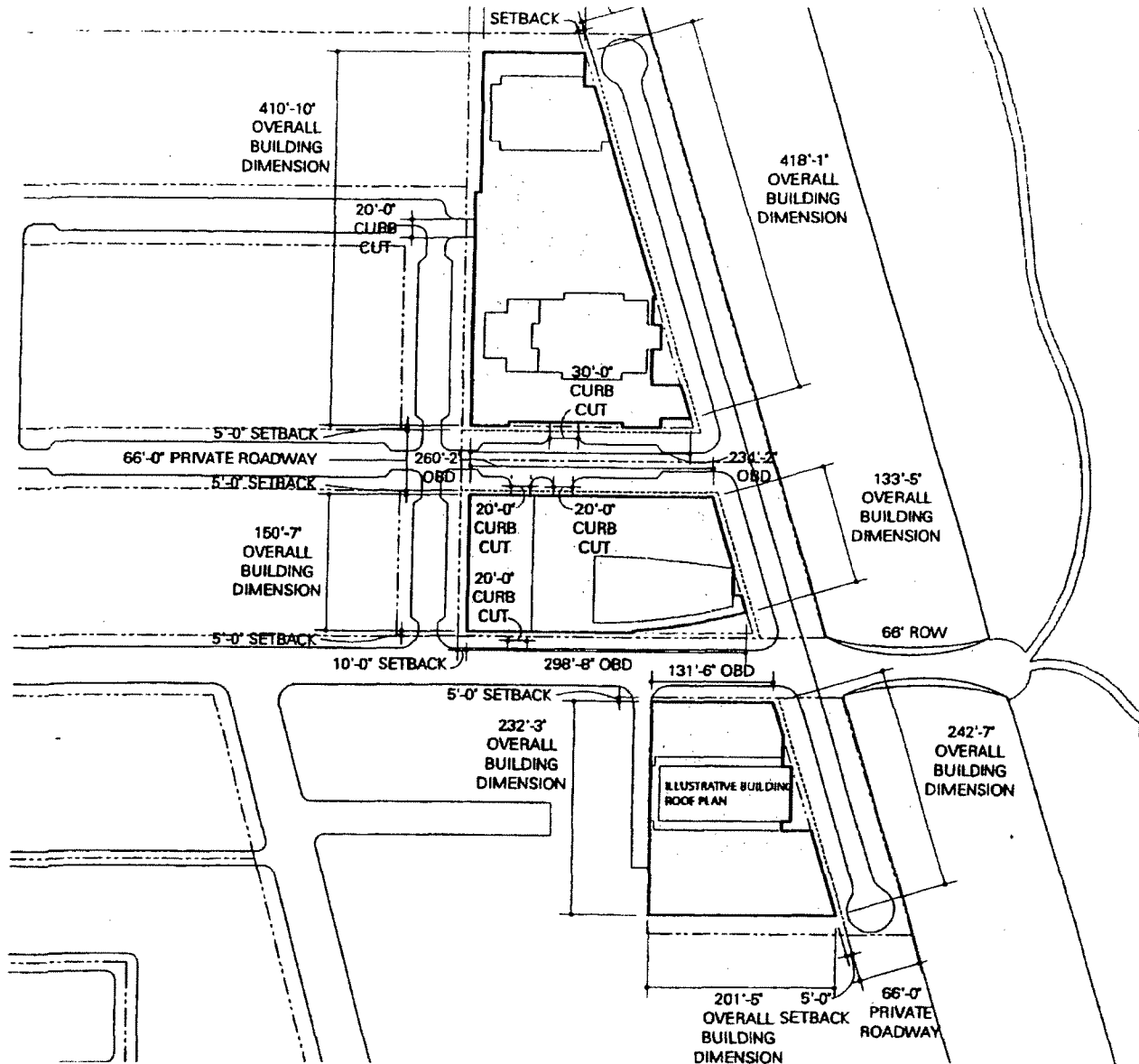
Subarea D – Pedestrian Circulation.



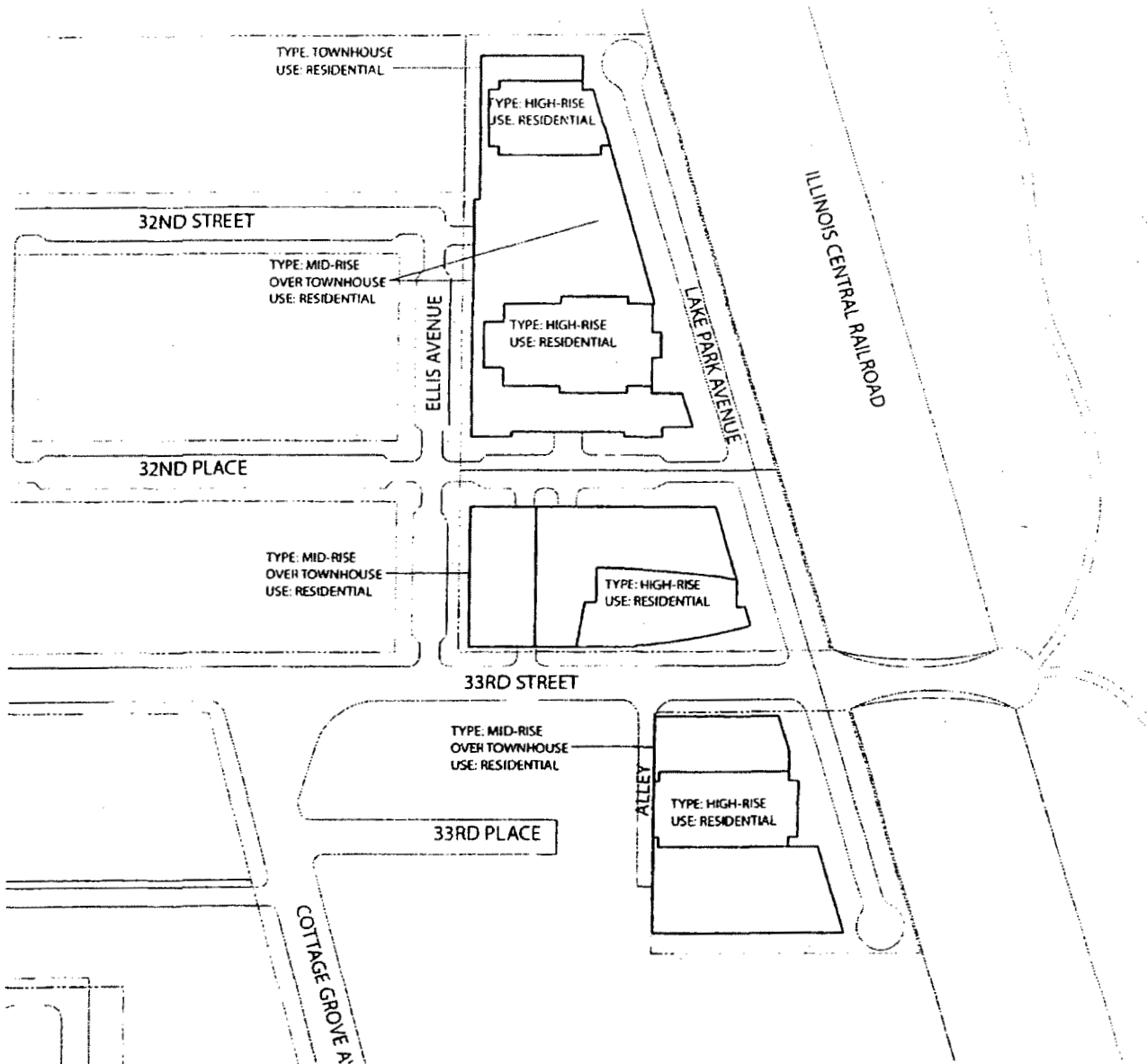
Subarea D -- Development Parcels And Blocks.



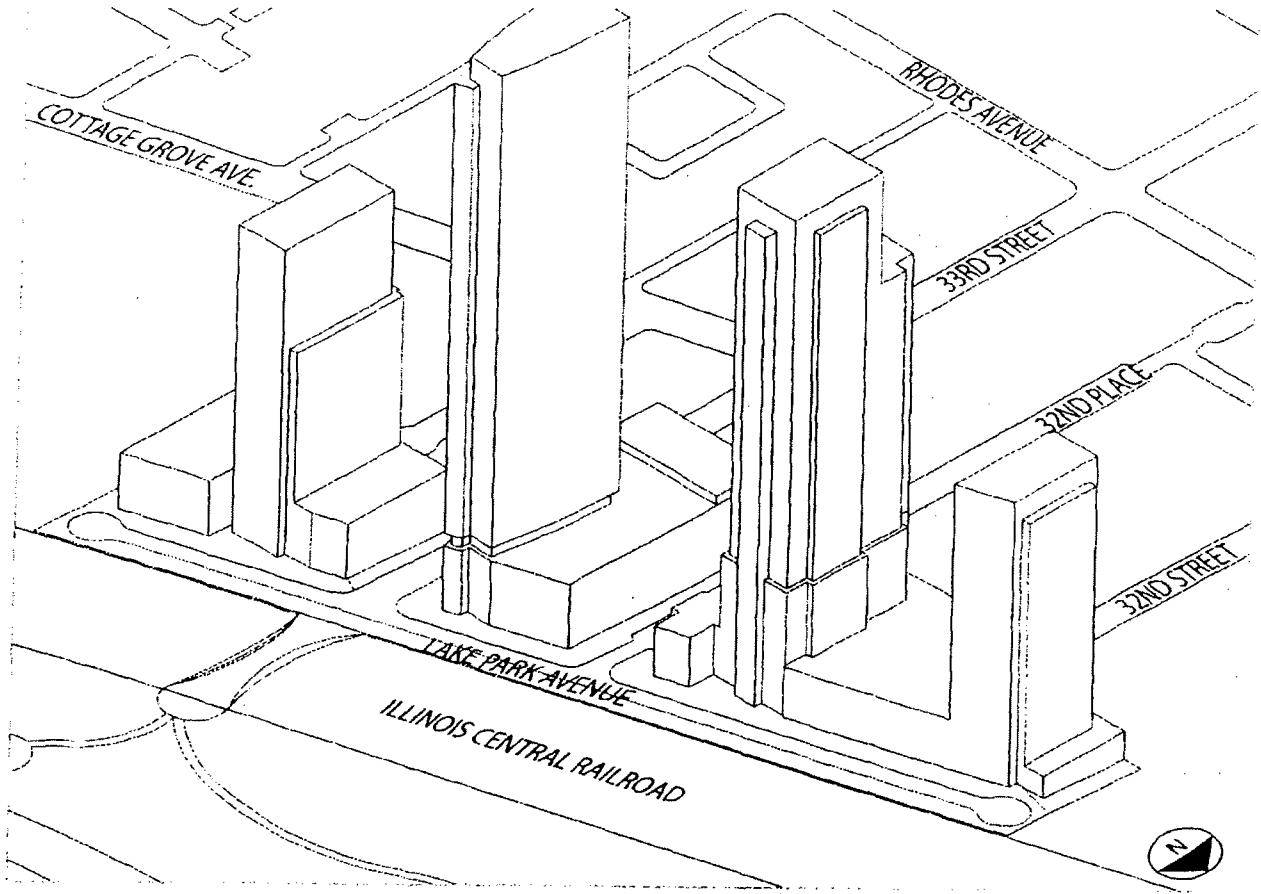
Subarea D -- Overall Building, Setback And Curb Cut Dimensions.



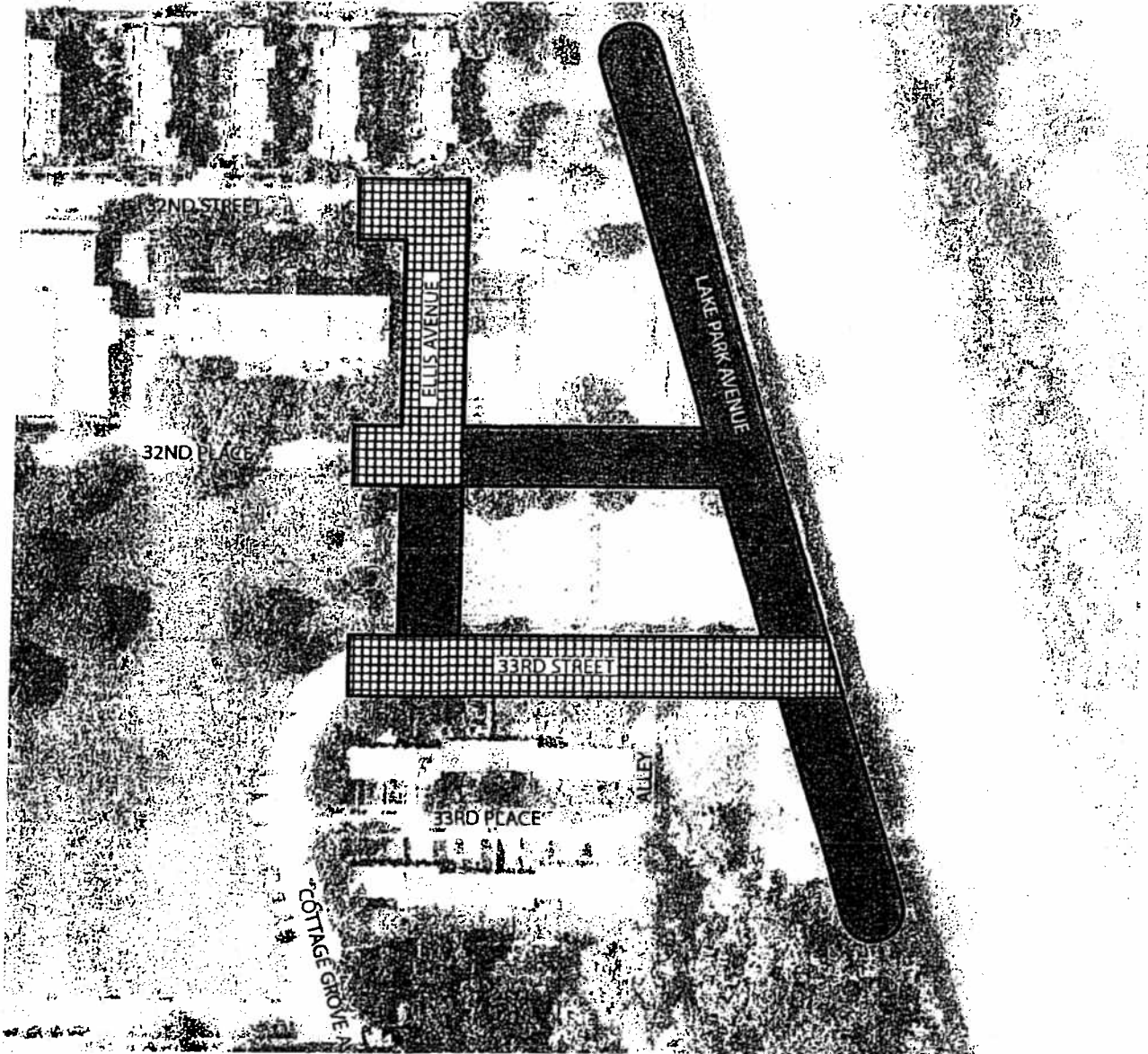
Subarea D -- Buildings.



Subarea D -- Illustrative Massing Diagram.



Subarea D -- Traffic Improvements.

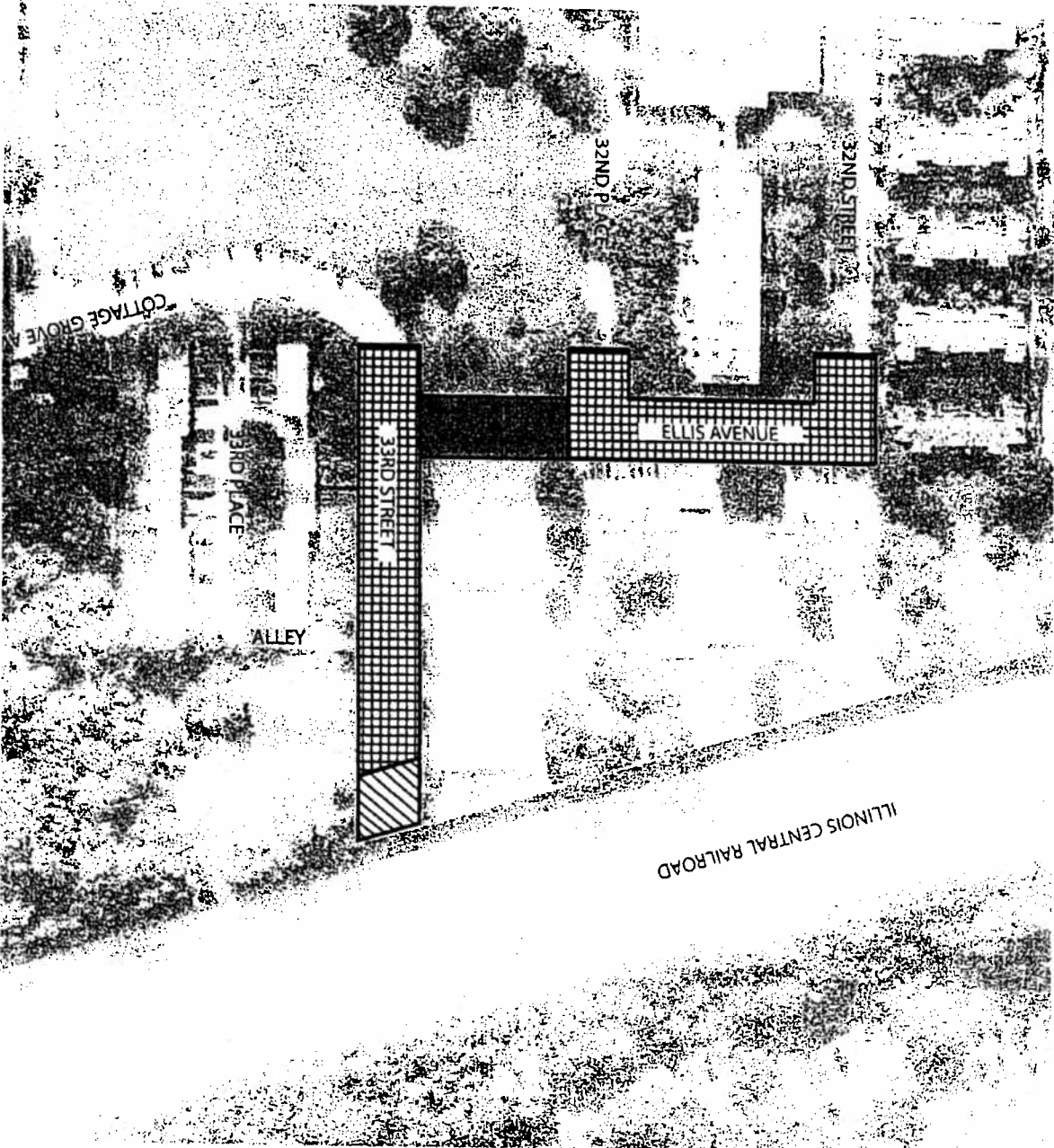


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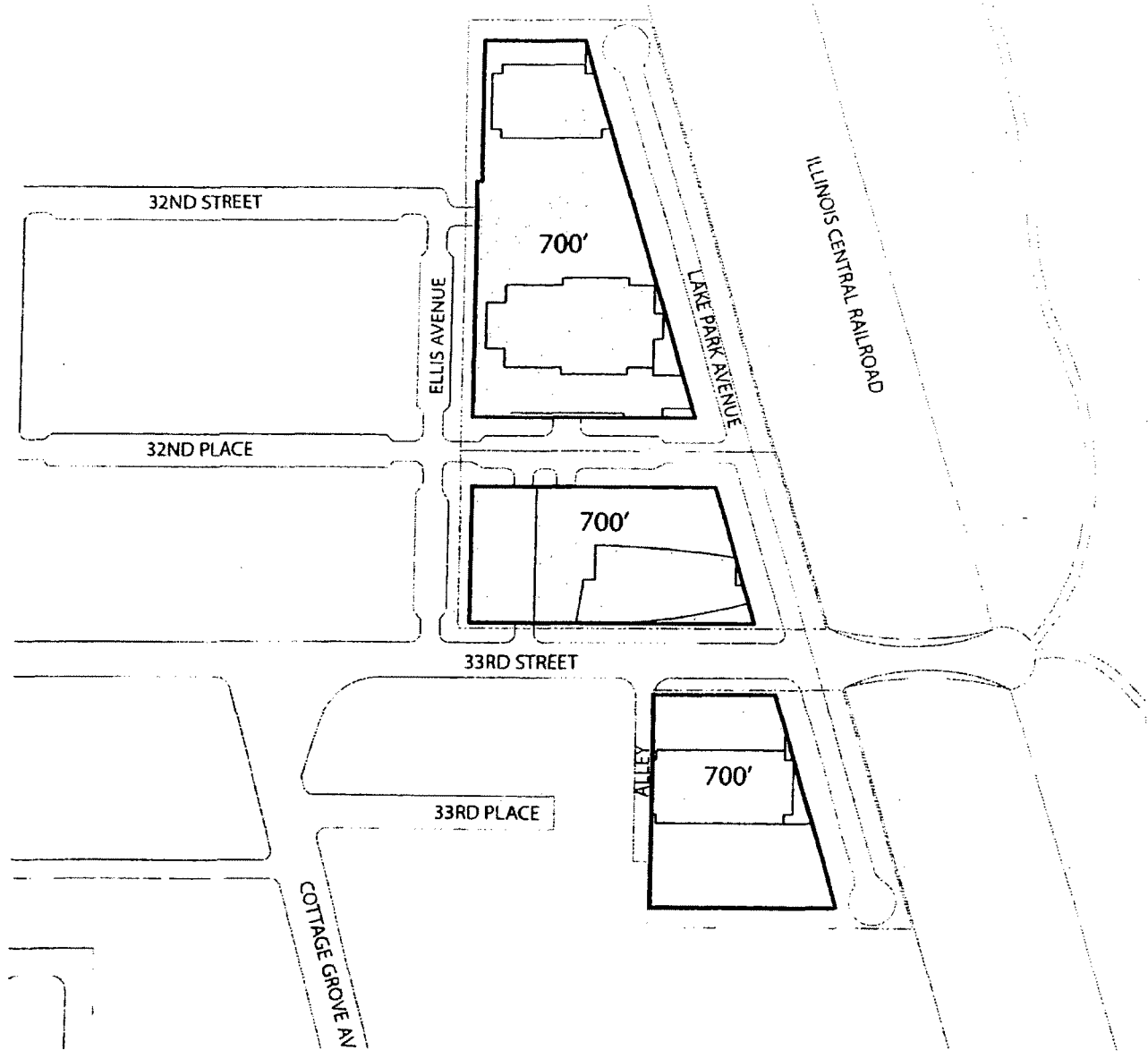
REPORTS OF COMMITTEES

96025

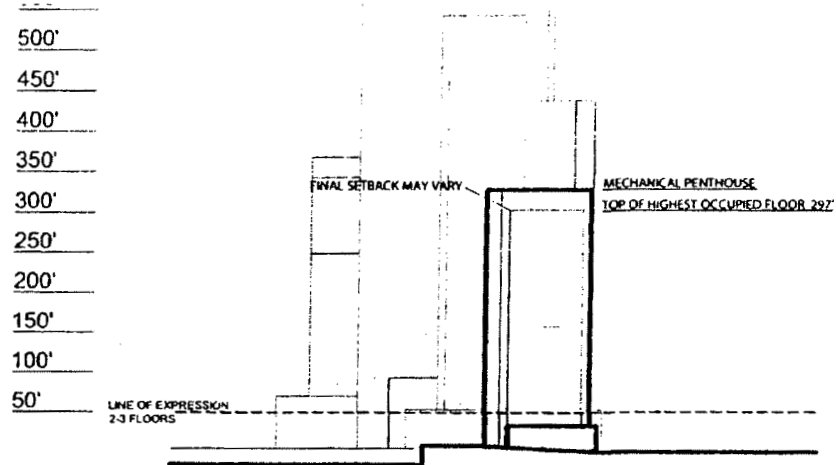
Subarea D -- Vacations And Dedications.



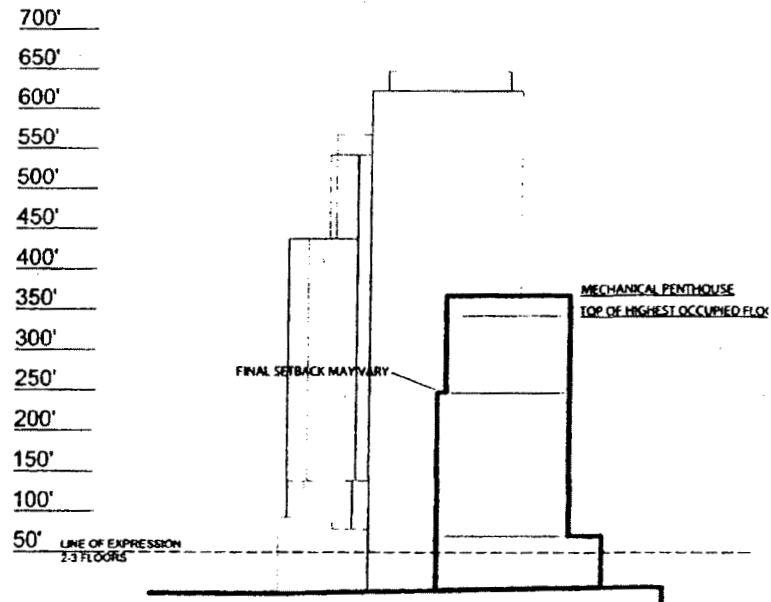
Subarea D -- Maximum Building Envelope And Height.



Subarea D -- North And South Illustrative Elevations.

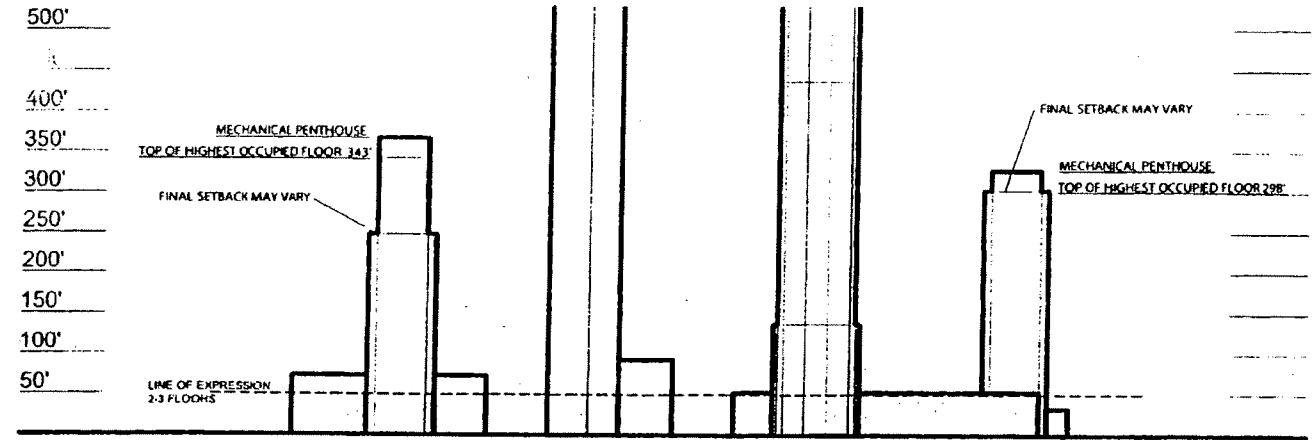


NORTH ELEVATION

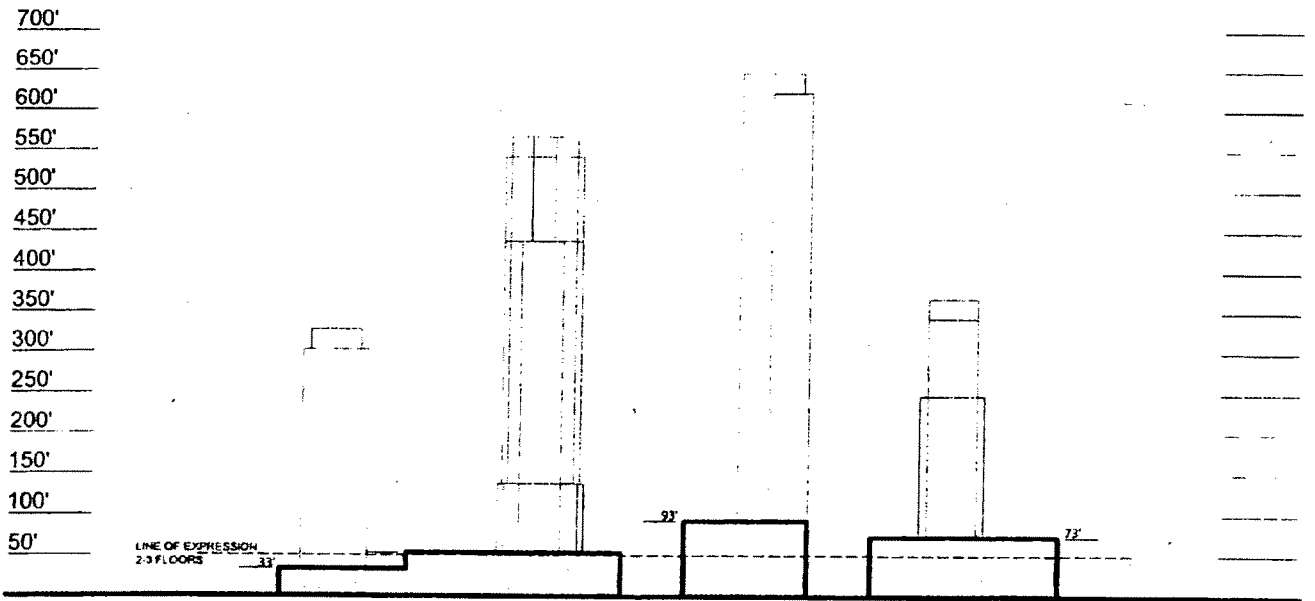


SOUTH ELEVATION

Subarea D -- East And West Illustrative Elevations.

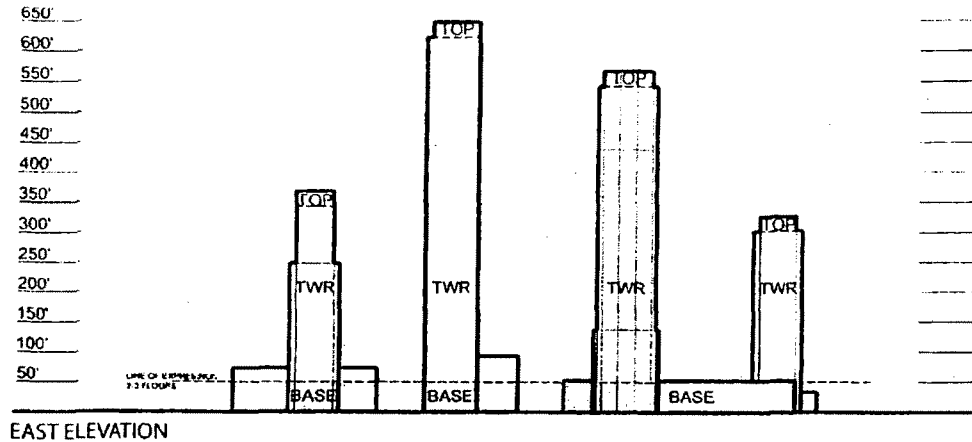


EAST ELEVATION



WEST ELEVATION

Subarea D -- Building Materials.

**Building Materials**

The selection of appropriate building materials should be made with a concern for the existing context.

Highly reflective glass is discouraged. If all glass walls are used, high quality, low-e or clear/lightly tinted glass should be used.

Two categories of building material quality, Category 1 and Category 2, have been identified in the Master Plan.

NOTE: East and west elevations will be subject to the same material guidelines.

Category 1

- Natural Stone
- Cast Stone
- Brick
- Architectural Precast
- Glass and Metal Walls
- Architectural Metal Panels

Category 2

- Exposed Structural Concrete with high quality construction formwork
- Exterior Plaster or DEFS System
- Metal Panelized Exterior Cladding System
- Exposed Steel
- Synthetic Wood Siding

Generally, Category 1 materials should be used for signature buildings at the perimeter of the site and Category 2 materials may be used for buildings on the interior and service areas of the site. Unique materials and colors are encouraged along the ground level, at building entrances and on the rooftops. Whether Category 1 or Category 2 materials are used, a high quality level of finishes and details is important.

Building Base

Category 1 materials should be used on the building bases and low-rise structures. Clear or lightly tinted glass is preferred. Retail storefronts may include ornamental metals.

Building Tower

The portion of the building above the base may use Category 2 materials that are compatible with the material used for the base and also be complementary with neighboring buildings. Ornamental metals may be used for building accents.

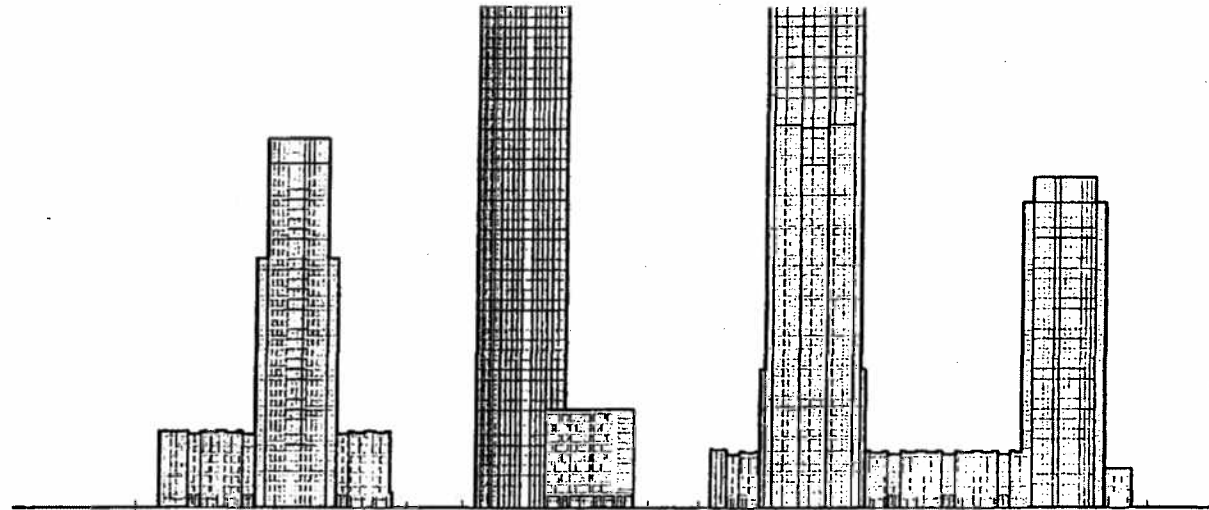
Building Top

The materials used for the building tops should be of high quality and present a distinctive image for the building.

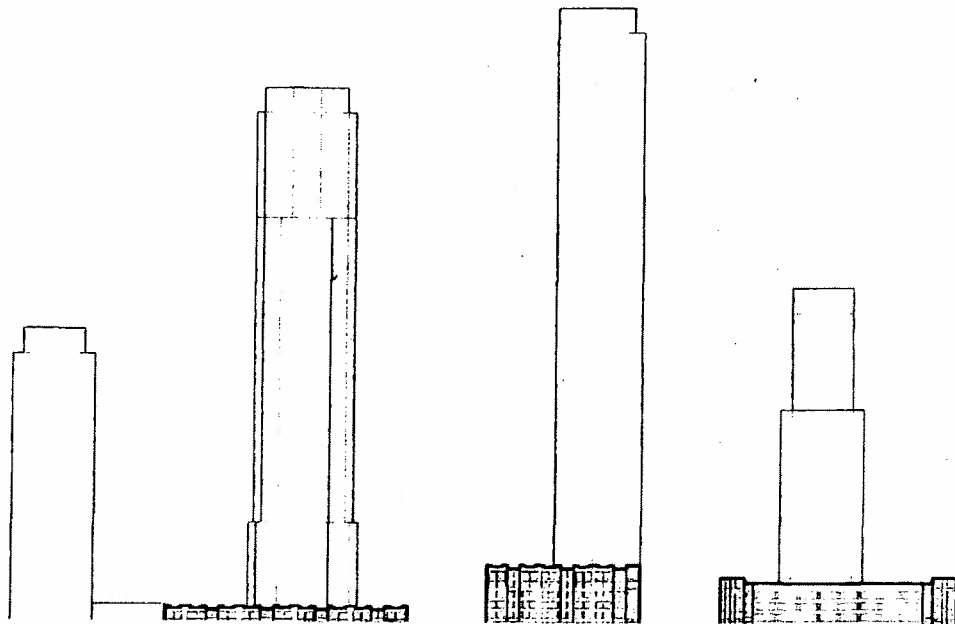
Material Color

A variety of color and materials are encouraged as a means to enhance the appearance of separate multiple adjacent buildings as opposed to a single mass. Stone, brick and concrete may range in color. Glass colors may include clear panes or slightly tinted gray, silver, green or blue.

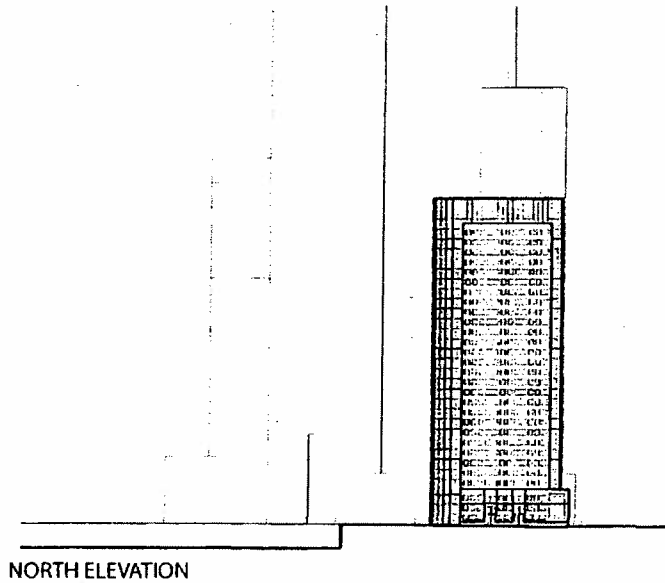
Subarea D -- Facade Concepts.
(Page 1 of 2)



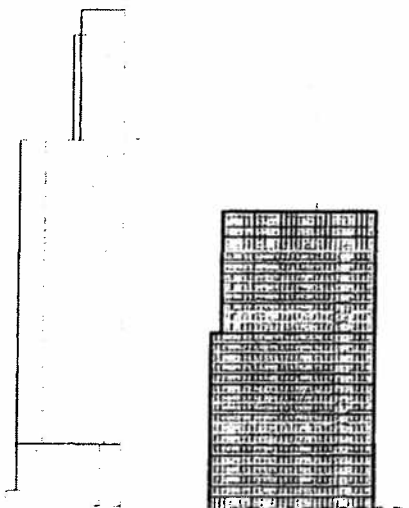
EAST ELEVATION



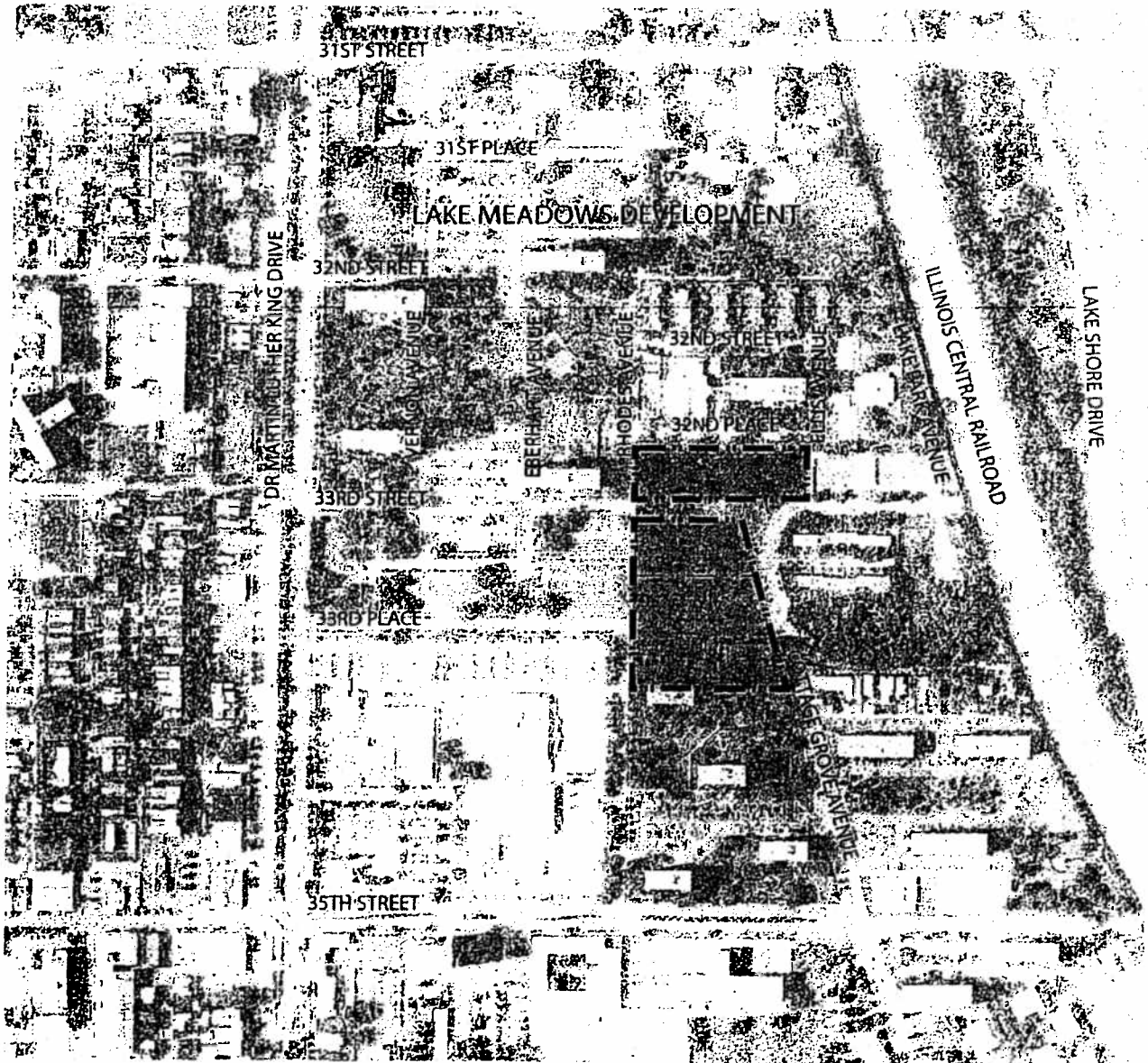
Subarea D -- Facade Concepts.
(Page 2 of 2)



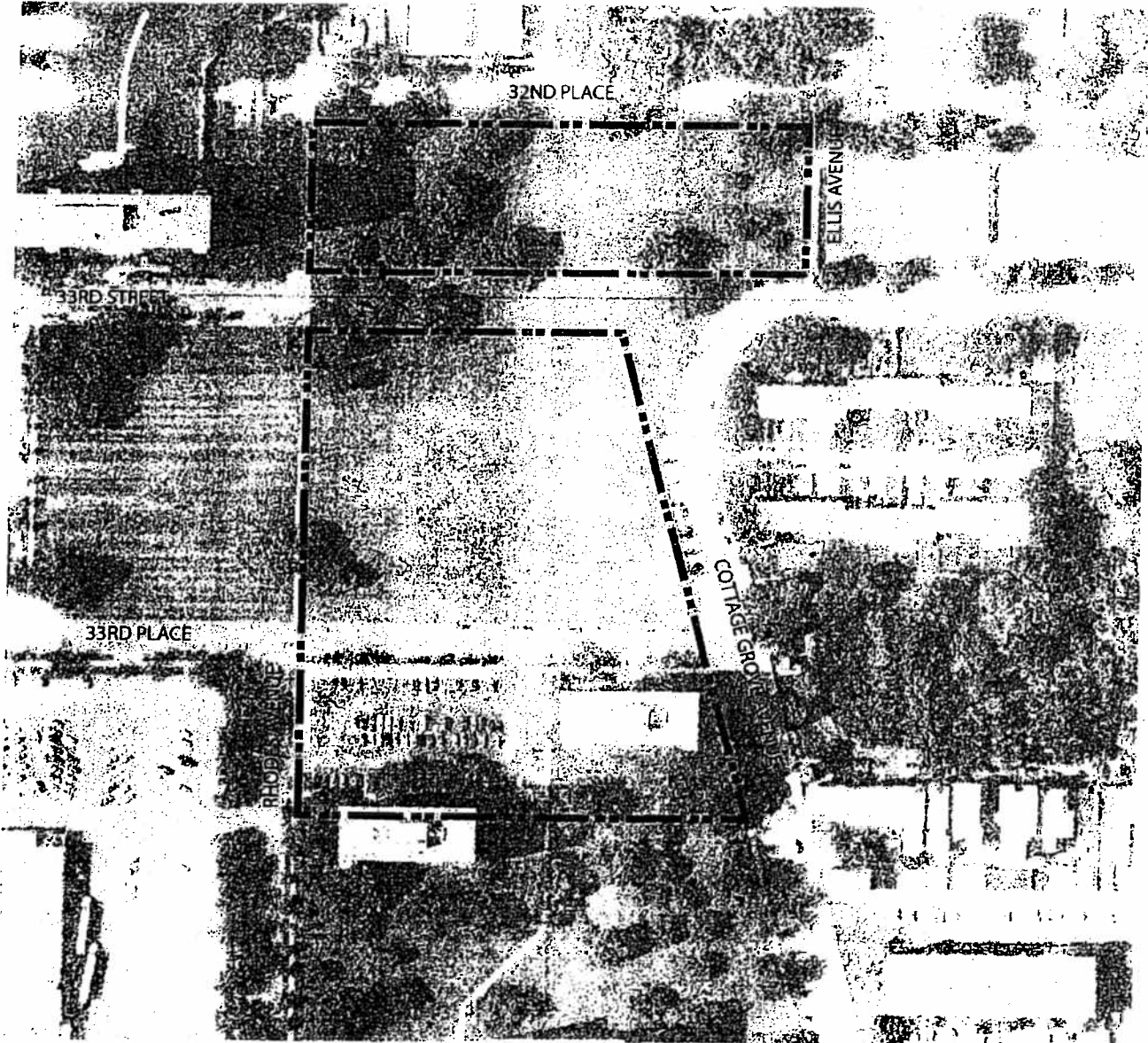
NORTH ELEVATION



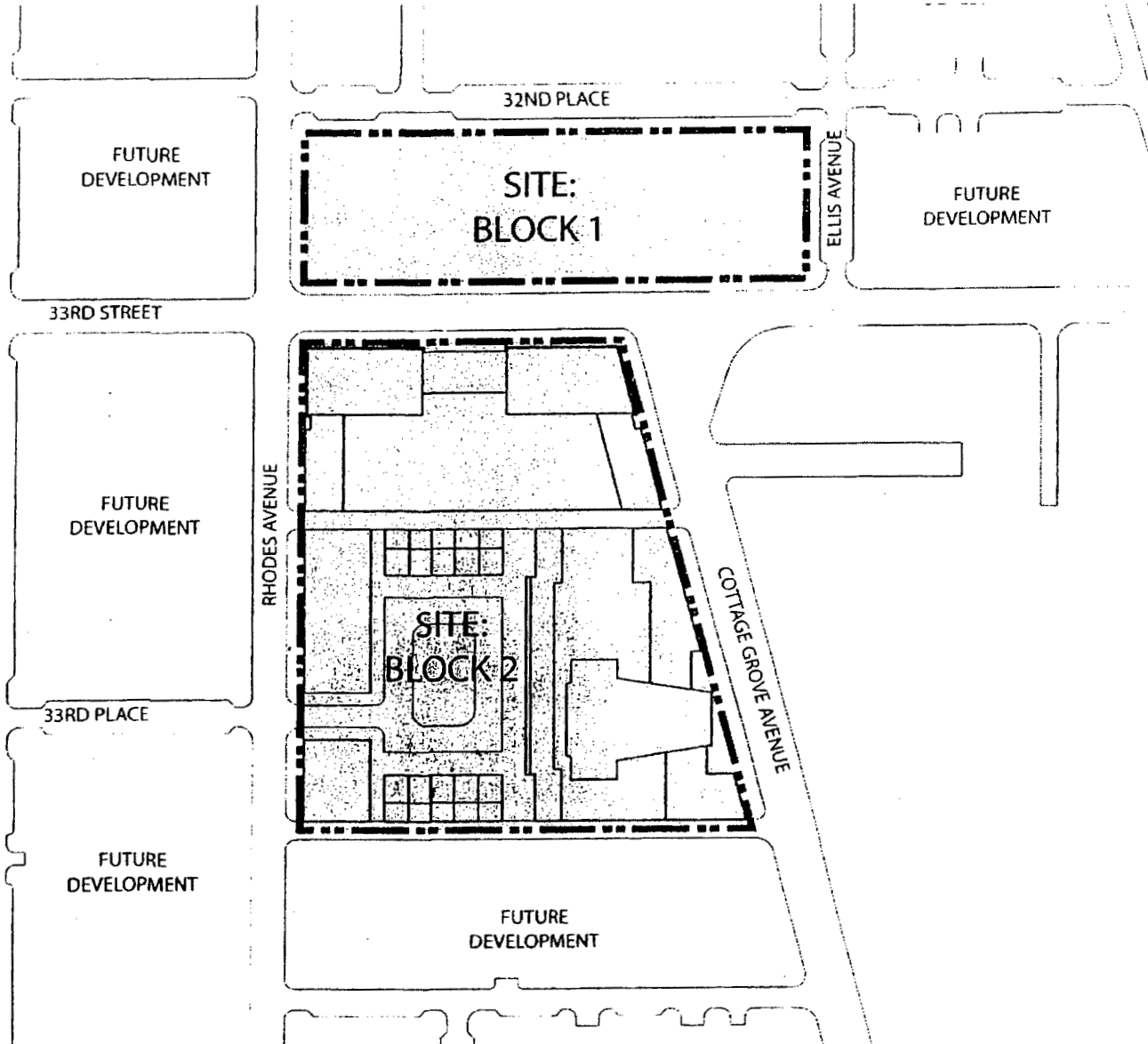
Subarea E -- Surrounding Area Context.



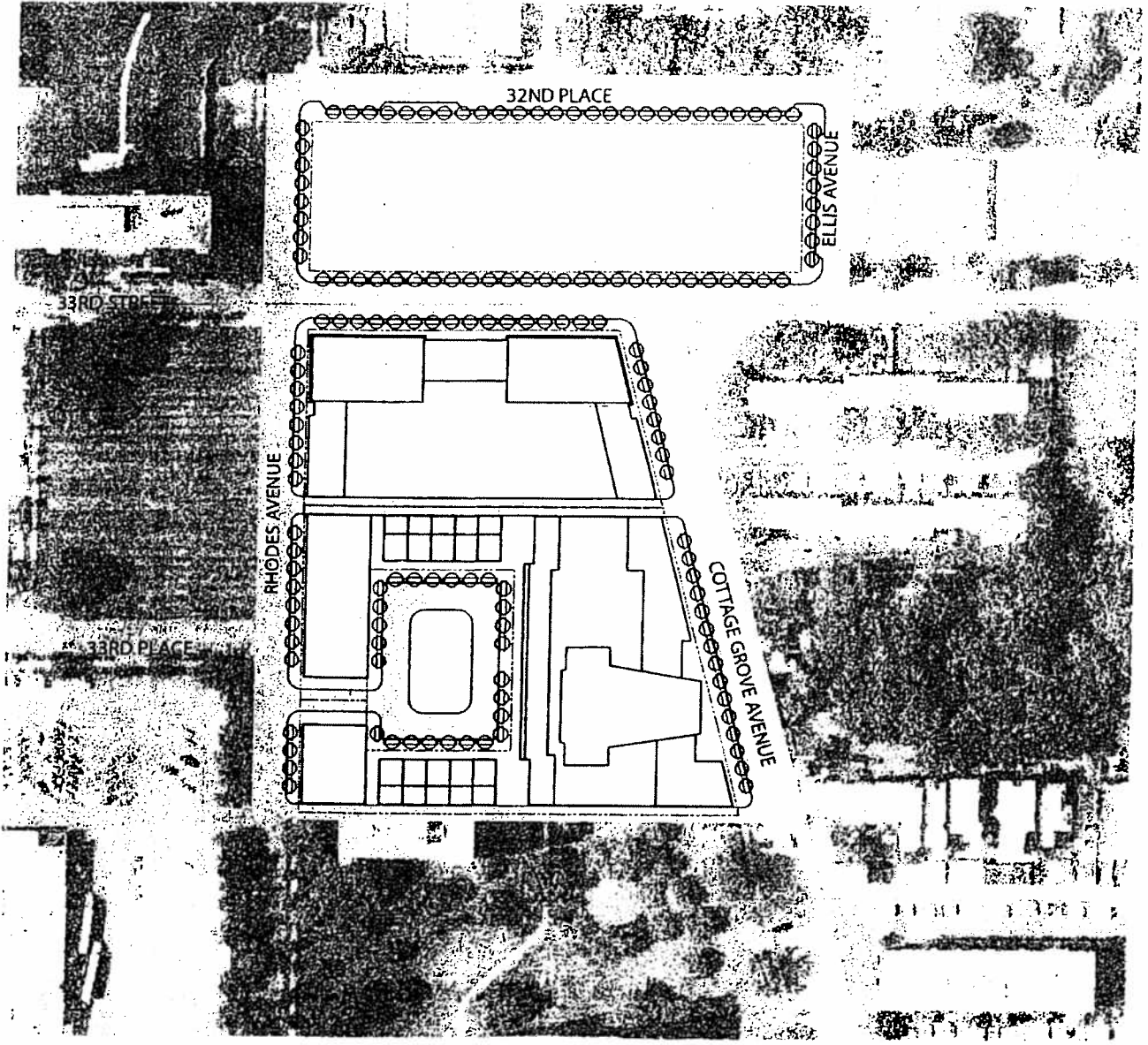
Subarea E – Existing Conditions/Site Location.



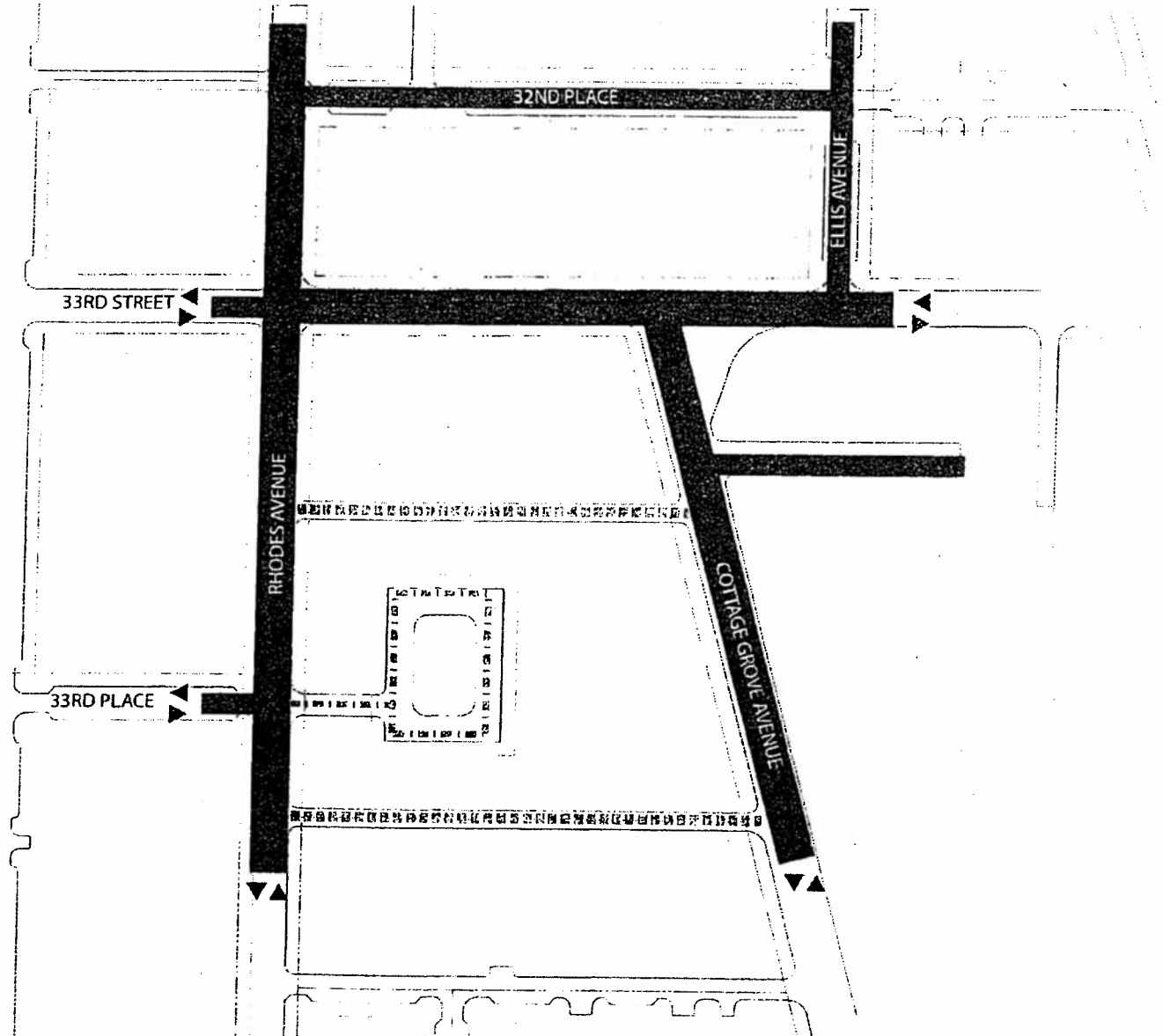
Subarea E -- Future Development Context.



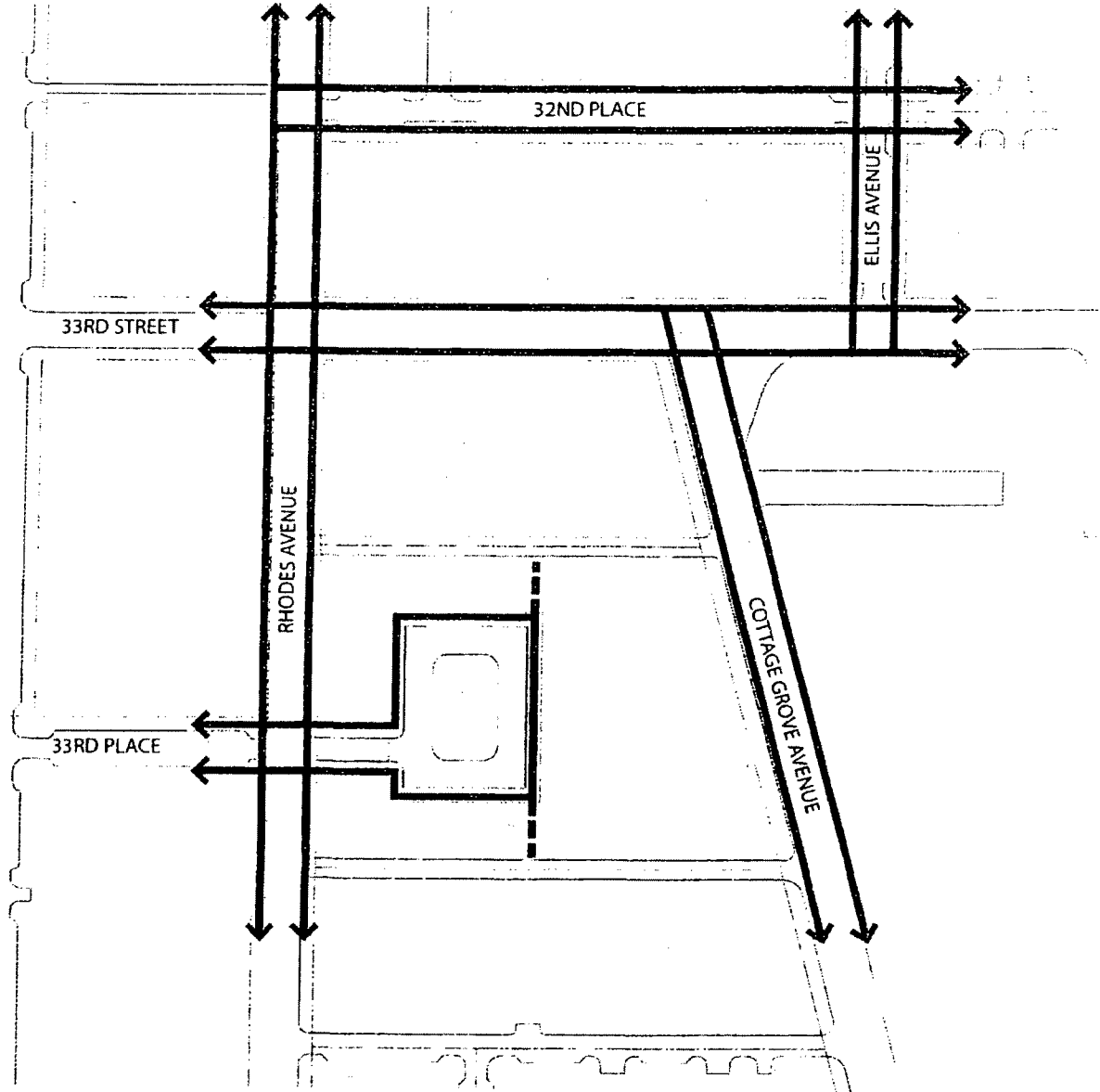
Subarea E -- Existing Development Context.



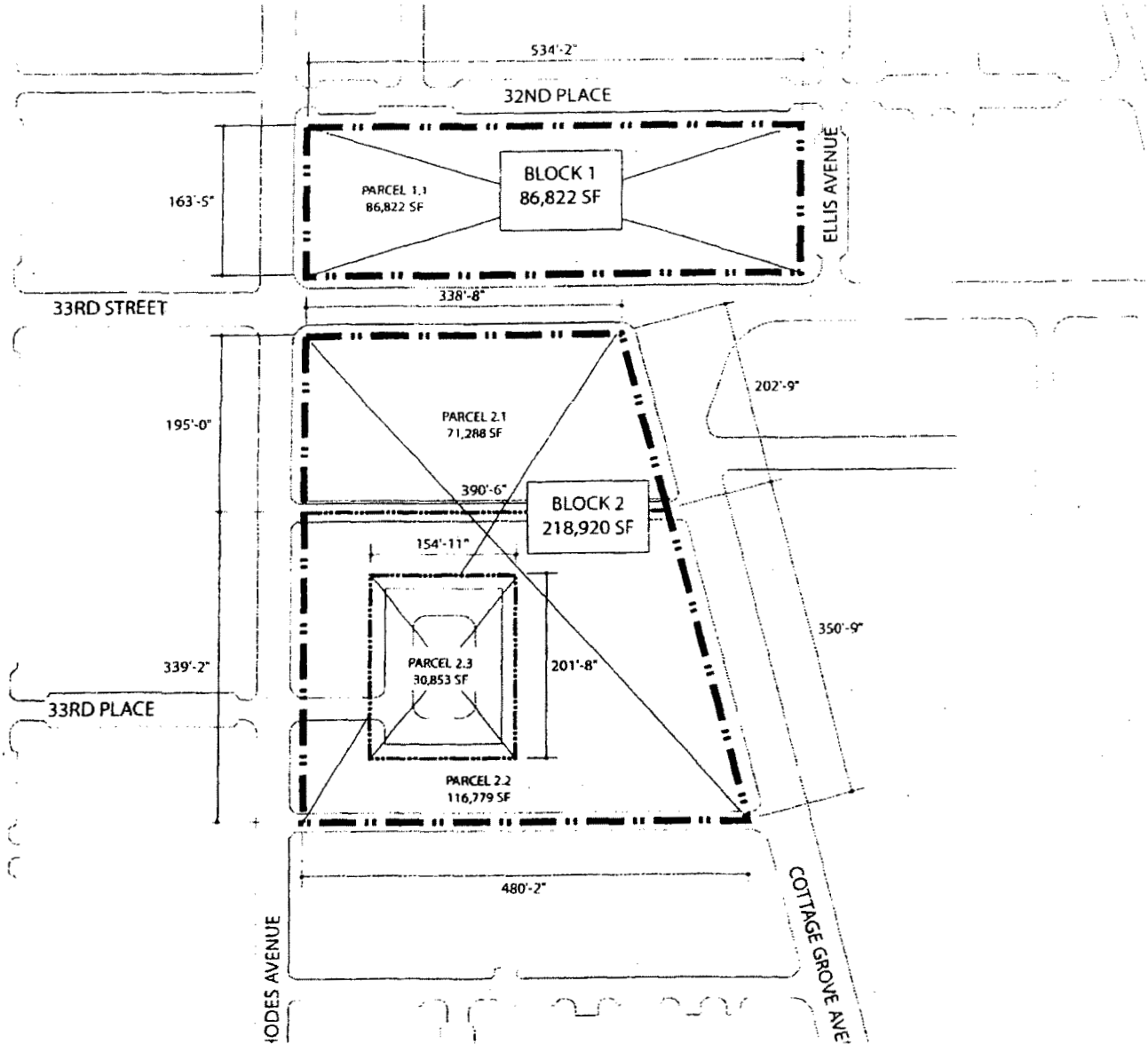
Subarea E -- Public And Private Roadways.



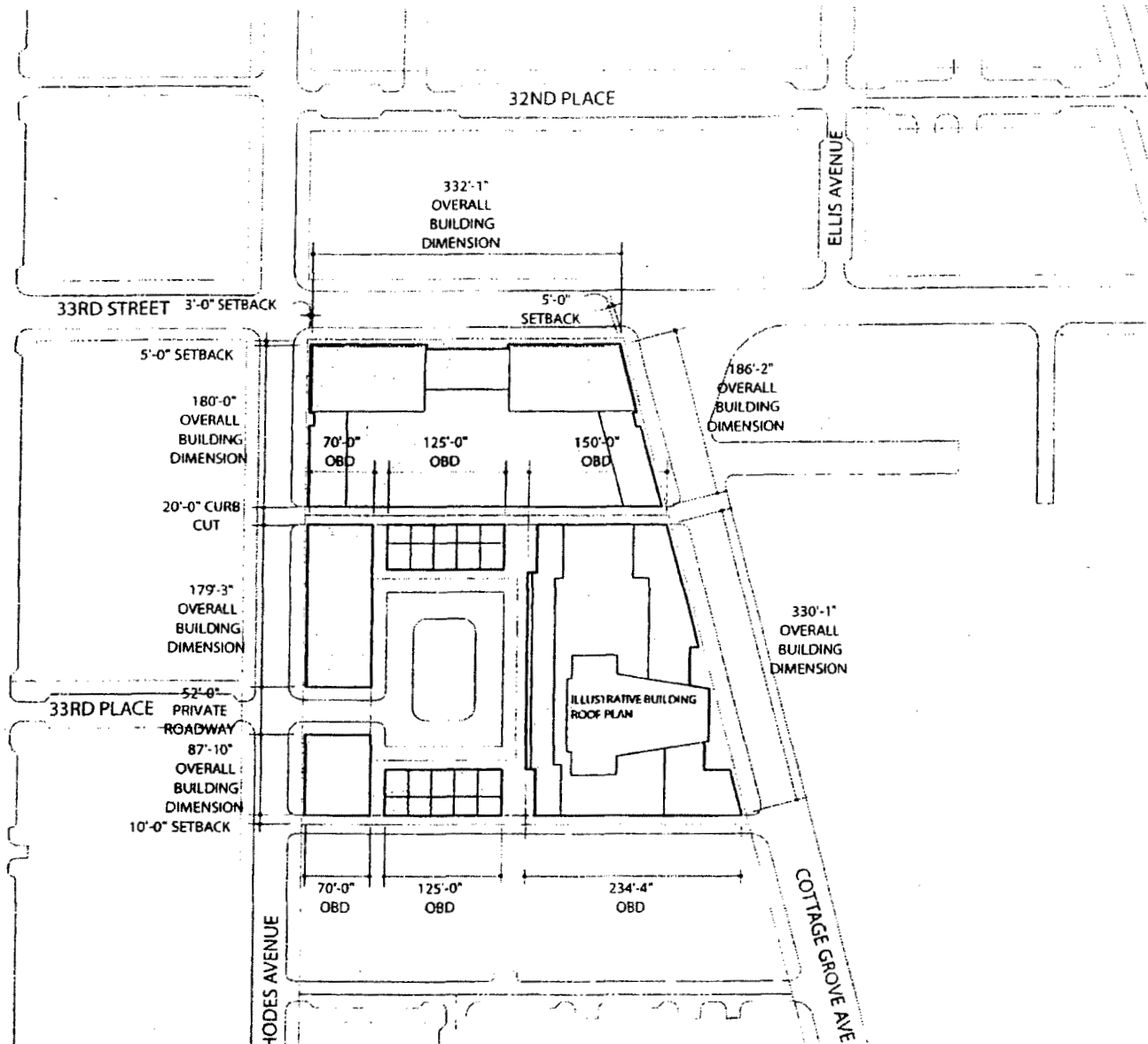
Subarea E -- Pedestrian Circulation.



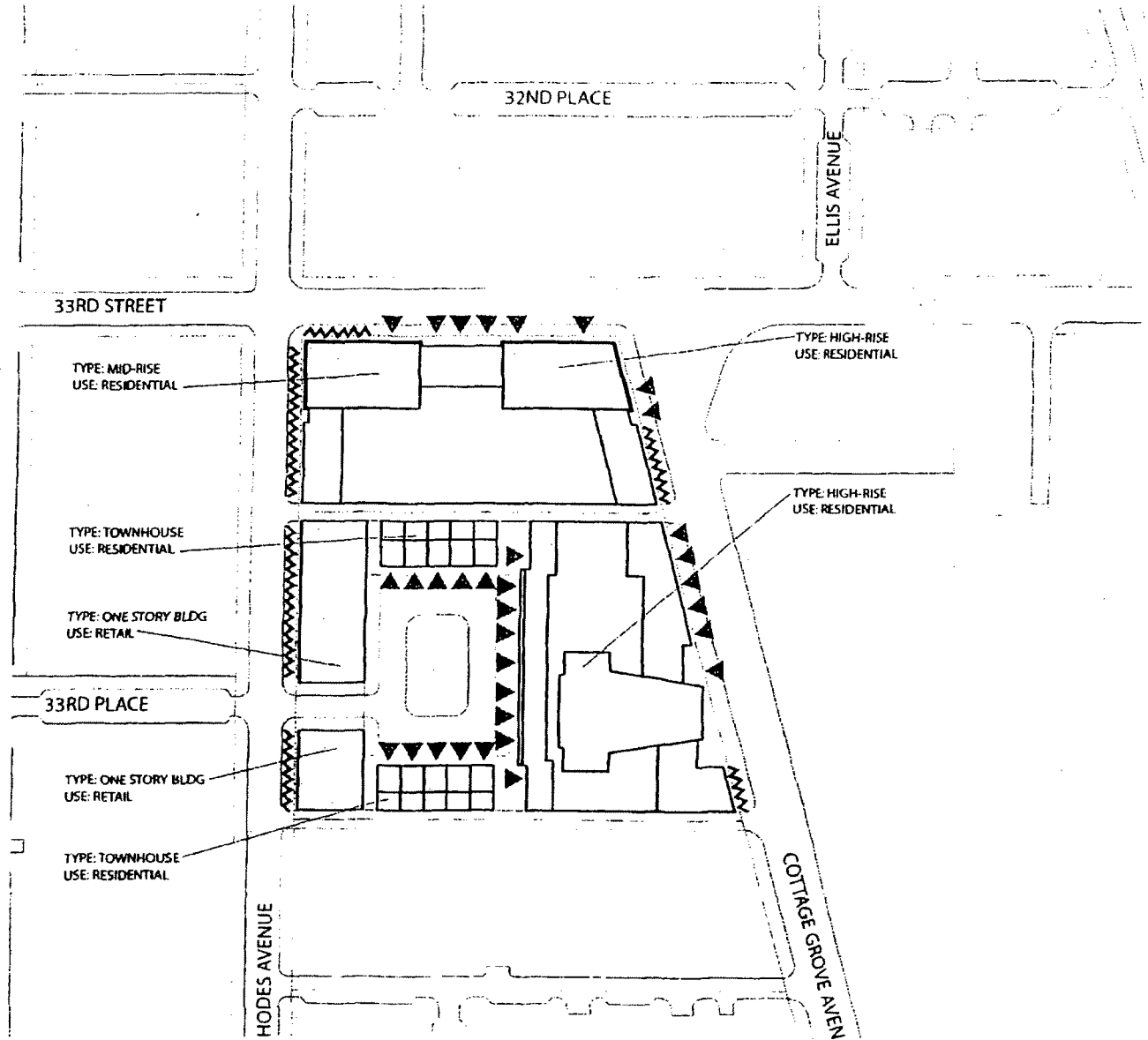
Subarea E -- Development Parcels And Blocks.



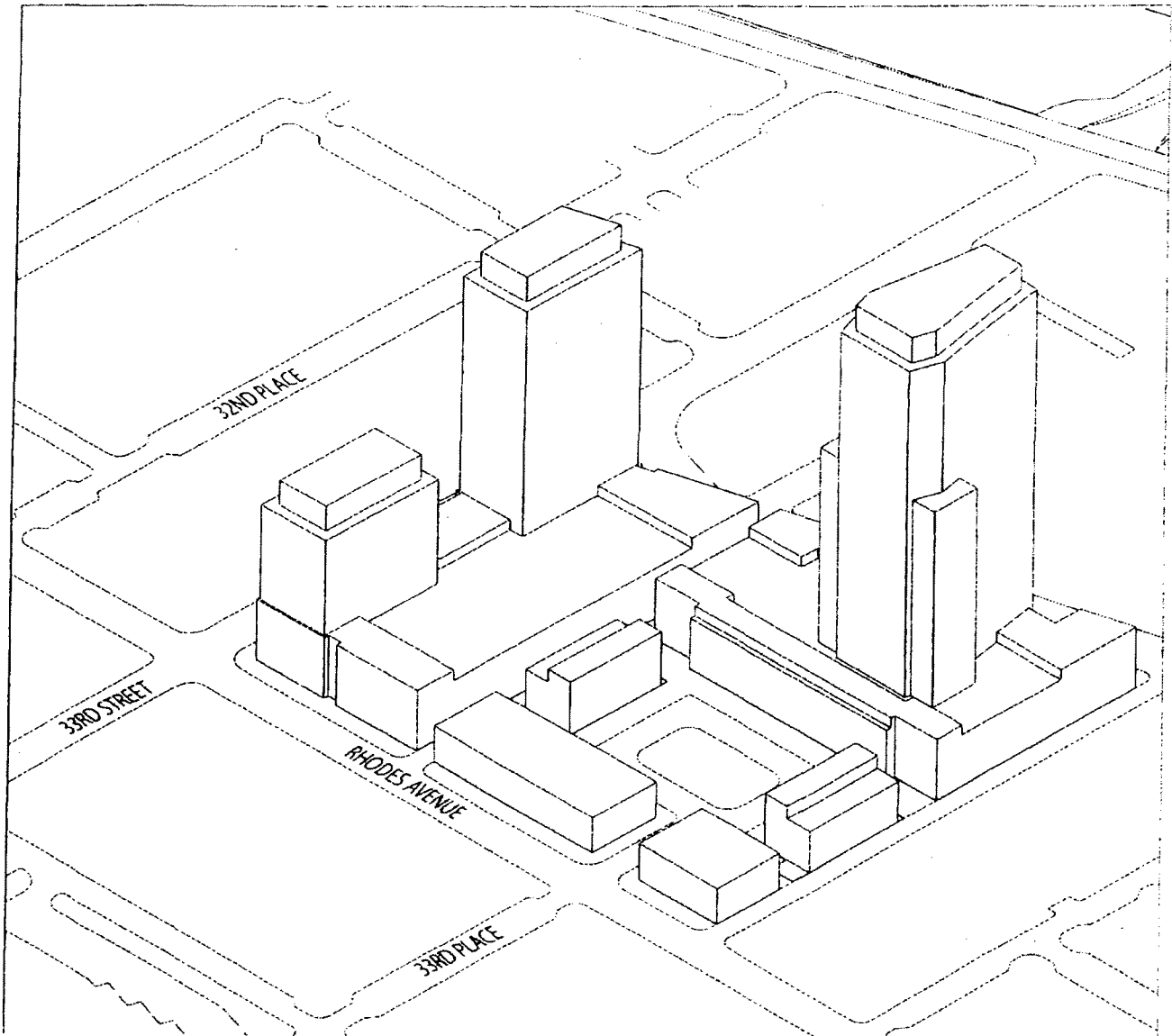
Subarea E -- Overall Building, Setback And Curb Cut Dimensions.



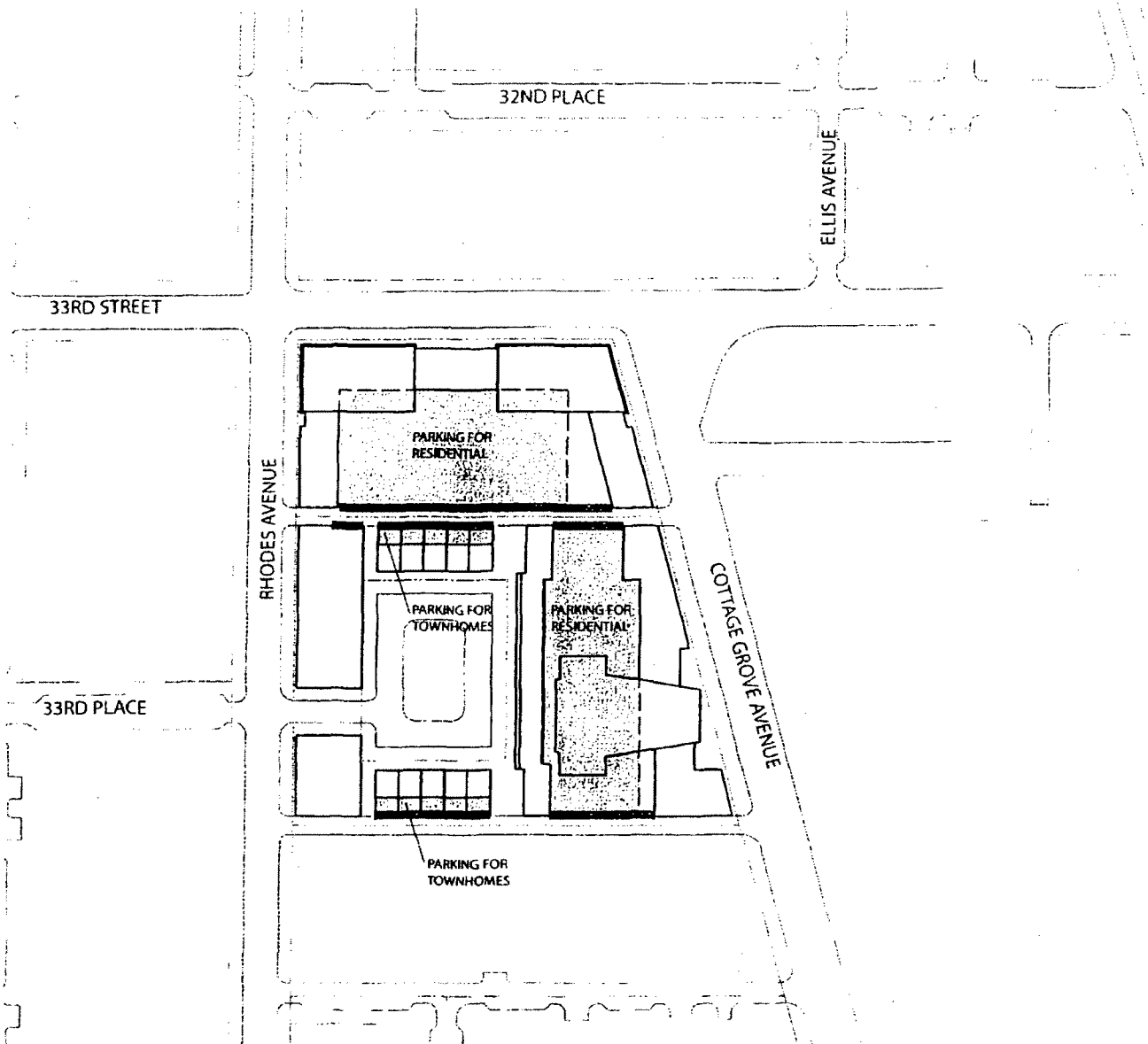
Subarea E -- Buildings.



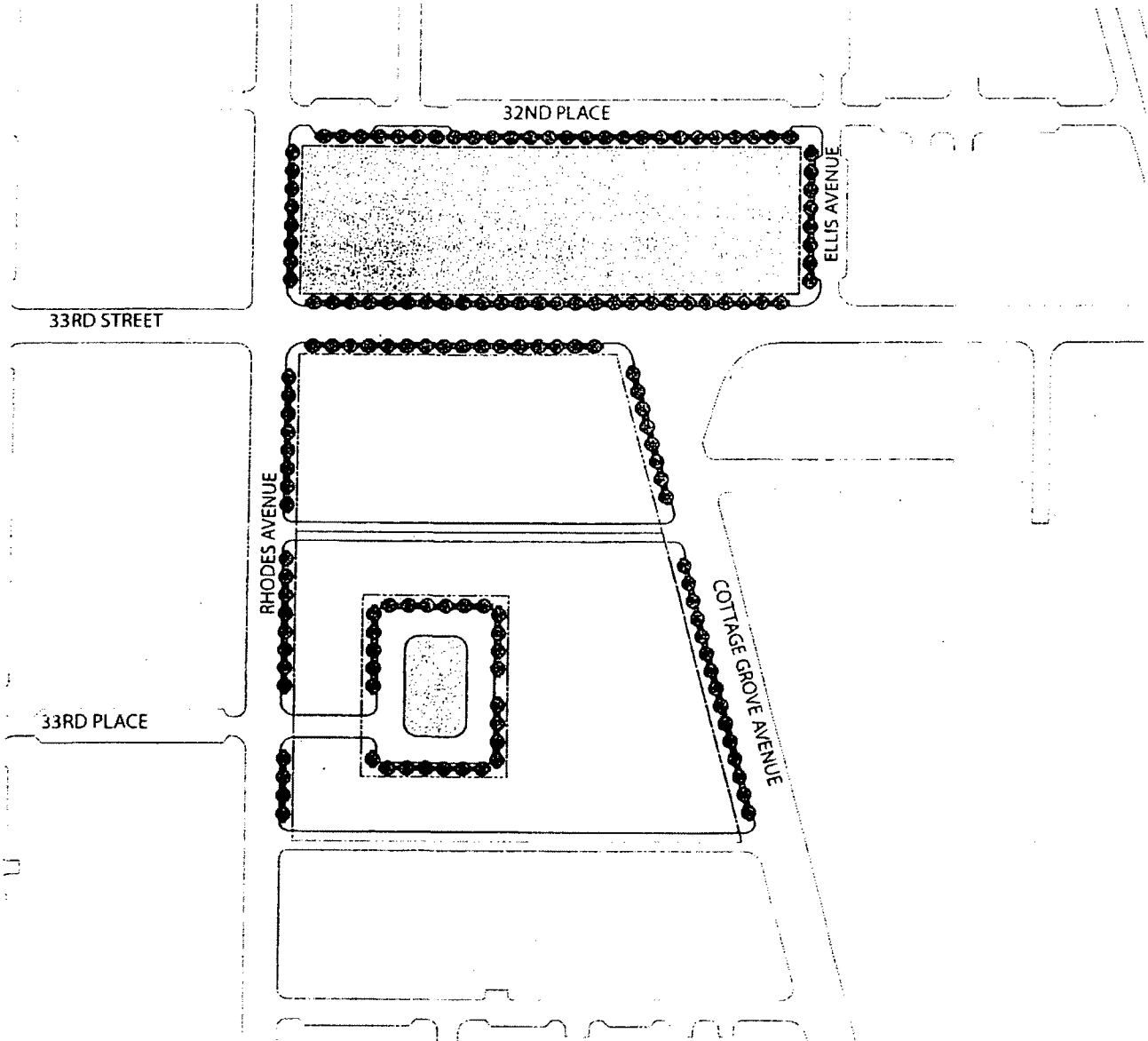
Subarea E -- Illustrative Massing Diagram.



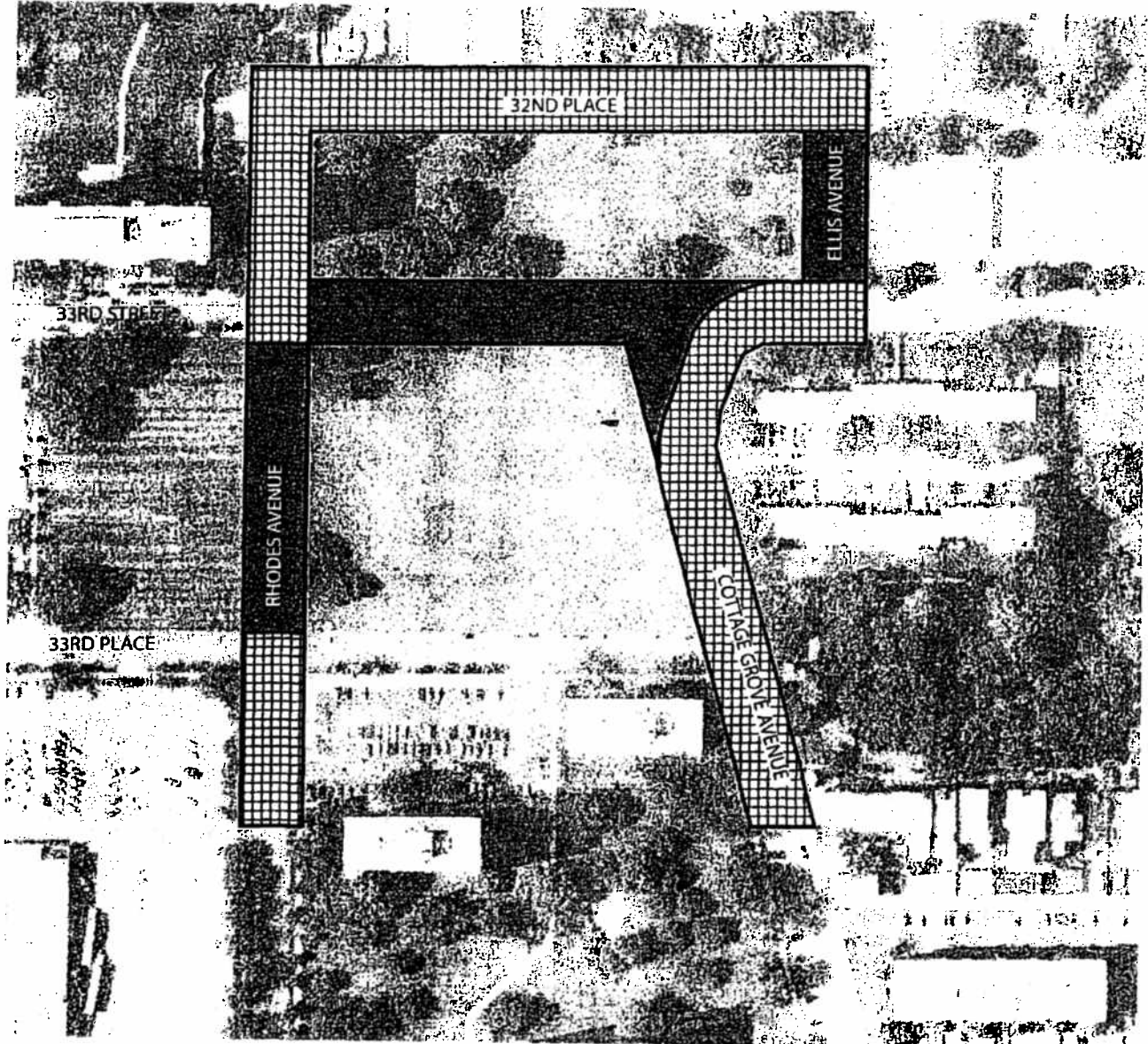
Subarea E -- Parking And Loading.



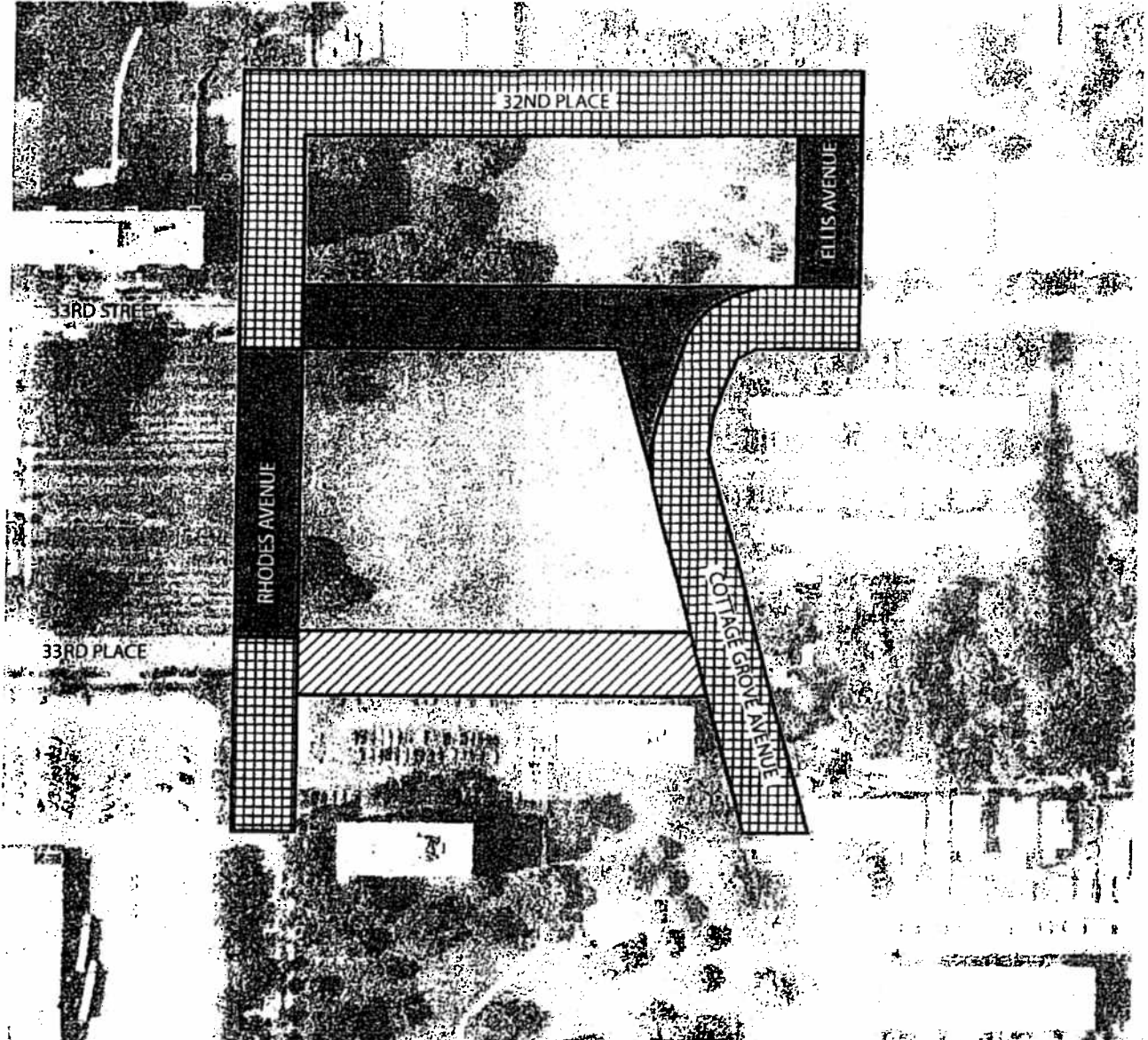
Subarea E -- Open Space And Landscaping.



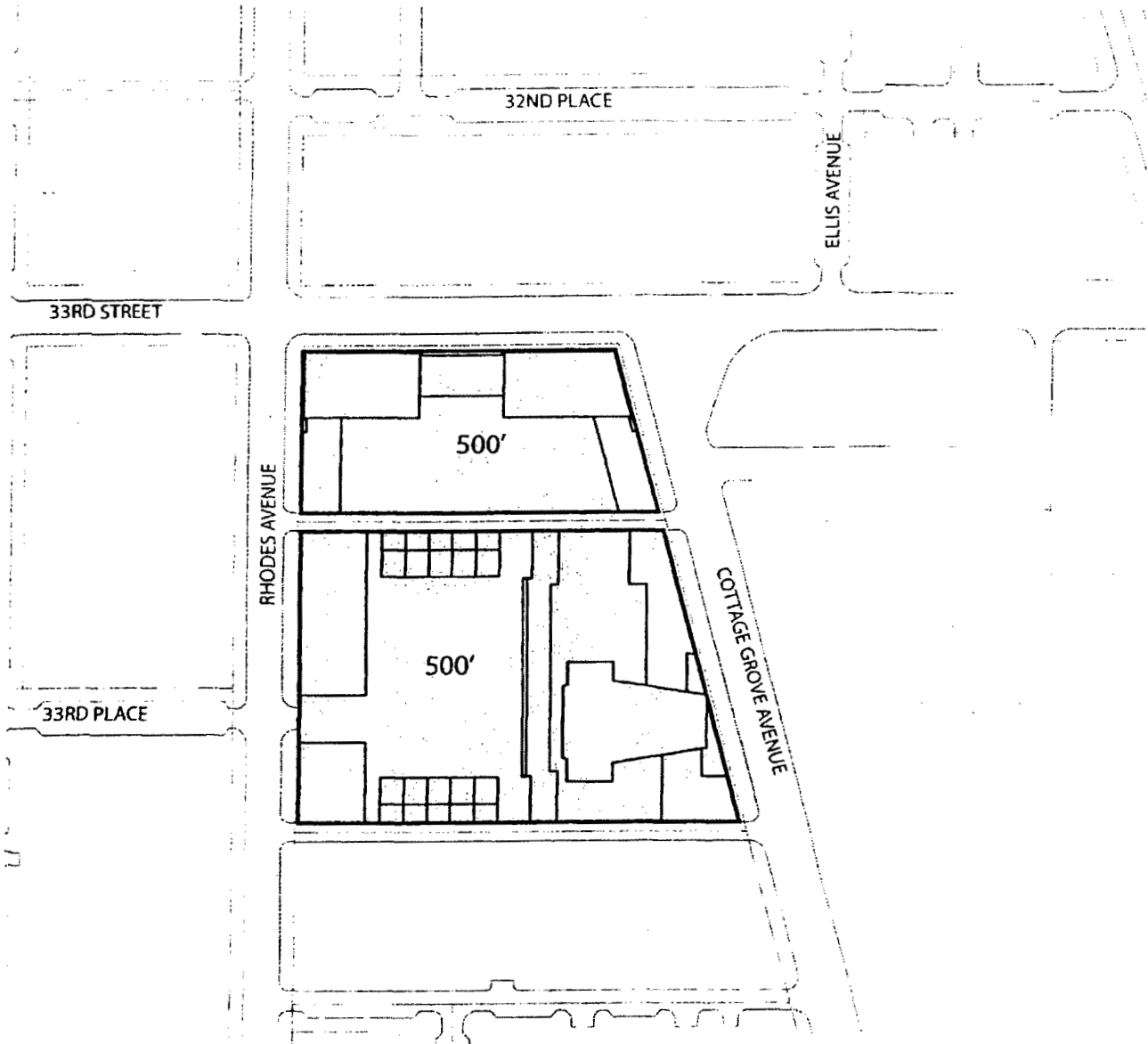
Subarea E -- Traffic Improvements.



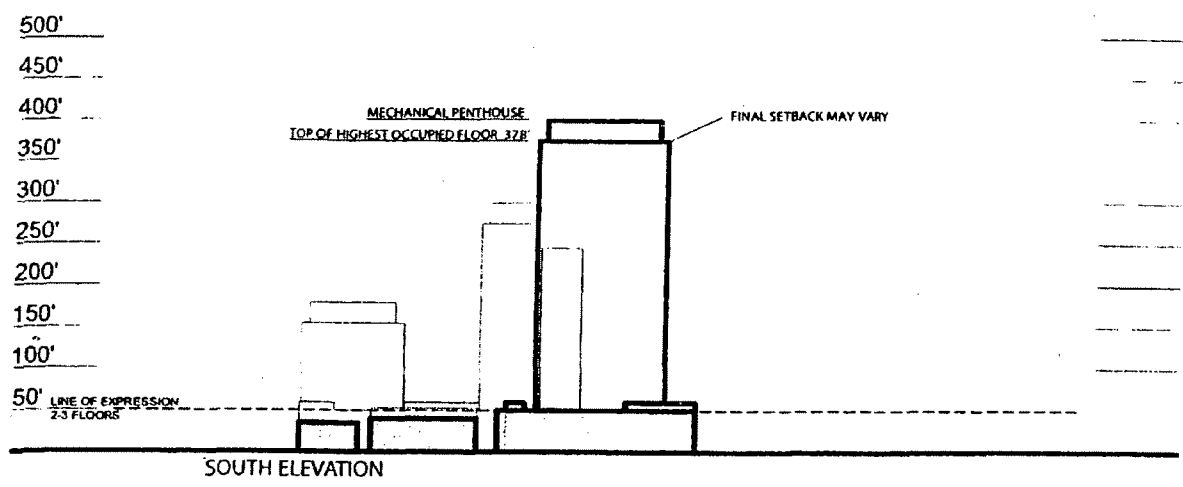
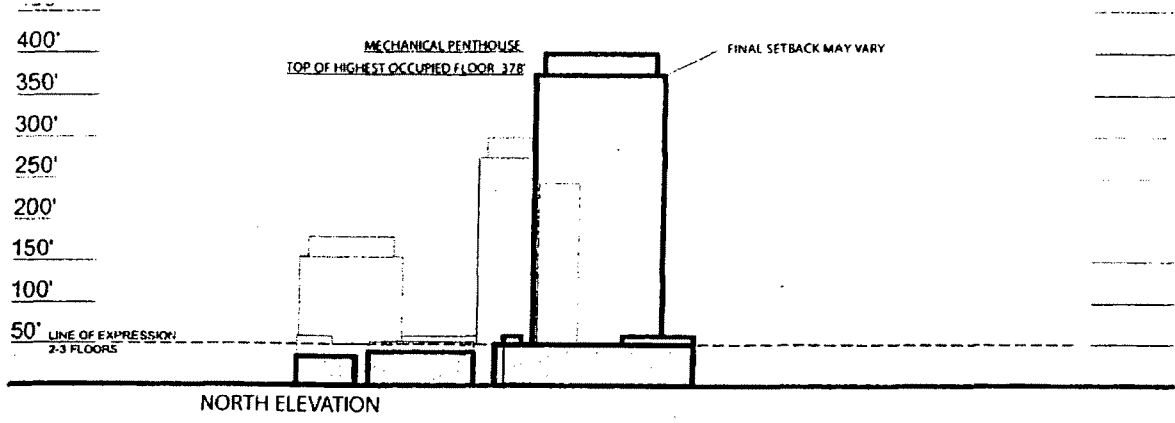
Subarea E -- Vacations And Dedications.



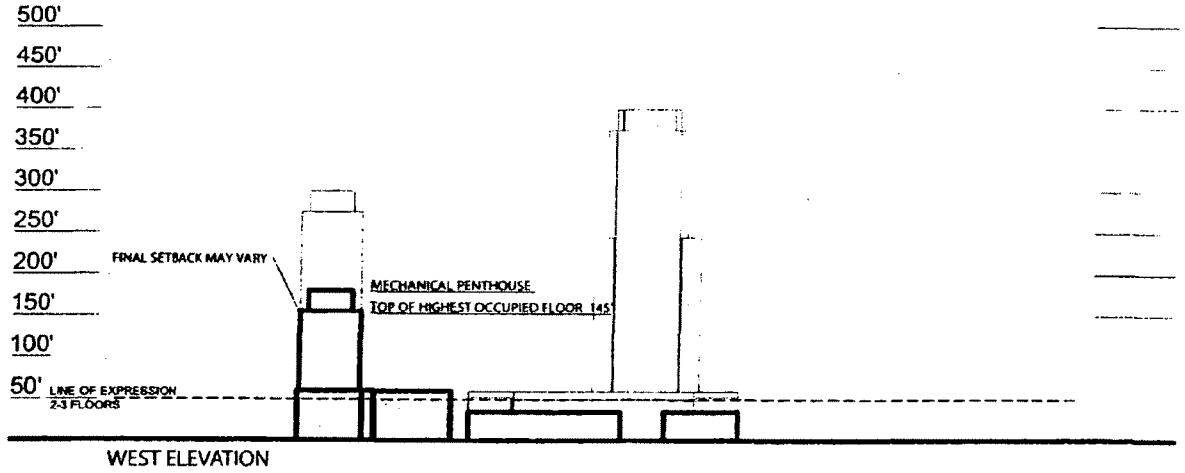
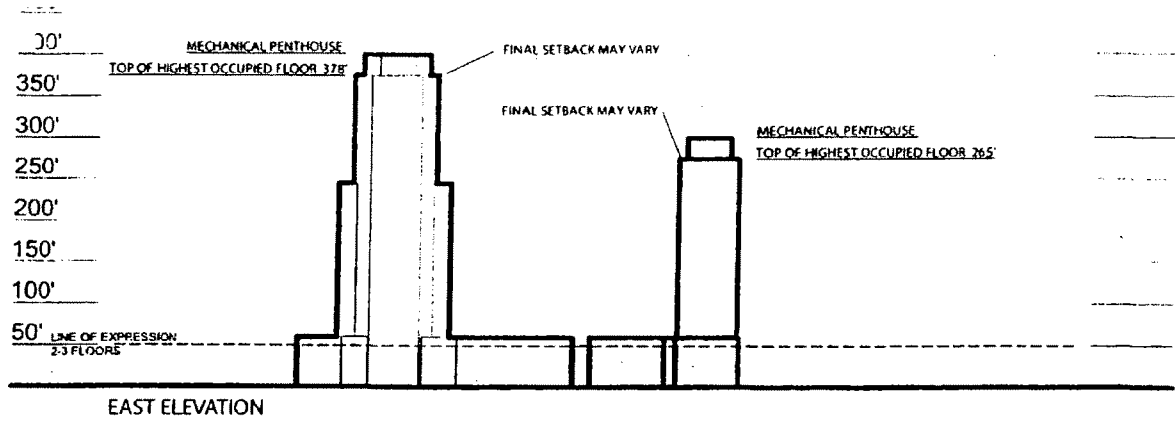
Subarea E -- Maximum Building Envelope And Height.



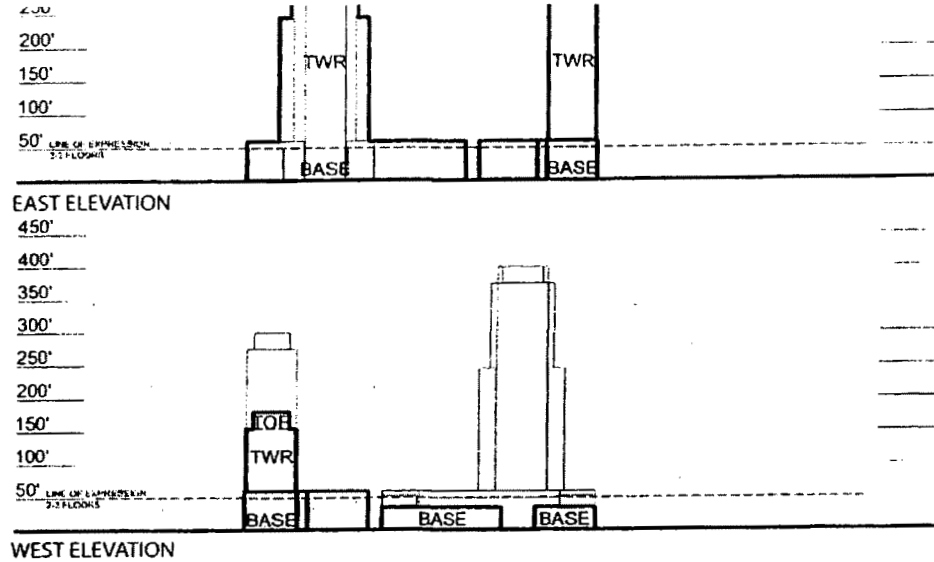
Subarea E.
North And South Illustrative Elevations.



Subarea E.
East And West Illustrative Elevations.



Subarea E.
Building Materials.

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Building Top

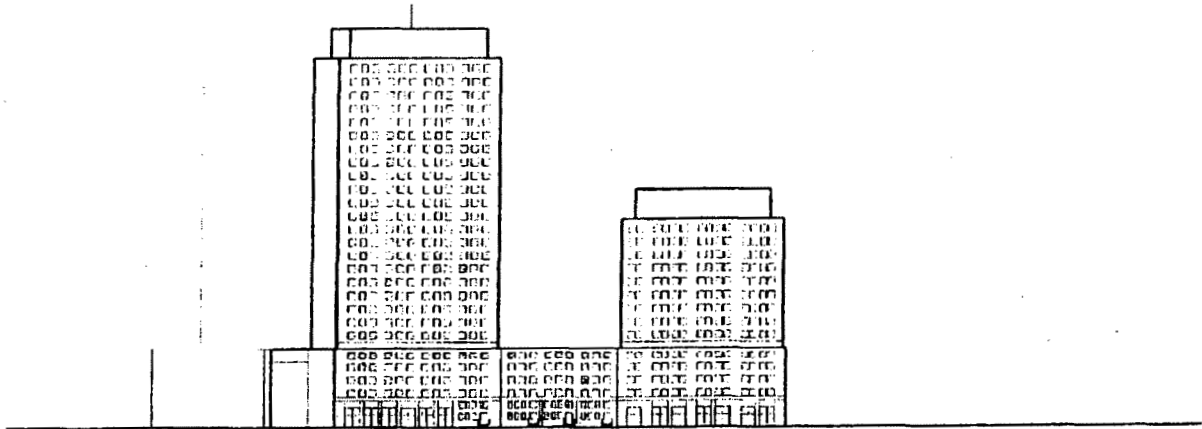
The materials used for the building tops should be of high quality and present a distinctive image for the building.

Material Color

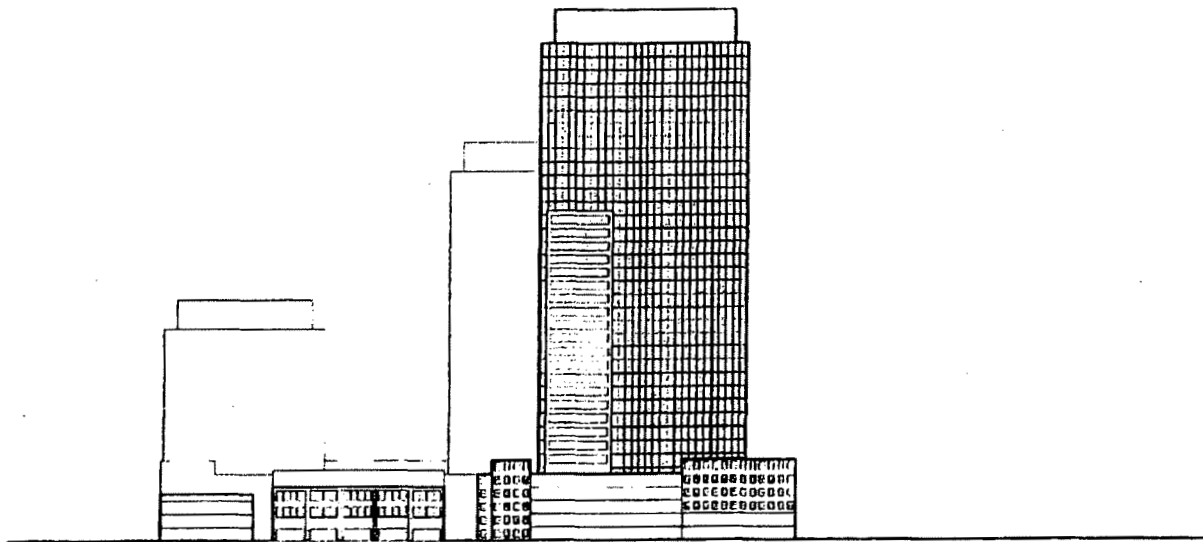
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Subarea E.
Facade Concepts.

(Page 1 of 2)



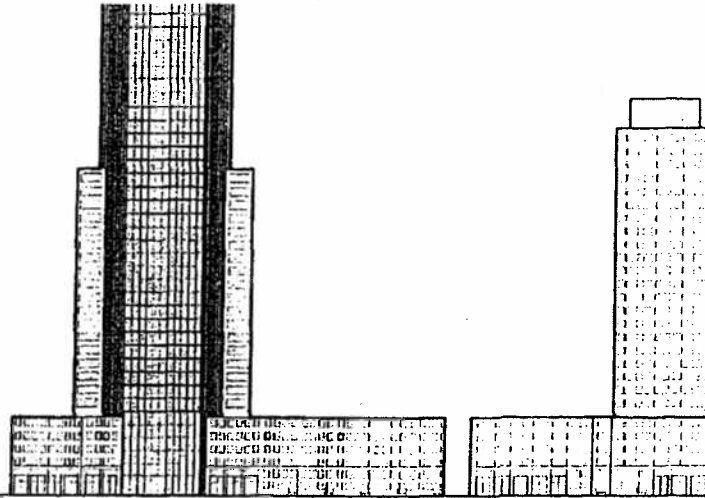
NORTH ELEVATION



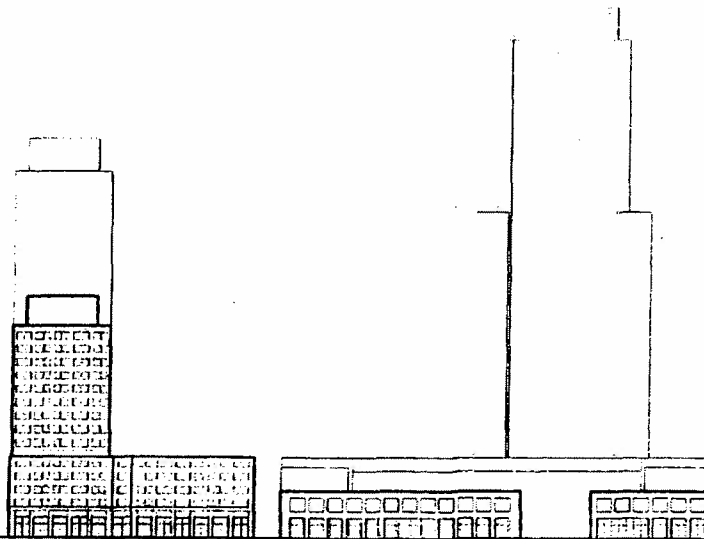
SOUTH ELEVATION

Subarea E.
Facade Concepts.

(Page 2 of 2)

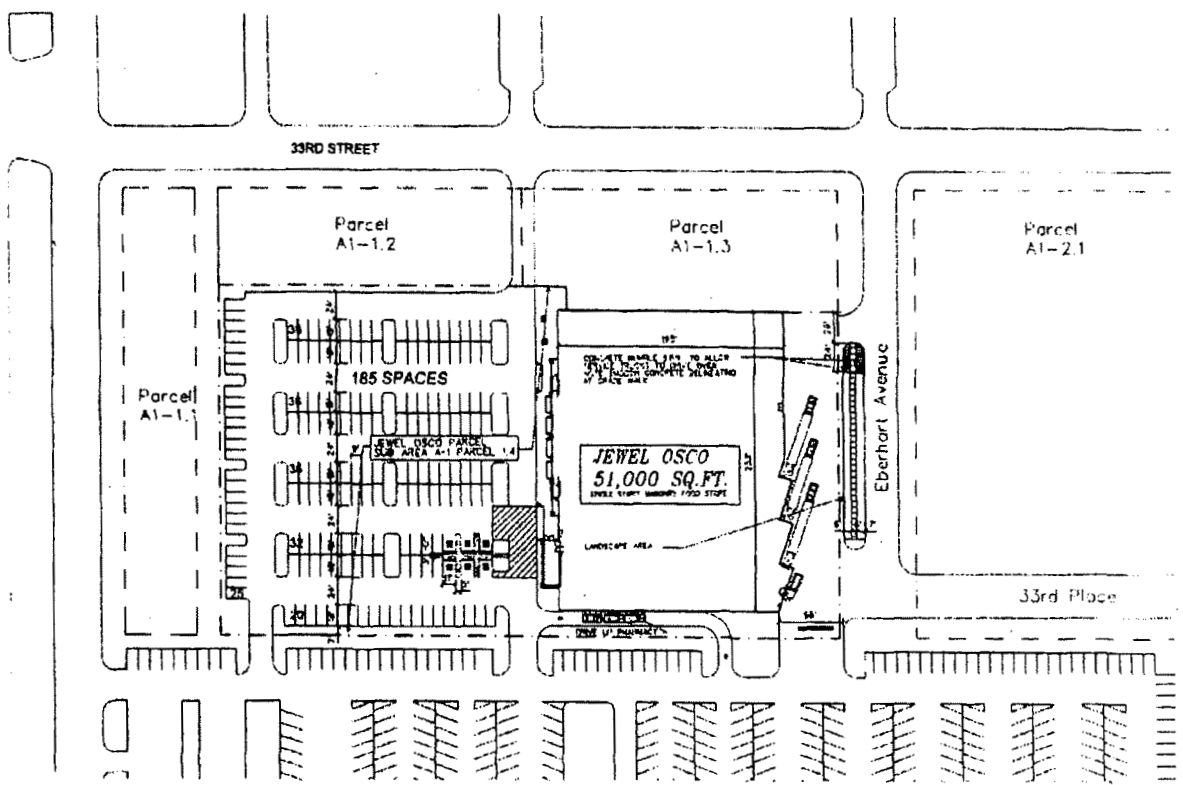


EAST ELEVATION

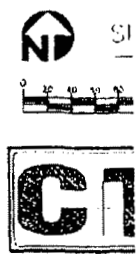


WEST ELEVATION

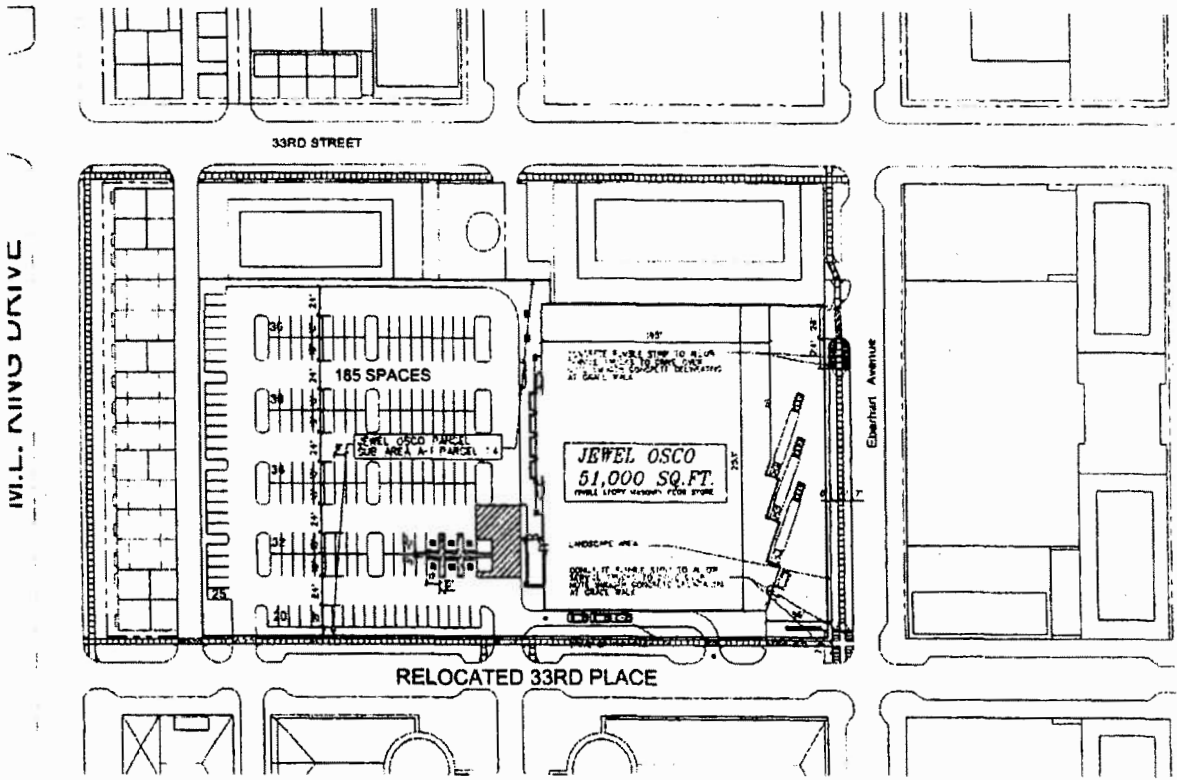
Site Plan -- Interim



SITE DATA	
JEWEL OSCO MARCEL SW/4 AREA A-1; PARCEL 14	
SITE AREA	2.48 ACRES
SITE BUILDING AREA	51,000 SQ. FT.
SITE PARKING	185 SPACES
PARKING RATIO 3.6	
SPACES PER 1000 SQ. FT.	
LOADING BERMS 3 PROVIDED	
HANDICAP PARKING SPACES	4 SPACES
REQUIREMENT BY CITY OF CHICAGO	
FAR IS 51,000 SQ. FT. (MAXIMUM)	
DEV. IS 1,894 SQ. FT. (SITE) = 3%	

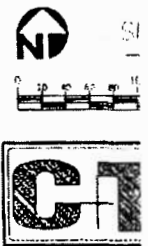


Site Plan -- Final.

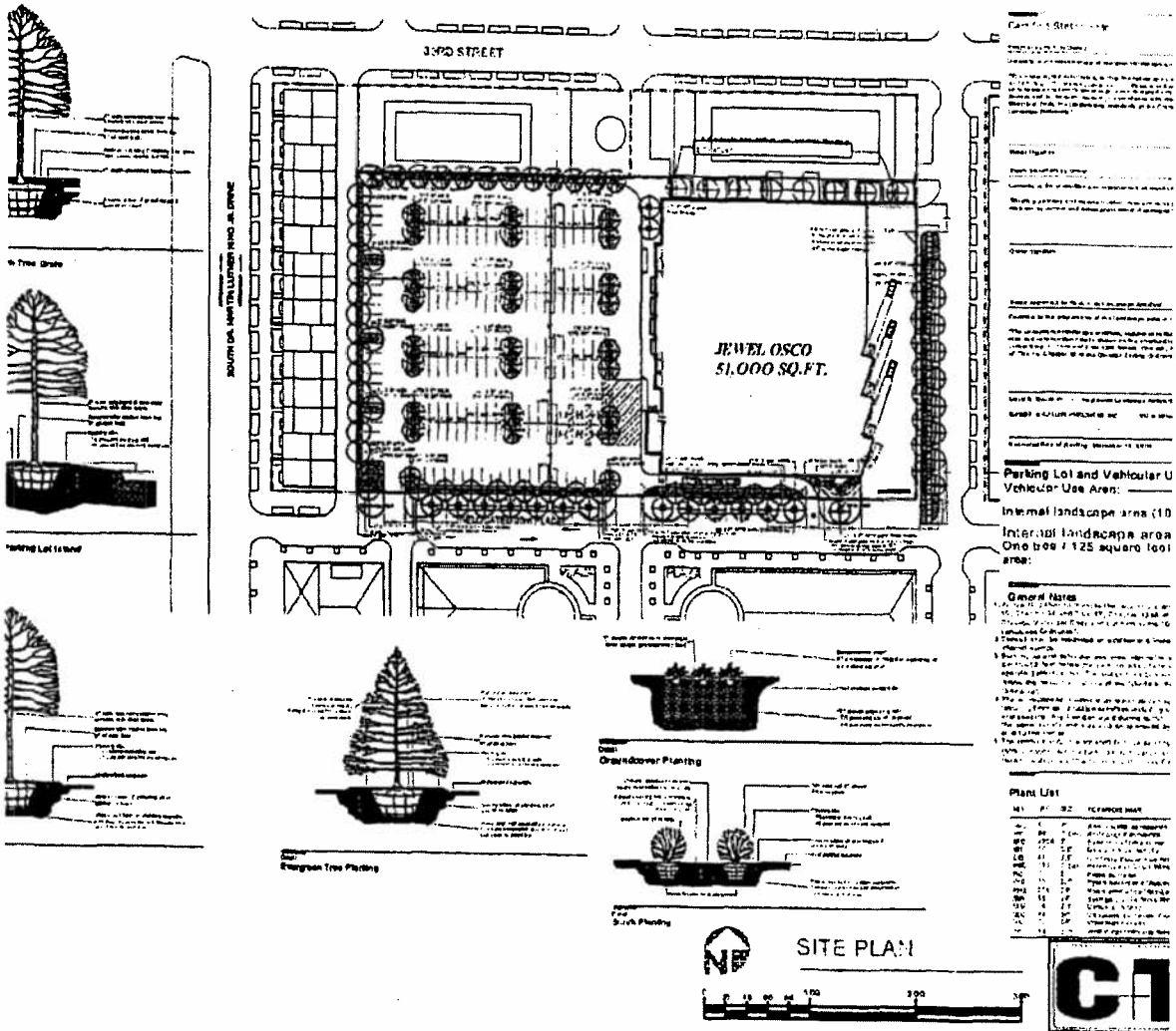


DAVID GAIN - T.M.

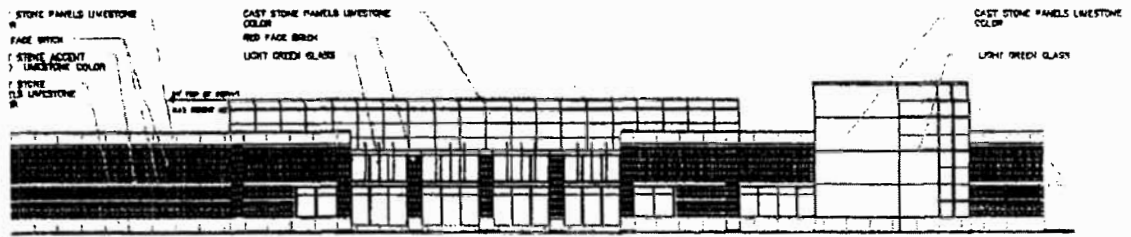
SITE DATA	
JEWEL OSCO PARCEL SUB AREA A-1 PARCEL 1A	
SITE AREA	3.45 ACRES
SITE BUILDING AREA	51,000 SQ. FT.
SITE PARKING	185 SPACES
PARKING RATIO	5.4 SPACES PER 1000 SQ. FT.
LOADING BERTHS 3 PROVIDED	
HANDICAP PARKING SPACES REQUIRED BY CITY OF CHICAGO 5 SPACES	
FAR IS 5,000 SQ. FT. (BUILDING)	
DIV. 15,000 SQ. FT. (SITE) = 34	



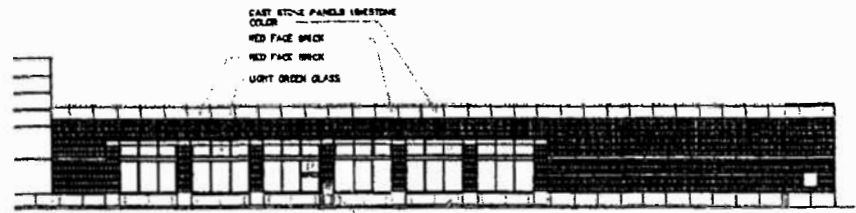
Site Plan.



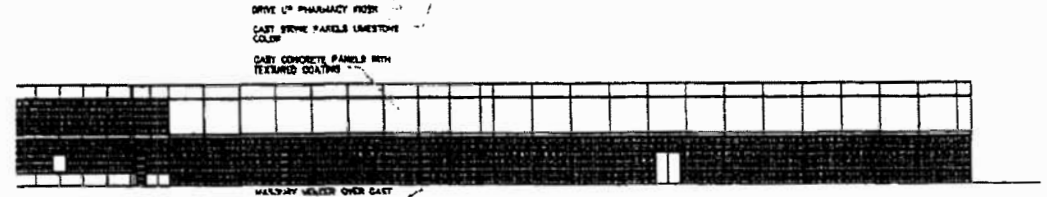
Building Elevations.



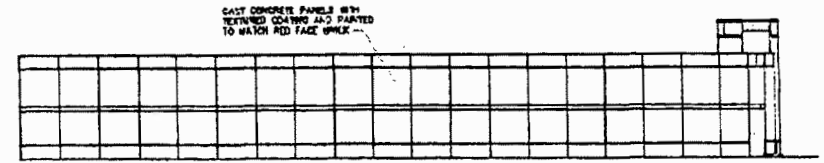
ONT ELEVATION (WEST)



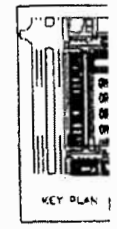
JE ELEVATION (SOUTH)



EAR ELEVATION (EAST)



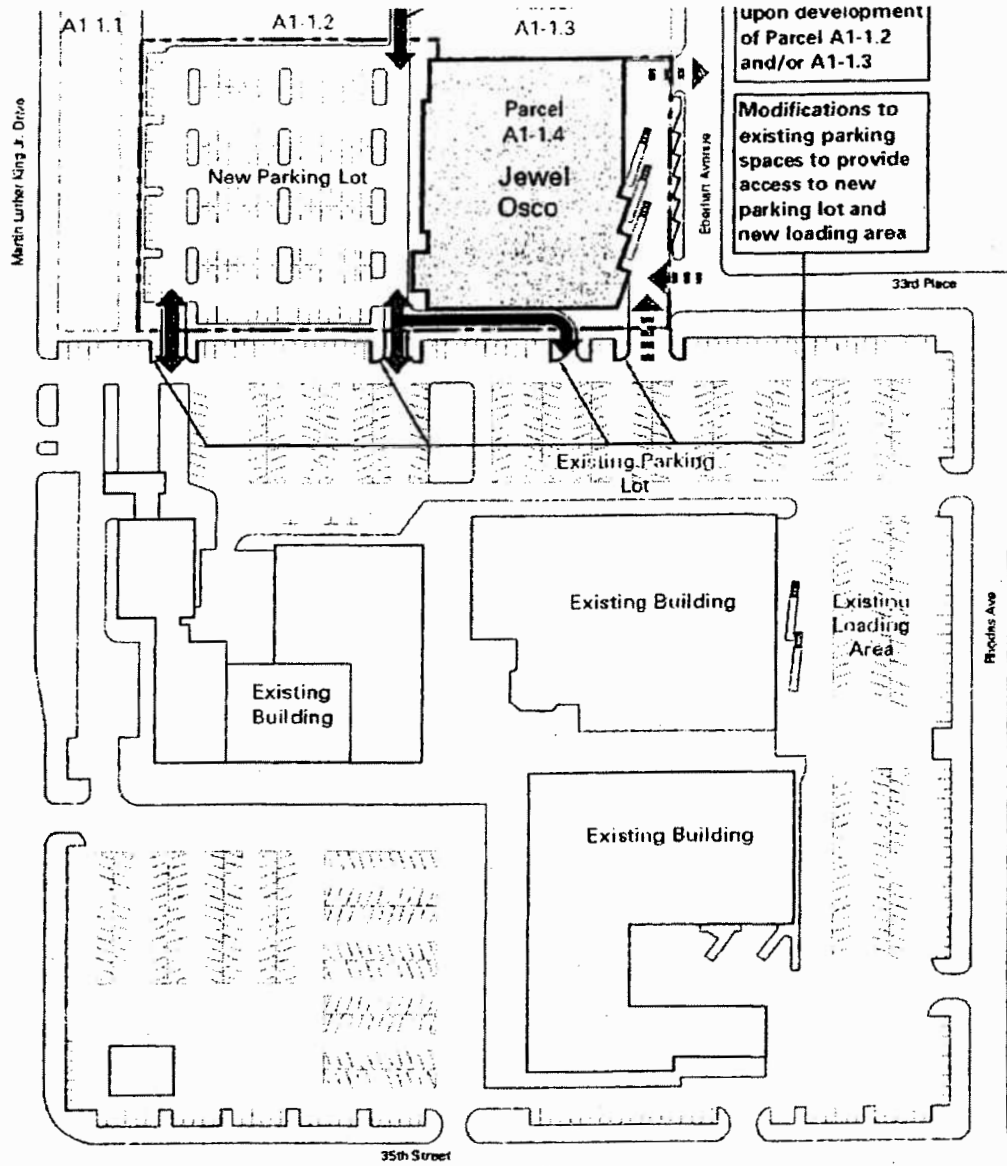
NE ELEVATION (NORTH)



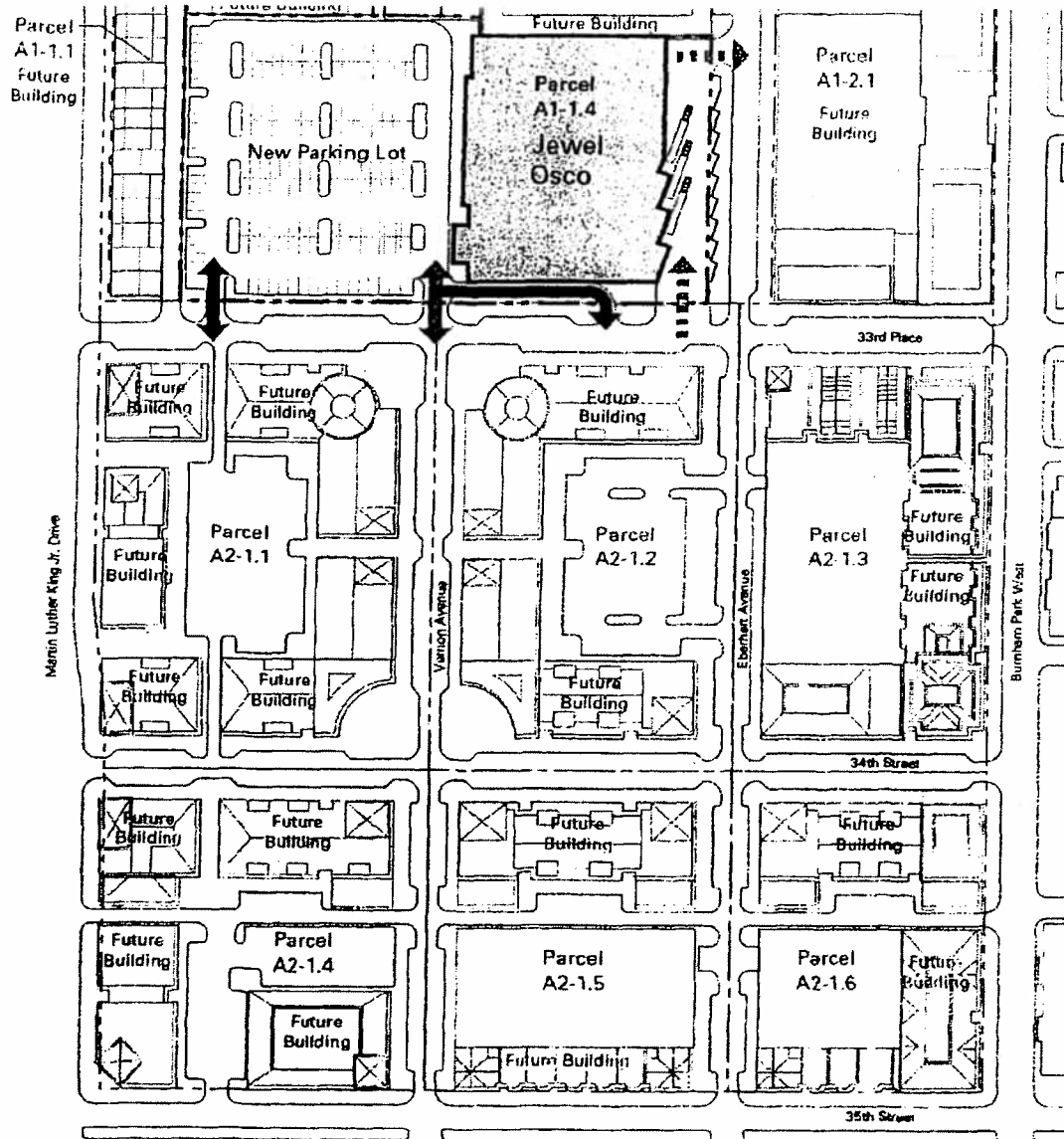
BUILDING EL



Jewel-Osco Site Plan --
Vehicular And Service Access -- Interim.



Jewel-Osco Site Plan --
Vehicular And Service Access -- Final.



Parcel Map.

