

PD 1167

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 11, 2025

Mariah DiGrino
DLA Piper LLP
444 W. Lake St., Suite 900
Chicago, IL 60606

Re: Minor change to PD 1167, Subarea C, Site modifications at 720 E. 111th St.

Dear Ms. DiGrino:

Please be advised that your request for a minor change to Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 13 of PD 1167.

On behalf of People Against Dirty Property Management, LLC, the owner of the existing factory building and surrounding property within Subarea C, you are seeking a minor change to allow for modifications to the site access, parking and fencing. These changes will improve pedestrian and vehicular access while enhancing safety. North Pullman 111th, Inc., being the "Master Developer" and Chicago Neighborhood Initiatives, Inc., the owner of the remaining Subarea C property have both provided written consent to this request.

As shown on the attached exhibits, the proposed changes are as follows:

Area A:

- Installation of new 8' high security fencing to match existing fencing along the perimeter of the property and relocation of existing fencing to the property line.
- Construction of a 500 SF single-story guard house between the property line and parking area.
- Reinstallation of the previously approved gate and turnstile and installation of a new security gate adjacent to the proposed guard house.
- Installation of new speed tables and pedestrian signage throughout drive aisles.
- Installation of two landscaped islands and restriping of parking areas.
- Addition of three bike racks adjacent to guardhouse and 33 parking spaces, to be located in the northern and western portions of the existing lot.
- Construction of new sidewalks in the northern portion of the parking lot.
- Construction of two new entry and egress locations.

Area B:

- Installation of new 8' high security fencing to match existing and relocation of existing fencing to the property line.
- Installation of sliding gate with intercom system at each of the trailer entrances.
- Construction of a new two-lane trailer entrance and installation of new curbs and directional signage throughout the trailer drive area.

- Construction of a prefabricated one-man booth near the proposed southern trailer entrance.
- Construction of new sidewalk to connect Area B to neighboring portions of property.

Area C:

- Addition of 26 parking stalls.
- Construction of new sidewalk connecting Area C to Area A.

Landscaping:

- New turf seeding to match existing right-of-way planting.
- Addition of 11 interior landscape trees and one parkway tree.

The improvements may be installed in phases, with phases noted on the attached exhibits:

- Site Plan-Proposed
- Site Plan-Demolition Plan
- Site Plan-Proposed Area A
- Site Plan-Proposed Area B
- Site Plan-Proposed Area C (Phase II)
- Truck Turning Radius Diagram
- Proposed Landscape Site Plan
- Security Features-Fencing
- Landscaping Details
- Landscape-Proposed Plants
- Exterior Elevations-Guardhouse
- Floor Plan-Guardhouse

The Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Additionally, the Dept. of Transportation, the Fire Prevention Bureau, and Stormwater Review have no objection to these changes.

Pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1167, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

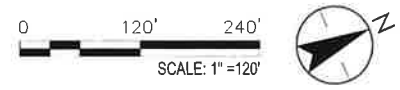
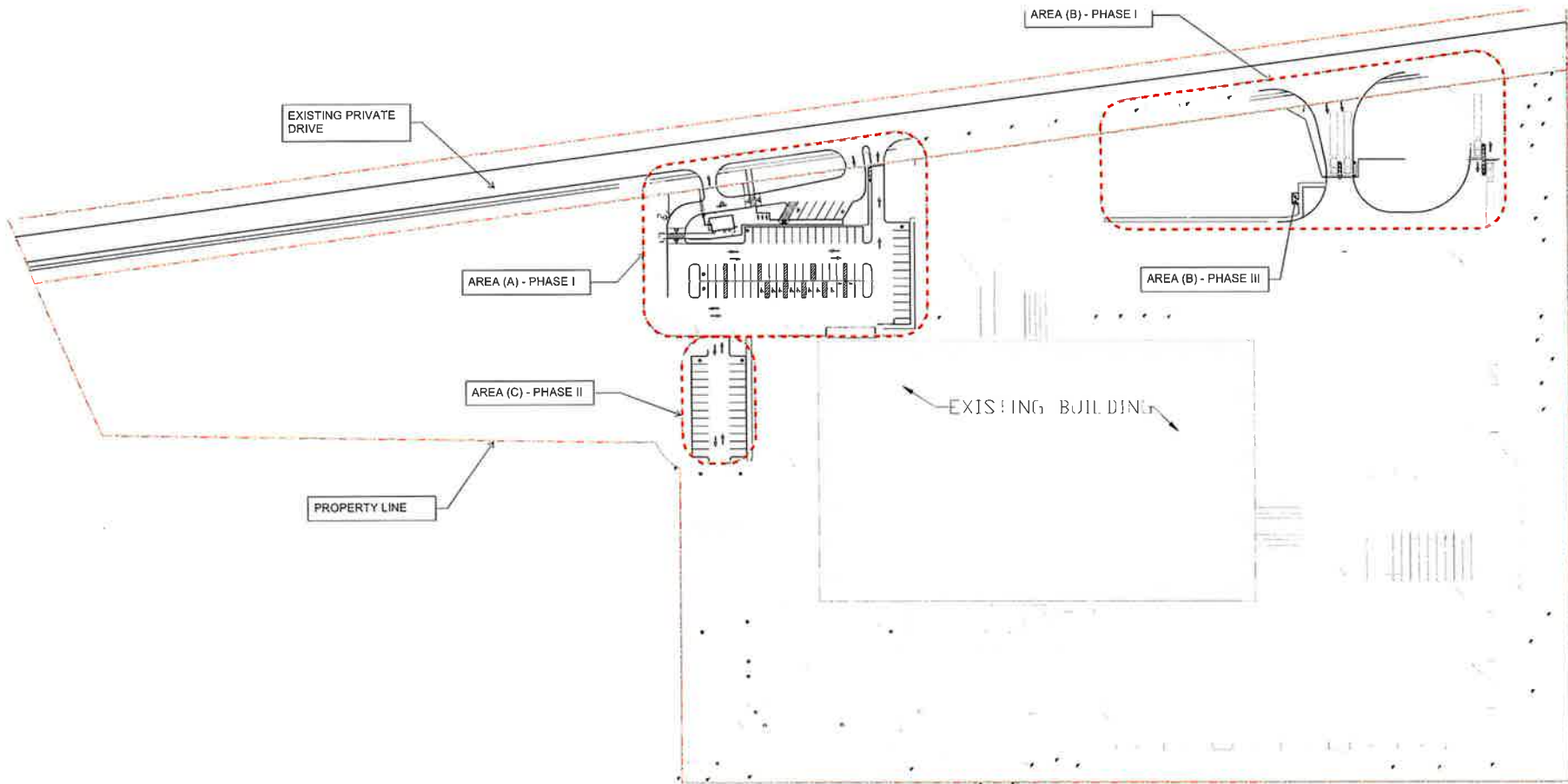
Noah Szafraniec
Assistant Commissioner



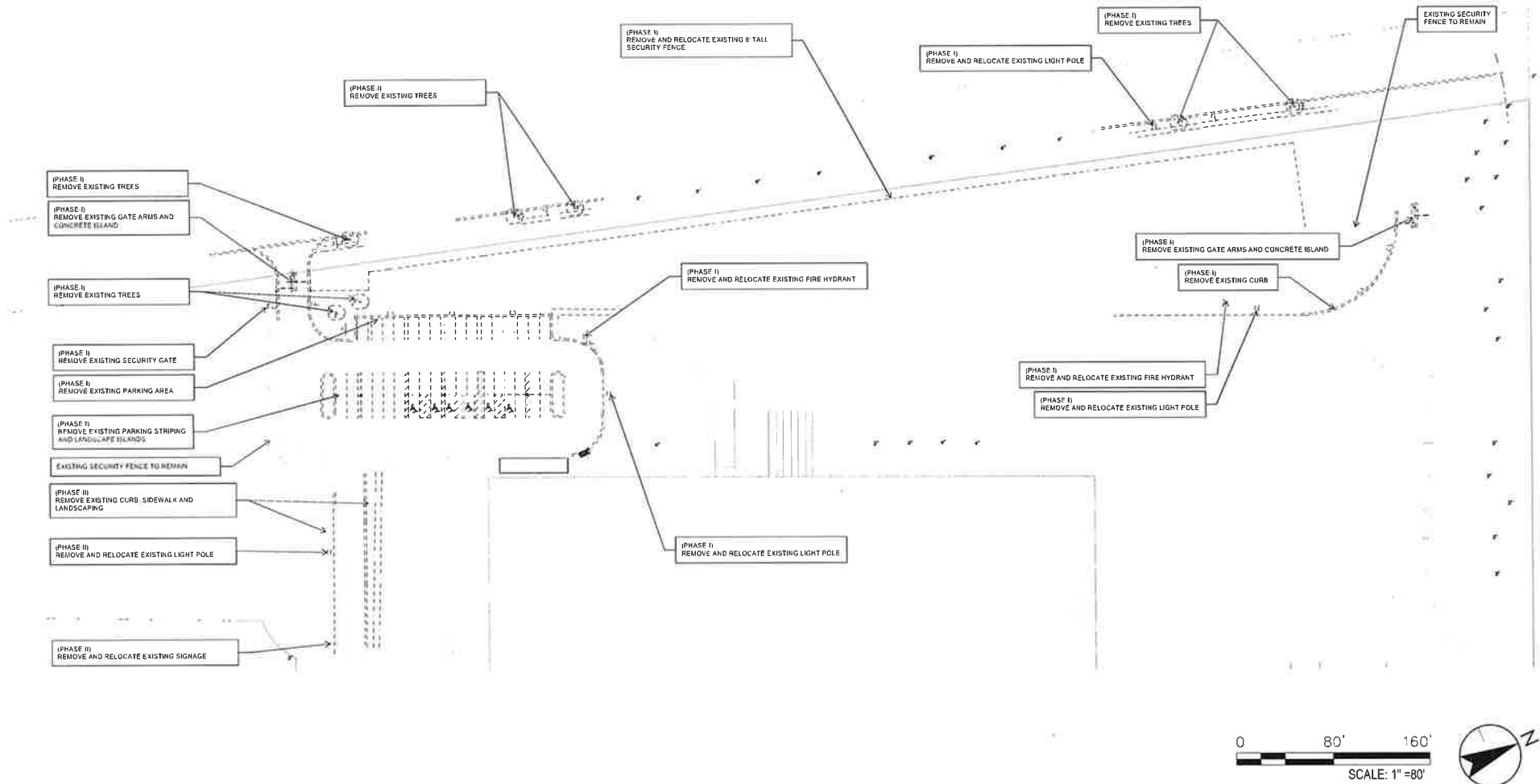
NS:tm

C: Teresa McLaughlin, Mike Marmo, Janice Hill, Stephen Nutt, Main file

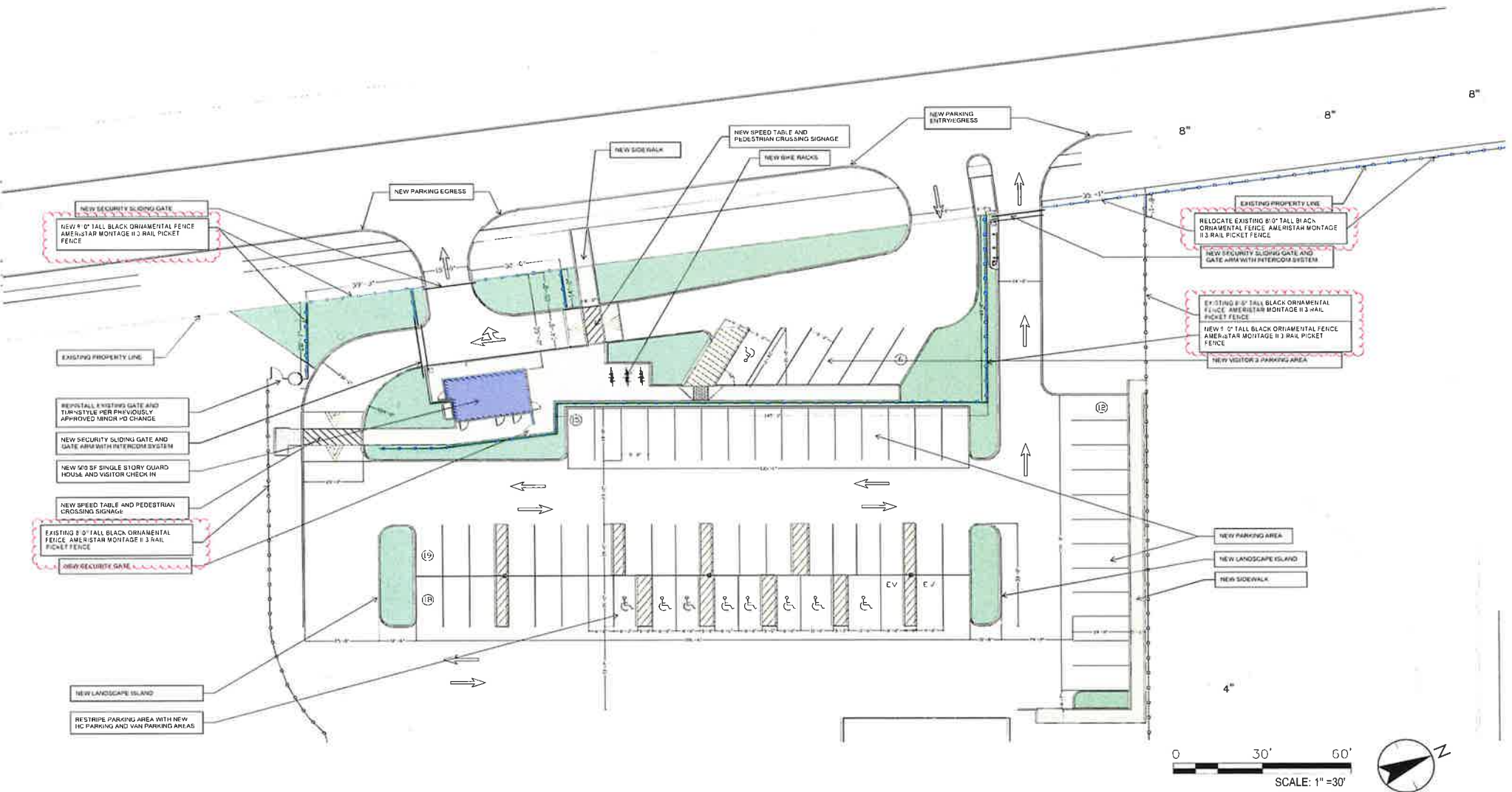
SITE PLAN | PROPOSED



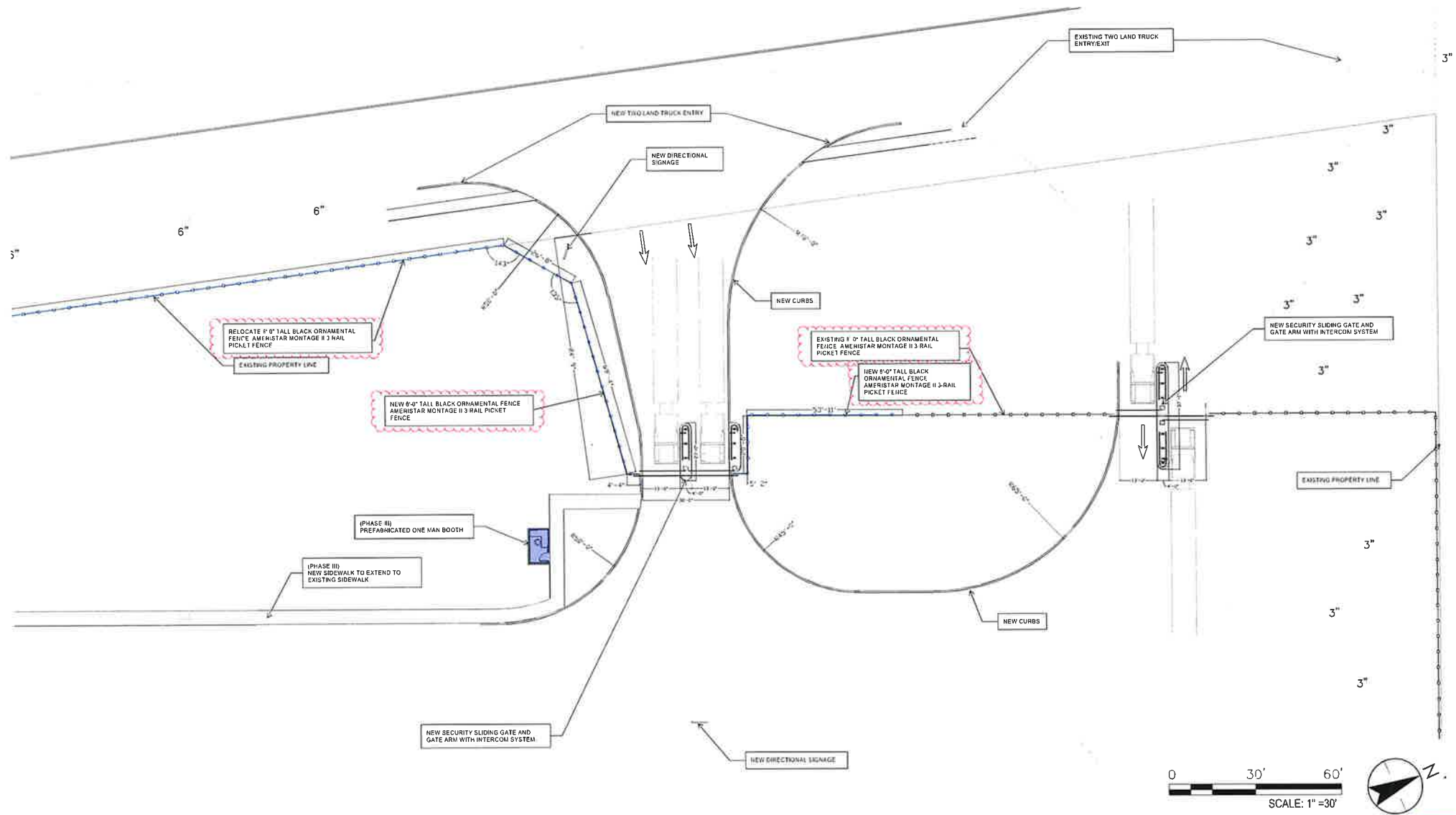
SITE PLAN | DEMOLITION PLAN



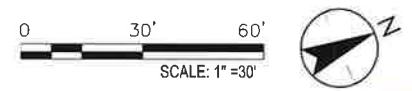
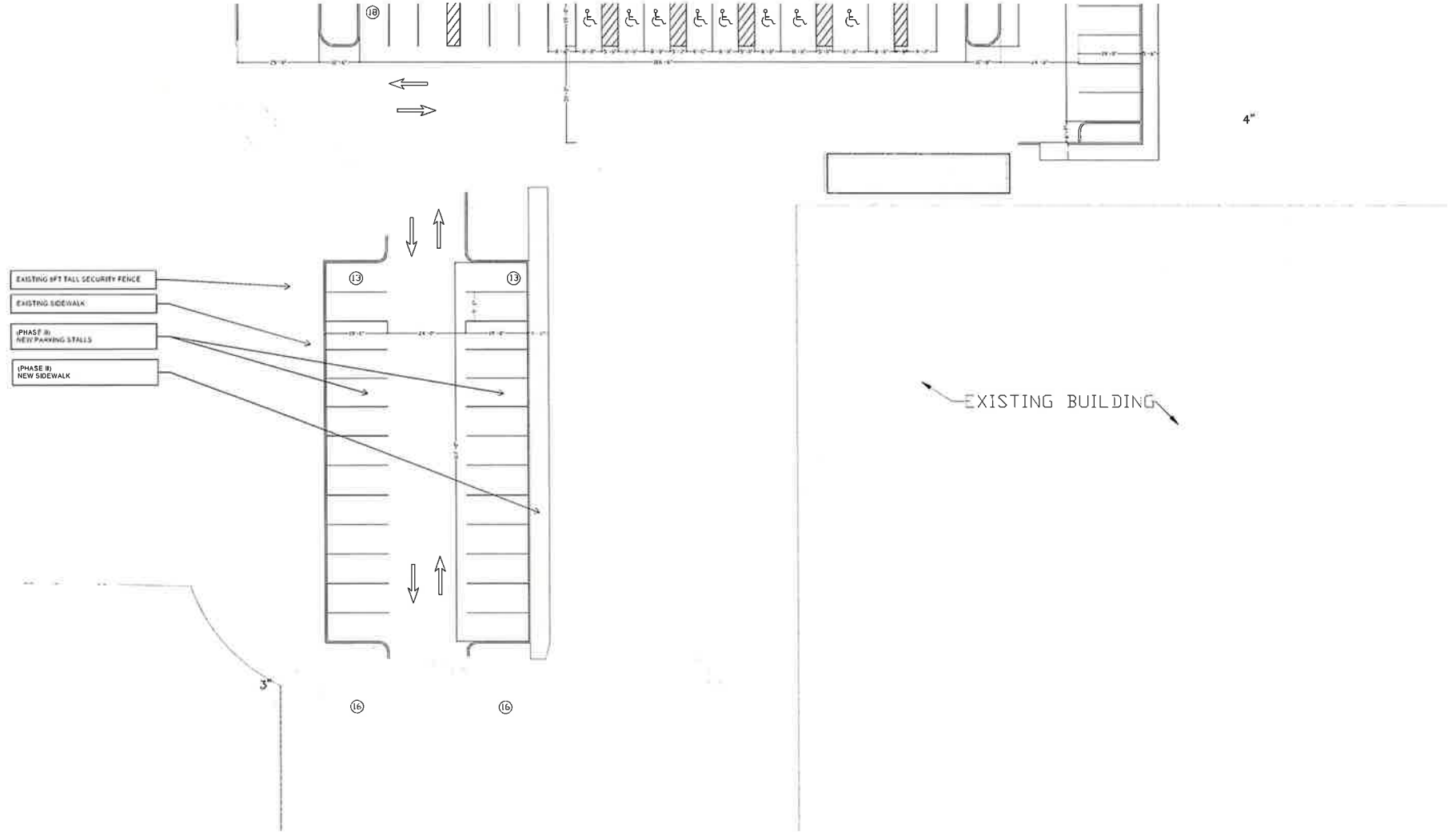
SITE PLAN | PROPOSED AREA A



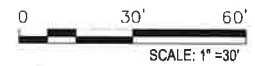
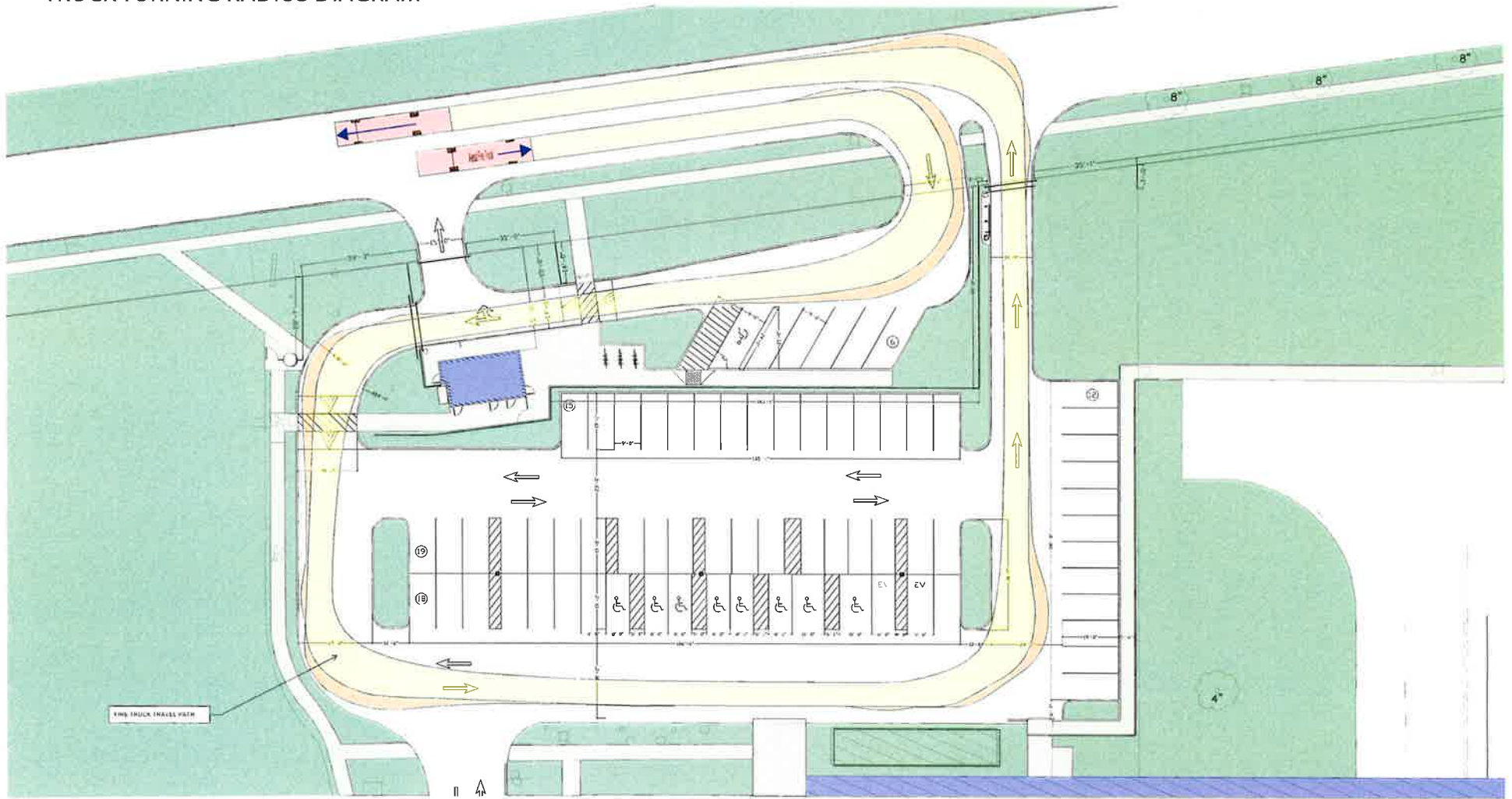
SITE PLAN | PROPOSED AREA B



SITE PLAN | PROPOSED AREA C (PHASE II)








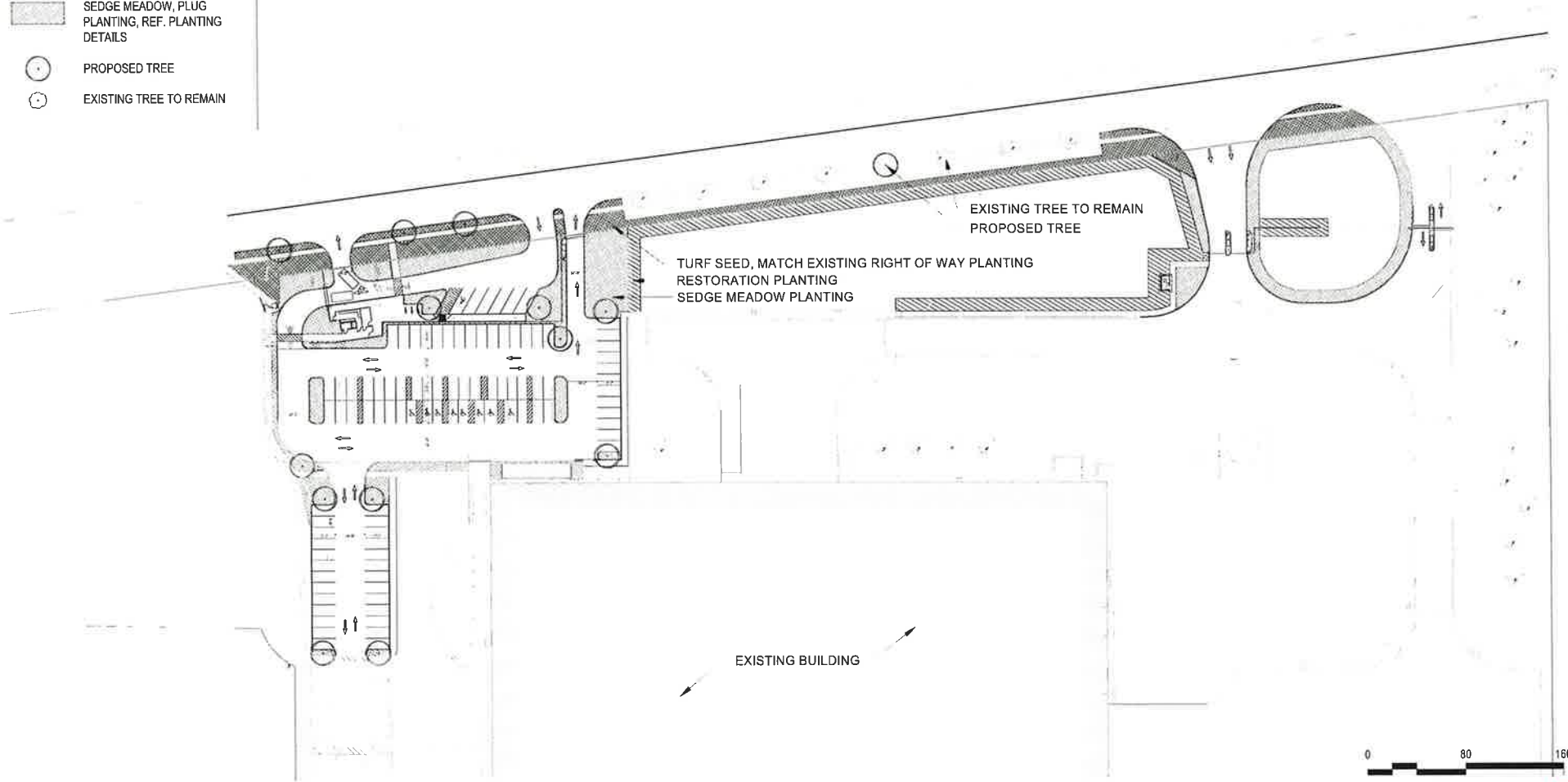
TRUCK TURNING RADIUS DIAGRAM



PROPOSED LANDSCAPE SITE PLAN

LEGEND

-  TURF SEED, MATCH EXISTING RIGHT OF WAY TURF
-  RESTORATION PLANTING, RESTORE TO EXISTING CONDITION
-  SEDGE MEADOW, PLUG PLANTING, REF. PLANTING DETAILS
-  PROPOSED TREE
-  EXISTING TREE TO REMAIN



SECURITY FEATURES | FENCING

MONTAGE II®

INDUSTRIAL ORNAMENTAL STEEL FENCE

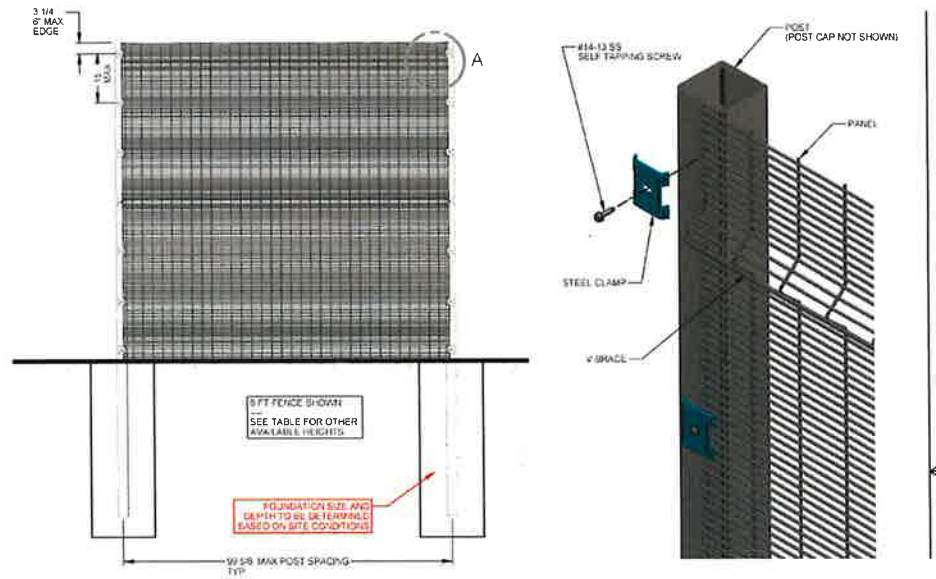


CLASSIC™
TIMELESS & ELEGANT

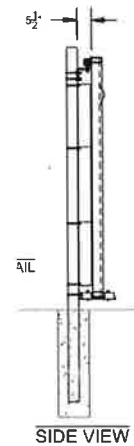
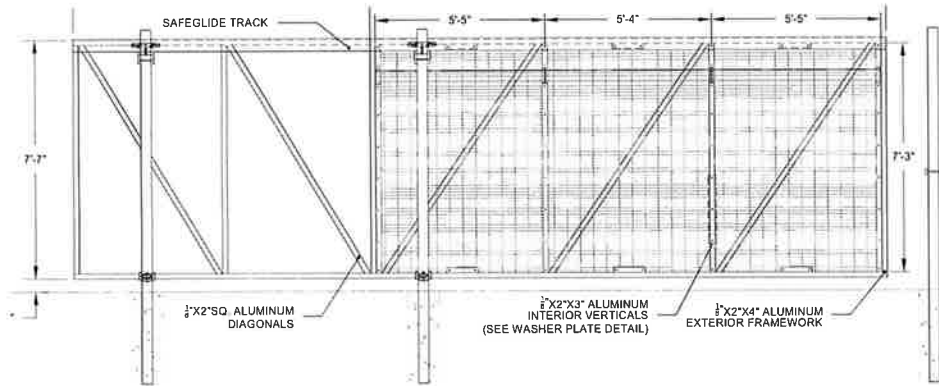
Extended pickets that culminate to an arrow-pointed spear capture the look of old style wrought iron lencing. Single or double swing & slide gates that perfectly match this fence style are also available.

- 4-rail panels | 6', 7' & 8' heights | Bush bottom or extended picket
- 3-rail panels | 3', 3½', 4', 5', 6', 7' & 8' heights | Bush bottom or extended picket
- 2-rail panels | 3', 3½', 4', 5', 6', 7' & 8' heights | Bush bottom or extended picket

The proposed fence will match the existing fence that was approved in a prior minor change request on 12/11/2024. The fence will be 8'-0" high black ornamental fence Ameristar Montage II, 3-rail picket fence along the South Ellis Avenue property line.



Another previously utilized fence to match existing conditions is an 8'-0" high black anti climb v-panel fence. Please see updated package. All changes are clouded. Fence by Forte.

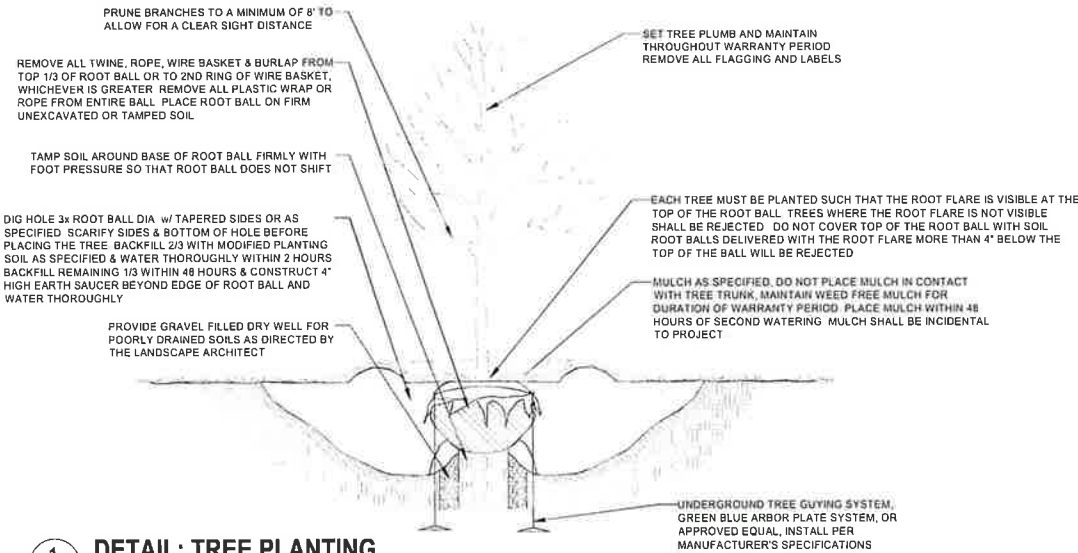


Sliding gate to have same anti-climb fencing. Fence by Pro Access Systems

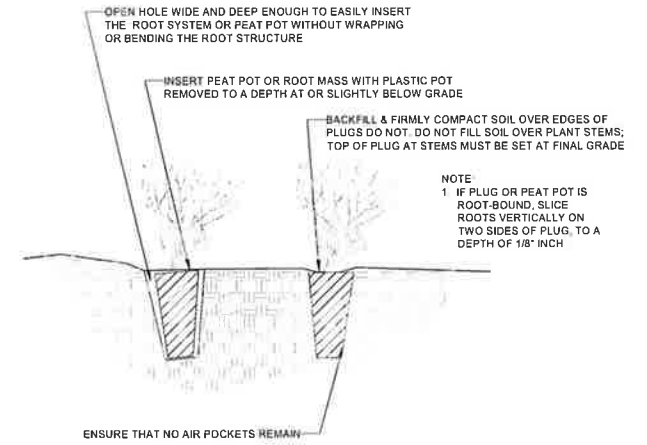
LANDSCAPING DETAILS

NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES, SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES ONLY AS SPECIFIED AT THE DIRECTION OF LANDSCAPE ARCHITECT WRAP TREE TRUNKS AS SPECIFIED. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH IN THE FIELD.
- SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 IN. HIGHER IN SLOWLY DRAINING SOILS.
- CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT OF ANY POTENTIAL DRAINAGE ISSUES PRIOR TO FINAL PLANTING. INSTALL APPROVED DRAINAGE MATERIALS AS DIRECTED.
- IF PLANT IS SHIPPED WITH A CONTAINER AROUND THE ROOTBALL, SLICE SIDES OF CONTAINER AND REMOVE COMPLETELY. USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY CIRCLING ROOTS.
- TO IMPROVE TRANSPLANTING SUCCESS THE FOLLOWING VARIETIES SHOULD BE SPRING PLANTED ONLY: PINE, OAK, MAPLE, HONEYLOCUST AND CRABAPPLE.

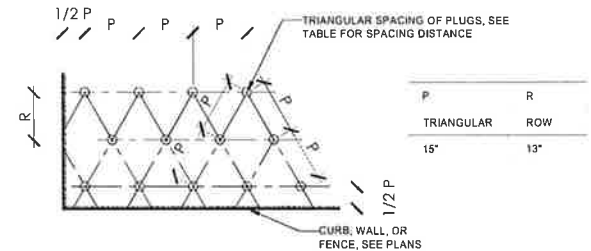


1 **DETAIL: TREE PLANTING**
NOT TO SCALE



NOTE
1 IF PLUG OR PEAT POT IS ROOT-BOUND, SLICE ROOTS VERTICALLY ON TWO SIDES OF PLUG, TO A DEPTH OF 1/8" INCH

2 **DETAIL: PLUG PLANTING**
NOT TO SCALE



3 **DETAIL: PLUG SPACING**
NOT TO SCALE

LANDSCAPE | PROPOSED PLANTS



BLUE EYED GRASS



BUTTERFLY WEED



COMMON OAK SEDGE



NODDING ONION



PRAIRIE ALUM ROOT



PRAIRIE SMOKE



PURPLE LOVE GRASS



PUSSYTOES



SHOOTING STAR



WHORLED MILKWEED



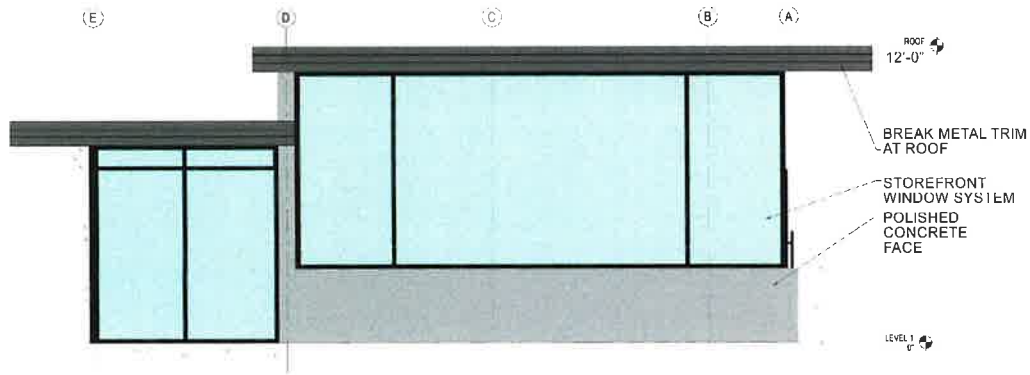
WILD PETUNIA



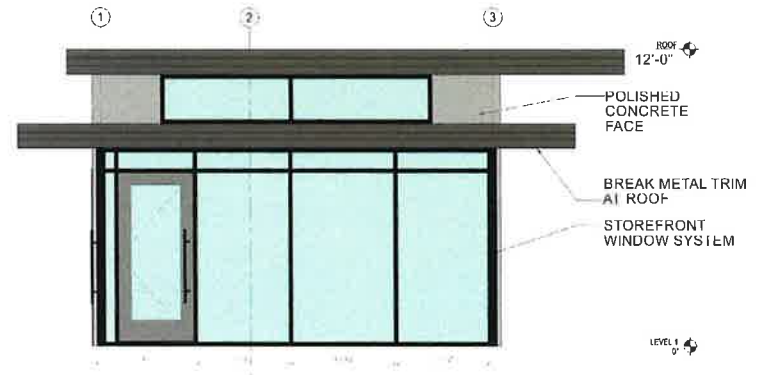
ZAGREB COREOPSIS

Scientific Name	Common Name	Quantity	Size	Height	Bloom Time
<i>Allium cernuum</i>	nodding onion	532	Plug	12" to 18"	June-July
<i>Antennaria neglecta</i>	pussy toes	532	Plug	8" to 12"	April-May
<i>Asclepias tuberosa</i>	butterfly weed	532	Plug	18" to 24"	June-August
<i>Asclepias verticillata</i>	whorled milkweed	532	Plug	24" to 36"	June-September
<i>Carex pensylvanica</i>	common oak sedge	4022	Plug	8" to 12"	May
<i>Coreopsis verticillata</i> 'Zagreb'	Zagreb' coreopsis	500	Pint	12" to 18"	June-September
<i>Dodecatheon meadia</i>	shooting star	500	Pint	12" to 18"	April-May
<i>Eragrostis spectabilis</i>	purple love grass	2546	Plug	18" to 24"	August-October
<i>Geum triflorum</i>	prairie smoke	532	Plug	12" to 18"	April-June
<i>Heuchera nchardsonii</i>	prairie alum root	532	Plug	18" to 24"	May-June
<i>Ruellia humilis</i>	wild petunia	532	Plug	12" to 18"	June-September
<i>Sisynchium albidum</i>	Blue-Eyed Grass	532	Plug	8" to 12"	April-June
TOTAL		11824			

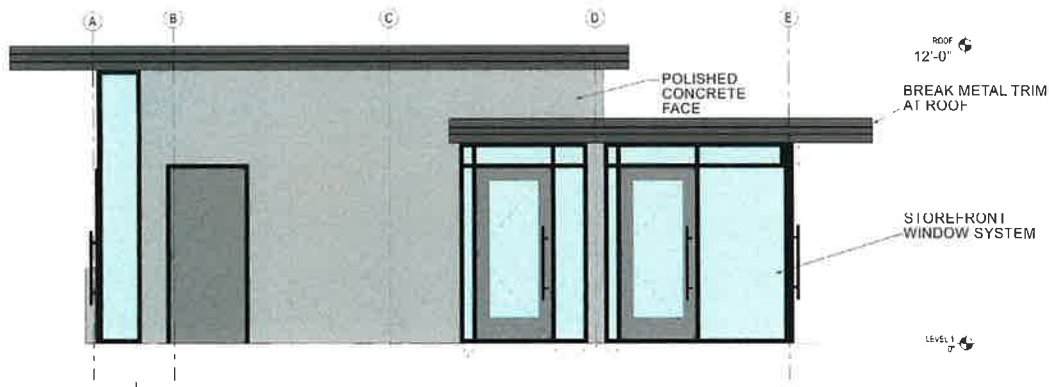
EXTERIOR ELEVATIONS | GUARDHOUSE



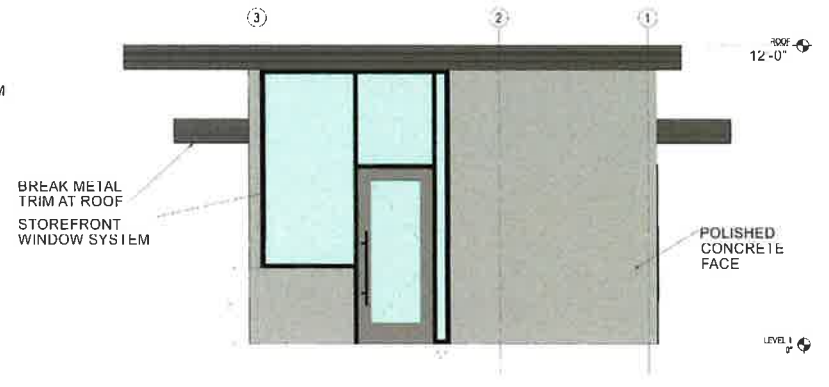
EXTERIOR ELEVATION WEST



EXTERIOR ELEVATION NORTH

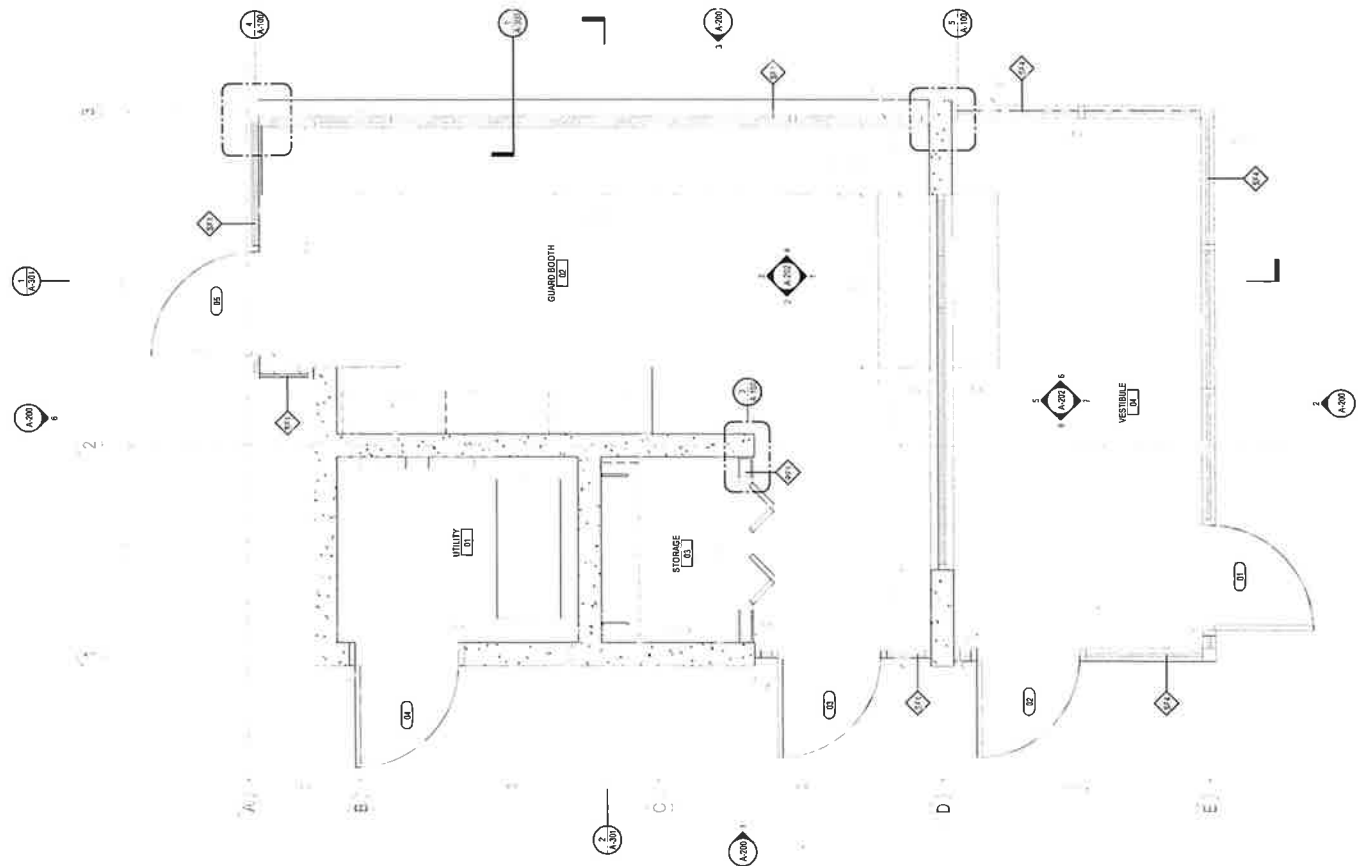


EXTERIOR ELEVATION EAST



EXTERIOR ELEVATION SOUTH

FLOOR PLAN |





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 21, 2025

Mariah F. DiGrino
DLA Piper LLP
444 W. Lake St.
Chicago, IL 60606

Re: PD 1167, Subarea B, Site Plan Approval for Veteran Roasters, 754-756 E. 111th Street

Dear Ms. DiGrino:

Please be advised that your request for site plan approval to Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0802 of the Chicago Zoning Ordinance and Statement Number 10 of PD 1167.

Cup O' Joe Coffee LLC, the developer, is seeking site plan approval for the proposed restaurant, roastery and brewery to be constructed within Subarea B at 754-756 E. 111th St. The project was previously approved pursuant to the PD, as amended on April 19, 2023. Since then, they have advanced the design to meet building permit and project financing requirements, requiring changes to the approved plans. The Master Developer, Chicago Neighborhood Initiatives, has also provided consent to this request.

There are no changes to the site or landscape plan, including the building footprint. The developer proposes to replace the masonry façade with precast concrete, stenciled to replicate red brick masonry and a limestone base. The building will have a gable roof element at the primary entrance and a curtain wall system evoking punched windows. The second-floor outdoor terrace has been eliminated. The project will achieve 100 points as required in the City's sustainable policy.

The developer has (i) adjusted its target on exceeding the energy code from 25% to 10% to reflect the elimination of rooftop solar panels, (ii) added tree planting and CTA digital displays to replace the points offset by reducing energy code target and (iii) added Workforce Development to replace the points that would have been provided by the green roof.

We have reviewed the drawings and exhibits you submitted. The attached Site Plan, Landscape Plan, 1st Floor Plan, 2nd Floor Plan, Roof Plan, North and South Elevations, and West and East Elevations are in accordance with and satisfy the requirements of PD 84. Additionally, the proposed changes have been reviewed and approved by CDOT, Sustainability, Bureau of Fire Prevention, Dept. of Water Management and MOPD. Accordingly, this site plan approval is hereby approved.

Sincerely,


Patrick Murphey
Zoning Administrator

PM:tm

C: Mike Marmo, Janice Hill, Noah Szafraniec, Main file

NEW 2 STORY MAS. BLDG. FOR NEW RESTAURANT, BREWERY, COFFEE ROASTING FACILITY, CAFE & BANQUET HALL

LOCATION: 754-756 E 111TH ST.
CHICAGO, IL 60628

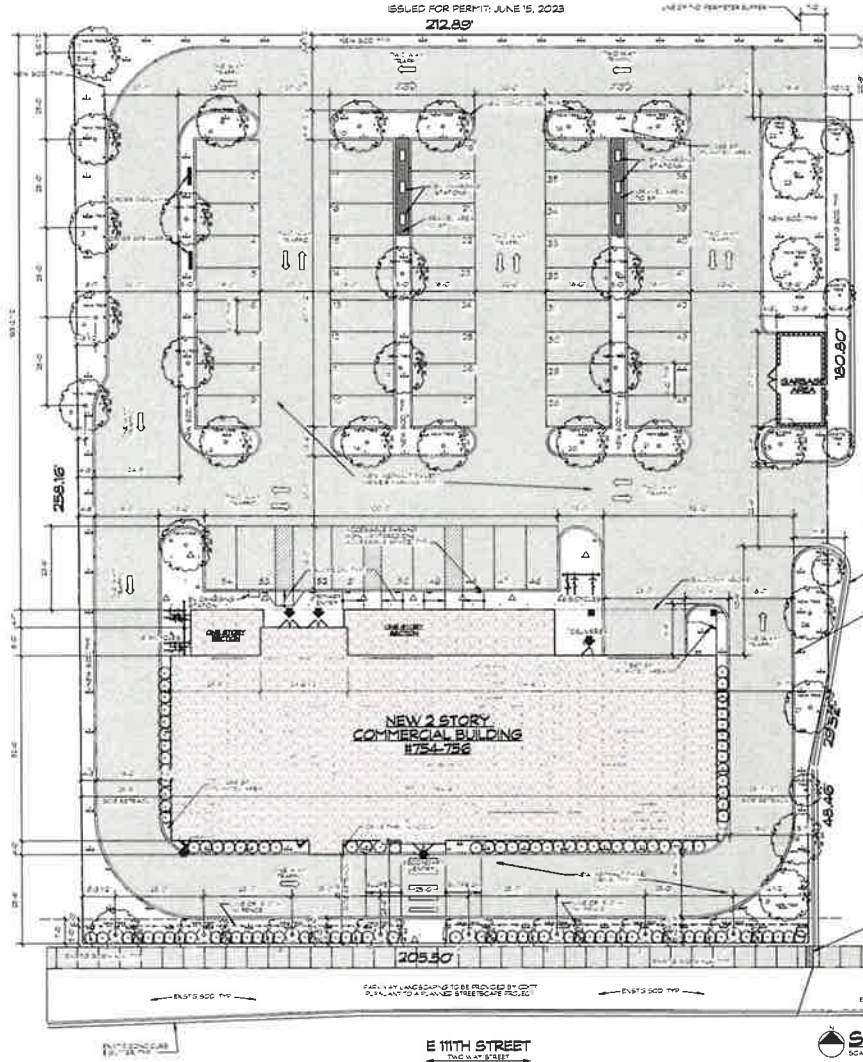
OWNER: CUP O' JOE COFFEE, LLC
328 N. ALBANY AVE
CHICAGO, IL 60612

ARCHITECT: LASZLO SIMOVIC ARCHITECTS, LLC

6512 N ARTESAN AVE.
CHICAGO, IL 60645
EMAIL: OFFICE@LASZLOARCH.COM
PH: 773-338-2228
FAX: 773-338-2228
ISSUED FOR PERMIT: JUNE 15, 2023
212.85'



VICINITY MAP
SCALE 1/4" = 1'



SITE:

AREA:	54,384 SF
BUILDING:	8,370 SF (FOOTPRINT) 8,333 SF 2ND FLOOR
LANDSCAPE:	9,000 SF
OUTDOOR SEATING:	1,222 SF
GARBAGE AREA:	372 SF
ASPHALT PAVEMENT:	32,743 SF
CONCRETE WALK:	1,542 SF
CONCRETE CURBS:	1,338 SF
PARKING:	54 TOTAL SPACES (6 ADA + 2% REQUIRED)
BICYCLES:	12 SPACES

BUILDING IIR CONSTRUCTION

OCCUPANCY: A-3 (RESTAURANT/BANQUET HALL) REQUIRED, PROVIDED

1ST FLOOR DINING AREA:	ALLOWED: 8,370 SF (FOOTPRINT) 8,333 SF	PROVIDED:
BUILDING:	8,303 SF + 28,500 SF ALLOWED	
2ND FLOOR:	8,370 SF (FOOTPRINT)	
TOTAL:	16,673 SF	
MAX. BLDG HEIGHT:	75, 3 STORES	32'-6", 2 STORES
AREA (SQM):	28,500 SF	18,503 SF

SPRINKLER SYSTEM: YES, FULLY SPRINKLERED (AW Section 203)

FIRE RATINGS: REQUIRED, PROVIDED

BEARING WALLS:	0 HRS	3 HRS
INT. WALLS:	0 HRS	N/A
NON-BEARING WALLS: (X = 30'-0")	0 HRS	3 HRS
EXT. WALLS:	0 HRS	1 H-R
FLOOR CONSTRUCTION:	0 HRS	0 HRS
ROOF CONSTRUCTION:	0 HRS	0 HRS
BUILDING ALLOWANCES:	75, 3 STORES	32'-6", 2 STORES
MAX. BLDG HEIGHT:	28,500 SF	18,503 SF
AREA (SQM):		

SEATING

1ST FLOOR:	PROVIDED:	ACCESSIBLE:
DINING ROOM:	70 SEATS	8 SEATS (11.4%)
DINING ROOM #2:	56 SEATS	8 SEATS (14.3%)
DINING ROOM #3:	16 SEATS	1 SEAT (6.3%)
BAR AREA:	11 SEATS	5 SEATS (45.4%)

2ND FLOOR: BANQUET HALL: 216 SEATS (MIN. 50 (22.9%))
*MINIMUM NUMBER OF SEATING AREAS PROVIDED SHALL BE 10% OF MAX CAPACITY. SEE TO WHOLE 7 BANQUET HALL SEATING ARRANGEMENTS WILL VARY.

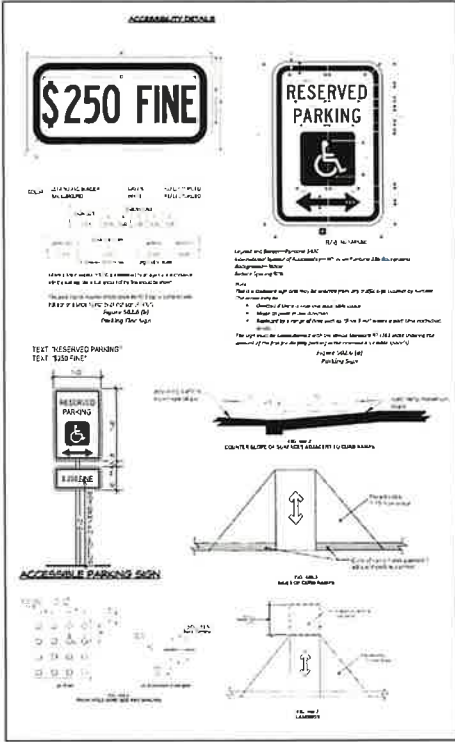
KEY LEGEND

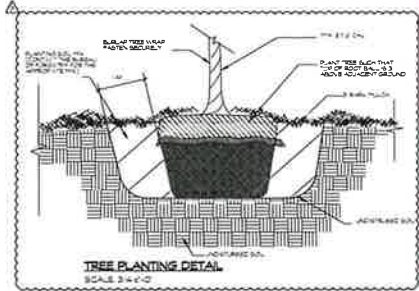
[Symbol]	ASPHALT
[Symbol]	CONCRETE
[Symbol]	LANDSCAPE

CERTIFY THAT I AM THE REGISTERED ENERGY PROFESSIONAL FOR THIS PROJECT. I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE ATTACHED PLANS FOR 754-756 E 111TH ST, CHICAGO, IL 60628 DOES COMPLY WITH THE REQUIREMENTS OF CHAPTER 89-3, ENERGY CONSERVATION OF THE MUNICIPAL CODE OF CHICAGO AS OF APRIL 23, 2023.

DRAWN: [Signature] DATE: OCT. 28, 2023
LAND LICENSE NUMBER: 007-02375

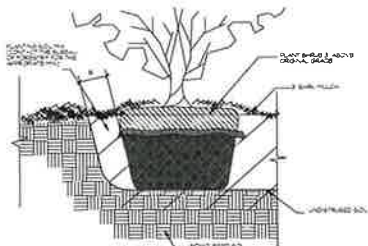
THESE DRAWINGS ARE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY ARE IN ACCORDANCE WITH THE CITY OF CHICAGO AS OF APRIL 23, 2023.





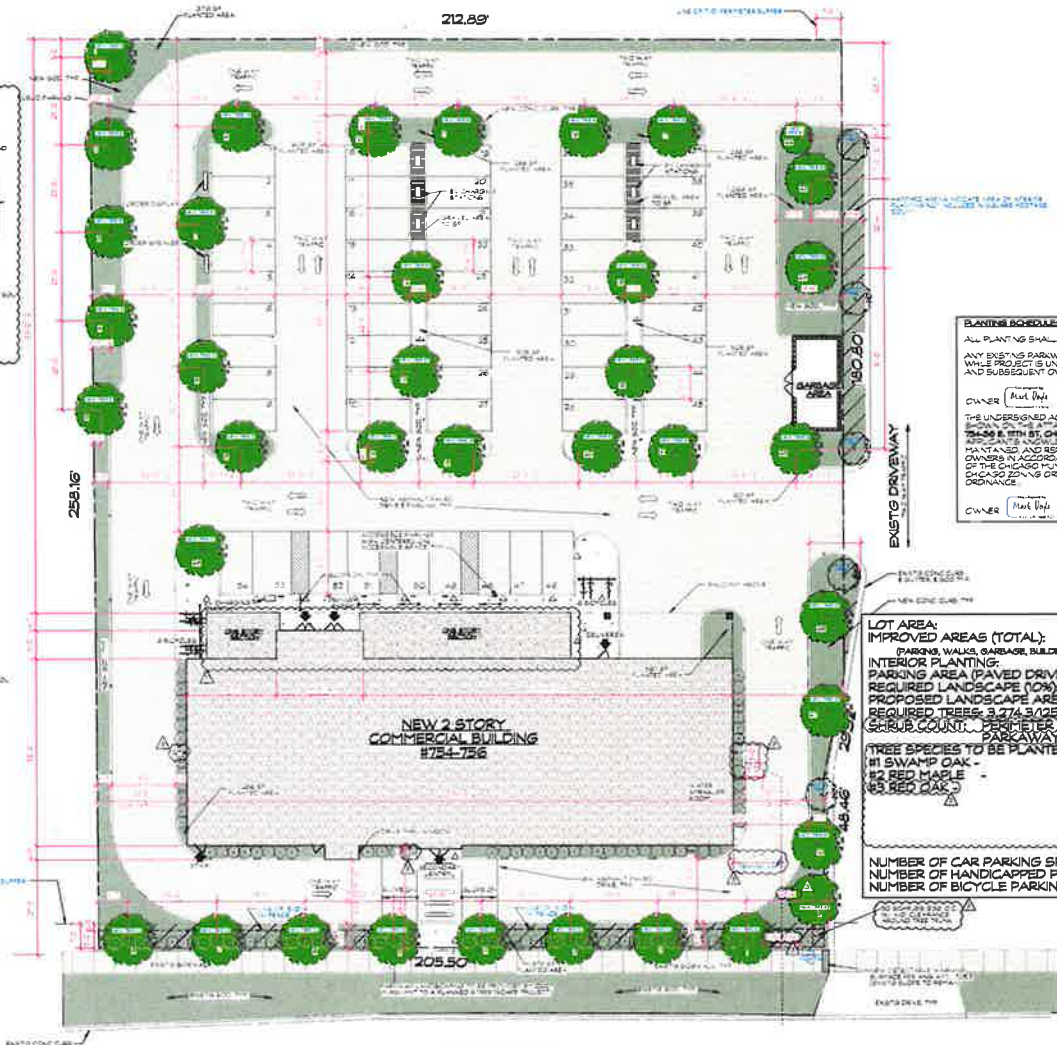
TREE PLANTING STANDARDS

1. Reference for setting out the tree of installation
2. Minimum size shall be 2 1/2" caliper, minimum 6' crown height and have a top 1/4" DBH from trunk to 1' DBH
3. DBH shall be measured at 4.5' from trunk
4. 2 1/2" caliper trees shall be 20' to 25' high crown
5. Minimum crown height shall be 20' to 25' high crown



RECOMMENDED SHRUB SPECIES

NOTE: 1. SHRUBS AFTER INSTALLATION
2. REMOVE DEAD BRANCHES OR BRANCHES WITH
3. PRUNE TO BRANCH COLLAR. LEAVE NO STUBS



PLANTING SCHEDULE
ALL PLANTING SHALL BE PLANTED BY **JUNE 15, 2025**
ANY EXISTING DRIVEWAY AND EXISTING TREES ARE TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER IF DAMAGED

OWNER: *Mark D'Amico* DATE: 1/17/2024
THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHALL BE WITH ST. CHICAGO & 606th AND TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE PLAN IS ACCURATE AND COMPLETE AND WILL BE MAINTAINED AND REPLACED AS REQUIRED BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 6, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPE STANDARDS OF THE CHICAGO ZONING ORDINANCE AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE

OWNER: *Mark D'Amico* DATE: 1/17/2024

LOT AREA:	54,384 SF
IMPROVED AREAS (TOTAL):	45,304 SF
(PARKING, WALKS, GARAGE, BUILDINGS, ETC)	
INTERIOR PLANTING:	
PARKING AREA (PAVED DRIVES & PARKING):	32,743 SF
REQUIRED LANDSCAPE (10%):	3,274.3 SF
PROPOSED LANDSCAPE AREA PROVIDED:	9,000 SF (27.4%)
REQUIRED TREES: 3,274.3 / 25 = 131	38 TREES PROVIDED
SHRUB COUNT - PERIMETER OF BLDG:	15 SHRUBS (50% PROVIDED)
TREE SPECIES TO BE PLANTED:	
#1 SWAMP OAK -	16 TREES WITHIN SITE
#2 RED MAPLE -	1 TREE WITHIN SITE
#3 RED OAK -	13 TREES WITHIN SITE
	(2 EXISTING)
#2 6 IN SETBACK	
TOTAL:	38 TOTAL TREES
NUMBER OF CAR PARKING SPACES:	54 TOTAL
NUMBER OF HANDICAPPED PARKING SPACES:	6 (11%)
NUMBER OF BICYCLE PARKING SPACES:	12

KEY LEGEND

	ASPHALT
	CONCRETE
	LANDSCAPE

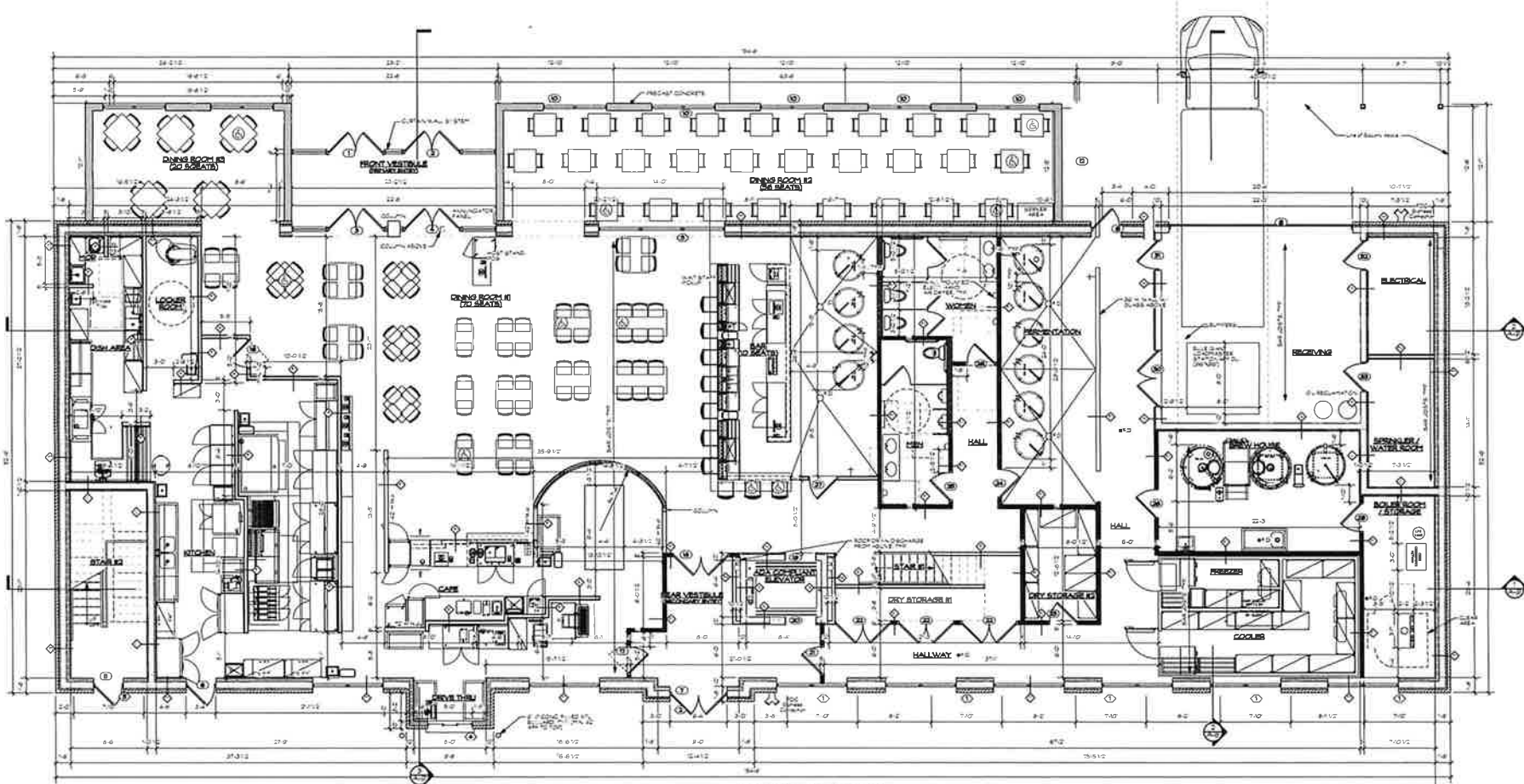
LAGZLO SIMOVIC ARCHITECTS, L.L.C.
6512 N. ARTESIAN AVE.
CHICAGO, IL 60631
TEL: 773-336-2225
FAX: 773-336-2226

PROJECT: NEW 2 STORY MASONRY BLDG FOR NEW RESTAURANT FOR 754-756 E 11TH ST, CHICAGO, IL 60635

OWNER: CUP O JOE COFFEE, LLC
3325 N ALBANY AVE
CHICAGO, IL 60632

PROJECT NO: SCALE AS NOTED
DATE: 6/9/2023

LAGZLO



1ST FLOOR PLAN

NEW 2 STORY MASONRY BLDG
 235 N ALBANY AVE
 CHICAGO, IL 60614

TOTAL DINING SEATING 168 SEATS
 TOTAL BAR SEATING 10 SEATS

- GENERAL NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

- PARTITION LEGEND**
- TO BE REMOVED
 - - - - TO BE REMOVED
 - TO BE RELOCATED
 - TO BE RELOCATED
 - TO BE RELOCATED
 - TO BE RELOCATED

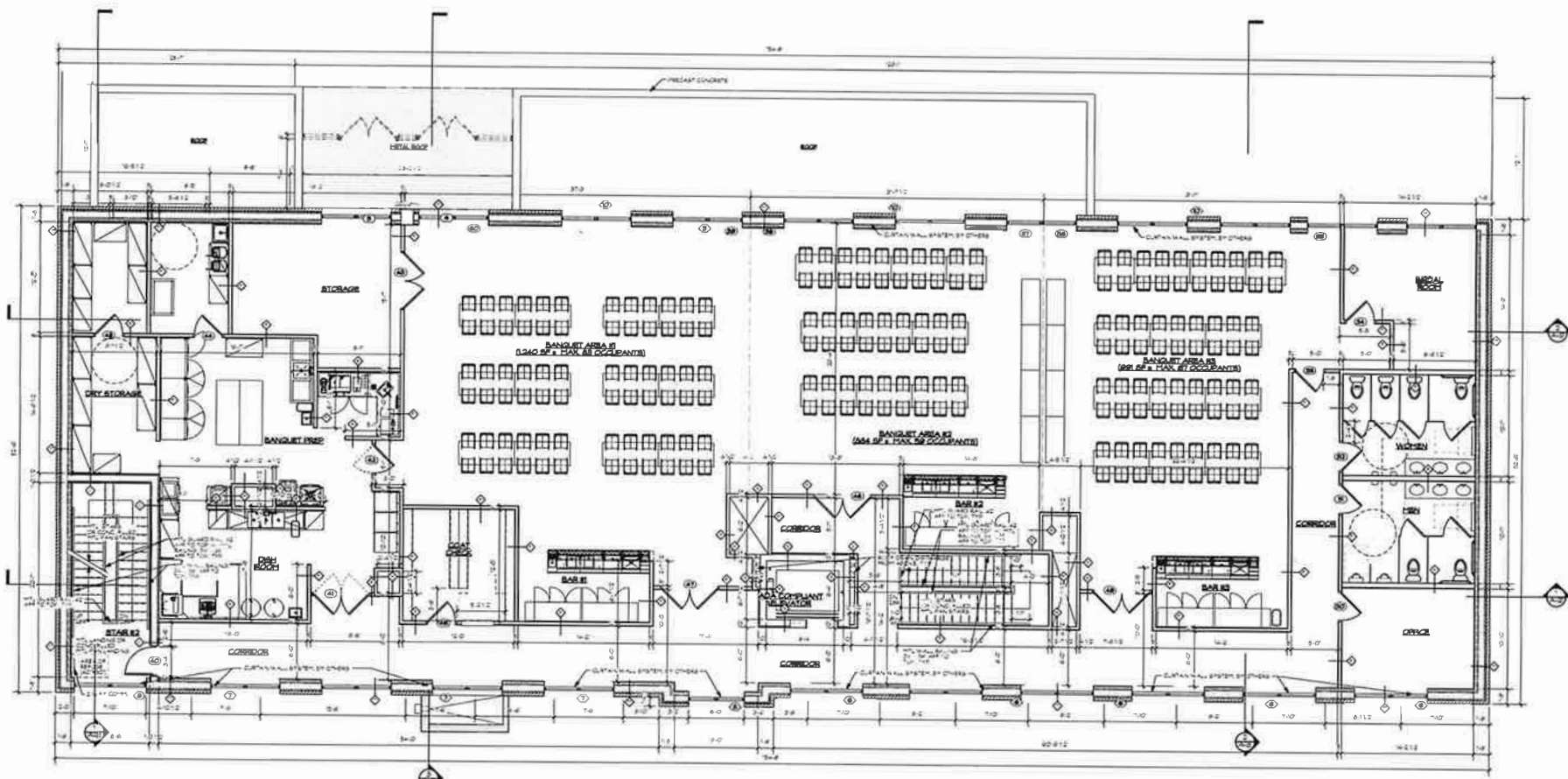


PROJECT: NEW 2 STORY MASONRY BLDG
 235 N ALBANY AVE
 CHICAGO, IL 60614

OWNER: CLIP O JOE COFFEE LLC
 235 N ALBANY AVE
 CHICAGO, IL 60614

PROJECT ID: SCALE AS NOTED
 DATE: 6/20/24

ARCHITECT: LASZLO SIMOVIC ARCHITECTS, L.L.C.
 651 N WESTERN AVE
 CHICAGO, IL 60610
 TEL: 773-338-2225
 FAX: 773-338-2226



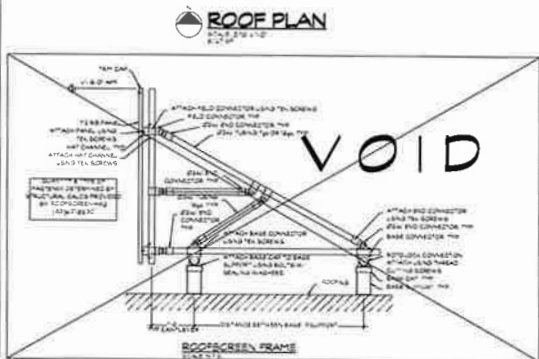
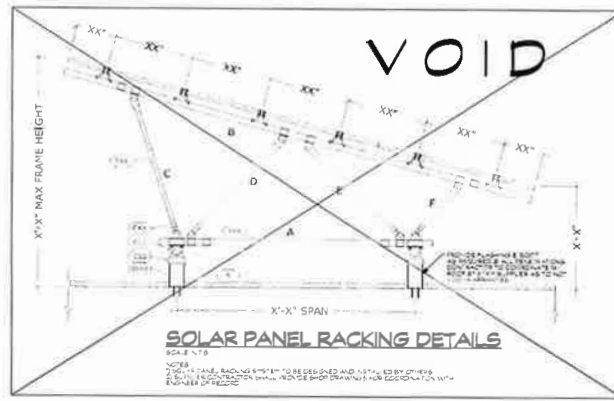
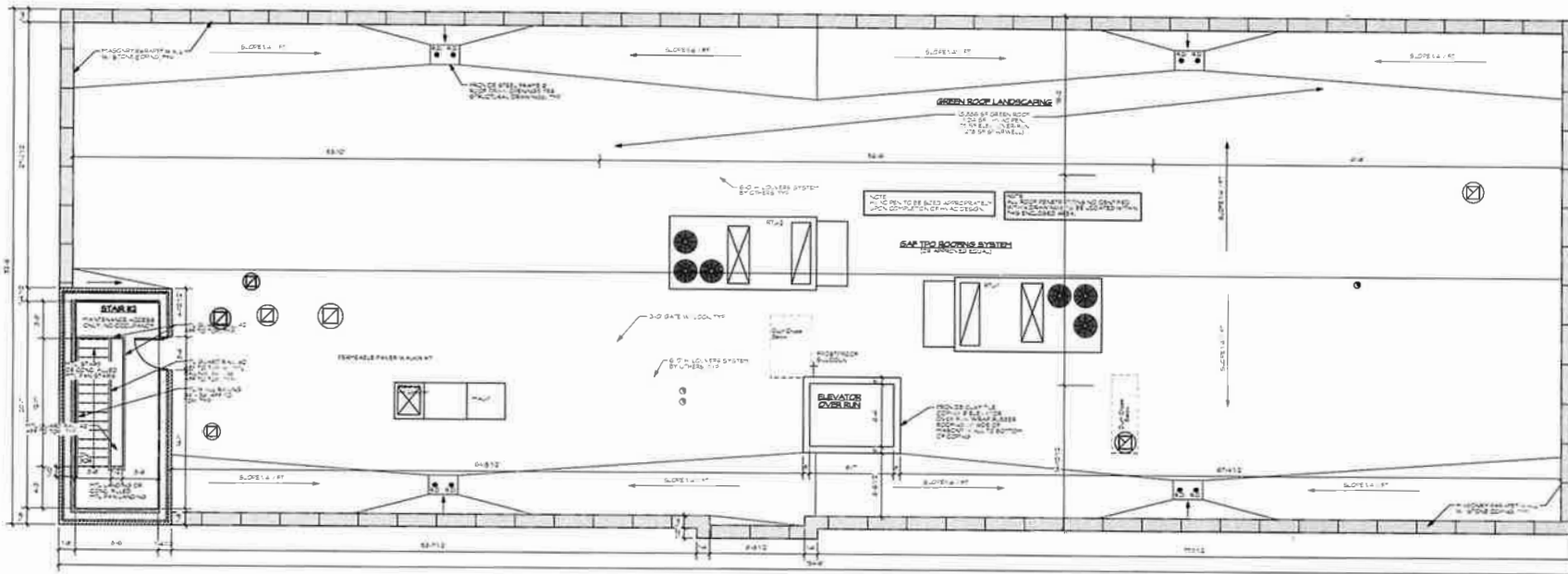
2ND FLOOR PLAN
 10/14/14

PARTITION LEGEND

- WALL TO REMAIN
- WALL TO BE REMOVED
- STUDS TO REMAIN
- WALL TO BE DEMOLISHED
- PARTITION CONCRETE THIS FLOOR ONLY - SEE SHEET A1



<p>OWNER: CUP O' JOE COFFEE, LLC 1015 N. LAUREL CHICAGO, IL 60642</p>	<p>PROJECT: NEW 2 STORY MASONRY BLDG 652 N. ARTESIAN CHICAGO, IL 60625</p>
<p>ARCHITECT: LASZLO SIMOVIC ARCHITECTS, L.L.C. 652 N. ARTESIAN AVE. CHICAGO, IL 60625 TEL: 773-336-2226 FAX: 773-336-2225</p>	<p>DATE: 10/14/14 DRAWN BY: [blank] CHECKED BY: [blank] PROJECT NO: [blank]</p>
<p>A-4</p>	



ROOF NOTES
 1. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 2. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 3. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 4. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 5. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 6. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 7. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 8. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 9. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.
 10. ALL ROOF PENETRATIONS SHALL BE MADE BY THE CONTRACTOR AT HIS OWNERS RISK.



OWNER: CLIP O JOE COPPELL LLC
 1000 N. LAKE STREET
 CHICAGO, IL 60606

PROJECT: NEW 2 STORY MASONRY BLDG
 652 N. ARTISAN AVE.
 CHICAGO, IL 60626

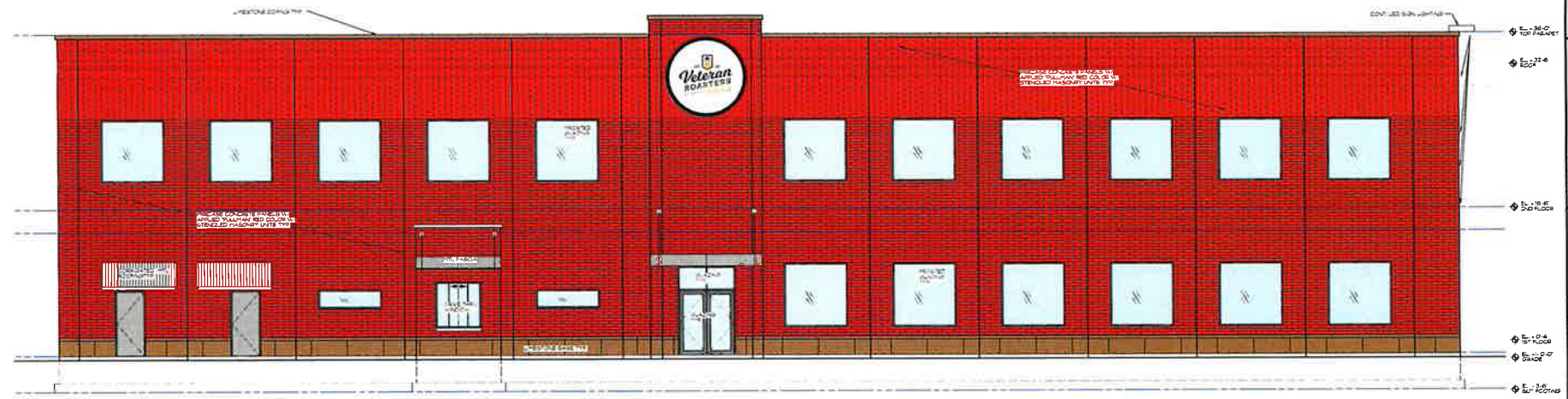
DATE: 8/30/2008

SHEET NO: A-5

ARCHITECT: LASZLO SIMOVIC, ARCHITECTS, L.L.C.
 652 N. ARTISAN AVE.
 CHICAGO, IL 60626
 TEL: 773-536-2225
 FAX: 773-536-2225



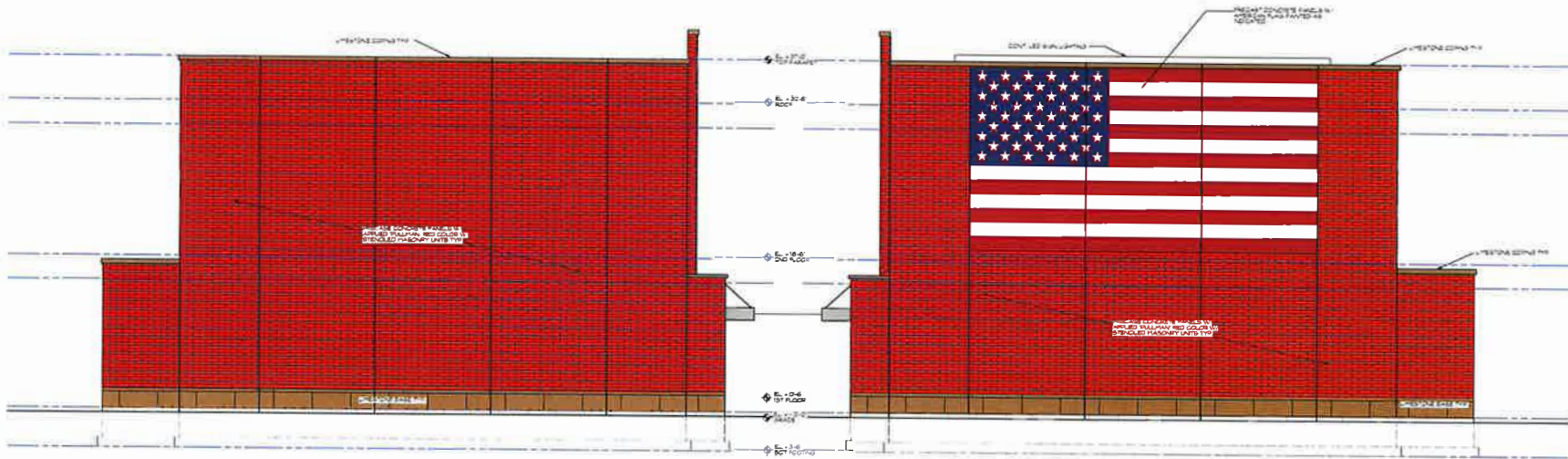
NORTH ELEVATION
SCALE 3/8" = 1'-0"



SOUTH ELEVATION
SCALE 3/8" = 1'-0"



LASZLO SIMOVIC ARCHITECTS, LLC 6512 N. ARTESIAN AVE. CHICAGO, IL 60631 TEL: 773-398-2225 FAX: 773-398-2226	
PROJECT NO.	DATE
PROJECT NAME	DATE
OWNER	DATE
PROJECT: NEW 2 STORY MASONRY BLDG FOR NEW RESTAURANT 754-756 E 11TH ST CHICAGO, IL 60605	DATE
OWNER: CUP O' JOE COFFEE, LLC 325 N. ALBANY AVE CHICAGO, IL 60610	DATE
PROJECT 3486 SCALE AS NOTED DATE: 6/29/2023	DATE
A-6	



WEST ELEVATION
SCALE 3/8" = 1'-0"

EAST ELEVATION
SCALE 3/8" = 1'-0"



<p>LASZLO SIMOVIC ARCHITECTS, L.L.C. 6512 N. ARTESIAN AVE. CHICAGO, ILL. 60631 TEL: 773-336-2226 FAX: 773-336-2226</p>	
<p>PROJECT: NEW 2 STORY MASONRY BLDG FOR NEW RESTAURANT CHICAGO, ILL. 60618</p>	<p>OWNER: CLIP 'O' JOE COFFEE, LLC 308 N. ALBANY AVE CHICAGO, ILL. 60612</p>
<p>SHEET NO. 13 EAST ELEVATION</p>	<p>PROJECT DATE: SCALE: AS NOTED DATE: 6/8/2018</p>
<p>A-7</p>	



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 11, 2024

Erik Heitman
Heitman Architects
555 Pierce Rd., Suite 130
Itasca, IL 60143

Re: Minor change to PD 1167, Subarea C, SCJ Soapbox fencing at 720 E. 111th St.

Dear Mr. Heitman:

Please be advised that your request for a minor change to Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 13 of PD 1167.

On behalf of PAD Property Management LLC, the sole property owner of Subarea C of PD 1167, you are seeking a minor change to allow an 8-foot-high ornamental fence along the western property line and a portion of the southern interior lot line and an 8-foot-high welded wire mesh fence along the remaining interior lot lines. A Site Plan and Site Details are attached. Pursuant to Statement No. 3 of PD 1167, the master developer, Chicago Neighborhood Initiatives, Inc., has also provided their consent to this request.

The Department of Planning and Development has determined that allowing the proposed fences will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1167, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Noah Szafraniec
Assistant Commissioner

NS:tm

C: Mike Marmo, Janice Hill, Main file

CONTRACTOR ENVIRONMENTAL NOTIFICATION

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE AGENCIES AND PROVIDING THE NECESSARY INFORMATION TO THE AGENCIES IN ORDER TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND APPROVALS FOR THE PROJECT.

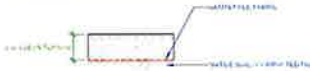
CONTAMINATED SOIL WASTE MANAGEMENT

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MANAGING ANY CONTAMINATED SOIL WASTE THAT MAY BE PRESENT ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MANAGING ANY CONTAMINATED SOIL WASTE THAT MAY BE PRESENT ON THE SITE.

PROJECT DESCRIPTION

THE PROJECT IS A REDEVELOPMENT OF AN EXISTING INDUSTRIAL FACILITY. THE PROJECT IS A REDEVELOPMENT OF AN EXISTING INDUSTRIAL FACILITY. THE PROJECT IS A REDEVELOPMENT OF AN EXISTING INDUSTRIAL FACILITY.

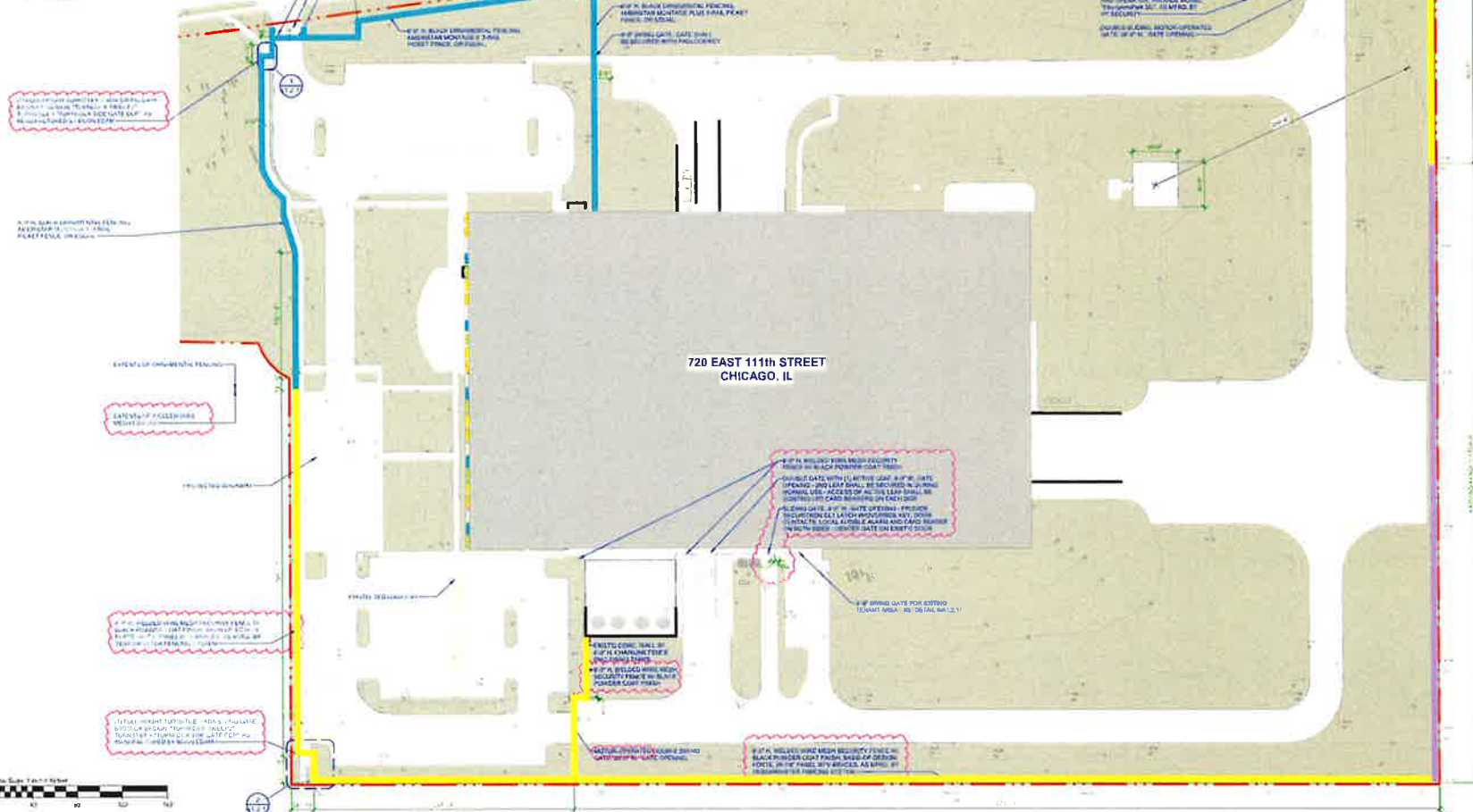
DELINEATION GEOTEXTILE NOTES



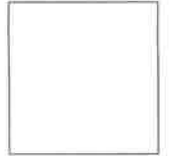
NOTE: DELINEATION GEOTEXTILES ARE TO BE INSTALLED AS SHOWN IN THIS PLAN AND SECTION.

LEGEND

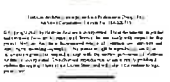
- 2" MIN. UNBLENDED ZIPPED PLASTIC FENCING
- 4" MIN. BLENDED ZIPPED PLASTIC FENCING
- EXISTING SITE CONDITIONS



1 SITE PLAN
A1.0.11
1" = 400'



HEITMAN ARCHITECTS INCORPORATED
 1111 EAST 111th STREET
 CHICAGO, IL 60618
 TEL: 773.733.2311
 FAX: 773.733.2319

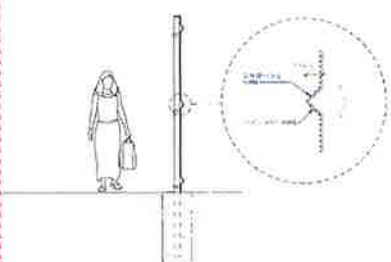


720 EAST 111th STREET
 CHICAGO, IL
 PD #1167
 SITE SECURITY IMPROVEMENTS
 PHASE 1 FENCING

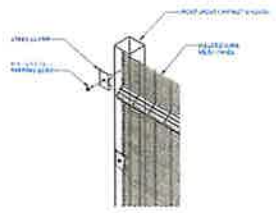
ISSUE DATE	ISSUE FOR BID
05/26/2024	ADDENDUM 1
06/18/2024	ISSUE FOR PERMIT
11/22/2024	REVIS PER CITY COMMENT

DATE	SHEET NUMBER
04/12/2024	A1.0.11
PROJECT NUMBER	218126-00

ALL OTHERS, MATERIALS, CHARACTER OF EQUIPMENT EXCEPT THE EXISTING AND EXISTING CONDITIONS SHALL BE AS SHOWN ON THE EXISTING DRAWINGS.



ANTI-CLIMB FENCE SECTION DTL.



AXONOMETRIC DETAIL

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WOOD POST	1	EA
2	WOOD RAIL	1	EA
3	WOOD BRACKET	1	EA

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WOOD POST	1	EA
2	WOOD RAIL	1	EA
3	WOOD BRACKET	1	EA
4	WOOD BRACKET	1	EA
5	WOOD BRACKET	1	EA
6	WOOD BRACKET	1	EA
7	WOOD BRACKET	1	EA
8	WOOD BRACKET	1	EA
9	WOOD BRACKET	1	EA
10	WOOD BRACKET	1	EA

ANTI-CLIMB FENCING SPECS.

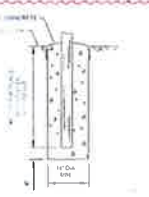


INSTALLATION AT CORNERS

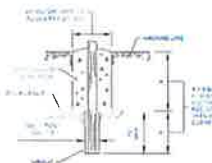
ITEM	DESCRIPTION	QUANTITY	UNIT
1	WOOD POST	1	EA
2	WOOD RAIL	1	EA
3	WOOD BRACKET	1	EA
4	WOOD BRACKET	1	EA
5	WOOD BRACKET	1	EA
6	WOOD BRACKET	1	EA
7	WOOD BRACKET	1	EA
8	WOOD BRACKET	1	EA
9	WOOD BRACKET	1	EA
10	WOOD BRACKET	1	EA



FOOTING FOR LINE POST



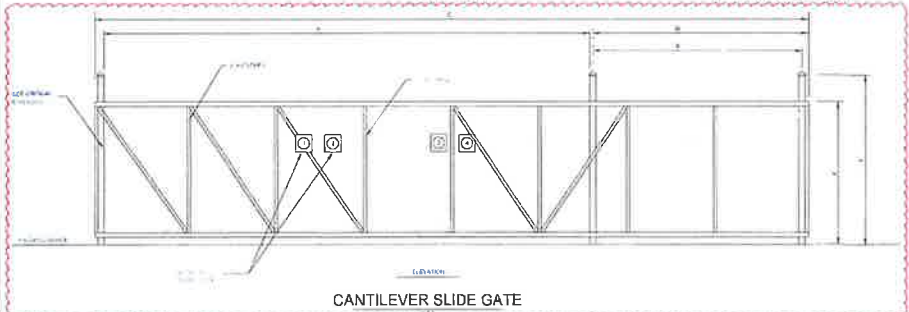
FOOTING FOR GATE & TERMINAL POST



FOOTING FOR POST IN ROCK LEDGE



SIGN DETAILS



CANTILEVER SLIDE GATE

MANUAL SLIDE GATE NOTES:

- 1. THE GATE SHALL BE MANUALLY OPERATED BY MEANS OF A SLIDE GATE MECHANISM.
- 2. THE GATE SHALL BE SUPPORTED BY A CONCRETE FOOTING AS SHOWN ON THE DRAWINGS.
- 3. THE GATE SHALL BE MAINTAINED IN A STATE OF REPAIR AND SHALL BE OPERATIONAL AT ALL TIMES.
- 4. THE GATE SHALL BE OPERATED BY MEANS OF A SLIDE GATE MECHANISM AS SHOWN ON THE DRAWINGS.
- 5. THE GATE SHALL BE MAINTAINED IN A STATE OF REPAIR AND SHALL BE OPERATIONAL AT ALL TIMES.



HEITMAN ARCHITECTS INCORPORATED
 100 N. LAUREL STREET, SUITE 200
 CHICAGO, IL 60610
 TEL: 312.772.2100
 FAX: 312.772.2101
 WWW.HEITMANARCHITECTS.COM

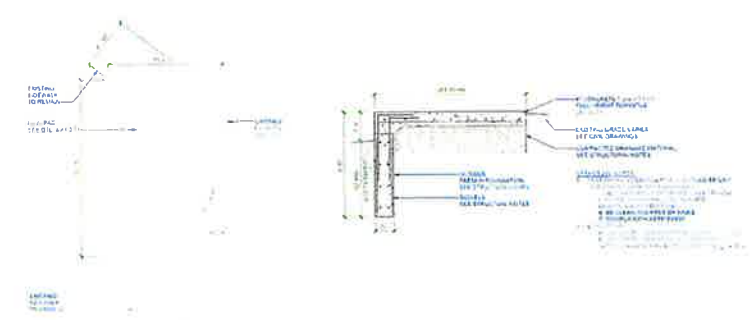


720 EAST 111th STREET
 CHICAGO, IL
 PD 81187
 878 SECURITY IMPROVEMENTS
 PHASE 1 PERMITS

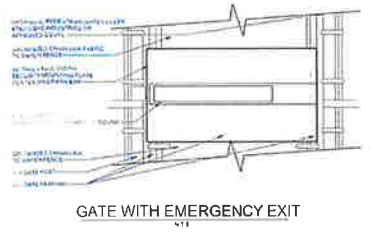
ISSUE DATE: 11/11/2024
 2549/0348
 5008/0324
 11/22/2024

ISSUE # 428 823
 ACCESS/ISSUE 1
 ISSUE FOR PERMITS
 REG. PER CITY
 COMMENT

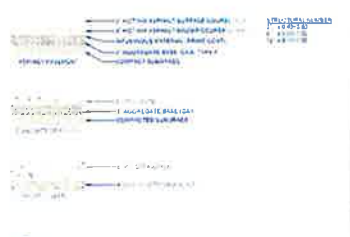
DATE: 11/11/2024
 SHEET NUMBER: A1.1.11
 PROJECT NUMBER: 27824 00



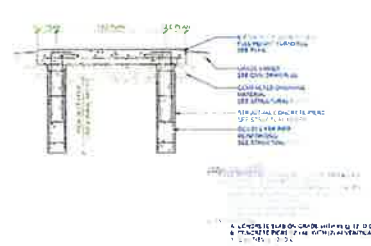
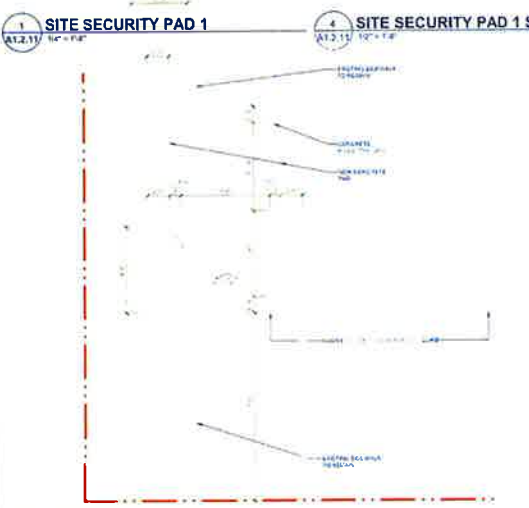
4 SITE SECURITY PAD 1 SECTION DETAIL
A1.2.11 12" x 12"



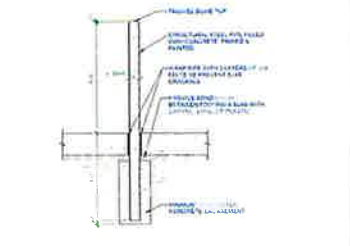
6 GATE DETAIL
A1.2.11 12" x 12"



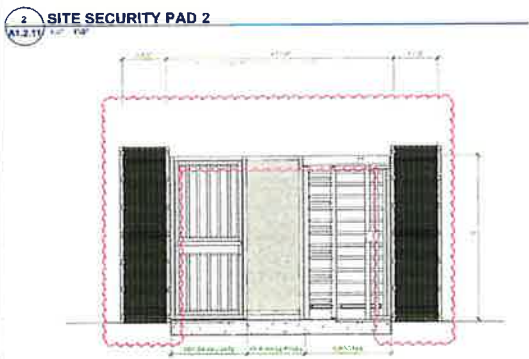
8 PAVEMENT NOTES
A1.2.11 12" x 12"



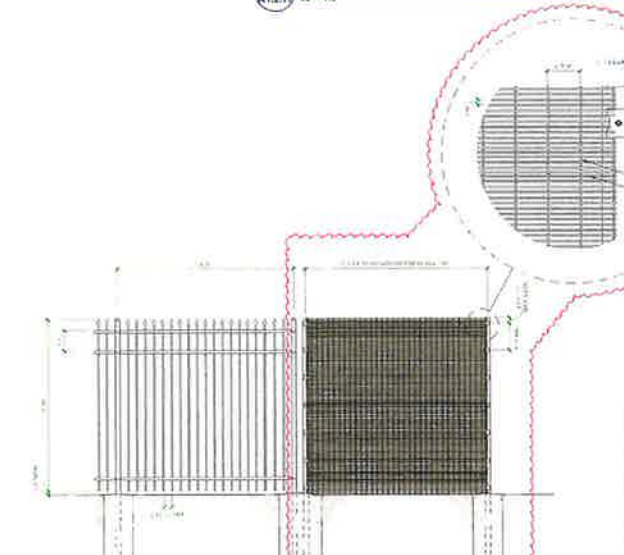
3 SITE SECURITY PAD 2 SECTION DETAIL
A1.2.11 12" x 12"



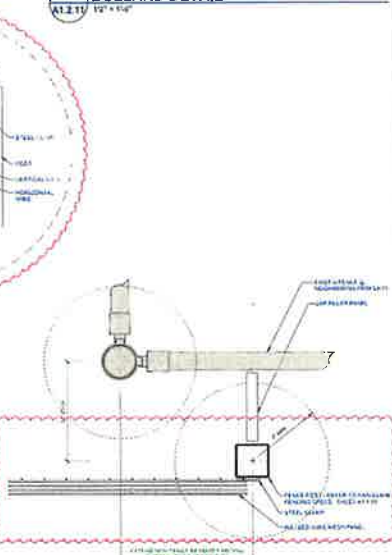
7 BOLLARD DETAIL
A1.2.11 12" x 12"



9 ELEVATION @ NEW TURNSTILE
A1.2.11 12" x 12"



10 PICKET FENCE DETAIL
A1.2.11 12" x 12"



8 FENCING PLAN DETAIL @ TIE-IN WITH EXIST'G
A1.2.11 12" x 12"

HEITMAN ARCHITECTS INCORPORATED

720 EAST 111th STREET CHICAGO, IL 60611

TEL: 312.992.2644 FAX: 312.992.2649

scJohnson
A SC Johnson Company

720 EAST 111th STREET CHICAGO, IL 60611

SITE SECURITY PHASE 1 DESIGN

DATE	SHEET NUMBER
05/20/20	A1.2.11

ISSUE NO.	ISSUE FOR BIDDING
001	REVISIONS
002	REVISIONS
003	REVISIONS
004	REVISIONS
005	REVISIONS
006	REVISIONS
007	REVISIONS
008	REVISIONS
009	REVISIONS
010	REVISIONS



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

October 25, 2024

Gabriela C. Herrera
Neal & Leroy
20 S. Clark St., Suite 205
Chicago, IL 60603

Re: Minor change to PD 1167, Subarea B, Proposed hotel at 11040 S. Doty Avenue

Dear Ms. Herrera:

Please be advised that your request for a minor change to Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 13 of PD 1167.

In March 2023, site plan approval for a proposed 5-story, 105 hotel key building to be located at 11040 S. Doty Avenue was granted. Since that time, Pullman Hotel Group, LLC, the developer, has finalized their plans and is seeking a minor change to allow for design modifications to the proposed hotel. According to your request, there are three property owners within Subarea B, North Pullman 111th, Pullman Park Development 2, and Barpull Company LLC, and they have all provided their consent to this request. Pursuant to Statement No. 3 of PD 1167, the master developer, Chicago Neighborhood Initiatives, Inc. has also provided their consent to this request.

The proposed hotel has been reduced from five-stories to four-stories and from 105 to 100 hotel keys. The length of the building has increased, and the pool has been relocated on the ground floor. The building's structural support system above the ground floor will be changed from cold form steel to cold form steel with wood framing, while the cladding materials will remain masonry and fiber cement. These design modifications have been reviewed and approved by CDOT, MOPD, the Bureau of Fire Prevention, and Stormwater.

The following revised exhibits are attached: Site Plan, Ground Floor Plan, Second Floor Plan, Third Floor Plan, Fourth Floor Plan, Roof Plan, North and South Elevations, and East and West Elevations. Please be advised this approval does not include any signage shown on these exhibits. All signage requires separate sign permit approval.

The Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1167, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

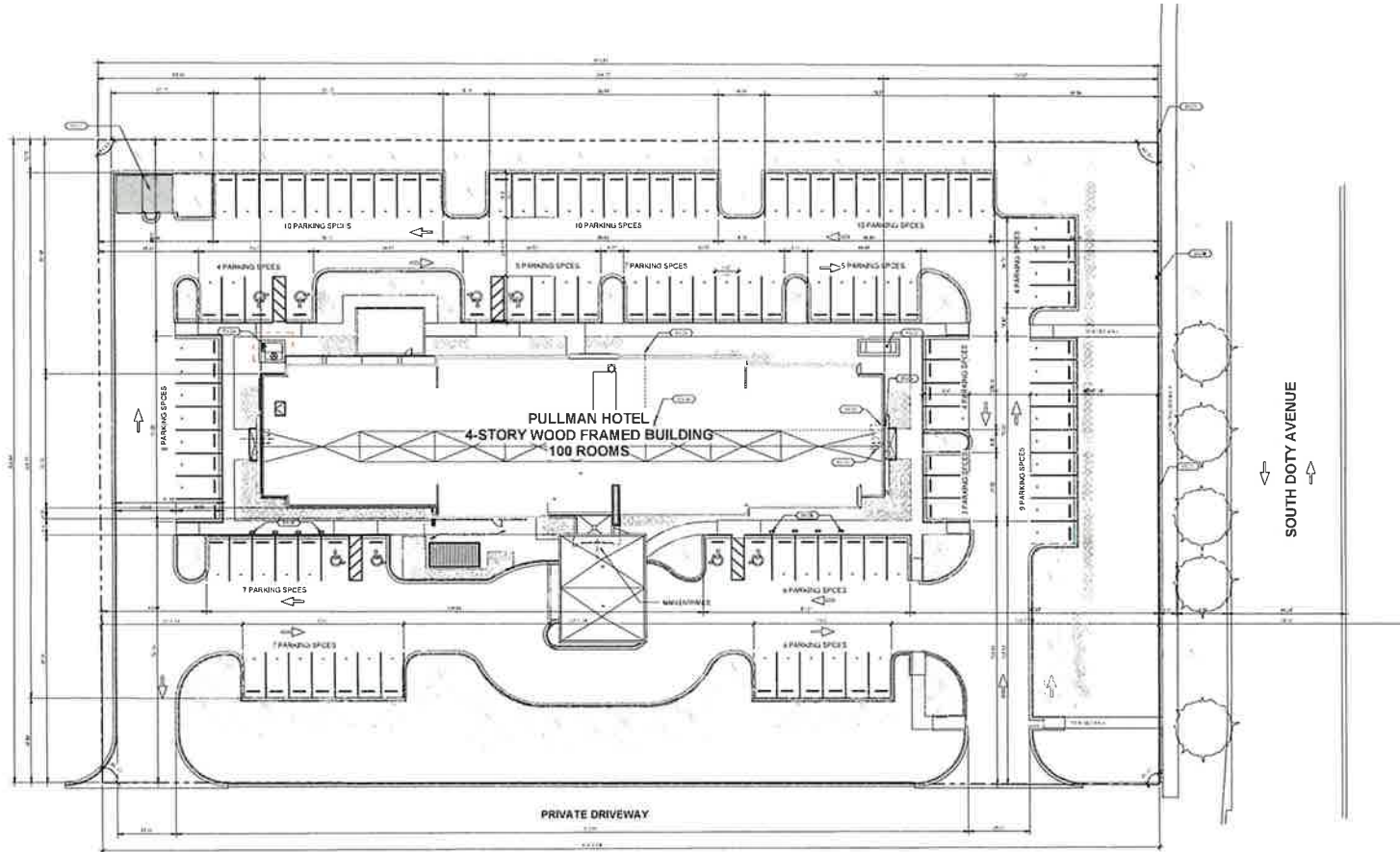
Sincerely,



Noah Szafraniec
Assistant Commissioner

NS:tm

C: Mike Marmo, Janice Hill, Main file



KEYNOTES

- SN 01 TRASH & STORAGE ENCLOSURE
- SN 02 PAD MOUNTED GENERATOR LOCATION
- SN 03 ROOF TOP UNIT
- SN 04 FDC
- SN 05 IF FIRE SERVICE SEE OPA
- SN 06 CHARGING STATIONS
- SN 07 SPRINKLER IRON FENCE
- SN 08 EXISTING FIRE HYDRANT
- SN 09 FIRE ALARM ANNUNCIATOR PANEL
- SN 10 STANDPIPE

BUILDING DATA

BUILDING ZONE	PD 111F
BUILDING PIN	2976 200 000001
BUILDING WARDEN/COMMITTEE	8 SOUTH DAWSON
BUILDING TYPE - CURRENT	VACANT PARCEL
BUILDING TYPE - PROPOSED	HOTEL, HI
CONSTRUCTION TYPE	VA SPRINKLERED METALS
NET SITE AREA	104,378 SQ FT
FAR	0.53
BUILDING STORES	4
GROUND FLOOR	14,766 SQ FT
SECOND FLOOR	14,865 SQ FT
THIRD FLOOR	14,865 SQ FT
FOURTH FLOOR	14,833 SQ FT
TOTAL BUILDING AREA	57,330 SQ FT
BUILDING HEIGHT	34'-0"
PARKING AREA	89,748 SQ FT
TOTAL PARKING SPACES	107
SEWER CONNECTION	YES
STAMBER	YES
FIRE ALARM ANNUNCIATOR PANEL	YES



PULLMAN HOTEL GROUP, LLC
10115 - 10000 S. DAWSON AVE. # 2
CHICAGO, ILL. 60643



THIS PLAN IS THE PROPERTY OF THE ENGINEER AND ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, TRANSMITTED, OR IN ANY MANNER DISSEMINATED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND ARCHITECT. THE ENGINEER AND ARCHITECT ASSUME NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY SUCH PERMITS AND APPROVALS. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER AND ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY SUCH PERMITS AND APPROVALS.

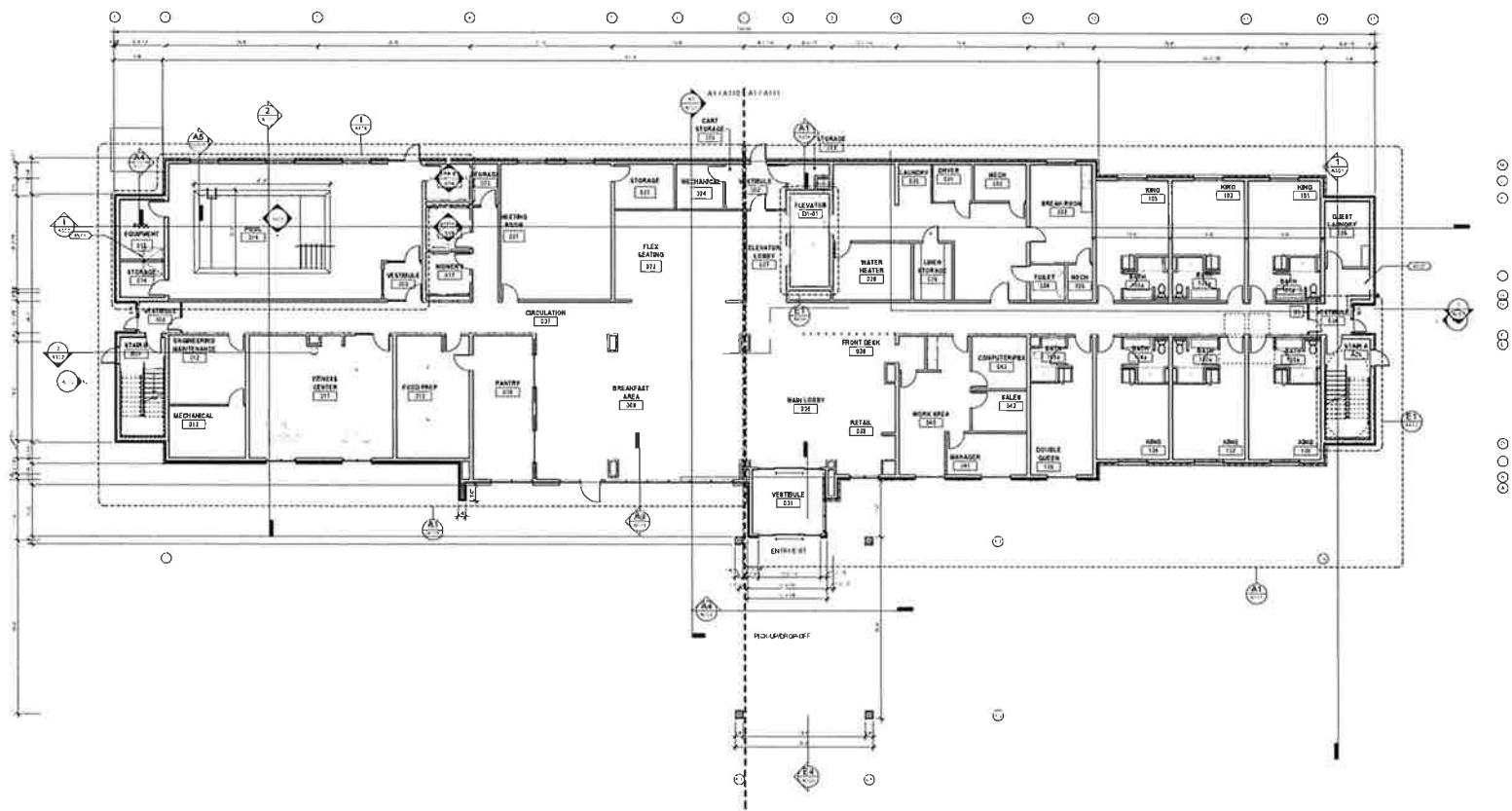


SITE PLAN

KEYNOTES
 AN 01 ROOF MATCH ACCESS
 AN 02 SEE MACHINE

Hampton Inn
 PULLMAN HOTEL GROUP, LLC
 BEEHYVE
 P... CONSTRUCTION

THIS PLAN IS TO BE USED FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT AND TO CONDUCT ADEQUATE FIELD SURVEYS AND INVESTIGATIONS TO DETERMINE THE EXISTING CONDITIONS OF THE SITE AND THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES IN THIS PLAN OR FOR ANY CONSEQUENCES ARISING THEREFROM. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR INTERUPTIONS IN THE PROJECT SCHEDULE CAUSED BY ANY CAUSES OUTSIDE HIS CONTROL.



GROUND FLOOR PLAN

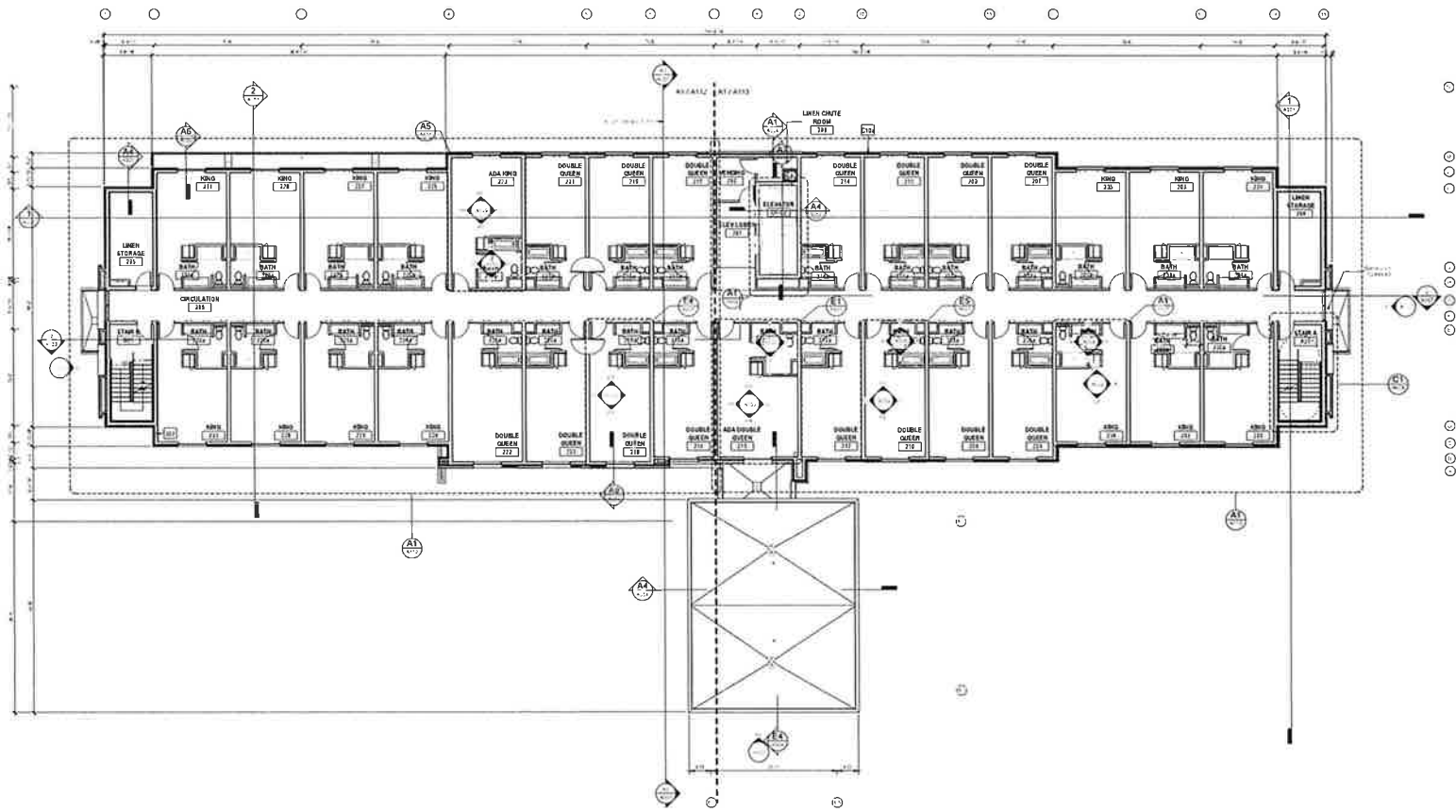
NO.	DATE	DESCRIPTION



PULLMAN HOTEL GROUP, LLC
10000 W. CENTRAL EXPRESSWAY, SUITE 100
DENVER, CO 80231



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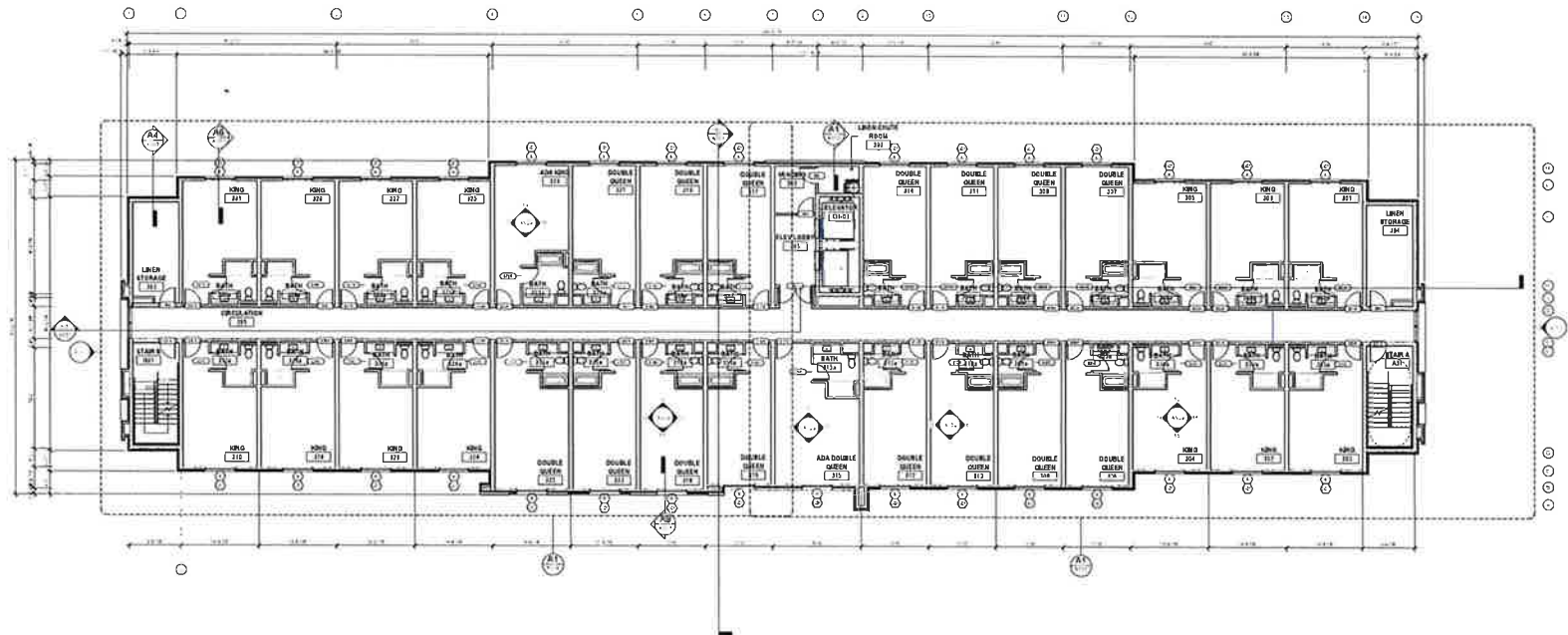


A102 SECOND FLOOR PLAN



SECOND FLOOR PLAN

NO.	DATE	REVISION



PULLMAN HOTEL GROUP, LLC
 17000 W. WASHINGTON AVENUE
 P.O. BOX 1000
 DENVER, CO 80202



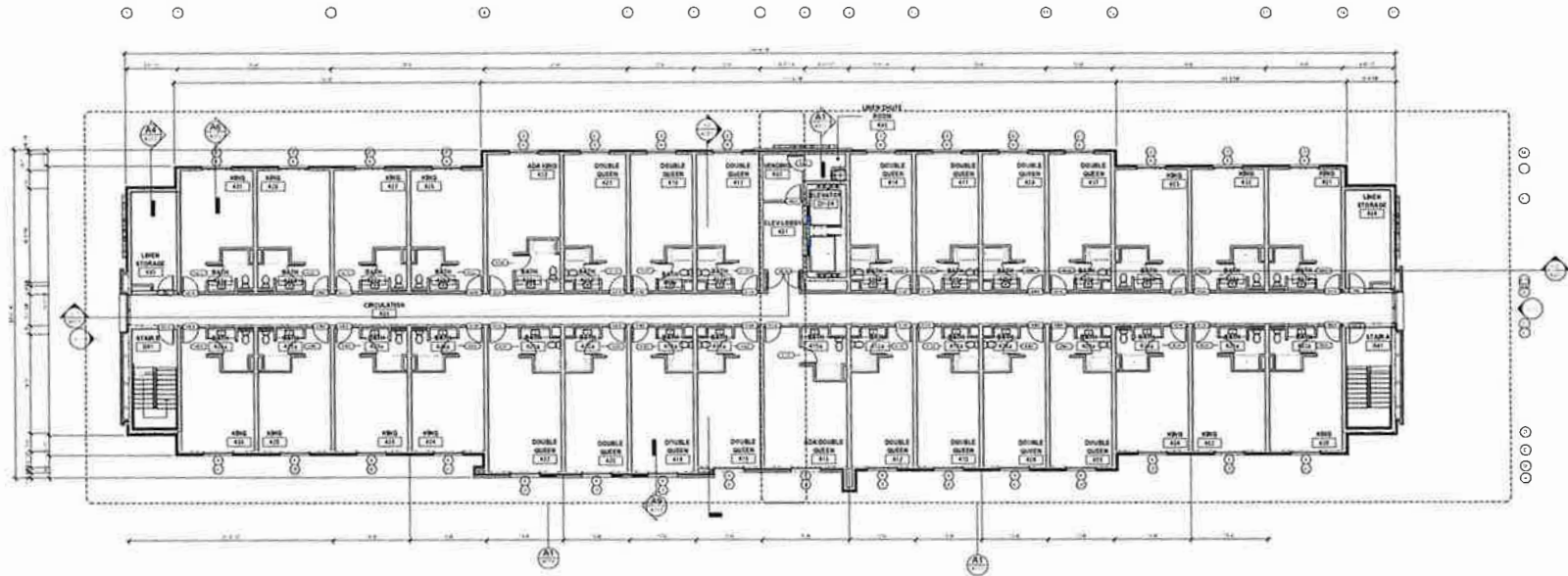
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NO.	DATE	DESCRIPTION



THIRD FLOOR PLAN

FOR REFERENCE ONLY



Hampton Inn
 HILTON HOTELS & RESORTS
 PULLMAN HOTEL GROUP, LLC
 10000 W. CENTRAL EXPRESSWAY, SUITE 200
 DALLAS, TEXAS 75243
 TEL: 972.344.1000
 WWW.HILTONHOTELS.COM

BEEHYVE
 HOTEL & RESORTS
 10000 W. CENTRAL EXPRESSWAY, SUITE 200
 DALLAS, TEXAS 75243
 TEL: 972.344.1000
 WWW.HILTONHOTELS.COM

P
 CONSTRUCTION

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES, AS APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY AND HEALTH PROTOCOLS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL MAINTAIN ALL RECORDS AND DOCUMENTATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY AND HEALTH PROTOCOLS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL MAINTAIN ALL RECORDS AND DOCUMENTATION OF THE PROJECT.



FOR REFERENCE ONLY

NO.	DATE	REVISION

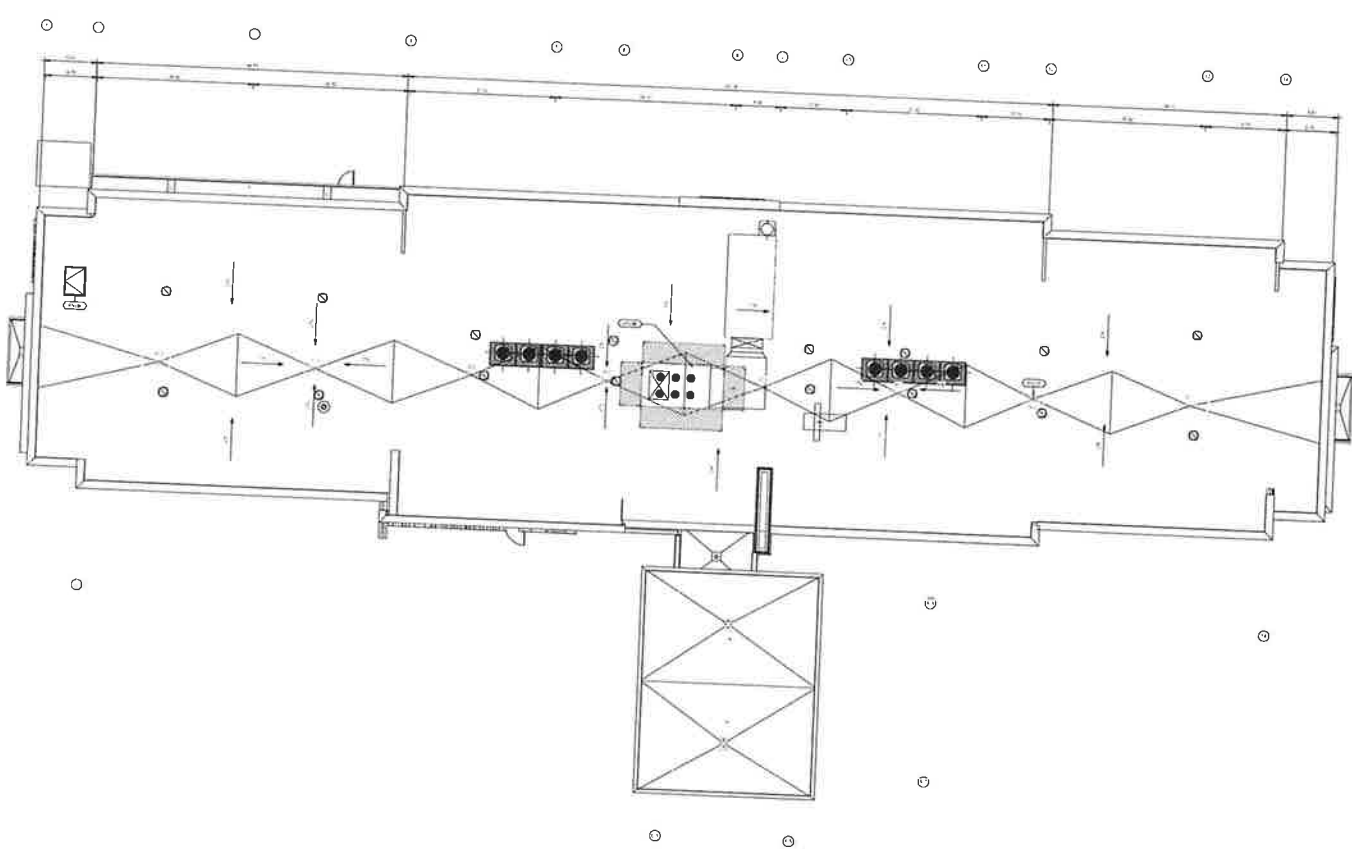
FOURTH FLOOR PLAN

ARCHITECT
 HOK
 10000 W. CENTRAL EXPRESSWAY, SUITE 200
 DALLAS, TEXAS 75243
 TEL: 972.344.1000
 WWW.HILTONHOTELS.COM

DATE: 11/11/2014
SCALE: AS SHOWN
PROJECT: HAMPTON INN AT DALLAS
ROOM: 410-414

A104

RND7 ROOF GRANULES (TYP.)
 RND8 ROOF PATCH TO BE MINIMUM 18"
 3/8" 2" x 2" x 2" INDICATED
 WITH ACCESS FROM
 ALTERNATING TREAD STEAM,
 REMOVE ALL APPLICABLE
 FEDERAL, LOCAL, CODES TO
 VERIFY SEAWALLS DO NOT NEED TO
 EXTEND TO THE ROOF



ROOF PLAN, WINDFOLD
 1" = 10'-0"

Hampton *Parade*
 PULLMAN HOTEL GROUP
 LLC
 BEEHYVE
 FEDERAL CONTRACTOR

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ROOF PLAN

NO.	DATE	BY	CHKD.

- REVISED**
- A01 ARCHITECTURAL WOOD LOOK PANEL
 - B1 BRICK
 - P1 FIBR CEMENT COLOR P1
 - P2 FIBR CEMENT COLOR P2
 - P3 FIBR CEMENT COLOR P3
 - P4 FIBR CEMENT COLOR P4
 - P5 FIBR CEMENT COLOR P5

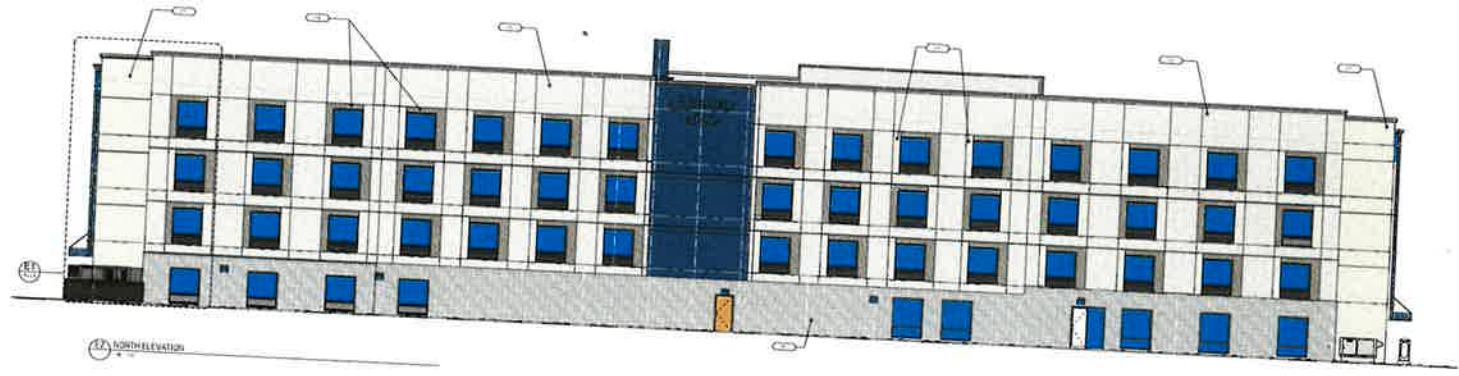
Hampton Inn

PULLMAN HOTEL GROUP, LLC

BEEHYVE

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NORTH ELEVATION



SOUTH ELEVATION



EXTERIOR ELEVATIONS

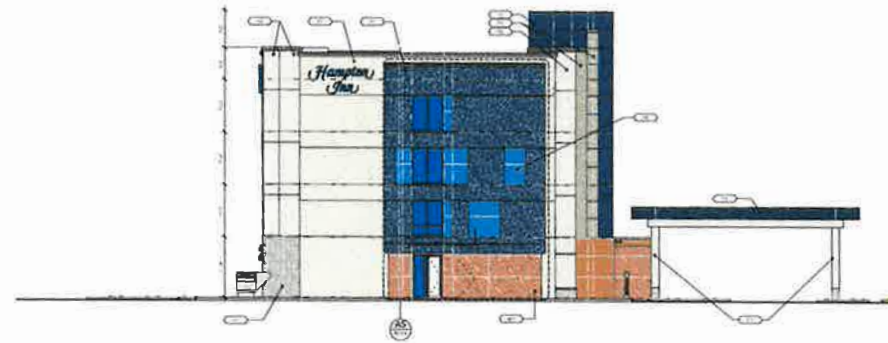
NO.	DATE	BY	CHKD.

LEGEND

- AD1 ARCHITECTURAL WOOD LOOK PANEL
- B1 BRICK
- P1 FIBER CEMENT COLOR P1
- P2 FIBER CEMENT COLOR P2
- P3 FIBER CEMENT COLOR P3
- P5 FIBER CEMENT COLOR P5
- P6 FIBER CEMENT COLOR P6



12 EAST ELEVATION



13 WEST ELEVATION



PULLMAN HOTEL GROUP, LLC
 10000 W. CENTRAL EXPRESSWAY, SUITE 200
 DALLAS, TEXAS 75243



1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO EDGE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.



EXTERIOR ELEVATIONS

NO.	DATE	BY	CHKD.

3. ~~Roof Signs. Notwithstanding any other provision of this Zoning Ordinance, including without limitation Section 17-12-0702, the Zoning Administrator is authorized to approve one roof sign on West Waveland Avenue and one roof sign on North Sheffield Avenue on Team Buildings contained within the Wrigley Field Adjacent special sign district; provided, however, the roof sign must be a static sign facing into Wrigley Field with the top of the sign not exceeding 69 feet above grade for those buildings subject to the height restrictions of 4-388-170(a)(1) and 63 feet above grade for those buildings subject to the height restrictions of 4-388-170(a)(2). LED backlighting for the roof sign is prohibited except during a game, stadium event as defined in Section 4-160-110, or Wrigley Field production as defined in Section 4-388-010(k).~~

4. ~~Off-premises signs are permitted.~~

5. ~~Signs established pursuant to the criteria of the Wrigley Field Adjacent special sign district shall need no other City Council approvals otherwise required pursuant to Section 13-20-680 of the Municipal Code of Chicago.~~

SECTION 2. ~~Section 4-388-130 the Municipal Code of Chicago is hereby amended by deleting the language struck through and by inserting the language underscored, as follows:~~

~~4-388-130 Banners -- Prohibited.~~

~~Except as otherwise provided in Section 17-12-1105, no banners or advertisements shall be displayed from the special club license premises or building.~~

SECTION 3. ~~This ordinance shall take effect after its passage and approval.~~

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF AREAS SHOWN ON MAP NO. 26-E.

(As Amended)
(Application No. 22325)
(Common Address: 10636 S. Woodlawn Ave.)

BRIPDI167.00

[SO2024-0007005]

(Committee Meeting Held April 9, 2024)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, April 17, 2024.

To the President and Members of the City Council:

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on April 9, 2024, the following items were passed by a majority of the members present:

Page 1 contains Document Number O2024-0008401 for the amendment of Municipal Code Chapter 17-12 by adding new Section 17-12-1105 that establishes boundaries and regulations for signs within Wrigley Field adjacent special sign district located in the 44th Ward.

Page 2 contains one map amendment in the 9th Ward.

Page 2 also contains various large signs over 100 square feet in area and 24 feet above grade in the 1st, 2nd, 5th, 25th, 27th, 29th, 33rd, 35th, 41st, 42nd, 44th, 45th, 47th and 48th Wards.

I hereby move for passage of the proposed substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) BENNETT R. LAWSON,
Vice-Chair.

On motion of Alderperson Lawson, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Alderpersons La Spata, Hopkins, Dowell, Robinson, Yancy, Hall, Mitchell, Harris, Beale, Chico, Lee, Quinn, Gutiérrez, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Mosley, Rodríguez, Tabares, Scott, Sigcho-Lopez, Fuentes, Burnett, Ervin, Taliaferro, Cruz, Cardona, Waguespack, Rodríguez-Sánchez, Conway, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Lawson, Gardiner, Clay, Martin, Manaa-Hoppenworth, Hadden, Silverstein -- 49.

Nays -- None.

Alderperson Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business-Residential-Institutional Planned Development Number 1167, as amended, symbols and indications shown on Map Number 26-E in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot-wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of the 100-foot-wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of Business-Residential-Institutional Planned Development Number 1167, as amended, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business-Residential-Institutional Planned Development No. 1167, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development Number 1167 (the "Planned Development") consists of approximately 7,419,988 square feet of net site area (approximately 170 acres) of property (the "Property"), together with certain portions of existing adjacent rights-of-way, as depicted on the attached Planned Development Boundary and Property Line Map. The Planned Development is divided into subareas (each, a "Subarea," and collectively, the "Subareas") as indicated on the attached Subarea Map. For purposes of this amendment to the Planned Development, Ryan Companies US, Inc. is the "Applicant" with due authorization from each respective Property Owner within Subarea A.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. These Planned Development statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct

any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Zoning Administrator as a minor change to this Planned Development, provided such adjustments: (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance; (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant (or its successors, assigns or grantors) for approval by CDOT, the department and by the City Council at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II approval); and (c) shall not be deemed to confer any additional bulk, density or other development rights.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium or homeowners' association which may be formed). The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as Chicago Neighborhood Initiatives, Inc. ("Master Developer") or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Master Developer (or Master Developer's successor, assignee or grantee to such master developer ownership interest) or such affiliate. Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. The developer making application shall have the burden of establishing to the reasonable satisfaction of the department that the Master Developer's consent has been obtained or irrevocably waived. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the

portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof; provided, however, that Chicago Neighborhood Initiatives, Inc.'s right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property or a covenant binding upon owners of the Property may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development and irrevocably waive the Applicant's consent right.

4. This Planned Development consists of: (i) these 17 statements; (ii) Bulk Regulations and Data Table -- Subarea A, prepared by Spaceco, Inc. and dated March 21, 2024; (iii) Bulk Regulations and Data Table -- Subarea K, prepared by Spaceco, Inc. and dated March 21, 2024; and *(iii) the following "Design Exhibits" attached hereto: an Existing Zoning Map, an Existing Land-Use Map, a Planned Development Boundary, Subarea Boundary, and Property Line Map (three sheets), a Site Plan (Subarea A) (five sheets), and a Landscape Plan (Subarea A) (six sheets), all prepared by Spaceco, Inc. and dated March 21, 2024, and Conceptual Exterior Elevations Materials (Subarea A) (two sheets) prepared by Ware Malcomb and dated March 21, 2024.

The following Design Exhibits are incorporated by reference: a Site Plan, a Landscape Plan, Illustrative Floor Plans, West Elevation, East Elevation, South Elevation, and North Elevation prepared by Laszlo Simovic Architect LLC and dated September 21, 2022; an Existing Zoning Map, an Existing Land-Use Map, a Planned Development Boundary and Property Line Map (three pages), a Subarea Map, a Subarea G Site/Landscape Plan (13 pages), Subarea G Building Elevations (four pages), Plan of Development Bulk Regulations and Data Table -- Subarea G, Plan of Development Bulk Regulations and Data Table -- Subarea J, Rights-of-Way Adjustment Map (three pages), which exhibits are attached to the Planned Development ordinance amendment approved by the City Council on June 17, 2020, and published in the *Journal of the Proceedings of the City Council of the City of Chicago* at pages 18552 through 18595, all of which were prepared by Spaceco, Inc. and dated March 18, 2020; Bulk Elevations -- North Woodlawn/Doty Avenues (Subarea G), Bulk Axonometrics (Subareas A, B, G), Plan of Development Bulk Regulation and Data Tables (including permitted uses) for each of Subareas B and C (two pages), all prepared by Pappageorge Haymes Partners dated August 15, 2013; Design Guidelines for Subarea G, prepared by

* Editor's Note: Numbering sequence error; (iii) repeated in original document.

Pappageorge Haymes dated April 15, 2010; Subarea C Site Plan, prepared by William McDonough Partners dated August 15, 2013; Project Legacy Landscape Plan (two pages), prepared by Norris Design dated August 15, 2013; and Building Elevations and Building Sections Sheet for Subarea C, both prepared by William McDonough Partners dated August 15, 2013; a final Subarea Plan and Site Plan (Phase I) for Subarea B, Elevations -- Subarea B (two pages), Plan of Development Bulk Regulations and Data Table -- Subarea B, and Design Guidelines -- Subarea B, all prepared by ZPD+A Architects and dated December 2, 2015; and a Landscape Plan (Subarea B -- Phase 1) prepared by Spaceco Inc. and dated November 11, 2015.

Full-size copies of the Design Exhibits are on file with the department.

The following administrative relief and site plan approval letters are hereby incorporated by reference and made part of this Planned Development (collectively, the "Administrative Approvals"): Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated February 25, 2011; Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated May 2, 2011; Administrative Relief Request and Site Plan Approval for Subarea A, Phase 1B to David Doig dated January 25, 2013; Site Plan Approval for Phase 1B of Subarea A (South Out Lot – 10834 South Doty Avenue) to David Reifman, dated July 25, 2014; and Signage Plan Approval for Planned Development to David Reifman, dated January 23, 2015; Site Plan Approval for Subarea A, issued to Warren Johnson, dated April 16, 2019; Site Plan Approval for Subarea J, issued to Mariah DiGrino, dated May 9, 2019; Site Plan Approval for Subarea J, issued to Mariah DiGrino, dated March 6, 2020; Site Plan Approval for Subarea G, issued to Mariah DiGrino, dated March 6, 2020; Site Plan Approval for Subarea G, issued to Mariah DiGrino, dated September 21, 2020; Site Plan Approval for Subarea B, issued to Mariah DiGrino, dated January 14, 2021; Site Plan Approval for Subarea I, issued to Mariah DiGrino, dated May 19, 2022; and Site Plan Approval for Subarea B, issued to Carol Stubblefield, dated March 9, 2023.

References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits and Administrative Approvals. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The permitted uses, floor area ratio, building height, setback, parking, bicycle parking and off-street loading requirements for each Subarea are set forth in the applicable Plan of Development Bulk Regulations and Data Tables included in the Design Exhibits. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply.
6. Changes in the boundaries of Subareas shall require an amendment to these statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the department. Off-premises signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. All ingress and egress shall be subject to the review and approval of CDOT and the department. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach. Any dedication, opening, or vacation of public streets, alleys or easements or any adjustment of the public rights-of-way contained within a particular Part II submittal shall be approved by City Council prior to the issuance of any final Part II approval. In connection with the Applicant's (or any developer's) submittal of any Site Plans in accordance with Statement 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). Applicant and its successors, assigns and grantees, at such parties' expense, agree to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third-party construction inspection services to assist CDOT in its review and approval of Site Plan submissions (which approvals shall be a condition precedent to the department's issuance of any applicable Part II approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.

10. Final Subarea Plans were previously approved for Subarea A, as part of establishment of the original Planned Development, and for Subarea C, as part of the amendment to the Planned Development approved on September 11, 2013, and for Subarea B (Phase I), as part of the amendment to the Planned Development approved on June 22, 2016. Final Subarea Plans shall not be required for Subareas G, H, I or J but development of such subareas shall be subject to Site Plan Review, as set forth in this Statement 10.

Prior to the Part II approval (per Section 17-13-0610 of the Zoning Ordinance), Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and, as applicable, the Final Subarea Plan in accordance with Section 17-13-0800 of the Chicago Zoning Ordinance, excluding Site Plan review for: (i) the project depicted in Subarea A, which was approved with the original Planned Development and by its related Administrative Approvals; (ii) the project depicted in Subarea C, which was approved as part of the amendment to the Planned Development approved on September 11, 2013; (iii) the project depicted as Phase I of Subarea B, which was approved as part of the amendment to the Planned Development approved on June 22, 2016; (iv) the project depicted in Subarea I, which was approved as part of the amendment to the Planned Development approved on May 25, 2018, and by Site Plan Approval issued May 19, 2022; (v) the project depicted in Subarea J, which was previously approved by Site Plan Approvals issued May 9, 2019; (vi) the project depicted in Subarea G, which was approved by Site Plan Approvals issued March 6, 2020, and September 21, 2020, and which was approved as part of the amendment to the Planned Development approved on June 17, 2020; (vii) the restaurant facility located in Subarea B, which was approved by Site Plan Approval issued January 14, 2021; (viii) the hotel development located in Subarea B, which was approved by Site Plan Approval dated March 9, 2023; (ix) the restaurant facility located in Subarea B, which was approved as part of the amendment to the Planned Development on April 19, 2023; and (x) the project depicted on the attached Design Exhibits in Subarea K, which is approved pursuant to this amendment to the Planned Development. The future expansion of the industrial building in Subarea C shall require Site Plan Review and an Administrative Relief submission prior to a Part II approval of the aforementioned expansion project. Review and approval by the Department of Planning and Development is intended to assure that specific development components substantially conform with the Planned Development, including the Plan of Development Bulk Regulations and Data Table and Design Guidelines applicable to such Subarea(s), and to assist the City, in monitoring ongoing development. Subarea Site Plan Approval Submittals (per Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant.

If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's subarea (if applicable), or the final approved subdivision plat (if applicable), the Applicant or developer of the subject project shall provide an exhibit showing lot sizes and boundaries for such project. In addition to the submittal requirements of Section 17-13-0802-B, the Applicant or developer shall also

provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, included in such project:

- (1) the Gross Site Area;
- (2) the Net Site Area;
- (3) the square feet of floor area of each proposed building;
- (4) the amount of F.A.R. utilized out of the maximum F.A.R. permitted in such Subarea;
- (5) the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- (6) the number of dwelling units to be constructed and the maximum number of dwelling units permitted under the Design Exhibits applicable to such Subarea;
- (7) the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- (8) all Residential Open Space, if applicable;
- (9) the number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Bulk Regulation Data Table Summary and Design Exhibits, as applicable; and
- (10) final elevations; elevations must be provided for all of the proposed building facades and building specified.

The Site Data Table shall also incorporate a table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the department and such other bureaus, departments or agencies as the Zoning Administrator deems appropriate before issuance of any Part II approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable). If, after City departmental review, the Zoning Administrator determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance (as applicable to improvements in a C2-3 district, e.g., the Site Plans include 60 dwelling units or more, or buildings 75 feet or more in height), then the Site Plan must then be reviewed by the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda, publication in accordance with Section 17-13-0107-B of the Chicago Zoning Ordinance, and posting in accordance

with Section 17-13-0107-C of the Chicago Zoning Ordinance shall be required, but for which written notice pursuant to Section 17-13-0107-A of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If such mandatory thresholds are not met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review, the Zoning Administrator determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Zoning Administrator. Without limiting the foregoing, the first development project within Subarea H may, in the Zoning Administrator's discretion, be presented to the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda shall be required, but for which publication, posting and written notice pursuant to Sections 17-13-0107-A, -B, and -C of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If, after City departmental review, the Zoning Administrator shall determine that the Site Plan is not in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable), the Zoning Administrator shall advise the Applicant or developer in writing of why the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan (if applicable). In such case, the Applicant or developer shall be given an opportunity to submit revised Site Plans. If the Zoning Administrator finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan (if applicable), the Applicant or developer then shall be required to amend this Planned Development and/or the Final Subarea Plan (if applicable) in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan (if applicable) and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Section 13 hereof, if applicable.

11. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's Stormwater Management Requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) Intentionally omitted.

- (d) Within Subarea A, a Chicago Transit Authority bus turnaround in a location and of such size and configuration as mutually agreed upon by the Master Developer, the Chicago Transit Authority and CDOT has been previously completed.
 - (e) Intentionally omitted.
 - (f) Applicant acknowledges that the City will not maintain or bear the cost of maintaining any landscape or streetscape improvements on any medians to be constructed within the Planned Development. Prior to CDOT approval of engineering drawings for any median street to be constructed by the Applicant within the Planned Development, the Applicant must demonstrate to the satisfaction of CDOT that sufficient sustainable resources have been committed, and written agreements exist (which provide reasonable protection to the City and, among other things, shall name the City as intended beneficiary, shall grant the City enforcement rights, and shall include or extend indemnification and insurance provisions for the benefit of the City) to provide for the satisfactory maintenance of such medians, which agreements may provide for maintenance costs to be funded through a special service area or special service district, the establishment of which is subject to separate City Council approval.
 - (g) Master Developer, at the Master Developer's expense, has previously reconstructed South Woodlawn Avenue, from approximately East 107th Street to East 111th Street in accordance with the requirements of Statement 9.
 - (h) The Applicant and each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.
12. The Part II review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.50 per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II review. Such fee shall be determined and assessed by the department at the time of each and every Part II review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the department prior to issuance of any Part II approval. Following Part II review and approval by the Zoning Administrator, the department shall keep such approved plans and elevations on permanent file, and they shall be deemed to be an integral part of this Planned Development. The Applicant acknowledges that it is in the public interest to design, construct and

maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. Any interim reviews associated with Site Plan review or Part II reviews, are conditional until final Part II approval.

13. Subject to the other terms and conditions of these statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Zoning Administrator upon application and a determination by the Zoning Administrator in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Sections 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the net site area of or dwelling units permitted in other Subareas or the Planned Development as a whole) and that such modification, and the improvements contemplated thereby, are consistent with the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. Unless substantial construction of any new building, as proven by the issuance of building permits and the diligent completion of construction pursuant to such permits for Subarea K has commenced within six (6) years of this amendment to the Planned Development, this Planned Development shall expire upon the sixth anniversary date of the effective date of this amendment to the Planned Development. If this amendment to the Planned Development expires pursuant to the foregoing provision, this amendment to the Planned Development shall expire by separately introduced ordinance, if any, and in such event the zoning of the Property shall revert to Business-Residential-Institutional Planned Development Number 1167, as adopted by the Chicago City Council on April 19, 2023. Such reversion shall not render any building existing at the time to be nonconforming. The six-year period described above may be extended for up to one additional year if, before expiration, the Zoning Administrator determines that good cause for an extension is shown.

16. Intentionally omitted.
17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of: (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof); and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderperson in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

[Existing Zoning Map; Existing Land-Use Map; Boundary, Subarea Boundary and Property Line Maps; Site Plans (Subarea A); Landscape Plans (Subarea A); and Conceptual Exterior Elevations and Materials (Subarea A) referred to in these Plan of Development Statements printed on pages 11303 through 11320 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

Business Planned Development No. 1167.

Bulk Regulations And Data Table.

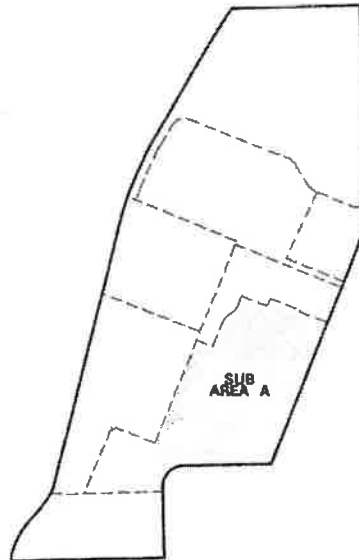
FINAL FOR PUBLICATION

BULK REGULATIONS AND DATA TABLE - SUB AREA A

USES

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: colleges and universities; cultural exhibits and libraries; day care; hospitals; parks and recreation; community centers; recreation buildings and similar assembly use; postal service; public safety services; religious assembly; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; all lodging including hotel/motel; medical service; office; high technology office; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

No adult uses are allowed.



KEY PLAN

Site Area

Gross	1,918,864 sf (37.16 acres)
Rights of Way	161,105 sf (3.70 acres)
Net Site Area	1,457,759 sf (33.47 acres)

Detention/Buffer Zone	379,314 sf (8.71 acres)
percent of net	26.0%

Building Area

Retail	405,000 sf
Net Building Area	405,000 sf

Maximum F.A.R.	0.75
Building Height	50 ft
Setbacks	Front 0 ft
	Side 0 ft
	Rear 0 ft
Parking	None for first 10,000 square feet then 2.5 spaces per 1,000 square feet
Bicycle Parking	No use is required to provide more than 50 bicycle spaces.
	1 per 5 auto spaces
Off Street Loading	100,000 - 249,999 sf = 4 berths (10 x 50) +250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf

Applicant: Ryan Companies US, Inc.
Address: 10636 S. Woodlawn (Project address: 10770 S. Doty)
Introduced: January 24, 2024
Plan Commission: March 21, 2024

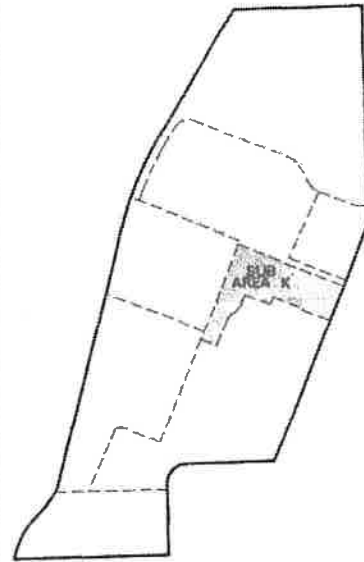
FINAL FOR PUBLICATION

BULK REGULATIONS AND DATA TABLE - SUB AREA K

USES

The following C2, Motor Vehicle-Related Commercial District and other related and similar uses shall be allowed: day care; parks and recreation; community centers; recreation buildings and similar assembly use; school; all sports and recreation, participant excluding entertainment cabaret; dwelling units located on and above the ground floor as follows: detached houses, elderly housing, multi-unit (3 + units) residential; townhouses. The following uses shall be allowed: artisan; limited and general manufacturing; production and industrial services, including without limitation manufacturing of soap, detergents and cleaning products; warehousing; wholesaling and freight movement; vehicle sales and service; sports and recreation, participant; retail sales, general; residential storage warehouse; office, including without limitation high technology office and electronic data storage center; urban farm, including without limitation indoor operation, outdoor operation and rooftop operation; and colleges and universities.

No adult uses are allowed.



KEY PLAN

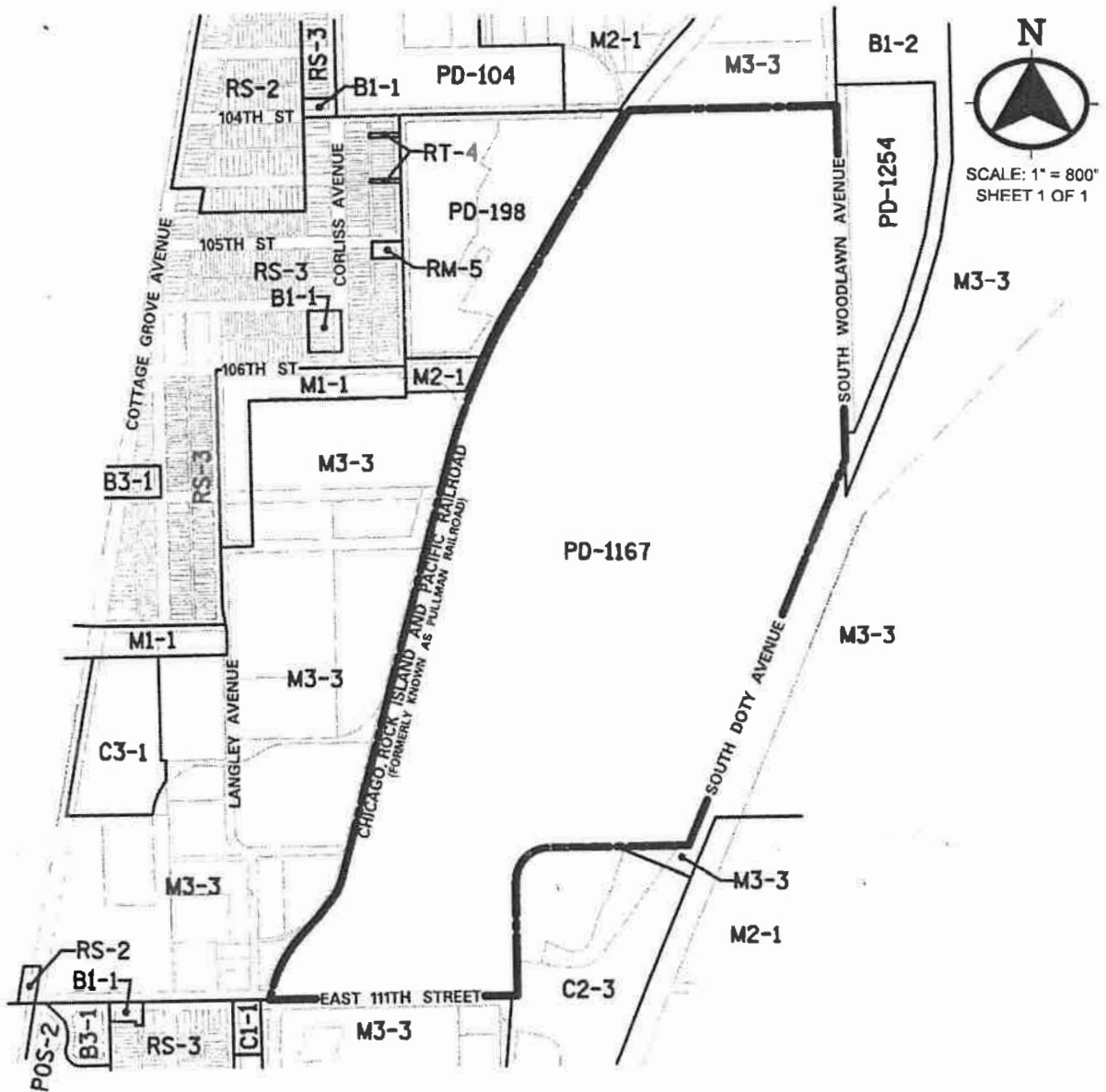
Site Area

Gross	425,919 sf (9.78 acres)
Rights of Way	16,521 sf (0.38 ACRES)
Net Site Area	409,398 sf (9.40 acres)
Detention/Buffer Zone <i>percent of net</i>	0 sf (0.00 acres)] 0.0%

Maximum F.A.R.		1.2
Building Height		65 ft
Setbacks	Front	0 ft
	Side	0 ft
	Rear	16 ft
Parking		1 space per 4 employees
Bicycle Parking		1 per every 10 auto spaces.
Off Street Loading	0-9,999	0
	10,000-49,000	1
	50,000-99,999	2
	100,000+	2 + 1 per 10,000 sq. ft. or portion thereof above 100,000 sq. ft.
		10 x 25 10 x 50 for buildings over 20,000 sq. ft.

Applicant: Ryan Companies US, Inc.
 Address: 10636 S. Woodlawn (Project address: 10770 S. Doty)
 Introduced: January 24, 2024
 Plan Commission: March 21, 2024

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EXISTING ZONING MAP

APPLICANT:
RYAN COMPANIES US, INC.

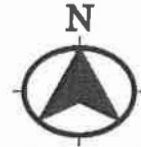
ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



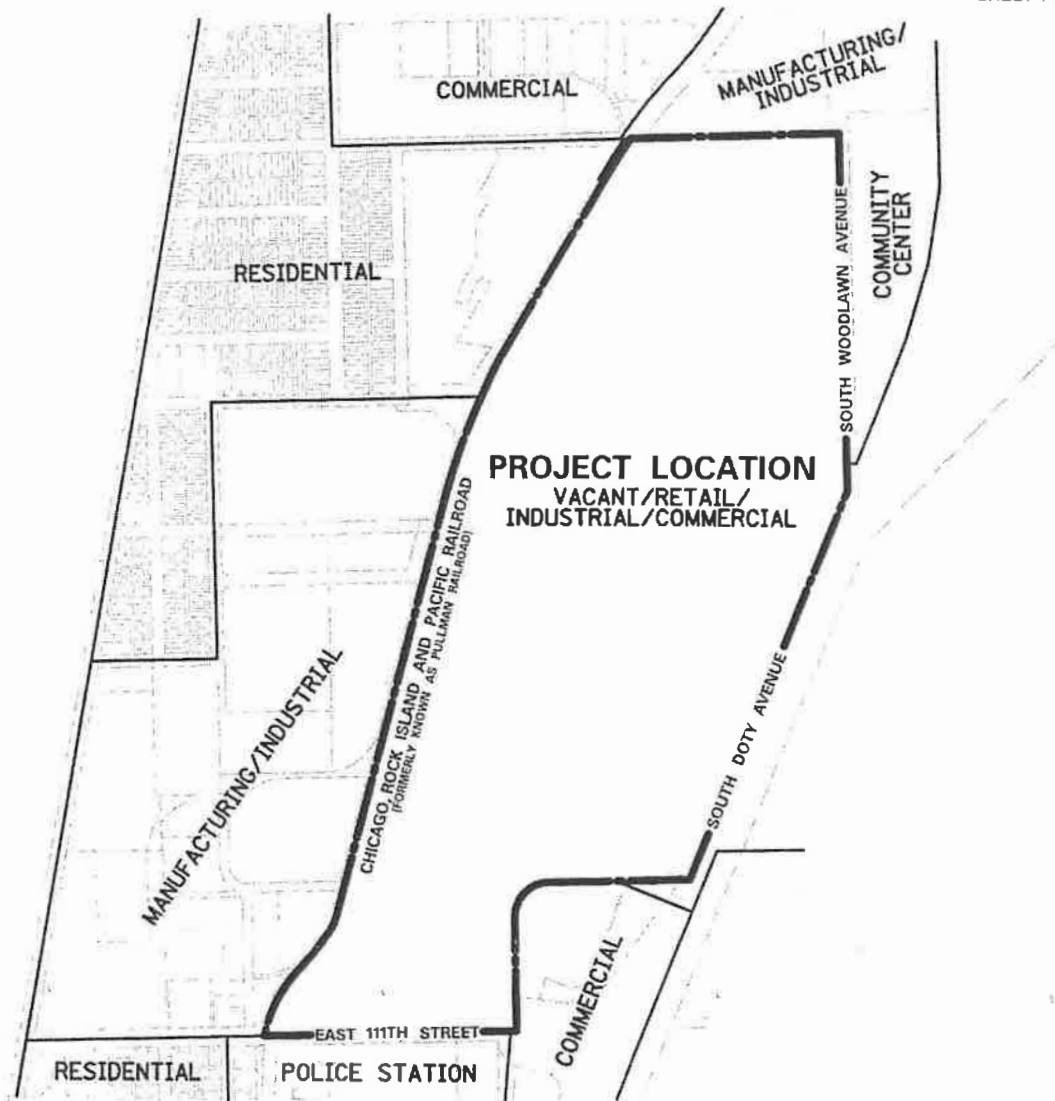
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

5575 W. Higgins Road, Suite 709
Rosemont, Illinois 60018
Phone: (847) 616-4260 Fax: (847) 616-4655

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SCALE: 1" = 800'
SHEET 1 OF 1



EXISTING LAND USE MAP

APPLICANT:
RYAN COMPANIES US, INC.



ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024

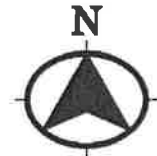


CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

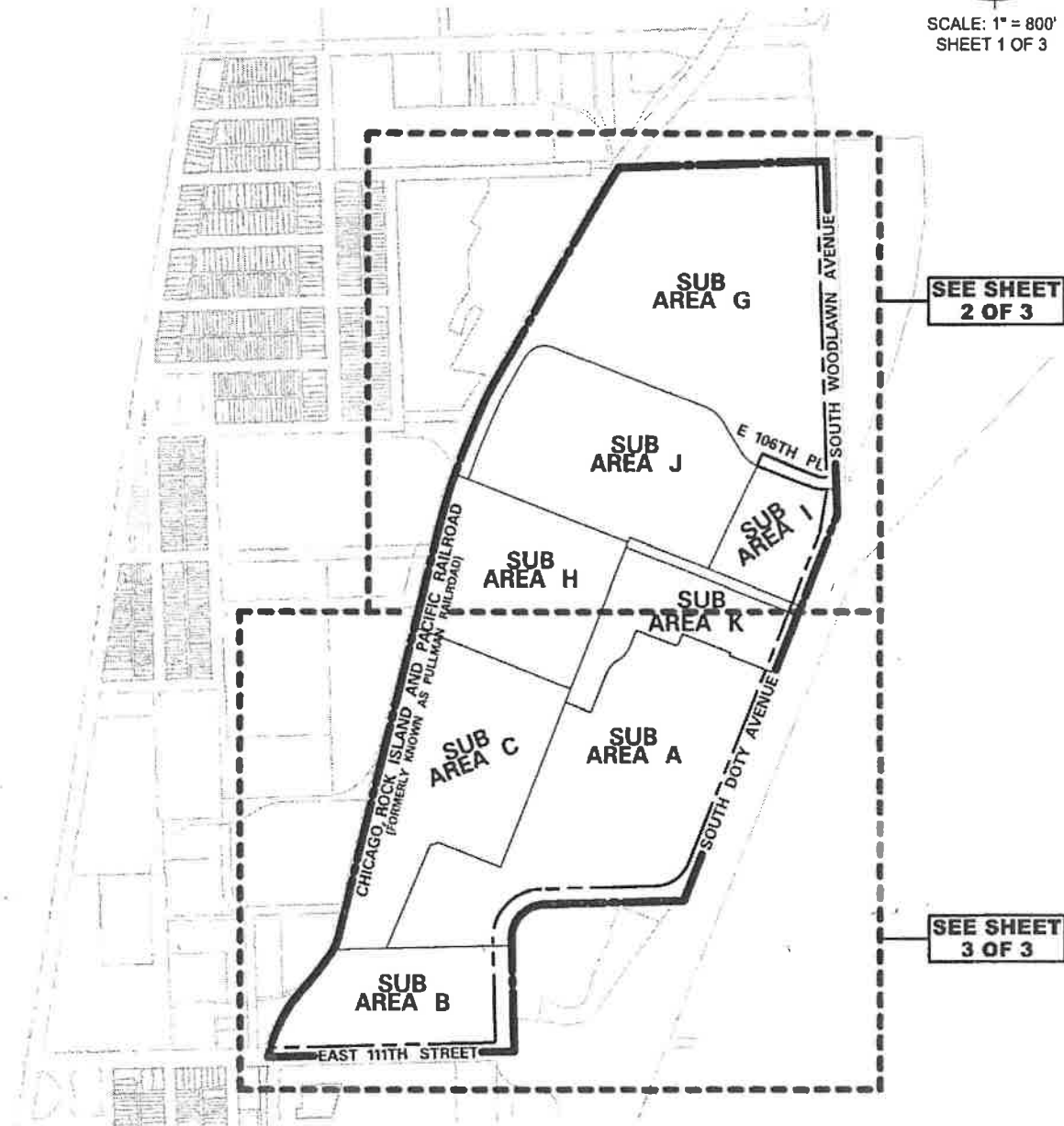
8575 N. Higgins Road, Suite 700,
Skokie, Illinois 60076
Phone: (847) 669-2100 Fax: (847) 684-4653

FINAL FOR PUBLICATION

 PLANNED DEVELOPMENT BOUNDARY
 PROPERTY LINE



SCALE: 1" = 800'
SHEET 1 OF 3



PLANNED DEVELOPMENT BOUNDARY, SUB AREA BOUNDARY,
AND PROPERTY LINE MAP

APPLICANT:
RYAN COMPANIES US, INC.

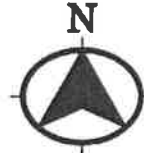
ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



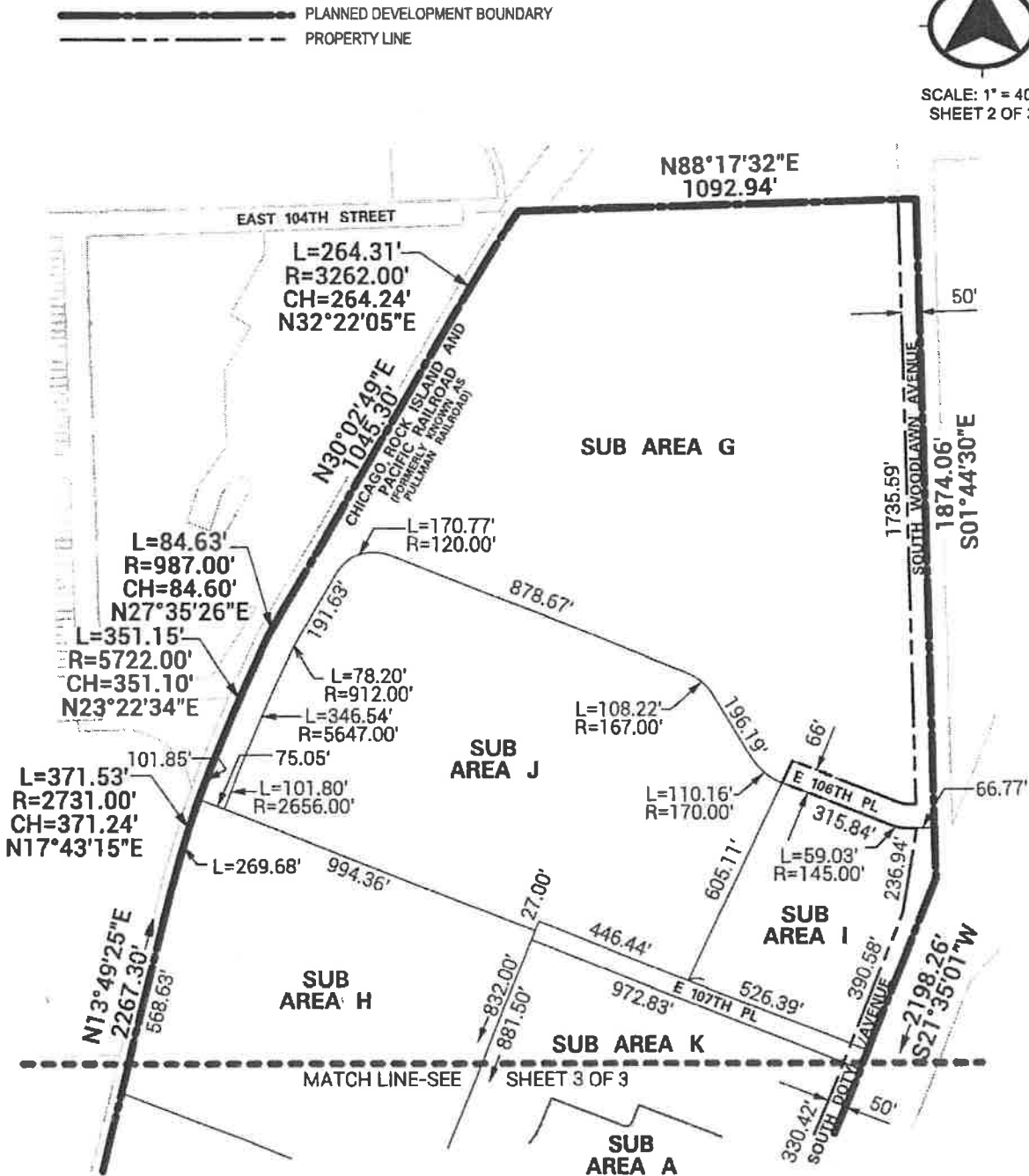
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9525 W. Higgins Road, Suite 750
Rosemont, Illinois 60018
Phone: (847) 696-4300 Fax: (847) 696-6255

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SCALE: 1" = 400'
SHEET 2 OF 3



PLANNED DEVELOPMENT BOUNDARY, SUB AREA BOUNDARY, AND PROPERTY LINE MAP

APPLICANT:
RYAN COMPANIES US, INC.

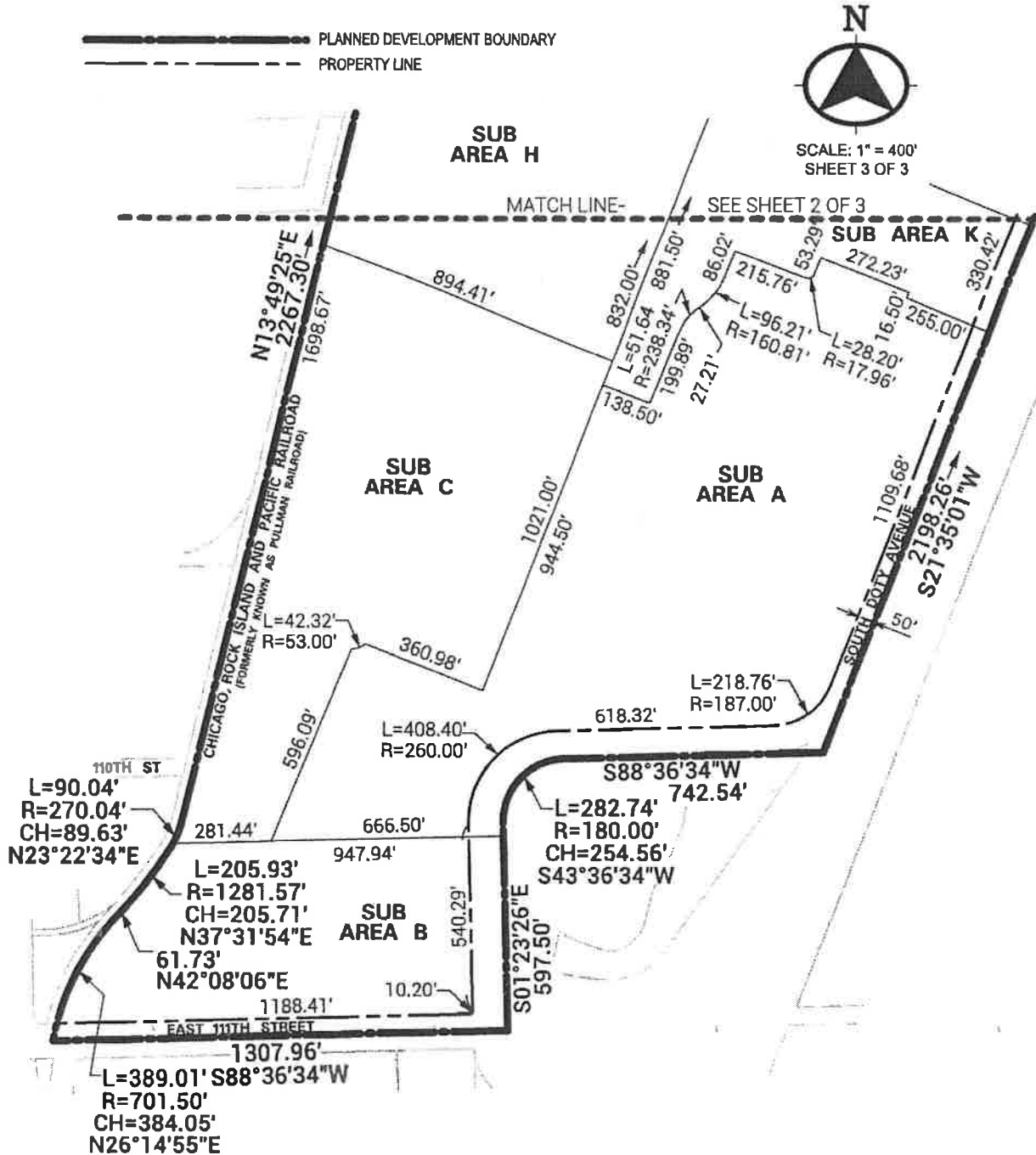
ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

5575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 296-1250 Fax: (847) 696-6243

FINAL FOR PUBLICATION



PLANNED DEVELOPMENT BOUNDARY, SUB AREA BOUNDARY, AND PROPERTY LINE MAP

APPLICANT:
RYAN COMPANIES US, INC.

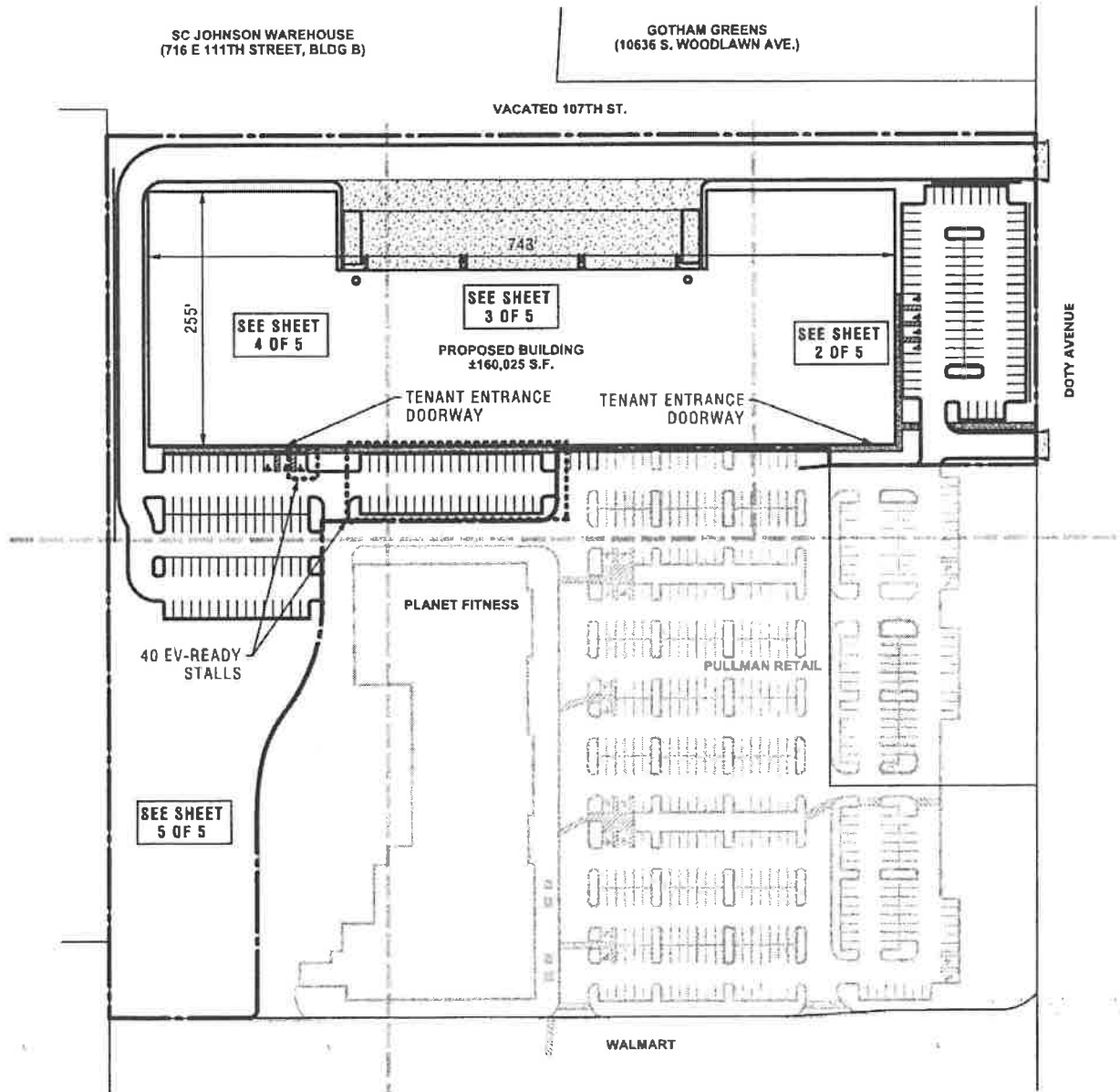
ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

7575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-6265 Fax: (847) 696-6245

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SITE PARKING COUNT	
PASSENGER PARKING STALLS =	192
ADA PARKING STALLS =	7
TOTAL PARKING STALLS =	199

CITY OF:
 BUILDING:
 STRUCTURE:
 MECHANICAL:
 ELECTRICAL:
 PLUMBING:
 FIRE / LIFE SAFETY:
 FUEL/GAS:
 ACCESSIBILITY:

CHICAGO, ILLINOIS
 2019 CHICAGO BUILDING CODE (14B)
 2019 CHICAGO BUILDING CODE (14B)
 INTERIM CHICAGO MECHANICAL CODE (14M)
 2018 CHICAGO ELECTRICAL CODE (14E)
 INTERIM CHICAGO PLUMBING CODE (14P)
 INTERIM CHICAGO FIRE PREVENTION CODE (14F)
 INTERIM CHICAGO FUEL GAS CODE (14G)
 ICC/ANSI-A177.1-2009 WITH MODIFICATIONS PER
 CBC SECTION 18-11-1101.3.1 CHAPTER 18-11-117.3.4
 ILLINOIS ACCESSIBILITY CODE 2018-COMPLIANCE PER
 CBC & ICC/ANSI-A177.1, 2010 DEPARTMENT OF JUSTICE
 & ADA STANDARDS FOR ACCESSIBLE DESIGN



SCALE: 1" = 150'
 SHEET 1 OF 5

REVISED: MARCH 21, 2024
 REVISED: FEBRUARY 22, 2024
 REVISED: FEBRUARY 09, 2024

SITE PLAN (Sub Area A)

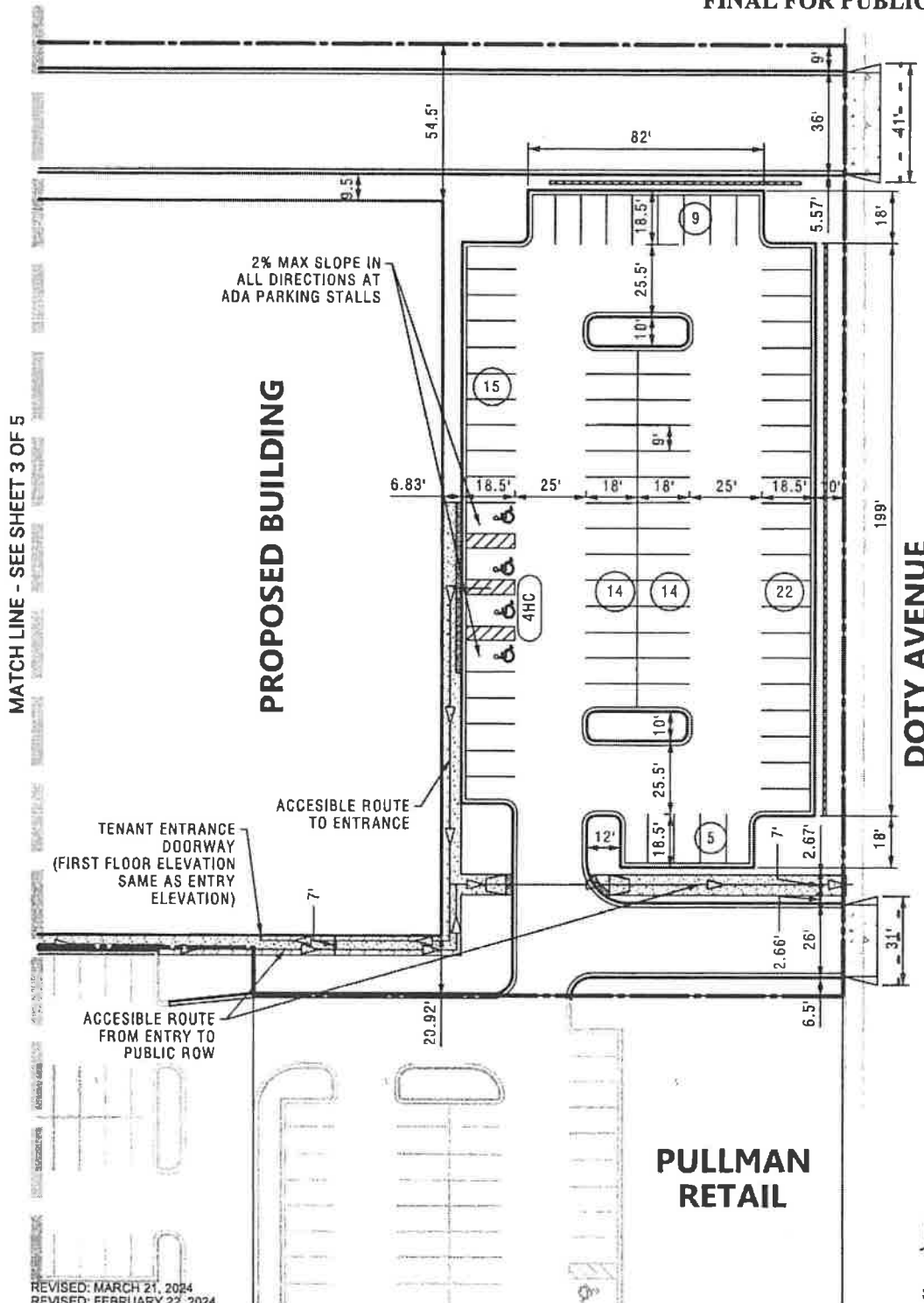
APPLICANT:
 RYAN COMPANIES US, INC.

ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
 INTRODUCTION DATE: JANUARY 24, 2024
 CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9525 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 596-4253 Fax: (847) 596-4255

FINAL FOR PUBLICATION



MATCH LINE - SEE SHEET 3 OF 5

PROPOSED BUILDING

DOTY AVENUE

PULLMAN
RETAIL



SCALE: 1" = 50'
SHEET 2 OF 5

REVISED: MARCH 21, 2024
REVISED: FEBRUARY 22, 2024
REVISED: FEBRUARY 09, 2024

SITE PLAN(Sub Area A)

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES

APPLICANT:
RYAN COMPANIES US, INC.

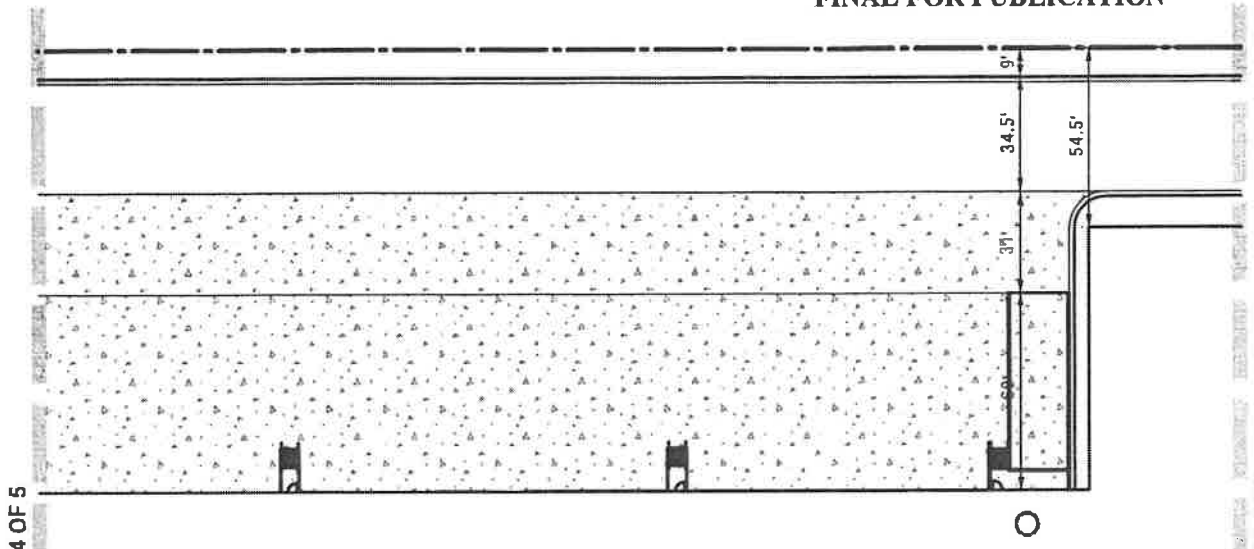
ADDRESS: 10635 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 576-4260 Fax: (847) 486-6445

FINAL FOR PUBLICATION



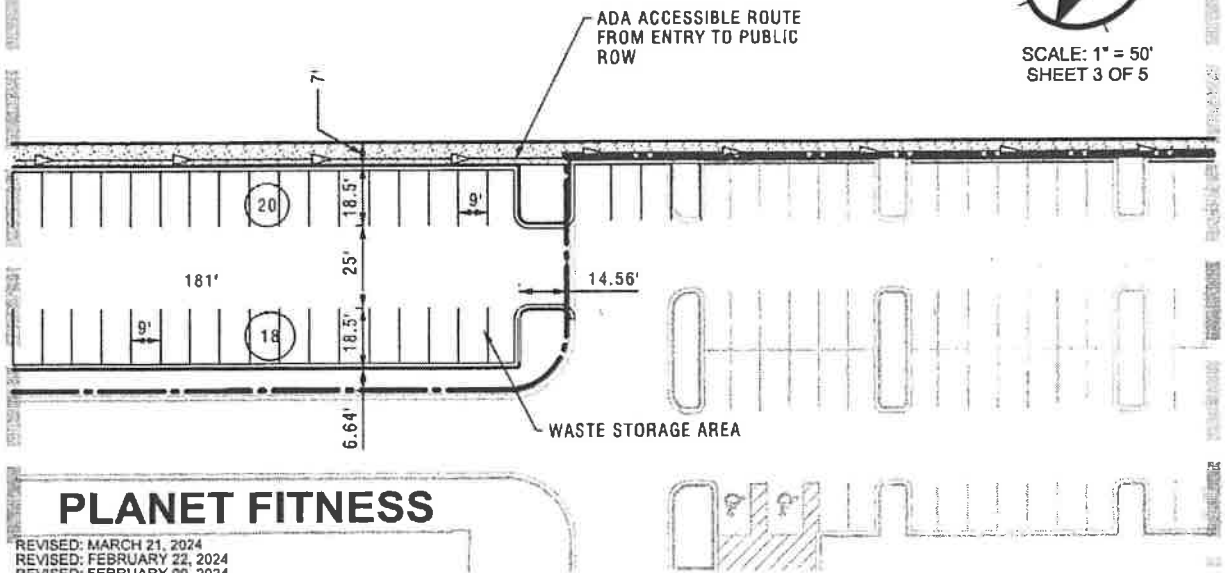
MATCH LINE - SEE SHEET 4 OF 5

MATCH LINE - SEE SHEET 2 OF 5

PROPOSED BUILDING



SCALE: 1" = 50'
SHEET 3 OF 5



PLANET FITNESS

REVISED: MARCH 21, 2024
REVISED: FEBRUARY 22, 2024
REVISED: FEBRUARY 09, 2024

SITE PLAN(Sub Area A)



NUMBER OF STRIPED PARKING SPACES

APPLICANT:
RYAN COMPANIES US, INC.



NUMBER OF STRIPED HANDICAP PARKING SPACES

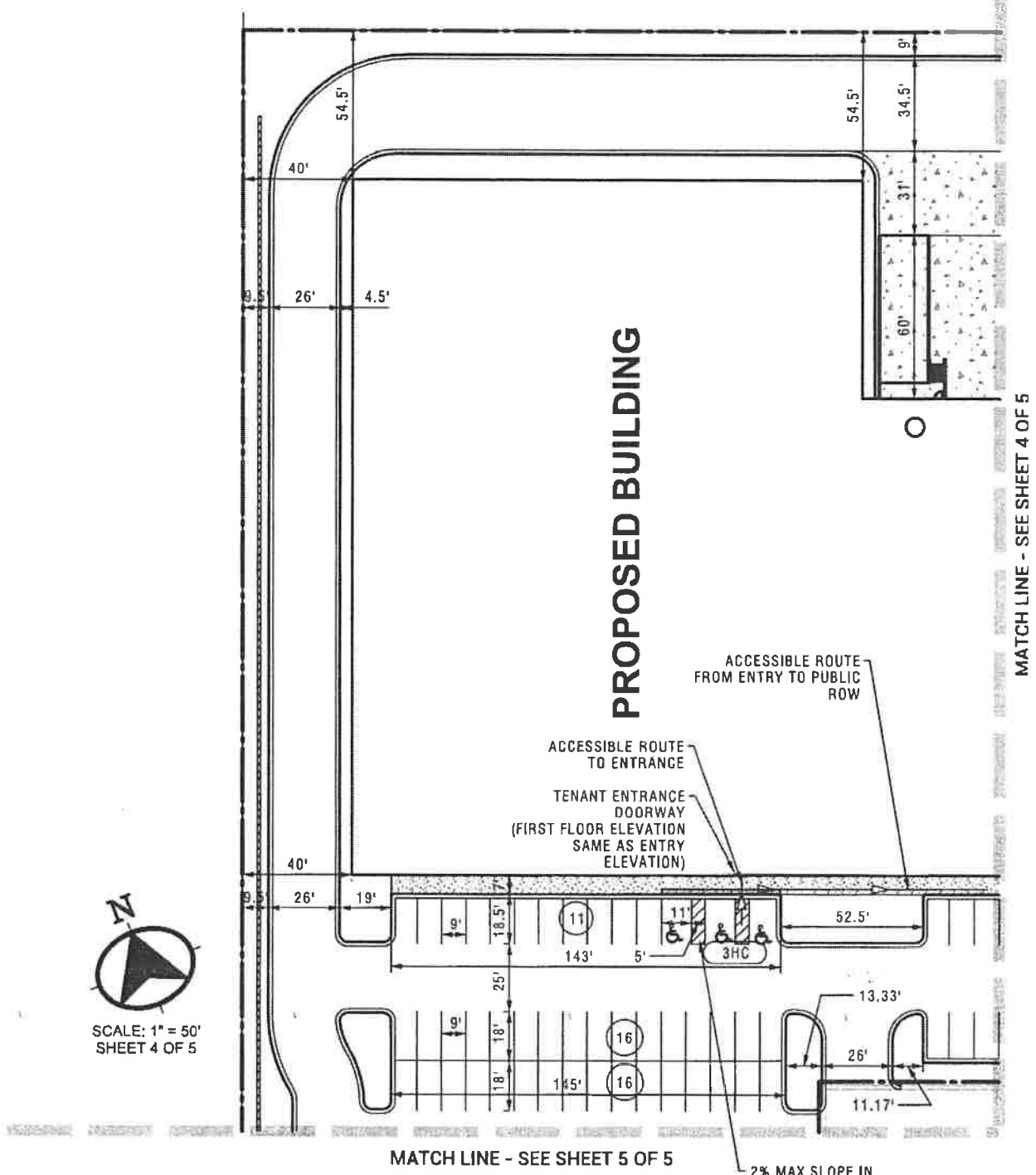
ADDRESS: 10635 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 656-4700 Fax: (847) 696-4655

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SCALE: 1" = 50'
SHEET 4 OF 5

REVISED: MARCH 21, 2024
REVISED: FEBRUARY 22, 2024
REVISED: FEBRUARY 09, 2024

SITE PLAN (Sub Area A)

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 10638 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

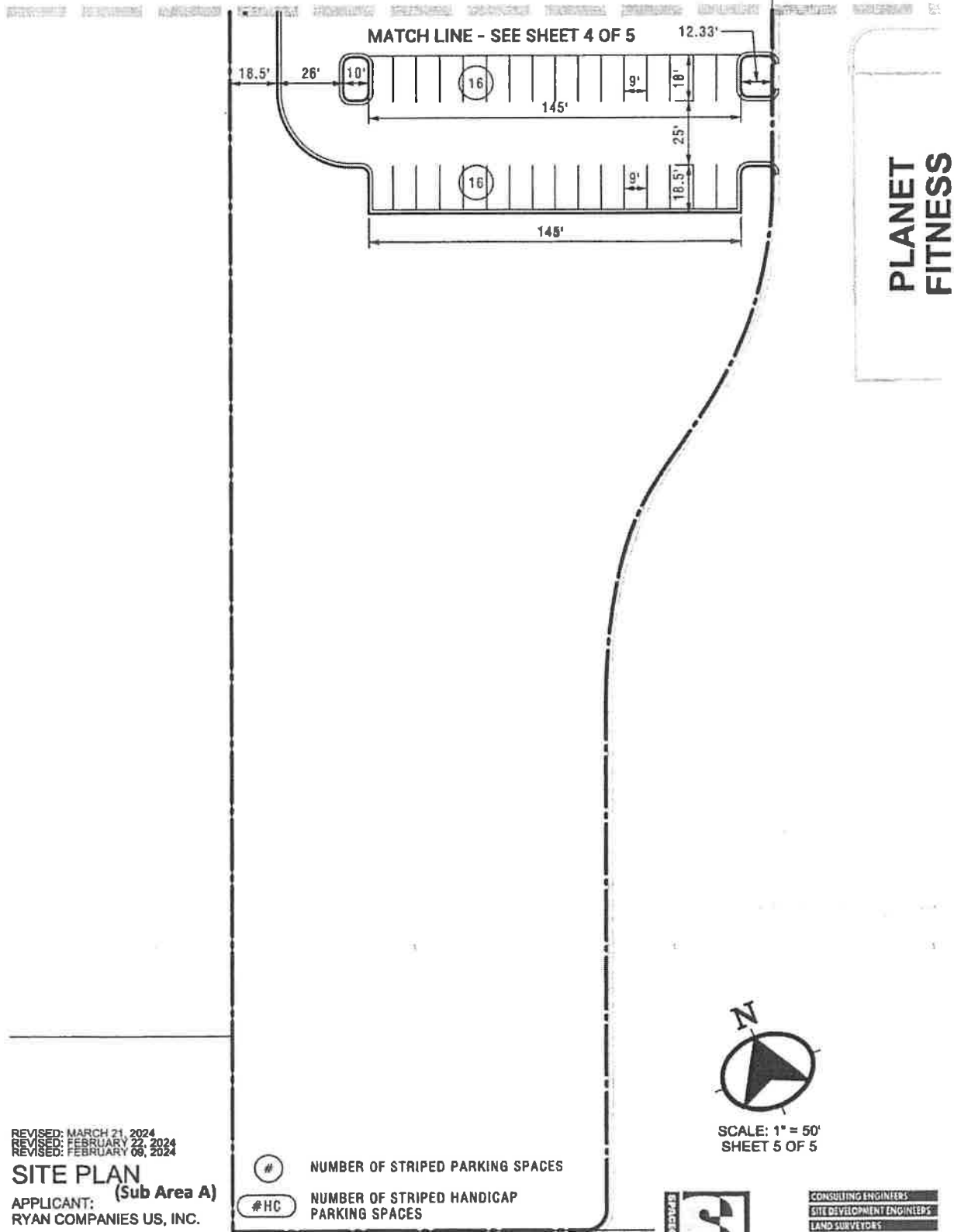
9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 697-4260 Fax: (847) 697-4265

2% MAX SLOPE IN ALL DIRECTIONS AT ADA PARKING STALLS

MATCH LINE - SEE SHEET 4 OF 5

MATCH LINE - SEE SHEET 5 OF 5

FINAL FOR PUBLICATION



PLANET FITNESS

REVISED: MARCH 21, 2024
REVISED: FEBRUARY 22, 2024
REVISED: FEBRUARY 08, 2024

SITE PLAN
(Sub Area A)

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES



SCALE: 1" = 50'
SHEET 5 OF 5

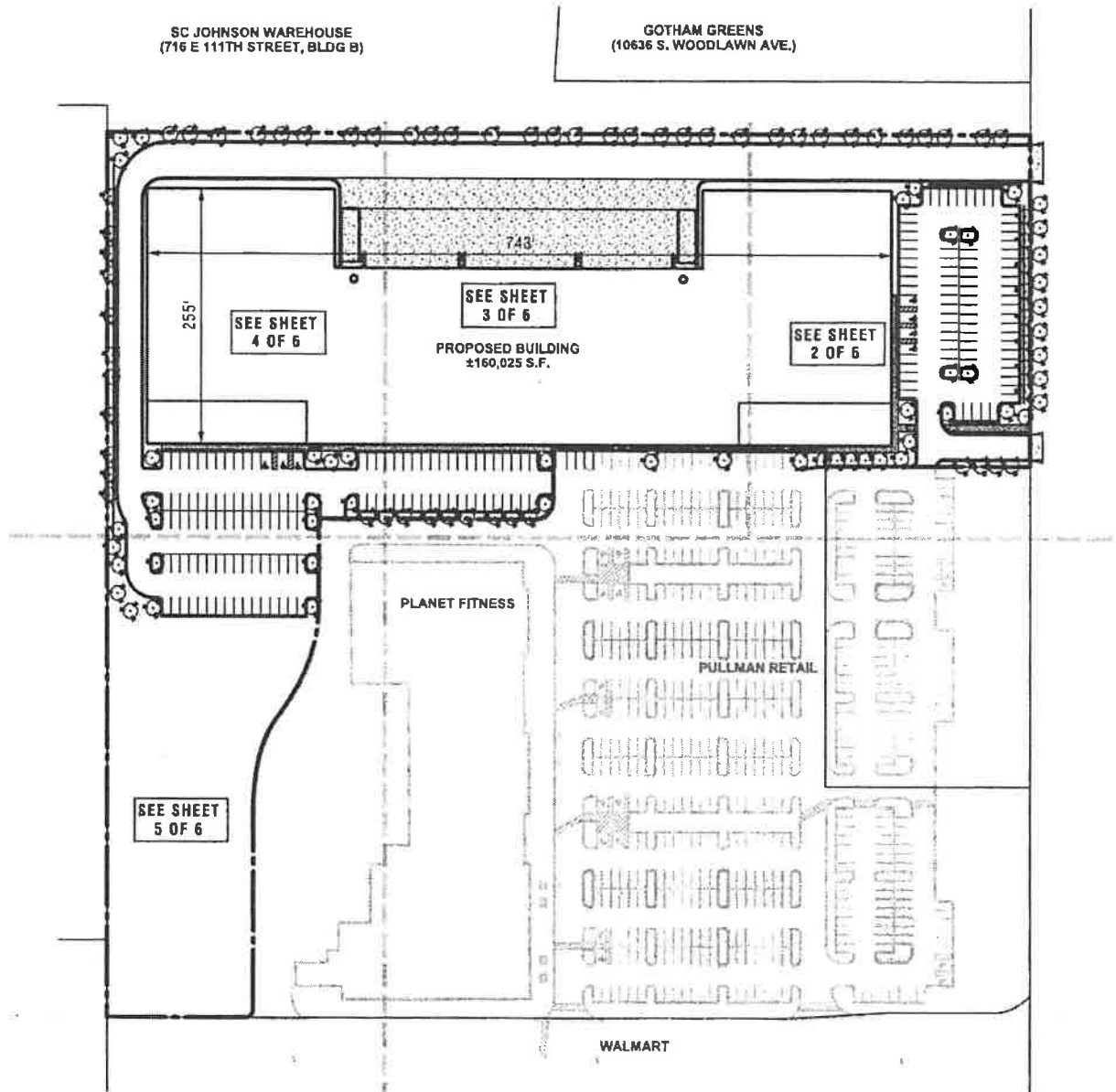
WALMART



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

FINAL FOR PUBLICATION



SCALE: 1" = 150'
SHEET 1 OF 6

LANDSCAPE PLAN (SUB AREA A)

APPLICANT:
RYAN COMPANIES US, INC.

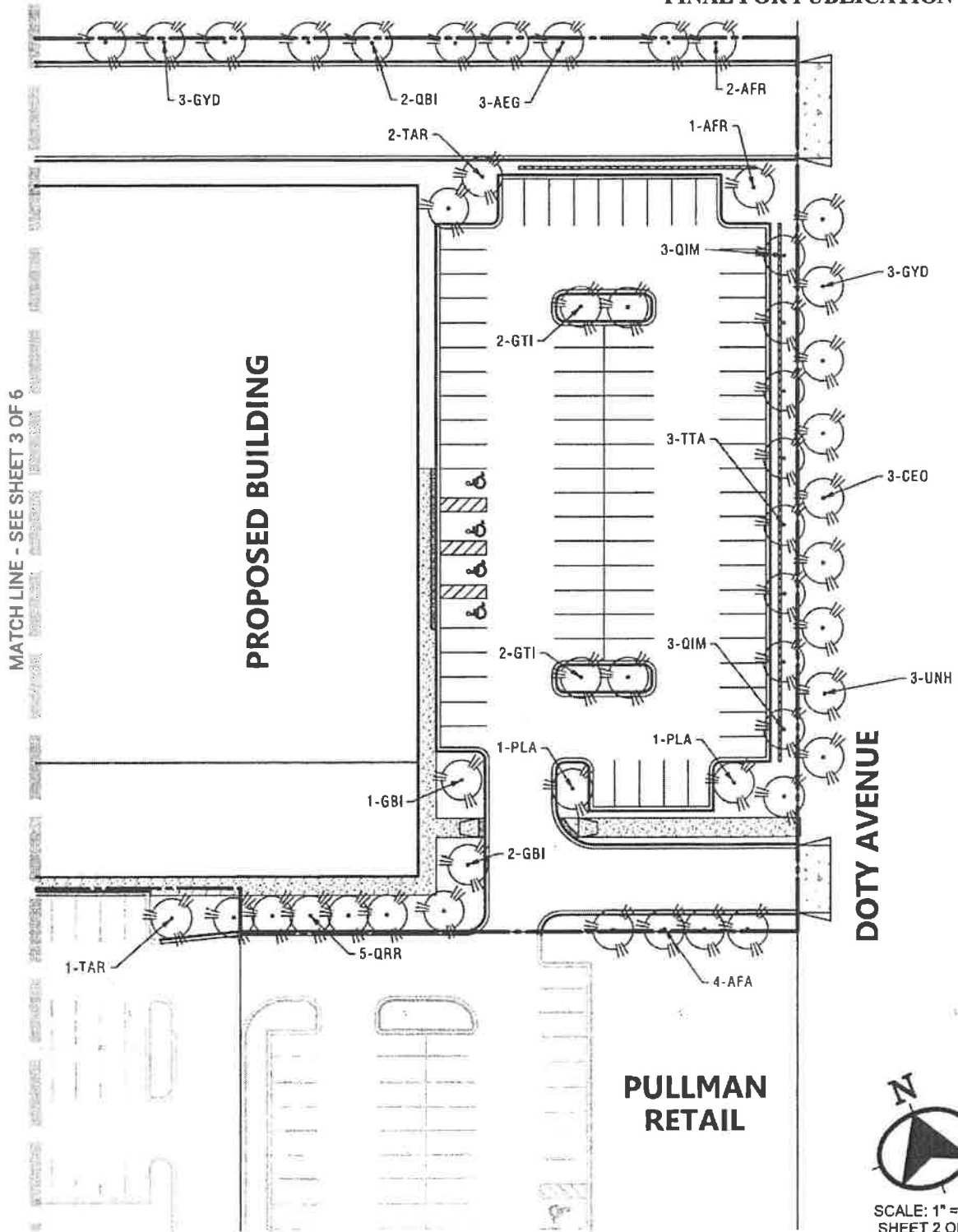
ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

7575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 996-4300 Fax: (847) 996-0255

FINAL FOR PUBLICATION



LANDSCAPE PLAN (SUB AREA A)

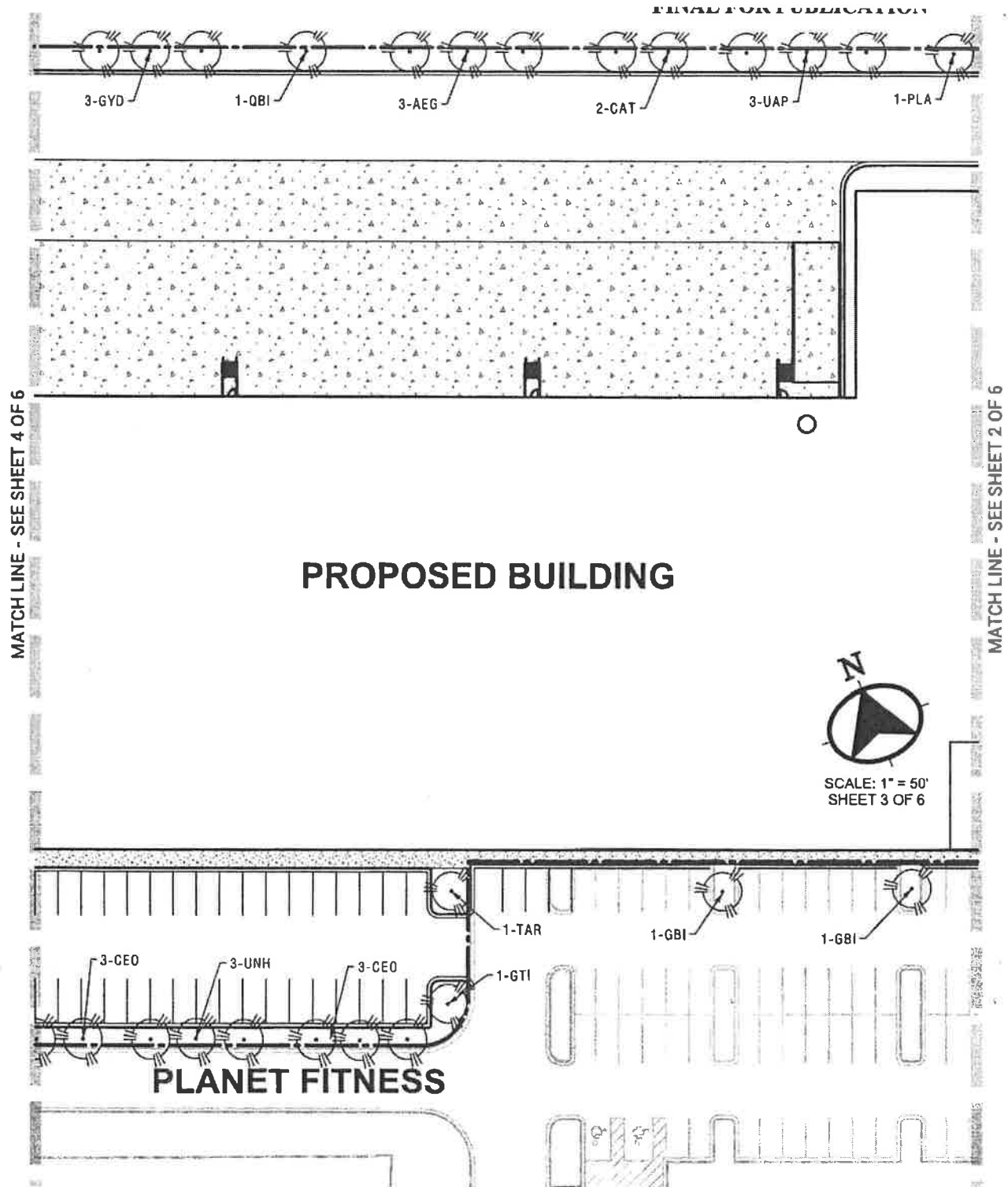
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LANDSCAPE PLAN (SUB AREA A)

APPLICANT:
RYAN COMPANIES US, INC.

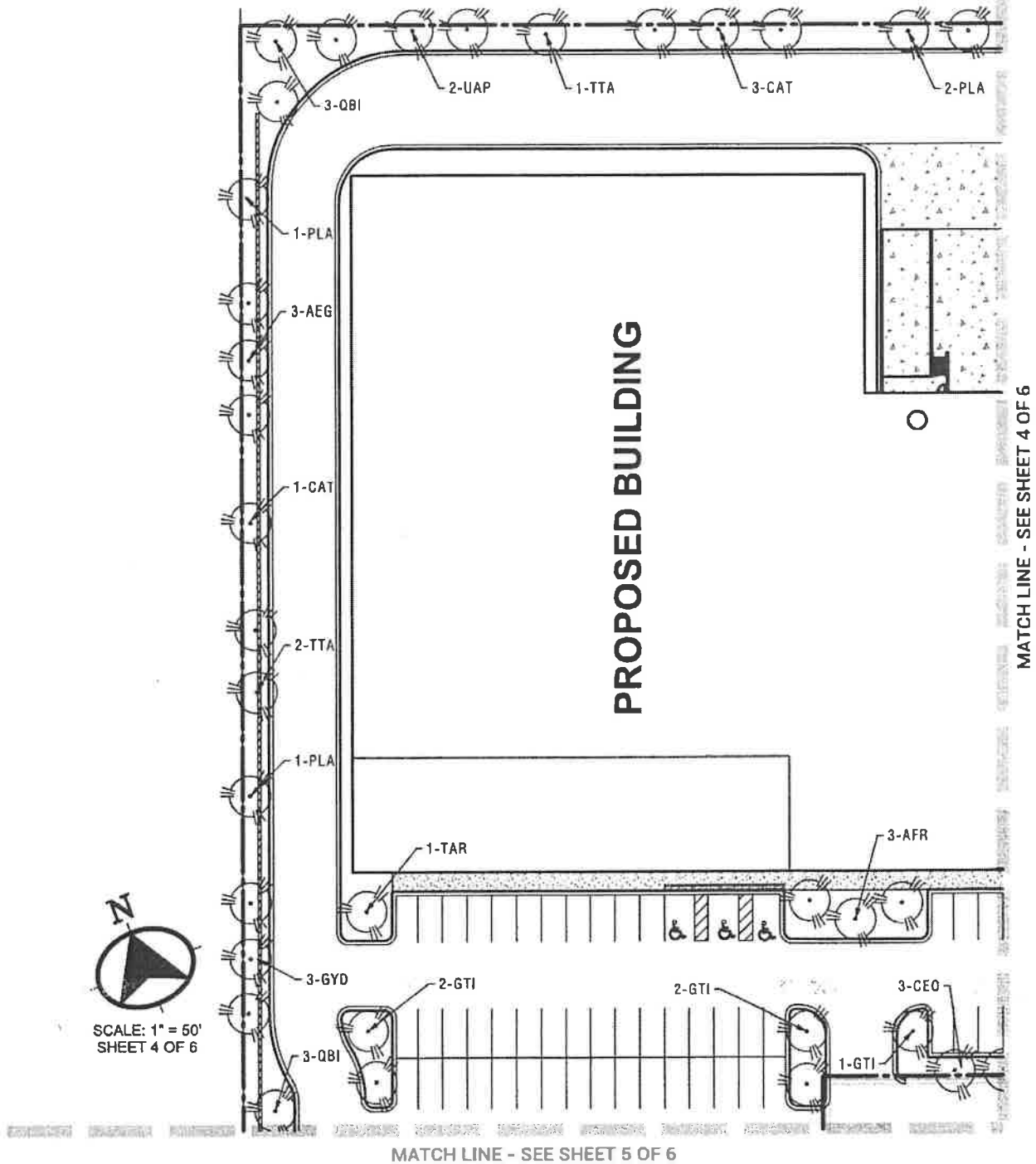
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FINAL FOR PUBLICATION



LANDSCAPE PLAN (SUB AREA A)

APPLICANT:
RYAN COMPANIES US, INC.

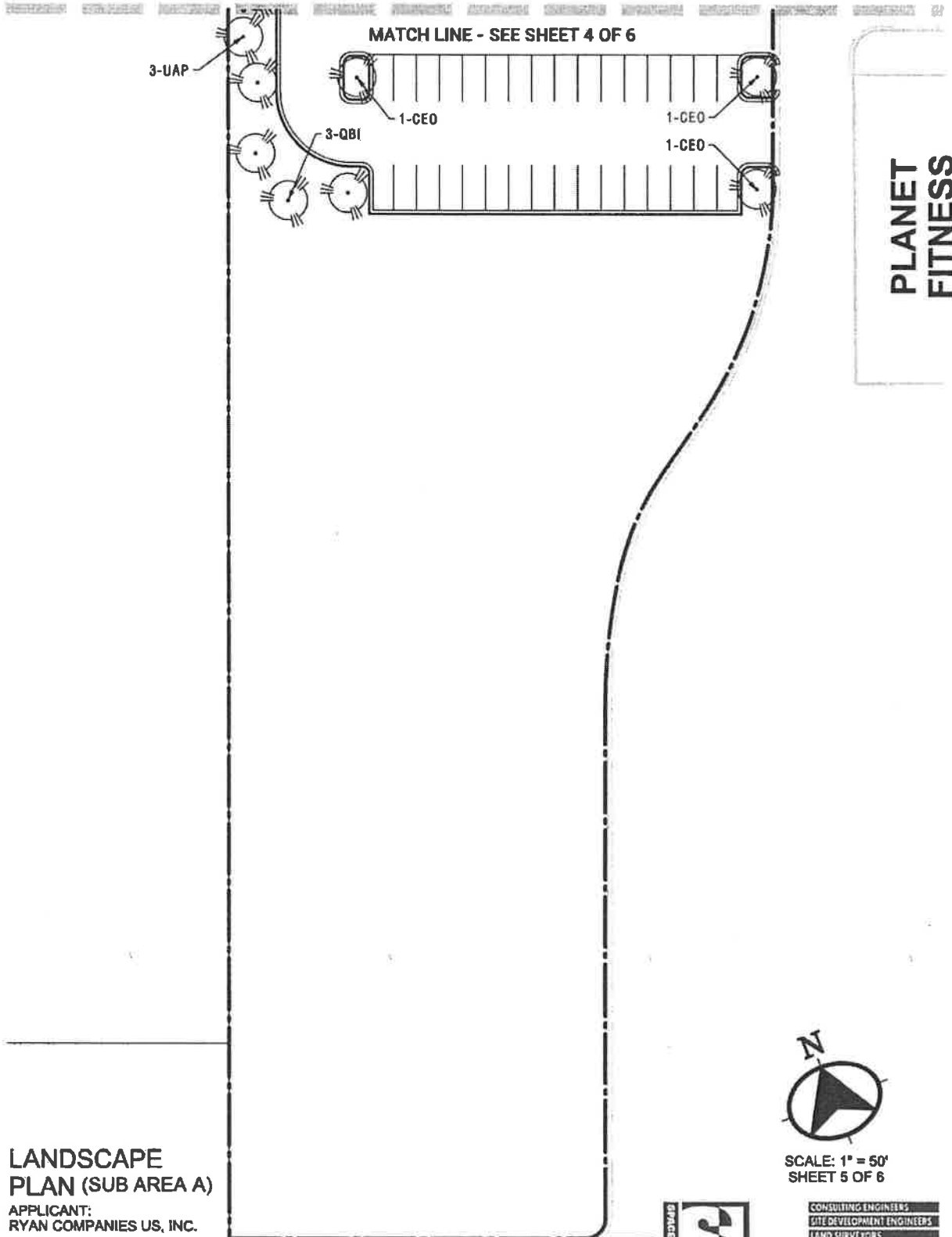
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FINAL FOR PUBLICATION



LANDSCAPE PLAN (SUB AREA A)

APPLICANT: RYAN COMPANIES US, INC.

ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024

WALMART



SCALE: 1" = 50'
SHEET 5 OF 6

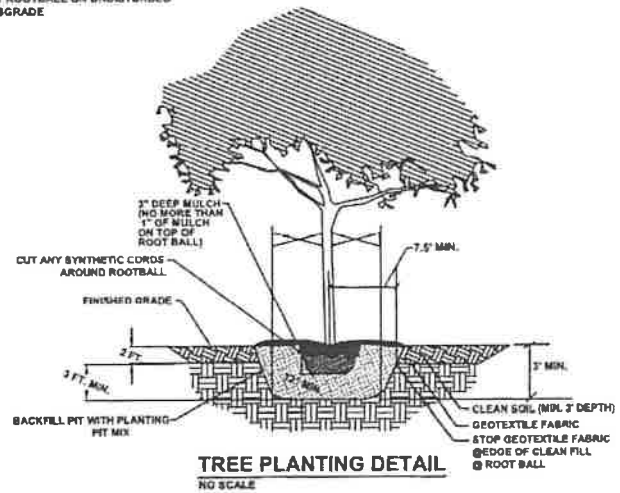
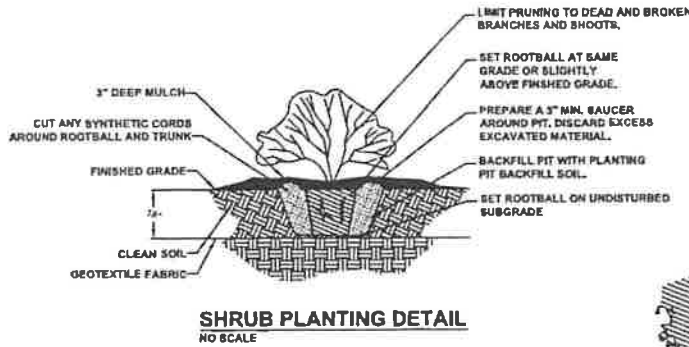


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Phone: (847) 696-4060 Fax: (847) 696-4063

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SHEET 6 OF 6



Master Plant List						
Shade Trees						
Symbol	Quantity	Botanical Name	Common Name	Size	Origin	Notes
AFA	4	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	3" BB		
AFR	6	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE FREEMAN MAPLE	3" BB		MOIST
AEG	9	AESCULUS GLABRA	OHIO BUCKEYE	3" BB	NATIVE	
CAT	9	CATALPA SPECIOSA	NORTHERN CATALPA	3" BB	NATIVE	
CFO	9	CELTIS OCCIDENTALIS	HACKBERRY	3" BB		URBAN MOIST
GEI	8	GINKGO BILOBA	GINKGO	3" BB		URBAN MALE SPEC ONLY
G7	10	GLEDTISIA TRIACANTHOS F. INERMIS	THORNLESS HONEYLOCUST	3" BB		URBAN MOIST
GYD	0	CYMNOCALADUS DIOICUS 'ESPRESSO-JF'S'	ESPRESSO KENTUCKY CORNELL TREE	3" BB	NATIVE	MOIST
PLA	7	PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION LONDON PLANETREE	3" BB		URBAN MOIST
QBI	9	QUERCUS BICOLOR	SWAMP WHITE OAK	3" BB	NATIVE	
QIM	6	QUERCUS IBERICARIA	SINGLE OAK	3" BB		
QRR	5	QUERCUS ROBER 'REGAL PRINCE'	ENGLISH OAK	3" BA		URBAN
TAR	5	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3" BB	NATIVE	URBAN MOIST
TTA	6	TILIA TORMENTOSA	SILVER LINDEN	3" BB		URBAN
UAP	8	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	3" BB		URBAN
UNH	9	ULMUS PAWIFLORA 'NEW HORIZON'	NEW HORIZON ELM	3" BB		URBAN
Deciduous Shrubs						
AM	16	ARONIA MELANOCARPA 'TRIXOLO'S BEAUTY'	TRIXOLO'S BEAUTY BLACK CHOKEBERRY	24" BB	NATIVE	
SM	13	SYRINGA MEYER'S 'PALIHEN'	DWARF KOREAN LILAC	24" BB		
VC	8	VIBURNUM CARLESII 'COMPACTUM'	DWARF KOREAN SPICE VIBURNUM	36" BB		
Groundcover						
W	5350	EUCYMIUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POTS		

LANDSCAPE PLAN (SUB AREA A)

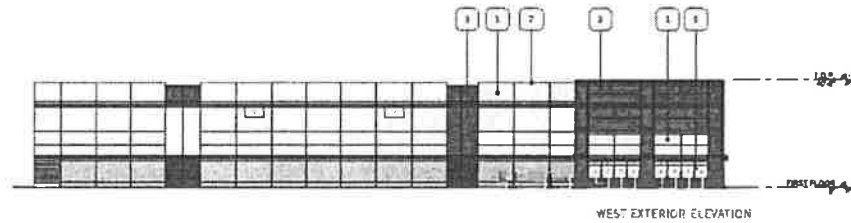
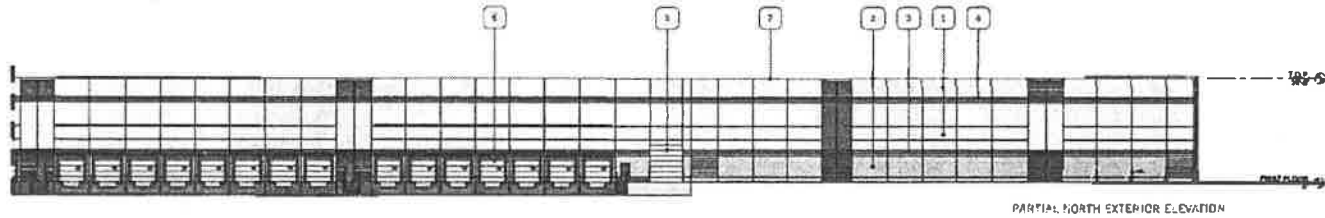
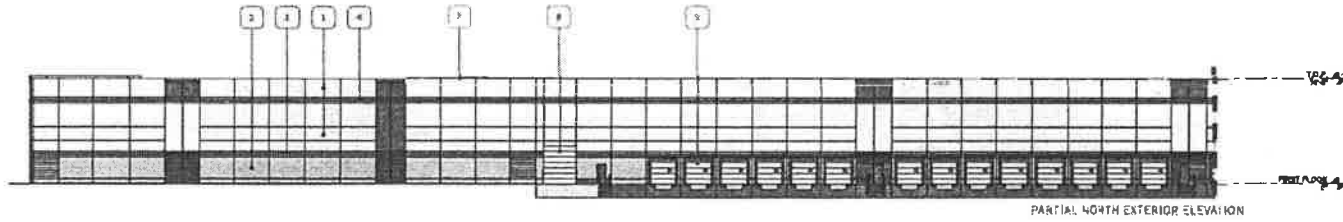
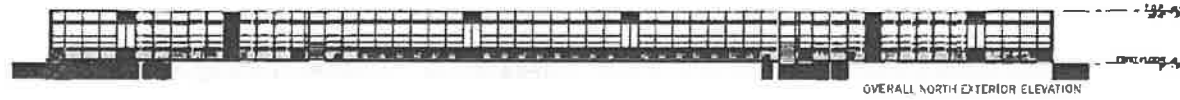
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ADDRESS: 10636 S. WOODLAWN (PROJECT ADDRESS: 10770 S. DOTY)
INTRODUCTION DATE: JANUARY 24, 2024
CHICAGO PLAN COMMISSION DATE: MARCH 21, 2024



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

7375 W. Higgins Road, Suite 720
Rosemont, Illinois 60018
Phone: (847) 591-0100 Fax: (847) 496-4055



KEYNOTES

- 1 CONCRETE PANEL W/ REVEALS
COLOR: SW 7005 EXTRA WHITE
- 2 CONCRETE PANEL W/ REVEALS
COLOR: SW 7056 GRAY
MATTERS
- 3 CONCRETE PANEL W/ REVEALS
COLOR: SW 7674 PEPPERCORN
- 4 CONCRETE PANEL W/ REVEALS
COLOR: SW 6796 BLUE PLATE
- 5 HIGH PERFORMANCE GLAZING
SYSTEM W/ DARK MULLIONS
- 6 ALUMINUM COMPOSITE METAL
PANEL
- 7 METAL COPING TO MATCH
ADJACENT PRECAST PANEL
- 8 12'X14' DRIVE-IN DOOR
- 9 9'X10' DOCK DOOR
WITH LEVELER SEA. AND
BUMPER

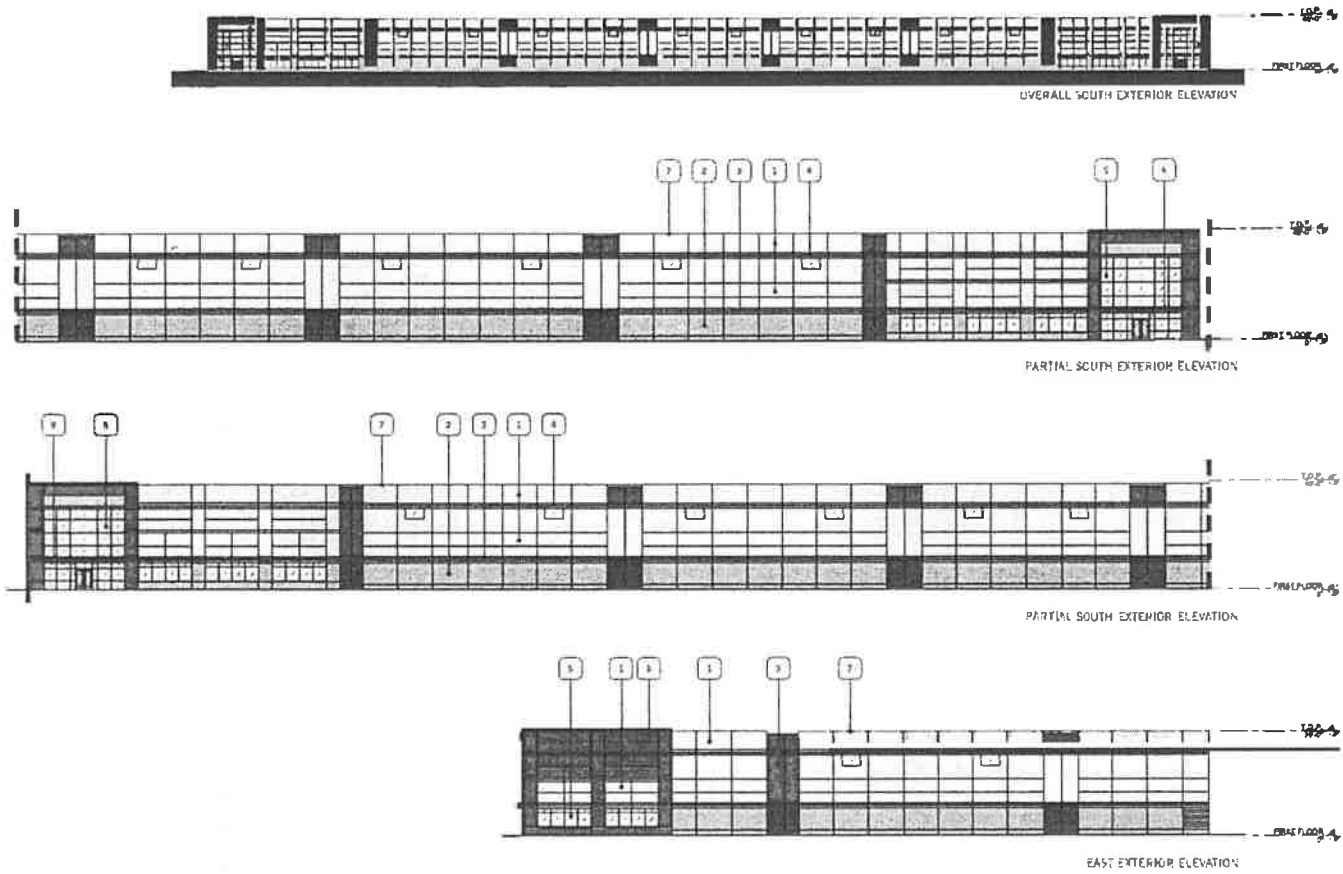
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APPLICANT: RYAN COMPANIES US, INC.
 ADDRESS: 10636 S. WOODLAWN
 (Project Address: 10770 S. DOTY)
 INTRODUCED: JANUARY 24, 2024
 PLAN COMMISSION: MARCH 21, 2024

CONCEPTUAL EXTERIOR ELEVATIONS AND MATERIALS
 (Sub Area A)

WARE MALCOMB



KEYNOTES

- ① CONCRETE PANEL W/ REVEALS
COLOR: SW 7006 EXTRA WHITE
- ② CONCRETE PANEL W/ REVEALS
COLOR: SW 7066 GRAY
MATTERS
- ③ CONCRETE PANEL W/ REVEALS
COLOR: SW 7574 PEPPERCORN
- ④ CONCRETE PANEL W/ REVEALS
COLOR: SW 6796 BLUE PLATE
- ⑤ HIGH PERFORMANCE GLAZING
SYSTEM W/ DARK MULLIONS
- ⑥ ALUMINUM COMPOSITE METAL
PANEL
- ⑦ METAL COPING TO MATCH
ADJACENT PRECAST PANEL
- ⑧ 12'X14' DRIVE-IN DOOR
- ⑨ 9'X10' DOCK DOOR
WITH LEVELER SEAL AND
BUMPER

FINAL FOR PUBLICATION



APPLICANT: RYAN COMPANIES US, INC.
ADDRESS: 10636 S. WOODLAWN
 (Project Address: 10770 S. DOTY)
INTRODUCED: JANUARY 24, 2024
PLAN COMISSION: MARCH 21, 2024

CONCEPTUAL EXTERIOR ELEVATIONS MATERIALS
(Sub Area A)

WARE MALCOMB

**Reclassification Of Area Shown On Map No. 16-N.
(As Amended)
(Application No. A-8792)
(Common Address: 6447 -- 6457 S. Oak Park Ave.)**

[SO2022-3629]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. The Chicago Zoning Ordinance is amended by changing all of the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 16-N in the area bounded by:

a line 128 feet north of and parallel to West 65th Street; the vacated alley next east of and parallel to South Oak Park Avenue; a line 53 feet north of and parallel to West 65th Street; a line 136 feet east of and parallel to South Oak Park Avenue; West 65th Street; and South Oak Park Avenue,

to those of an RS2 Residential Single-Unit (Detached House) District.

SECTION 2. This ordinance shall be effective after its passage and publication.

**Reclassification Of Area Shown On Map No. 26-E. BRIPD1167,QA
(As Amended)
(Application No. 21126)
(Common Address: 756 E. 111th St.)**

[SO2022-2740]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business-Residential-Institutional Planned Development Number 1167, as amended, symbols and indications shown on Map Number 26-E in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot-wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of the 100-foot-wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of Business-Residential-Institutional Planned Development Number 1167, as amended, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business-Residential-Institutional Planned Development No.1167, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development Number 1167 (the "Planned Development") consists of approximately 7,419,988 square feet of net site area (approximately 170 acres) of property (the "Property"), together with certain portions of existing adjacent rights-of-way, as depicted on the Planned Development Boundary and Property Line Map incorporated herein by reference below. The Planned Development is divided into subareas (each, a "Subarea" and collectively, the "Subareas") as indicated on the Subarea Map incorporated herein by reference below. For purposes of this amendment to the Planned Development, Cup O' Joe Coffee LLC, is the "Applicant" with due authorization from each respective owner of Property within Subarea B.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. These Planned Development Statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Zoning Administrator as a minor change to this Planned Development, provided such adjustments: (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance; (b) are set forth in a plat of

subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant (or its successors, assigns or grantors) for approval by CDOT, the department and by the City Council at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II approval); and (c) shall not be deemed to confer any additional bulk, density or other development rights.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium or homeowners' association which may be formed). The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as Chicago Neighborhood Initiatives, Inc. or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by Chicago Neighborhood Initiatives, Inc. ("Master Developer") (or its successor, assignee or grantee to such Master Developer ownership interest) or such affiliate. Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. The developer making the application shall have the burden of establishing to the reasonable satisfaction of the department that the Master Developer's consent has been obtained or irrevocably waived. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof; provided, however, that Master Developer's right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property or a covenant binding upon owners of the Property may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development and irrevocably waive the Applicant's consent right.

4. This Planned Development consists of: (i) these seventeen (17) statements; (ii) the attached Bulk Regulations and Data Table – Subarea B, dated September 21, 2022;

(iii) the following "Design Exhibits" prepared by Laszlo Simovic Architect LLC and dated September 21, 2022: a Site Plan, a Landscape Plan, Illustrative Floor Plans, West Elevation, East Elevation, South Elevation, and North Elevation; (iv) the following Design Exhibits are incorporated by reference, all of which were prepared by Spaceco, Inc. and dated March 18, 2020: an Existing Zoning Map, an Existing Land-Use Map, a Planned Development Boundary and Property Line Map (three pages), a Subarea Map, a Subarea G Site/Landscape Plan (thirteen pages), Subarea G Building Elevations (four pages), Plan of Development Bulk Regulations and Data Table -- Subarea G, Plan of Development Bulk Regulations and Data Table -- Subarea J, Rights-of-Way Adjustment Map (three pages), which exhibits are attached to the P.D. amendment approved by the City Council on June 17, 2020, and published in the *Journal of the Proceedings of the City Council of the City of Chicago* at pages 18552 through 18595; (v) the following Design Exhibits are incorporated by reference: Bulk Elevations -- North Woodlawn/Doty Avenues (Subarea G), Bulk Axonometrics (Subareas A, B, G), Plan of Development Bulk Regulation and Data Tables (including permitted uses) for each of Subareas B and C (two pages), all prepared by PappageorgeHaymes Partners dated August 15, 2013; Design Guidelines for Subarea G, prepared by PappageorgeHaymes dated April 15, 2010; Subarea C Site Plan, prepared by William McDonough Partners dated August 15, 2013; Project Legacy Landscape Plan (two pages), prepared by Norris Design dated August 15, 2013; and Building Elevations and Building Sections Sheet for Subarea C, both prepared by William McDonough Partners dated August 15, 2013; a final Subarea Plan and Site Plan (Phase 1) for Subarea B, Elevations -- Subarea B (two pages), Plan of Development Bulk Regulations and Data Table -- Subarea B, and Design Guideline -- Subarea B, all prepared by ZPD+A Architects and dated December 2, 2015; and a Landscape Plan (Subarea B -- Phase 1) prepared by Spaceco, Inc. and dated November 11, 2015.

Full-size copies of the Design Exhibits are on file with the Department.

The following administrative relief and site plan approval letters are hereby incorporated by reference and made part of this Planned Development (collectively, the "Administrative Approvals"): Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated February 25, 2011; Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated May 2, 2011; Administrative Relief Request and Site Plan Approval for Subarea A, Phase 1B to David Doig dated January 25, 2013; Site Plan Approval for Phase 1B of Subarea A (South Outlot -- 10834 South Doty Avenue) to David Reifman dated July 25, 2014; and Signage Plan Approval for P.D. to David Reifman dated January 23, 2015, Site Plan Approval for Subarea A, issued to Warren Johnson, dated April 16, 2019, Site Plan Approval for Subarea J, issued to Mariah DiGrino dated May 9, 2019, Site Plan Approval for Subarea J, issued to Mariah DiGrino dated March 6, 2020, Site Plan Approval for Subarea G, issued to Mariah DiGrino dated March 6, 2020, Site Plan Approval for Subarea G, issued to Mariah DiGrino, dated September 21, 2020, Site Plan Approval for Subarea B, issued to Mariah DiGrino, dated January 14, 2021, and Site Plan Approval for Subarea I, issued to Mariah DiGrino, dated May 19, 2022.

References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits and Administrative Approvals. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The permitted uses, floor area ratio, building height, setback, parking, bicycle parking and off-street loading requirements for each Subarea are set forth in the applicable Plan of Development Bulk Regulations and Data Tables included in the Design Exhibits. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply.
6. Changes in the boundaries of Subareas shall require an amendment to these statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the department. Off-premises signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. All ingress and egress shall be subject to the review and approval of CDOT and the department. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach. Any dedication, opening, or vacation of public streets, alleys or easements or any adjustment of the public rights-of-way contained within a particular Part II submittal shall be approved by City Council prior to the issuance of any final Part II approval. In connection with the Applicant's (or any developer's) submittal of any Site Plans in accordance with Statement 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). Applicant and its successors, assigns and

grantees, at such parties' expense, agree to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third-party construction inspection services to assist CDOT in its review and approval of Site Plan submissions (which approvals shall be a condition precedent to the department's issuance of any applicable Part II approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.

10. Final Subarea Plans were previously approved for Subarea A, as part of establishment of the original Planned Development, and for Subarea C, as part of the amendment to the Planned Development approved on September 11, 2013, and for Subarea B (Phase I), as part of the amendment to the Planned Development approved on June 22, 2016. Final Subarea Plans shall not be required for Subareas G, H, I or J, but development of such Subareas shall be subject to Site Plan Review, as set forth in this Statement 10.

Prior to the Part II approval (per Section 17-13-0610 of the Zoning Ordinance), Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and, as applicable, the Final Subarea Plan in accordance with Section 17-13-0800 of the Chicago Zoning Ordinance, excluding Site Plan Review for: (i) the project depicted in Subarea A, which was approved with the original Planned Development and by its related Administrative Approvals; (ii) the project depicted in Subarea C, which was approved as part of the amendment to the Planned Development approved on September 11, 2013; (iii) the project depicted as Phase I of Subarea B, which was approved as part of the amendment to the Planned Development approved on June 22, 2016; (iv) the project depicted in Subarea I, which was approved as part of the amendment to the Planned Development approved on May 25, 2018, and by Site Plan Approval issued May 19, 2022; (v) the project depicted in Subarea J, which was previously approved by Site Plan Approvals issued May 9, 2019; (vi) the project depicted in Subarea G, which was approved by Site Plan Approvals issued March 6, 2020, and September 21, 2020, and which was approved as part of the amendment to the Planned Development approved on June 17, 2020; (vii) the restaurant facility located in Subarea B, which was approved by Site Plan Approval issued January 14, 2021; and (viii) the project depicted on the attached Design Exhibits in Subarea B, which is approved pursuant to this amendment to the Planned Development. The future expansion of the industrial building in Subarea C shall require Site Plan Review and an Administrative Relief submission prior to a Part II approval of the aforementioned expansion project. Review and approval by the Department of Planning and Development is intended to assure that specific development components substantially conform with the Planned Development, including the Plan of Development Bulk Regulations and Data Table and Design Guidelines applicable to such Subarea(s), and to assist the City in monitoring ongoing development. Subarea Site Plan Approval Submittals (per Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant.

If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's Subarea (if applicable), or the final approved subdivision plat (if applicable), the Applicant or developer of the subject project shall provide an exhibit showing lot sizes and boundaries for such project. In addition to the submittal requirements of Section 17-13-0802-B, the Applicant or developer shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, included in such project:

- (1) the Gross Site Area;
- (2) the Net Site Area;
- (3) the square feet of floor area of each proposed building;
- (4) the amount of FAR utilized out of the maximum FAR permitted in such Subarea;
- (5) the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- (6) the number of dwelling units to be constructed and the maximum number of dwelling units permitted under the Design Exhibits applicable to such Subarea;
- (7) the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- (8) All Residential Open Space, if applicable;
- (9) The number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Bulk Regulation Data Table Summary and Design Exhibits, as applicable; and
- (10) Final elevations; elevations must be provided for all of the proposed building facades and building specified.

The Site Data Table shall also incorporate a table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the department and such other bureaus, departments or agencies as the Zoning Administrator deems appropriate before issuance of any Part II approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable). If, after City departmental review, the Zoning Administrator determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance (as applicable to improvements in a C2-3 District, e.g., the Site Plans include 60 dwelling units or more, or buildings 75 feet or more in height), then the Site Plan must then be reviewed by the Chicago Plan Commission,

during a public meeting (for which placement on a Chicago Plan Commission Agenda, publication in accordance with Section 17-13-0107-B of the Chicago Zoning Ordinance, and posting in accordance with Section 17-13-0107-C of the Chicago Zoning Ordinance shall be required, but for which written notice pursuant to Section 17-13-0107-A of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If such mandatory thresholds are not met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review, the Zoning Administrator determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Zoning Administrator. Without limiting the foregoing, the first development project within Subarea H may, in the Zoning Administrator's discretion, be presented to the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda shall be required, but for which publication, posting and written notice pursuant to Sections 17-13-0107-A, -B and -C of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If, after City departmental review, the Zoning Administrator shall determine that the Site Plan is not in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable), the Zoning Administrator shall advise the Applicant or developer in writing of why the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan (if applicable). In such case, the Applicant or developer shall be given an opportunity to submit revised Site Plans. If the Zoning Administrator finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan (if applicable), the Applicant or developer then shall be required to amend this Planned Development and/or the Final Subarea Plan (if applicable) in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan (if applicable) and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Statement 13 hereof, if applicable.

11. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto:
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's Stormwater Management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) Intentionally omitted.

- (d) Within Subarea A, a Chicago Transit Authority bus turnaround in a location and of such size and configuration as mutually agreed upon by the Master Developer, the applicable owner of Subarea A, the Chicago Transit Authority and CDOT has been previously completed.
 - (e) Intentionally omitted.
 - (f) Applicant acknowledges that the City will not maintain or bear the cost of maintaining any landscape or streetscape improvements on any medians to be constructed within the Planned Development. Prior to CDOT approval of engineering drawings for any median street to be constructed by the Applicant within the Planned Development, the Applicant must demonstrate to the satisfaction of CDOT that sufficient sustainable resources have been committed, and written agreements exist (which provide reasonable protection to the City and, among other things, shall name the City as intended beneficiary, shall grant the City enforcement rights, and shall include or extend indemnification and insurance provisions for the benefit of the City) to provide for the satisfactory maintenance of such medians, which agreements may provide for maintenance costs to be funded through a special service area or special service district, the establishment of which is subject to separate City Council approval.
 - (g) Master Developer, at the Master Developer's expense, has previously reconstructed South Woodlawn Avenue, from approximately East 107th Street to East 111th Street in accordance with the requirements of Statement 9.
 - (h) The Applicant and each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that code.
12. The Part II review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.50 per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II review. Such fee shall be determined and assessed by the department at the time of each and every Part II review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the department prior to issuance of any Part II approval. Following Part II review and approval by the Zoning Administrator, the department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to

ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. Any interim reviews associated with Site Plan review or Part II reviews, are conditional until final Part II approval.

13. Subject to the other terms and conditions of these statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Zoning Administrator upon application and a determination by the Zoning Administrator in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Sections 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the net site area of or dwelling units permitted in other Subareas or the Planned Development as a whole) and that such modification, and the improvements contemplated thereby, are consistent with the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. Unless substantial construction of any new building, as proven by the issuance of building permits and the diligent completion of construction pursuant to such permits for Subarea B has commenced within six (6) years of this amendment to the Planned Development, this Planned Development shall expire upon the sixth anniversary date of the effective date of this amendment to the Planned Development. If this amendment to the Planned Development expires pursuant to the foregoing provision, this amendment to the Planned Development shall expire by separately introduced ordinance, if any, and in such event the zoning of the Property shall revert to Business-Residential-Institutional Planned Development Number 1167, as adopted by the Chicago City Council on June 17, 2020. Such reversion shall not render any building existing at the time to be nonconforming. The six-year period described above may be extended for up to one additional year if, before expiration, the Zoning Administrator determines that good cause for an extension is shown.
16. Intentionally omitted.
17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the

planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The city encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

[Site Plan; Landscape Plan; North, South, East and West Building Elevations; and Green Roof Plan referred to in these Plan of Development Statements printed on pages 63018 through 63022 of this *Journal*.]

* Editor's Note: Numbering sequence error; (i) missing in original document.

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

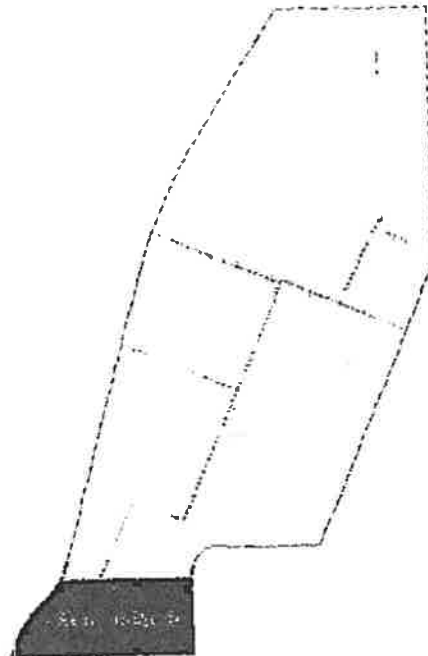
FINAL FOR PUBLICATION

BULK REGULATIONS AND DATA TABLE - SUB AREA B

USES

The following C2 Motor Vehicle-Related Commercial District uses shall be allowed: day care; postal service; public safety services; utilities and services, minor; Chicago Transit Authority bus turnaround; all animal services excluding stables; artist work or sales space; body art services; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities, all eating and drinking establishments including outdoor patio located at and above grade and on a rooftop; all entertainment and spectator sports including outdoor terraces and patio located at and above grade and on a rooftop; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; medical service; office; high technology office; electronic data storage center; parking, non-accessory; personnel service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service, excluding vehicle storage and towing with outdoor storage; hotels; elderly housing; wireless communication facilities excluding freestanding towers; food and beverage production and manufacturing for wholesale and retail sale, including without limitation roasteries, breweries, wineries, and distilleries, and which may or may not include accessory eating and drinking establishments, retail sales, and package liquor sales; and indoor special event, including incidental liquor sales.

No adult uses are allowed.



KEY PLAN

4/19/2023

REPORTS OF COMMITTEES

63017

<u>Site Area</u>	
Gross	649,518.00 sf (14.91 acres)
Rights of Way	116,231 sf (2.67 acres)
Net Site Area	533,287.00 sf (12.24 acres)
Public Open Space	15,167.00 sf (0.35 acres)
percent of net	2.8%

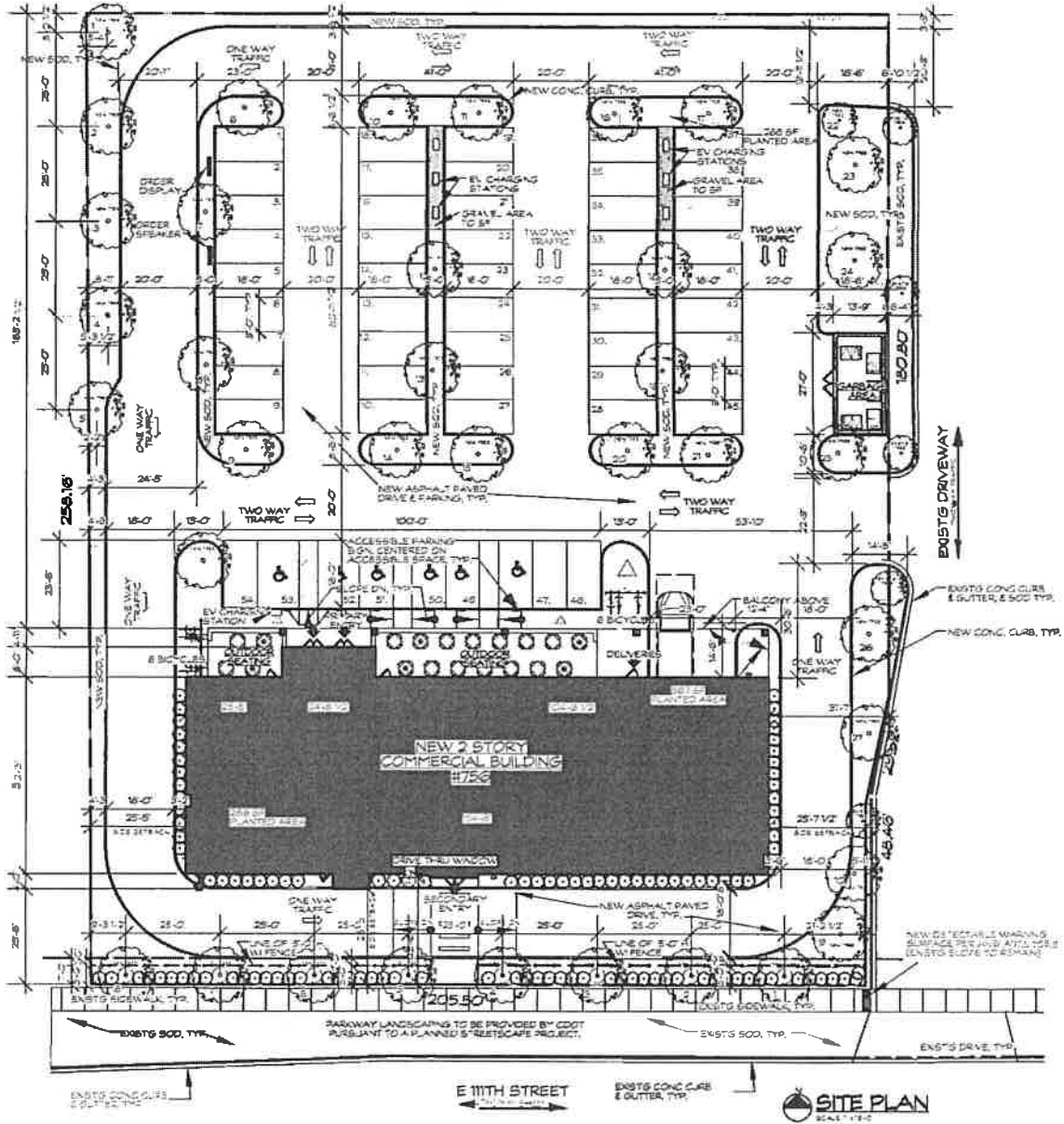
Maximum F.A.R.	1.0	
Building Height	100 ft	
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	Group M e.g. retail	None for the first 10,000 square feet then 2.5 spaces per 1,000 square feet
	Group D e.g. elderly housing	0.33 spaces per a unit
	Group S e.g. lodging	1 space per 3 lodging rooms
	Group U e.g. food/beverage production	1 space per 4 employees
Bicycle Parking	No use is required to provide more than 50 bicycle spaces.	
	Group M e.g. retail	1 per 5 auto spaces
	Group D e.g. elderly housing	1 per 4 auto spaces
	Group S e.g. lodging	1 per 10 auto spaces
	Group U e.g. food/beverage production	

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Off Street Loading	Retail	10,000-24,999 = 1 berth (10x25) 25,000-49,999 sf = 2 berths (10 x 50) 50,000-99,999 sf = 3 berths (10 x 50) 100,000-249,999 = 4 (10 x 50) +250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf
	Lodging	25,000-199,999 = 1 berth (10 x 25; 10 x 50 for buildings over 50,000 sf) 200,000+ = 1 (10 x 50) per 200,000 sf or portion thereof
	Multi-Unit	25,000-199,999 = 1 berth (10 x 25)
	Food/beverage production	10,000-49,999 = 1 berth (10 x 25; 10 x 50 for buildings over 20,000 sf)

212.05'

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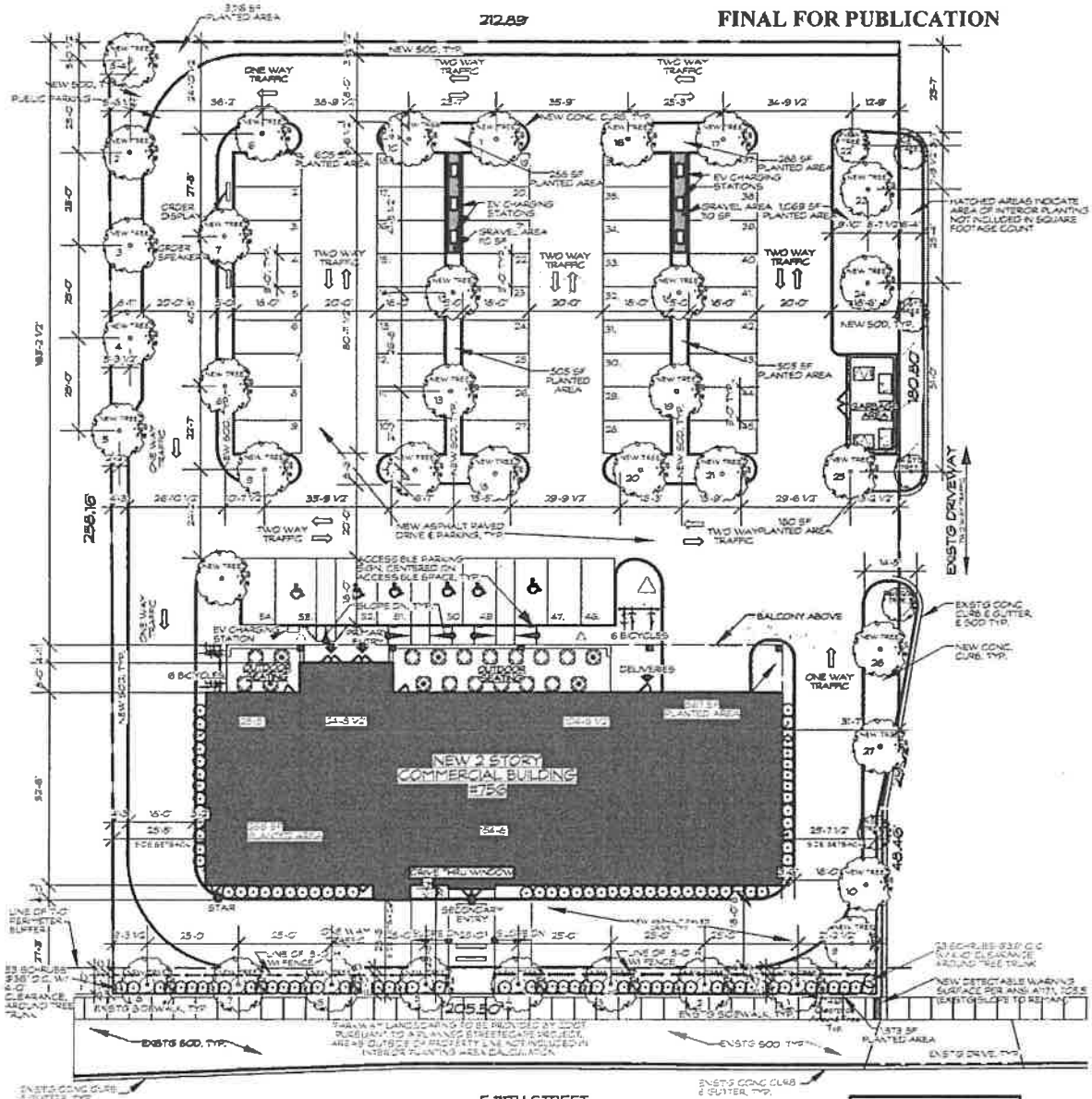


KEY LEGEND

[Pattern: Dotted]	ASPHALT
[Pattern: Horizontal Lines]	CONCRETE
[Pattern: Vertical Lines]	LANDSCAPE

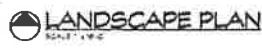
Applicant: Cup O' Joe Coffee
 Address: 756 E. 11th St.
 Introduced: September 21, 2022
 Plan Commission: March 16, 2023

SITE PLAN
 SCALE: 1/8" = 1'-0"



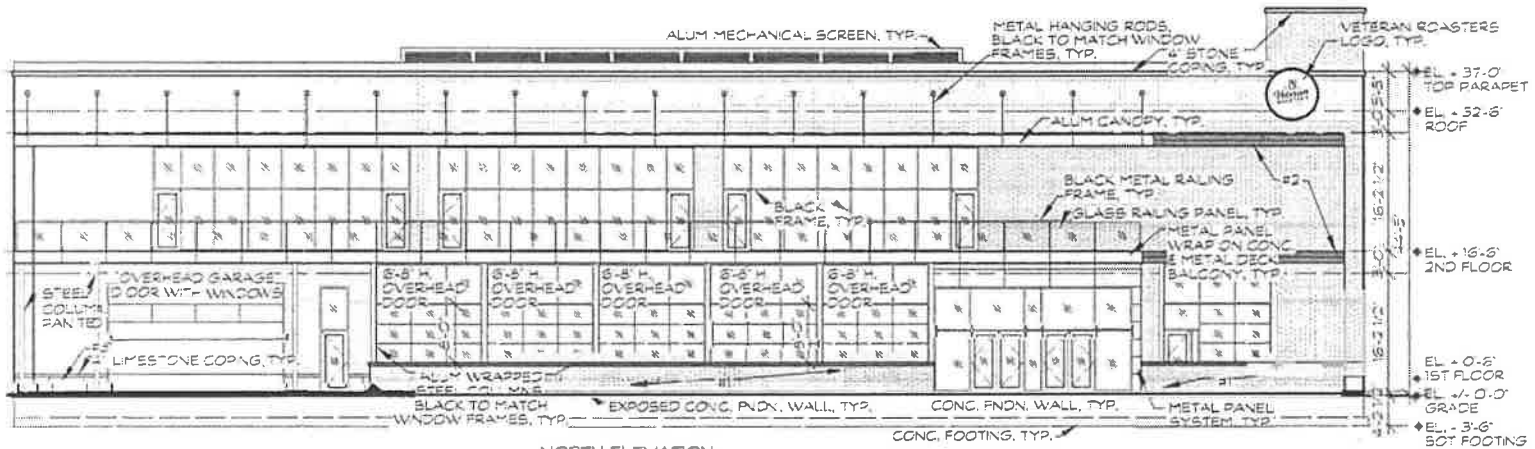
LOT AREA:	54,381 SF
IMPROVED AREAS (TOTAL) (PARKING, WALKS, GARBASE, BUILDING, ETC)	46,304 SF
INTERIOR PLANTING:	
PARKING AREA (PAVED DRIVES & PARKING):	32,743 SF
REQUIRED LANDSCAPE (10%):	3,274.3 SF
PROPOSED LANDSCAPE AREA PROVIDED:	3,000 SF (27.4%)
REQUIRED TREES: $3,274.3 \div 28.2 =$	52 TREES PROVIDED
TREE SPECIES TO BE PLANTED:	
GINKGO BILBOA 'AUTUMN GOLD' -	37 TREES WITHIN SITE
	(3 EXIST)
	8 IN PARKWAY
	8 IN SETBACK
TOTAL:	52 TOTAL TREES
NUMBER OF CAR PARKING SPACES:	54 TOTAL
NUMBER OF HANDICAPPED PARKING SPACES:	6 (10%)
NUMBER OF BICYCLE PARKING SPACES:	12

E 11TH STREET

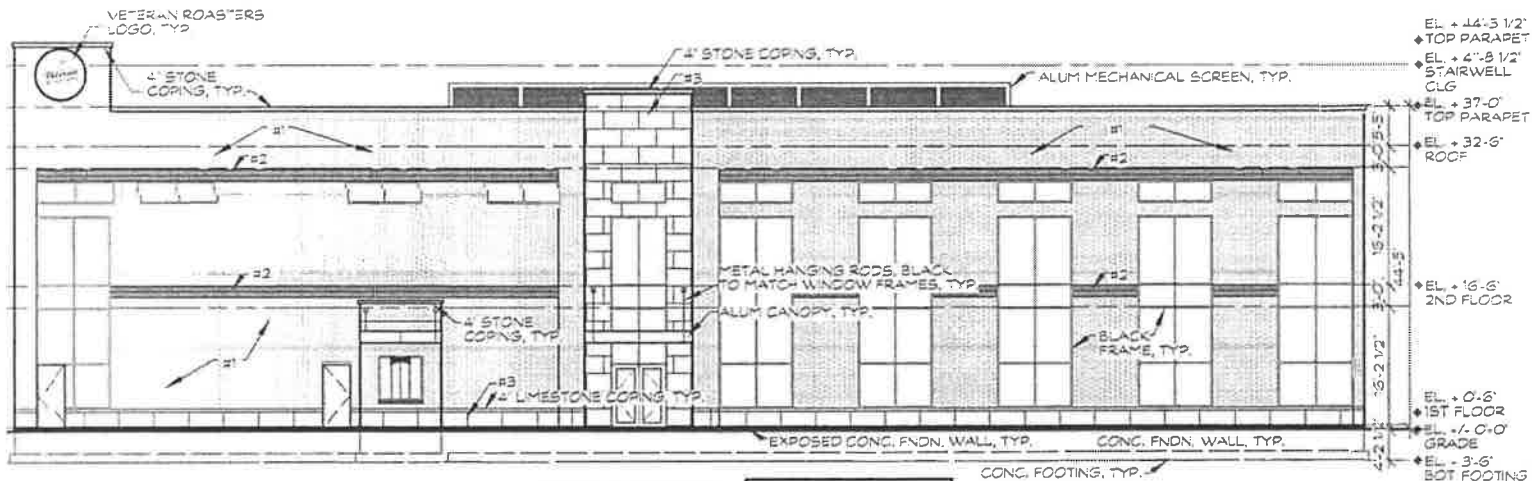


KEY LEGEND	
[Hatched Box]	ASPHALT
[Solid Box]	CONCRETE
[Dotted Box]	LANDSCAPE

Applicant: Cup O' Joe Coffee
 Address: 756 E. 11th St.
 Introduced: September 21, 2022
 Plan Commission: March 16, 2023



NORTH ELEVATION
SCALE 3/8" = 1'-0"

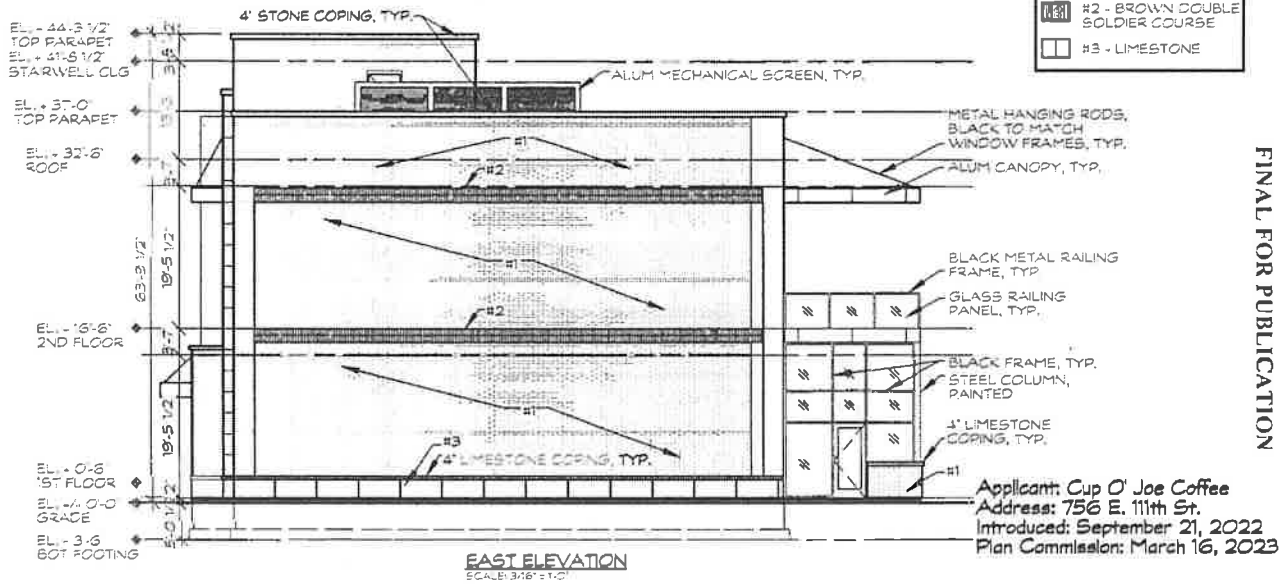
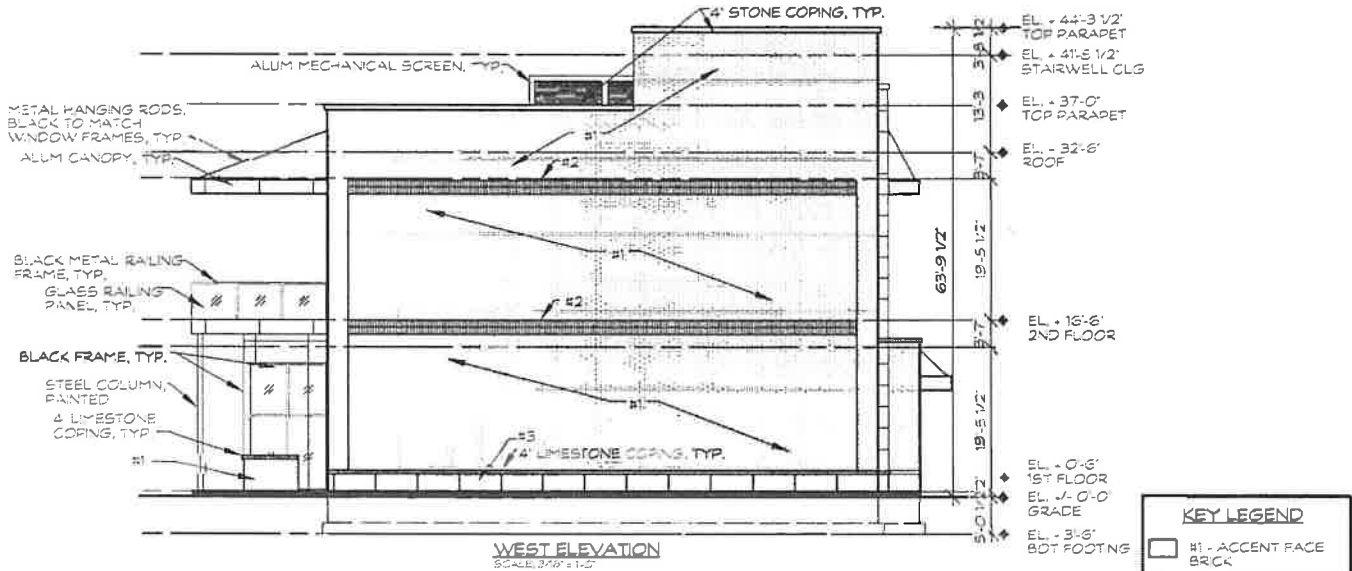


SOUTH ELEVATION
SCALE 3/8" = 1'-0"

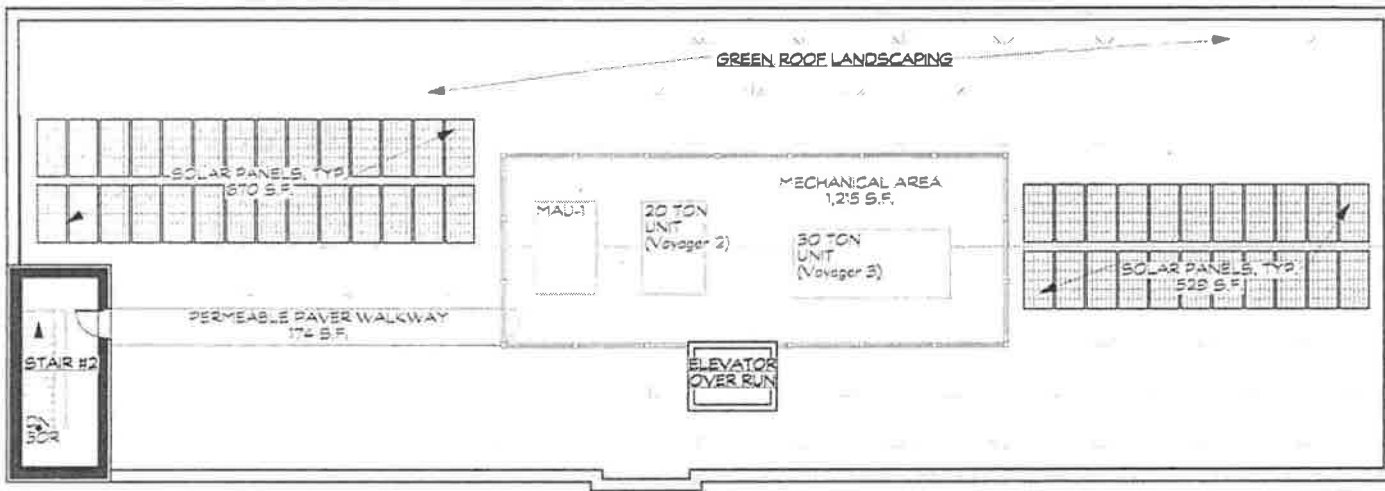
KEY LEGEND	
	#1 - ACCENT FACE BRICK
	#2 - BROWN DOUBLE SOLDIER COURSE
	#3 - LIMESTONE

FINAL FOR PUBLICATION

Applicant: Cup O' Joe Coffee
Address: 756 E. 11th St.
Introduced: September 21, 2022
Plan Commission: March 16, 2023



FINAL FOR PUBLICATION



ROOF PLAN
 SCALE: 1" = 16'-0"
 7,626 SF

GROSS ROOF AREA: 7,626 SQUARE FEET
 MECHANICAL AREA: 2,588 SQUARE FEET
 NET ROOF AREA: 4,686 SQUARE FEET
 GREEN ROOF AREA: 4,686 SQUARE FEET (100% OF NET ROOF AREA)

FINAL FOR PUBLICATION

Applicant: Cup O' Joe Coffee LLC
 Address: 756 E. 111th Street
 Introduced: September 21, 2022
 Plan Commission: March 16, 2023



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 9, 2023

Carol D. Stubblefield
Neal & Leroy, LLC
20 South Clark Street
Suite 2050
Chicago, Illinois 60603

Re: Site Plan Review for Business-Residential-Institutional Planned Development No. 1167,
as amended, Subarea B, 756 E. 111th Street

Dear Ms. Stubblefield:

Please be advised that your request for site plan review for Business-Residential-Institutional Planned Development No. 1167, as amended, ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The Department of Planning and Development (DPD) has reviewed the project which includes the development of a new Hampton by Hilton Hotel on an approximately 111,475 square foot site located within Subarea B of PD 1167. The property is currently vacant and unimproved. The proposed development consists of a 5-story hotel building, containing approximately 72,754 square feet of floor area, 105 hotel keys, together with a surface parking lot containing 107 off-street vehicular parking spaces. Hotel use is a permitted use in Subarea B within the PD.

Subarea B is currently developed with a single-story multi-tenant retail building consisting of approximately 9,780 square feet of floor area (the "Phase 1 Project") and a single-story stand-alone restaurant building consisting of approximately 4,190 square feet of floor area (the "Phase 2 Project"). Together with the Phase 1 Project and Phase 2 Project, the resulting FAR within Subarea B will be 0.14. The PD permits a maximum FAR of 1.0 FAR within Subarea B and contemplates development with a mix of retail, restaurant and hotel uses. The Subarea B overall site plan approved in connection with the 2016 amendment to the PD depicts a 4-story hotel in the location of the property.

The proposed building height will be approximately 64'-4" feet, which is less than the maximum building height of 100 feet permitted in Subarea B.

The parking standard for hotel (lodging) use in Subarea B requires 1 space for every 3 rooms. A minimum of 33 off-street parking spaces would be required. The Proposed Development will provide

107 off-street vehicular parking spaces. The Subarea B overall site plan approved in connection with the 2016 amendment to the PD depicts 115 parking spaces for a 4-story hotel.

Vehicular access to and from the property will be provided via the existing private internal drive located in Subarea B.

The development will comply with all Landscape Ordinance requirements. All damaged or dead parkway trees and any shrubs in need of replacement will be replaced.

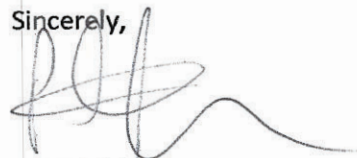
This approval includes the following attached documents prepared by Beehyve, Inc.:

- A-0.1 – Site Plan, dated 03/08/2023
- A-0.2 – Site Location Map, dated 08/07/2022
- A-3.1 – Exterior Elevations, dated 03/08/2023
- A-3.2 – Exterior Elevations, 02/07/2023
- L-1.1 – Landscape Plan, dated 08/12/22

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Business-Residential-Institutional Planned Development No. 1167, as amended. Accordingly, this site plan submittal is hereby approved as conforming to PD 1167, as amended. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Erika Sellke at (312) 744-9146 or at erika.sellke@cityofchicago.org.

Sincerely,



Patrick Murphey
Zoning Administrator

NEAL & LEROY, LLC

20 South Clark Street, Suite 2050 | Chicago, Illinois 60603 | telephone 312.641.7144 | facsimile 312.641.5137

Carol D. Stubblefield
Attorney at Law

March 9, 2023

VIA HAND DELIVERY

Patrick Murphey
Zoning Administrator
Department of Planning and Development
121 N. LaSalle Street, Room 905
Chicago, Illinois 60602
Attention: Erika Sellke

**RE: Residential-Business Planned Development No. 1167, as amended
Request for Site Plan Approval – Subarea B
Pullman Hotel Group, LLC – proposed Hampton Hotel by Hilton at Pullman**

Dear Mr. Murphey:

Pursuant to Statement 10 of Business-Residential-Institutional Planned Development No. 1167, as amended (the “**PD**”) and Section 17-13-0800 of the Zoning Ordinance, I am writing on behalf of Pullman Hotel Group, LLC (“**Developer**”) to request Site Plan Approval of the enclosed site plan, landscape plan, and building elevations for property located within Subarea B of the PD.

Developer proposes to develop a new Hampton by Hilton Hotel (the “**Proposed Development**”) on an approximately 111,475 square foot site located within Subarea B of the PD (the “**Property**”). The Property is currently vacant and unimproved. The Proposed Development consists of a 5-story hotel building, containing approximately 72,754 square feet of floor area, 105 hotel keys, together with a surface parking lot containing 107 off-street vehicular parking spaces. Hotel use is a permitted use in Subarea B within the PD.

Outside of the Property, Subarea B is developed with a single-story multi-tenant retail building consisting of approximately 9,780 square feet of floor area (the “**Phase 1 Project**”) and a single-story stand-alone restaurant building consisting of approximately 4,190 square feet of floor area (the “**Phase 2 Project**”). Together with the Phase 1 Project and Phase 2 Project, the resulting FAR within Subarea B will be 0.14. The PD permits a maximum FAR of 1.0 FAR within Subarea B and contemplates development with a mix of retail, restaurant and hotel uses. The Subarea B overall site plan approved in connection with the 2016 amendment to the PD depicts a 4-story hotel in the location of the Property. See Council Journal page 27240 dated June 22, 2016.

The proposed building height will be approximately 64’-4” feet, which is less than the maximum building height of 100 feet permitted in Subarea B.

Patrick Murphey, Zoning Administrator – PD #1167, Subarea B
March 9, 2023
Page 2

The parking standard for hotel (lodging) use in Subarea B requires 1 space for every 3 rooms. A minimum of 33 off-street parking spaces would be required. The Proposed Development will provide 107 off-street vehicular parking spaces. The Subarea B overall site plan approved in connection with the 2016 amendment to the PD depicts 115 parking spaces for a 4-story hotel. See Council Journal page 27240 dated June 22, 2016.

Vehicular access to and from the Property will be provided via the existing private internal drive located in Subarea B.

The Proposed Development will comply with the requirements of the Landscape Ordinance.

The proposed improvements are depicted on the enclosed plans prepared by Beehyyve, Inc., consisting of the following:

- Site Plan
- Landscape Plan
- Floor Plans
- Site Location Map
- Building Elevations
- Project Renderings

The enclosures include a check in the amount of \$1,500 to cover the site plan approval application fee. Thank you for your consideration of this site plan approval request. If you need any additional information, please contact me at (312) 628-7021.

Sincerely,

Carol D. Stubblefield

Carol D. Stubblefield

Enclosures
CC: Noah Szafraniec

BUILDING DATA

BUILDING ZONE:	PD-1957
BUILDING PIN:	25-14-300-024-000
BUILDING WARD/COMMUNITY:	9. NORTH PULLMAN
BUILDING TYPE - CURRENT:	VACANT PARCEL
BUILDING TYPE - PROPOSED:	HOTEL
CONSTRUCTION TYPE:	III.A. ORDINARY CONSTRUCTION
SITE AREA:	111,475 SQ.FT.
BUILDING STORIES:	5
GROUND FLOOR:	13,894 GSF
SECOND FLOOR:	11,772 GSF
THIRD FLOOR:	11,772 GSF
FORTH FLOOR:	11,772 GSF
FIFTH FLOOR:	11,772 GSF
TOTAL BUILDING AREA:	72,754 GSF
TOTAL PARKING SPACES:	107
BUILDING HEIGHT:	64'-4"

**DRAFT ONLY
NOT FOR
CONSTRUCTION**

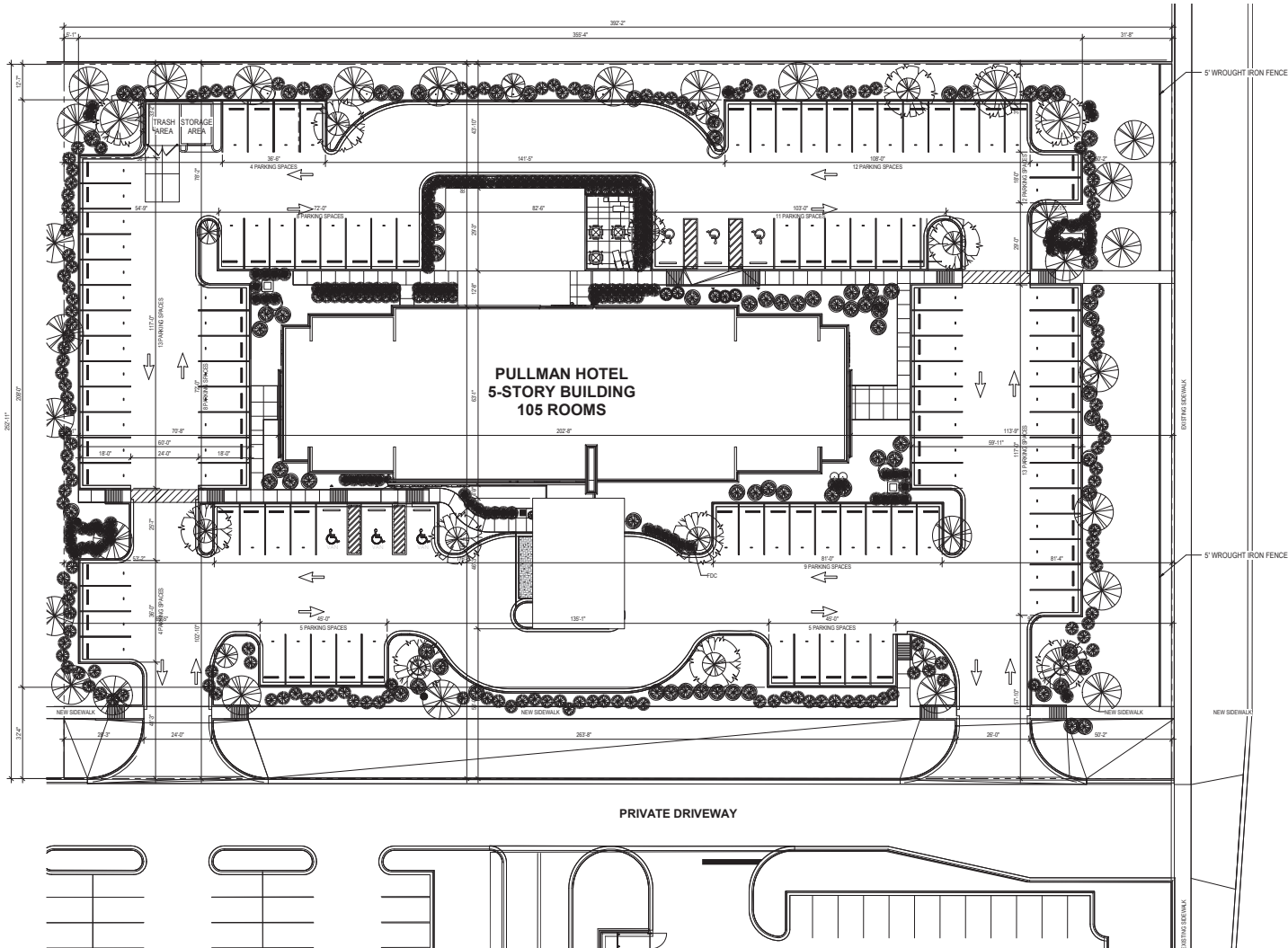
**HAMPTON BY HILTON AT
PULLMAN**

**PULLMAN HOTEL GROUP,
LLC**
1032 SOUTH PULASKI AVENUE, UNIT D
CHICAGO, IL 60607
P. (773) 751-5453

BEEHYVVE
1122 WEST 83RD STREET
CHICAGO, IL 60619
P. (312) 877-6247

THE ATTACHED DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS



SOUTH DOTY AVENUE

PRIVATE DRIVEWAY

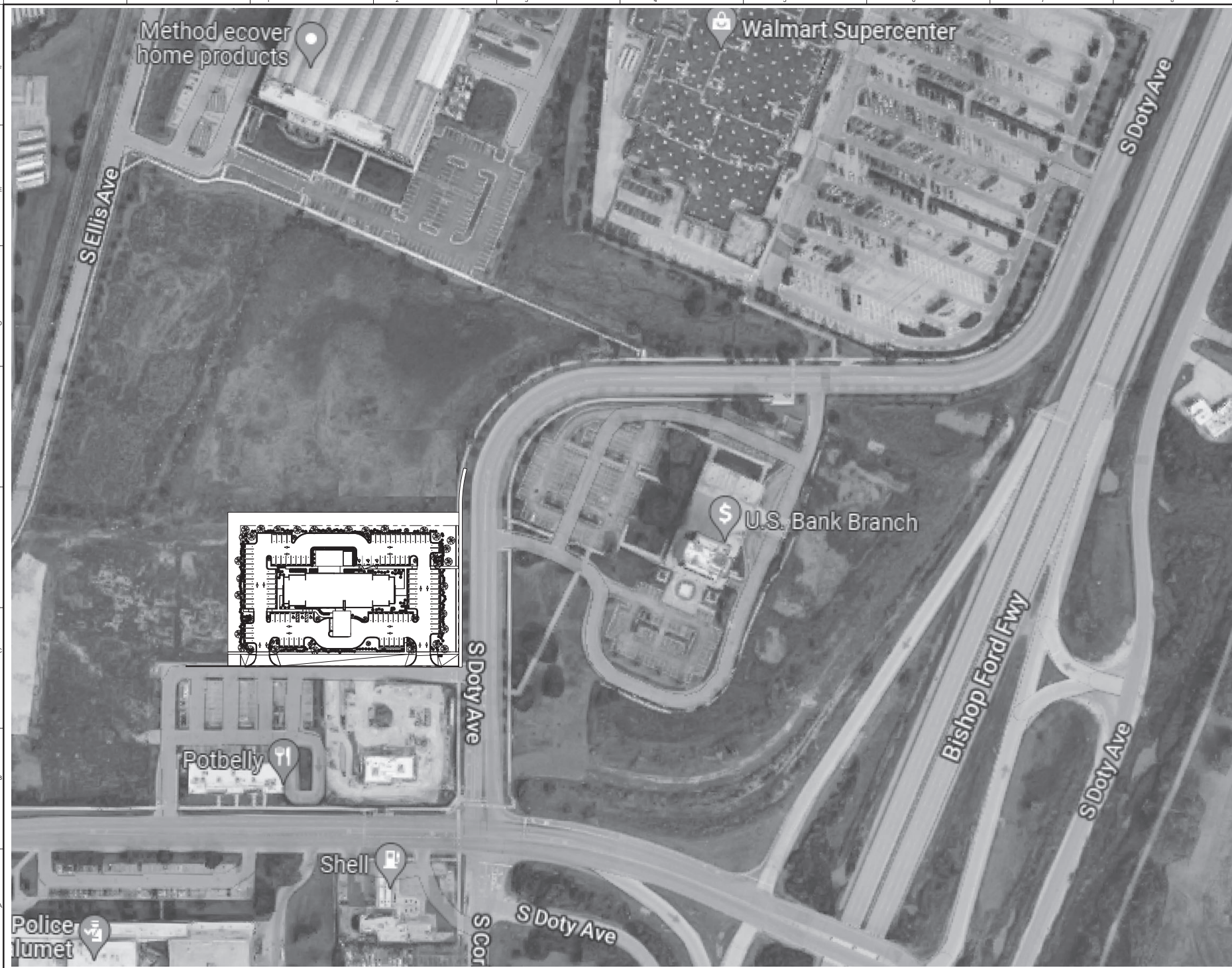
A1 SITE PLAN
1/8" = 1'-0"



SITE PLAN

Date	Project	Scale
8/20/21	220	1/8" = 1'-0"
Drawn	Checked	Approved
AL	DL	DL

A-0.1



DRAFT ONLY
NOT FOR
CONSTRUCTION

PROJECT
HAMPTON BY HILTON AT
PULLMAN

CLIENT
PULLMAN HOTEL GROUP,
LLC
1032 SOUTH PROSPECT AVENUE, UNIT D
CHICAGO, IL 60606
P. (773) 793-9453

ARCHITECT
BEEHYVVE
1102 WEST 81RD STREET
CHICAGO, IL 60607
P. (312) 877-6247

DATE
11/11/2024

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SITE LOCATION MAP

DATE	BY	REVISION

A-0.2

KEYNOTE SCHEDULE

DRAFT ONLY
NOT FOR
CONSTRUCTION

HAMPTON BY HILTON AT
PULLMAN

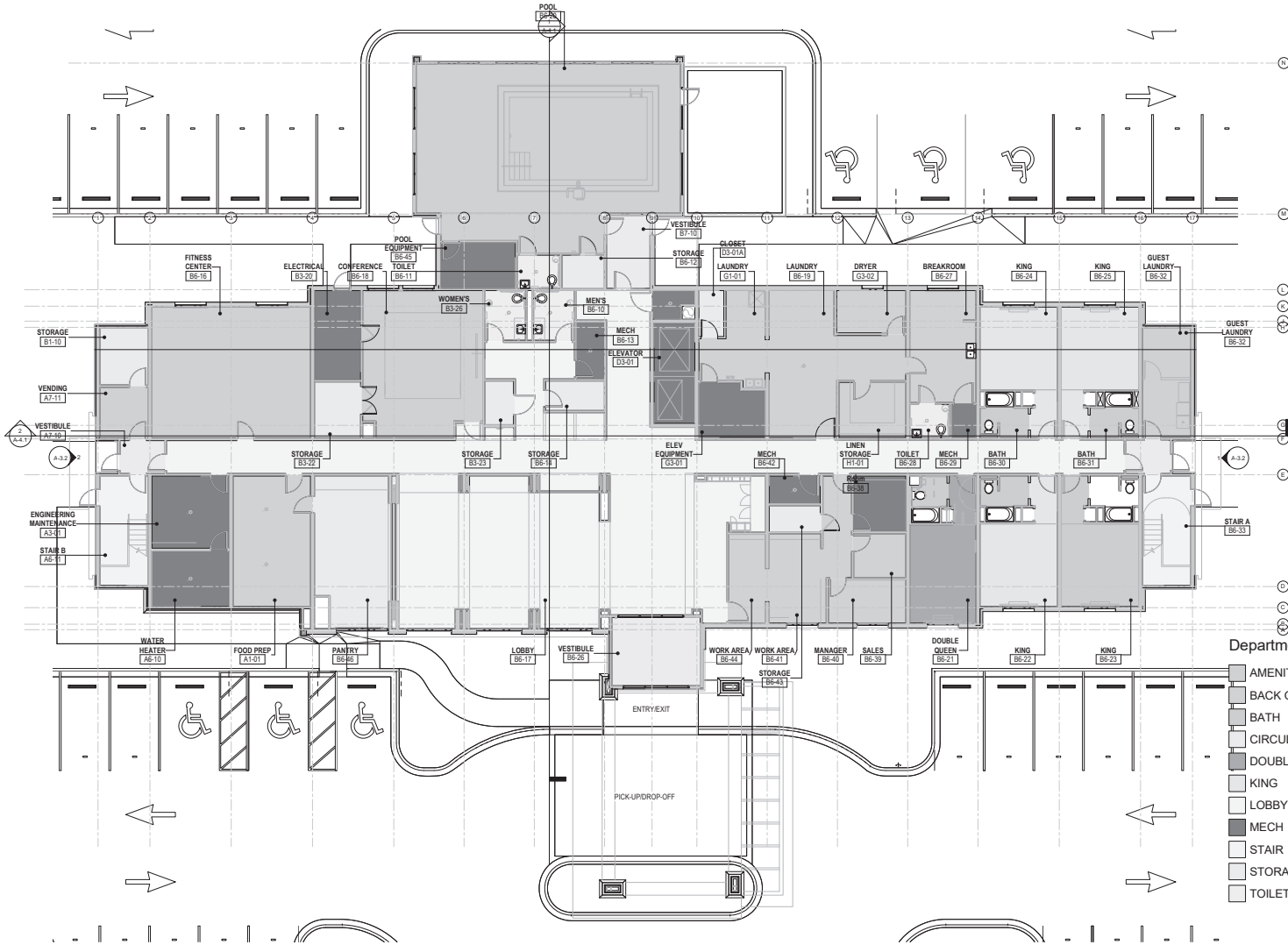
PULLMAN HOTEL GROUP,
LLC
1032 SOUTH PROSPER CT AVENUE, UNIT D
CHICAGO, IL 60608
P. (773) 791-9453

BEEHYVVE
1122 WEST 81RD STREET
CHICAGO, IL 60607
P. (815) 877-6747

MECH ENGINEERS
CONSULTANTS

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Department Legend

- AMENITY
- BACK OF HOUSE
- BATH
- CIRCULATION
- DOUBLE QUEEN
- KING
- LOBBY
- MECH
- STAIR
- STORAGE
- TOILET

PROPOSED GROUND
FLOOR PLAN

Date	Project	Scale
08/01/21	2201	1/8" = 1'-0"
DATE	PROJECT	SCALE
08/01/21	2201	1/8" = 1'-0"

KEYNOTE SCHEDULE

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NOT FOR
CONSTRUCTION

HAMPTON BY HILTON AT
PULLMAN

PULLMAN HOTEL GROUP,
LLC
1032 SOUTH PROSPECT AVENUE, UNIT D
CHICAGO, IL 60607
P. (773) 751-5453

BEEHYVE
1122 WEST 81ST STREET
CHICAGO, IL 60619
P. (312) 877-6747

ARCHITECT

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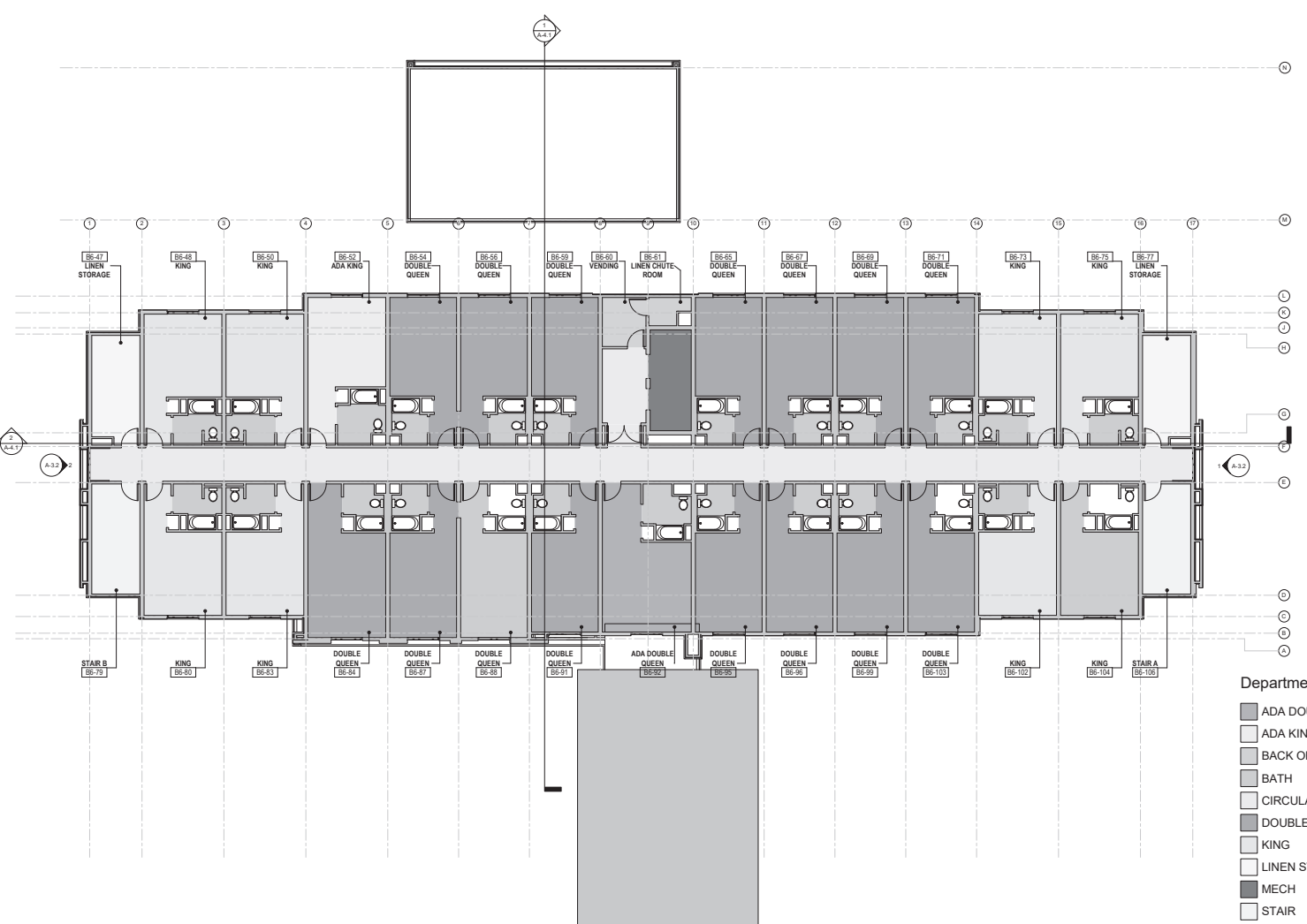
N	DAT	BSU
A	E	E

PROPOSED TYPICAL
FLOOR PLAN

Date	Project	Scale
02/01/23	2201	1/8" = 1'-0"
Drawn	Checked	Approved
Author	C. Smith	Architect

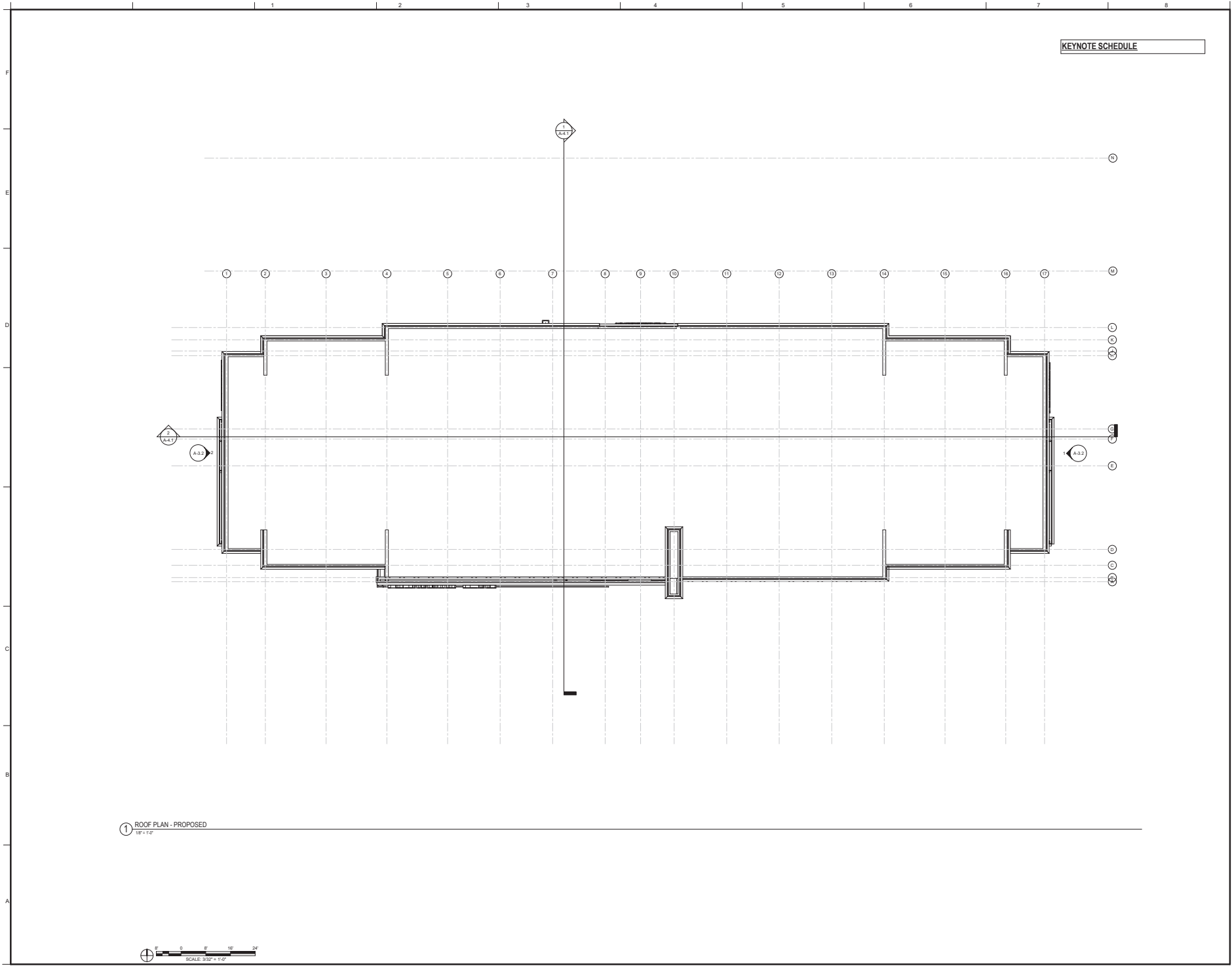
A-1.2

© 2023 BEEHYVE, LLC



- Department Legend
- ADA DOUBLE QUEEN
 - ADA KING
 - BACK OF HOUSE
 - BATH
 - CIRCULATION
 - DOUBLE QUEEN
 - KING
 - LINEN STORAGE
 - MECH
 - STAIR
 - VENDING

1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"



KEYNOTE SCHEDULE

**DRAFT ONLY
NOT FOR
CONSTRUCTION**

PROJECT: **HAMPTON BY HILTON AT PULLMAN**

CLIENT: **PULLMAN HOTEL GROUP, LLC**
10332 SOUTH PROSPER CT AVENUE, UNIT D
CHICAGO, IL 60688
P. (773) 761-6433

ARCHITECT: **BEEHYVVE**
1122 WEST 83RD STREET
CHICAGO, IL 60621
P. (815) 877-6247

DATE: 10/20/2023

BY: [Signature]

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NO.	DATE	ISSU
1		
2		
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4		
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11		
12		
13		
14		

PROPOSED ROOF FLOOR PLAN

DATE	PROJECT	SCALE
10/20/23	Hampton	1/8" = 1'-0"
10/20/23	Hampton	1/8" = 1'-0"
10/20/23	Hampton	1/8" = 1'-0"

A-1.6

1 ROOF PLAN - PROPOSED
1/8" = 1'-0"



KEYNOTE SCHEDULE

WFLA02 FIBER CEMENT COLOR 2
 WFLA03 FIBER CEMENT COLOR 3
 WFLA05 FIBER CEMENT COLOR 5
 WFLA06 FIBER CEMENT COLOR 6
 WFLC01 MASONRY COLOR 1

**DRAFT ONLY
 NOT FOR
 CONSTRUCTION**

**HAMPTON BY HILTON AT
 PULLMAN**

**PULLMAN HOTEL GROUP,
 LLC**
 1032 SOUTH PROSPER CT AVENUE, UNIT D
 CHICAGO, IL 60608
 P. (773) 793-1453

BEEHYVVE
 1122 WEST 82ND STREET
 CHICAGO, IL 60620
 P. (312) 877-6247

DATE: 08/20/2024

BY: [Signature]

SCALE: 1/8" = 1'-0"

THE ATTACHED DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

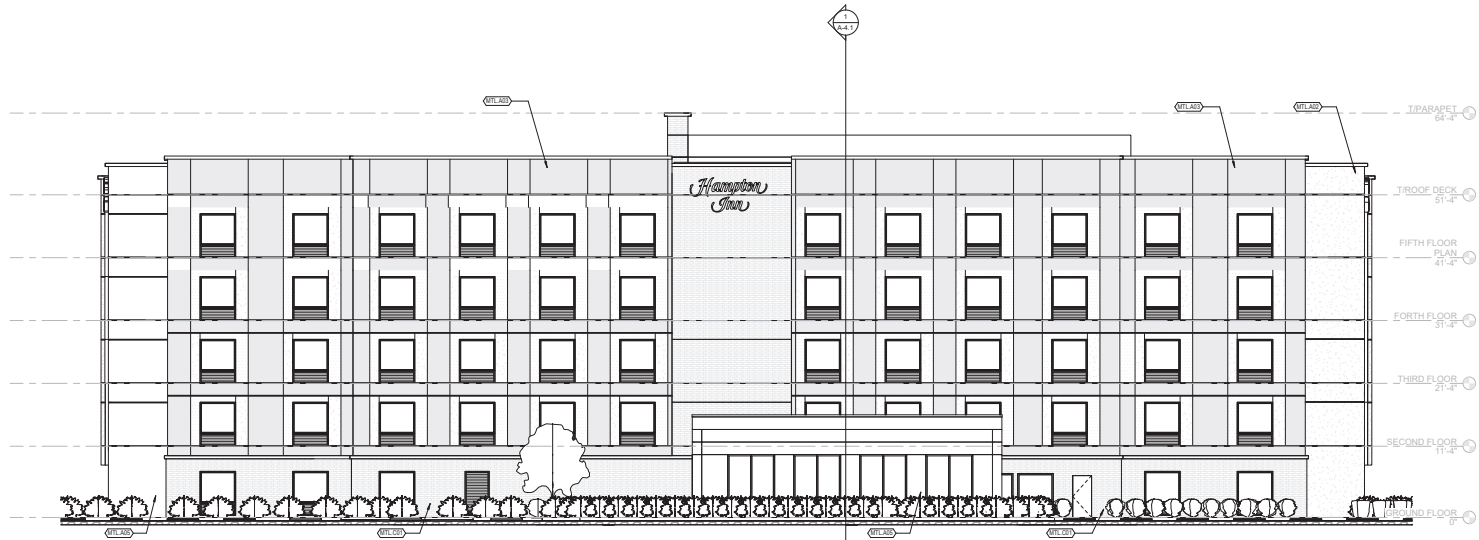
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NO.	DATE	DESCRIPTION
1	08/20/2024	PROJECT PRELIMINARY REVIEW
2		
3		
4		
5		
6		
7		
8		
9		
10		

EXTERIOR ELEVATIONS

DATE	PROJECT	SCALE
08/20/24	0204	1/8" = 1'-0"
08/20/24	0204	1/8" = 1'-0"
08/20/24	0204	1/8" = 1'-0"

A-3.1



E3 WEST ELEVATION
 1/8" = 1'-0"



A3 EAST ELEVATION
 1/8" = 1'-0"

1 2 3 4 5 6 7 8

F
E
D
C
B
A

KEYNOTE SCHEDULE

- MTLAD: FIBER CEMENT COLOR 1
- 2
- MTLAD: FIBER CEMENT COLOR 2
- 3
- MTLAD: FIBER CEMENT COLOR 3
- 4
- MTLAD: FIBER CEMENT COLOR 5
- 5
- MTLAD: FIBER CEMENT COLOR 6
- 6
- MTLCS: MASONRY COLOR 1

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CONSTRUCTION**

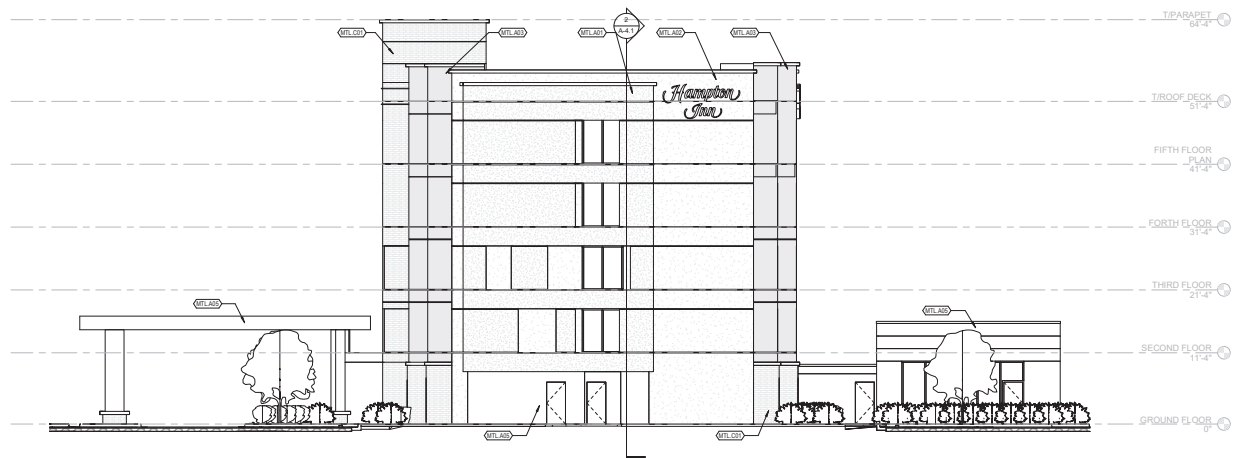
**HAMPTON BY HILTON AT
PULLMAN**

**PULLMAN HOTEL GROUP,
LLC**
1032 SOUTH PROSPECT AVENUE, UNIT D
CHICAGO, IL 60608
P. (773) 751-5453

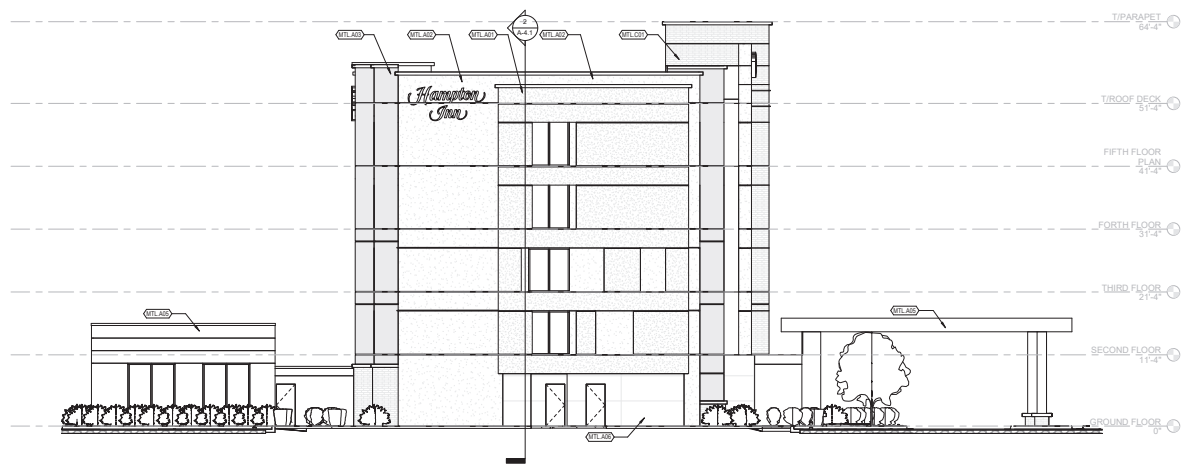
BEEHYVVE
1122 WEST BIRD STREET
CHICAGO, IL 60607
P. (312) 877-6247

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1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATIONS

Date	Project	Scale
02/01/21	2021	1/8" = 1'-0"
1/18/21	1/18/21	1/8" = 1'-0"
1/18/21	1/18/21	1/8" = 1'-0"

A-3.2



E1 PERSPECTIVE - SOUTH



A1 PERSPECTIVE - SOUTHWEST



A6 PERSPECTIVE - SOUTHEAST

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CONSTRUCTION

HAMPTON BY HILTON AT
PULLMAN

PULLMAN HOTEL GROUP,
LLC
1032 SOUTH PULASKI AVENUE, UNIT D
CHICAGO, IL 60607
P. (773) 761-6433

BEEHYVE
1122 WEST 81RD STREET
CHICAGO, IL 60607
P. (815) 871-6247

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PROJECT: PERSPECTIVE REVIEW
N
DATE: _____
E

PERSPECTIVE VIEWS

DATE	REVISION	BY



HAMPTON BY HILTON AT PULLMAN

PROJECT DESCRIPTION

- 1 NEW CONSTRUCTION OF A 5 STORY 105 ROOM HOTEL.
- 2 -
- 3 -

BUILDING DATA

BUILDING ZONE: PD-1167
 BUILDING PIN: 25-14-300-024-0000
 BUILDING WARD/COMMUNITY: 0, NORTH PULLMAN
 BUILDING TYPE - CURRENT: VACANT PARCEL
 BUILDING TYPE - PROPOSED: HOTEL

CONSTRUCTION TYPE: IIIA. ORDINARY CONSTRUCTION

SITE AREA: 111,475 SQ.FT.

BUILDING STORES: 5

GROUND FLOOR: 13,894 GSF
 SECOND FLOOR: 11,772 GSF
 THIRD FLOOR: 11,772 GSF
 FORTH FLOOR: 11,772 GSF
 FIFTH FLOOR: 11,772 GSF

TOTAL BUILDING AREA: 72,754 GSF

TOTAL PARKING SPACES: 107

BUILDING HEIGHT: 64'-4"

APPLICABLE BUILDING CODES

BUILDING CODE: CHICAGO BUILDING REHABILITATION CODE (TITLE 14R)
 PLUMBING CODE: CHICAGO PLUMBING CODE (TITLE 14P)
 HVAC CODE: CHICAGO MECHANICAL CODE (TITLE 14M)
 ELECTRICAL CODE: CHICAGO ELECTRICAL CODE (TITLE 14E)
 ACCESSIBILITY CODE: ILLINOIS ACCESSIBILITY CODE
 ZONING CODE: CITY OF CHICAGO ZONING ORDINANCE
 ENERGY CODE: CHICAGO ENERGY CONSERVATION CODE (TITLE 14N)

DRAWING INDEX

- GENERAL
 G-0.0 TITLE SHEET & INDEX
- LANDSCAPE
 L-1.1 LANDSCAPE PLAN
- ARCHITECTURAL
 A-0.1 SITE PLAN
 A-0.2 SITE LOCATION MAP
 A-1.1 PROPOSED GROUND FLOOR PLAN
 A-1.2 PROPOSED TYPICAL FLOOR PLAN
 A-3.1 EXTERIOR ELEVATIONS
 A-3.2 EXTERIOR ELEVATIONS
 A-3.2 PERSPECTIVE VIEWS

DRAFT ONLY - NOT FOR CONSTRUCTION
 ISSUED FOR ZONING REVIEW - 03/08/2023

<p>SEAL</p>	<p>CERTIFICATION STATEMENT</p> <p>THIS IS TO CERTIFY THAT THESE PLANS AND SPECIFICATIONS TO THE BEST OF MY KNOWLEDGE COMPLY WITH THE STANDARD SPECIFICATION FOR FACILITIES FOR THE HANDS-CAPPED, AUTHORIZED AND ENFORCEABLE UNDER ILCS 24.0/24.1, ILLINOIS 70TH GENERAL ASSEMBLY AS PUBLISHED AND DISTRIBUTED BY THE OFFICE OF SUPERVISING ARCHITECT, STATE OF ILLINOIS.</p> <p>THIS IS TO CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF ARE IN COMPLIANCE WITH ALL CODES AND BUILDING ORDINANCES OF THE CITY OF CHICAGO, STATE OF ILLINOIS.</p> <p>LICENSED ARCHITECT: 001-022868 L. REGISTRATION NUMBER</p> <p>11/20/2024 EXPIRATION DATE</p>	<p>DISCLOSURE AGREEMENT</p> <p>THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREIN ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.</p> <p>WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.</p>	<p>PROJECT</p> <p>HAMPTON BY HILTON AT PULLMAN</p>	<p>OWNER</p> <p>PULLMAN HOTEL GROUP, LLC 10232 SOUTH PROSPECT AVENUE, UNIT 0 CHICAGO, IL 60643 P. (773) 703-5433</p>	<p>ARCHITECT</p> <p>BEEHYVVE 1122 WEST 63RD STREET CHICAGO, IL 60621 P. (312) 877-6147</p>	<p>CONTRACTOR</p> <p>POWERS & SONS CONSTRUCTION 5040 SOUTH STATE STREET CHICAGO, IL 60609 (773) 536-3100</p>
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PLANTING SCHEDULE				
MARK	QUANTITY	DESCRIPTION	BOTANICAL NAME	COMMON NAME
SHRUB				
SH-1	347	SHRUB	AZALEA	GIRARD HOT SHOT
SH-2	61	SHRUB	SPRAEA BIMALDA	ANTHONY WATERER'S SPIREA
SH-3	19	SHRUB	COMPACT AMERICAN CRANBERRY	COMPACT AMERICAN CRANBERRY
427				
TREE				
TR-1	15	TREE	FAGUS SYLVATICA	BEECH EUROPEAN
TR-2	22	TREE	JAPANESE MAPLE TWOMBL'Y'S RED SENTINEL	JAPANESE MAPLE TWOMBL'Y'S RED SENTINEL
TR-3	11	TREE	ACER PALMATUM	JAPANESE MAPLE TWOMBL'Y'S RED SENTINEL
48				
GRAND TOTAL: 475				

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CONSTRUCTION**

PROJECT: HAMPTON BY HILTON AT PULLMAN

PULLMAN HOTEL GROUP, LLC
10332 SOUTH PROSPER CT AVENUE, UNIT D
CHICAGO, IL 60688
P. (773) 793-9433

ARCHITECT: BEEHYVVE
1122 WEST 83RD STREET
CHICAGO, IL 60647
P. (815) 877-6747

LANDSCAPE ARCHITECT: [Redacted]

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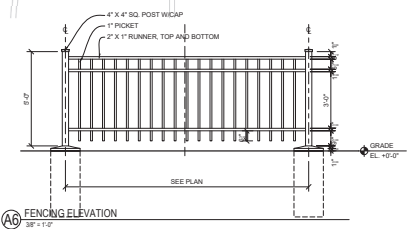
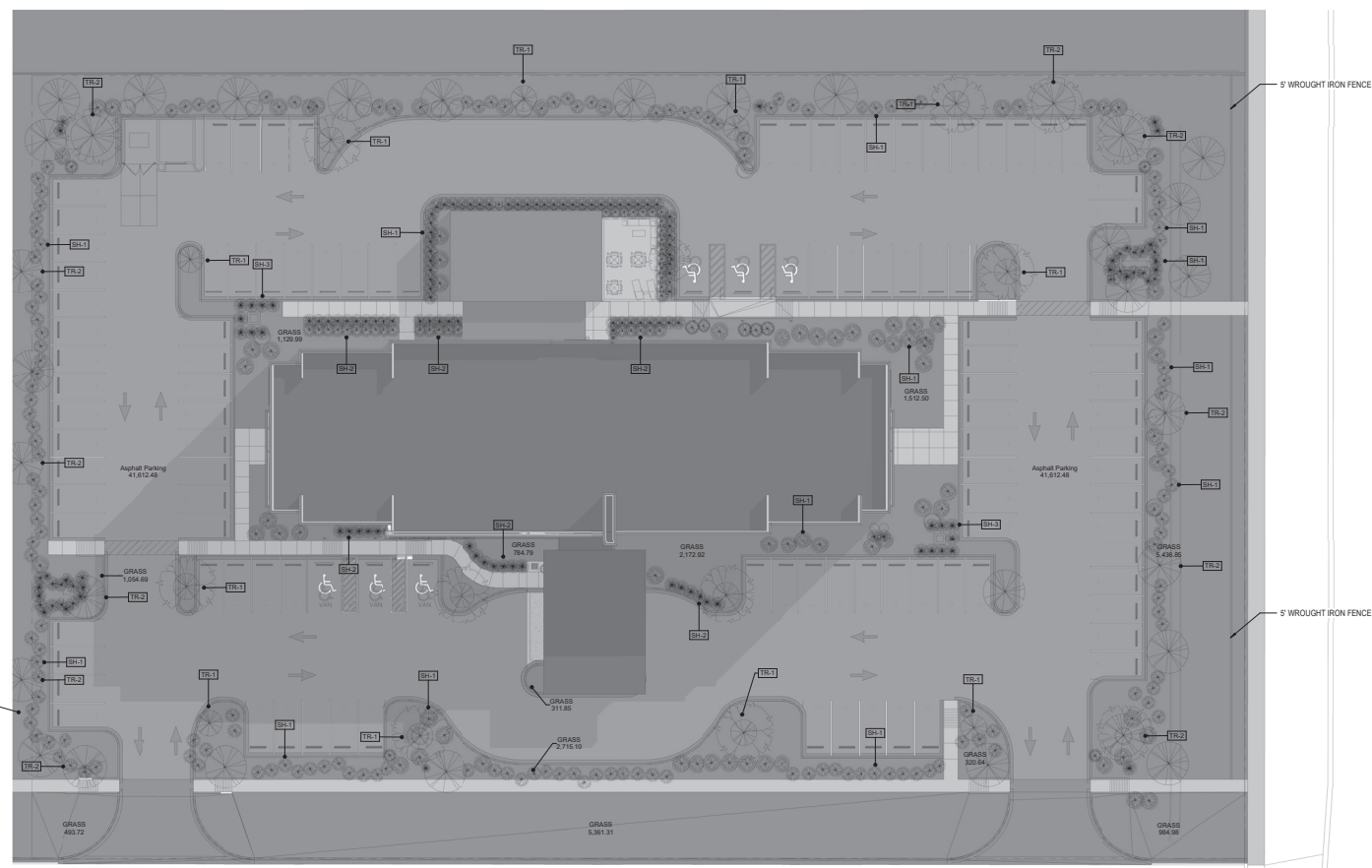
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N
DATE
BY

LANDSCAPE PLAN

Date	Project	Scale
08/13/24	Hampton by Hilton at Pullman	As Indicated
08/13/24	Hampton by Hilton at Pullman	As Indicated
08/13/24	Hampton by Hilton at Pullman	As Indicated

L-1.1



A1 LANDSCAPE PLAN
STEP 1 OF 2

A6 FENCING ELEVATION
STEP 1 OF 2



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 19, 2022

Mariah DiGrino
DLA Piper LLP (US)
444 West Lake Street
Suite 900
Chicago, Illinois 60606-0089

Re: Site Plan Review for Business-Residential-Institutional Planned Development No. 1167
Subarea I, 716 E. 111th Street

Dear Ms. DiGrino:

Please be advised that your request for site plan review for Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The Department of Planning and Development (DPD) has reviewed the project which includes the expansion of an existing greenhouse facility, located in Subarea I of PD 1167. The existing greenhouse in Subarea I was approved pursuant to an amendment to the PD adopted on May 25, 2018. The expansion will consist of approximately 48,627 square feet of building area, comprised of 43,033 square feet of expanded greenhouse and 5,594 square feet of supportive space. The expansion also includes minor modifications to the parking area to create an auxiliary vehicular entrance to the expansion, to accommodate a box truck.

The existing facility with the proposed expansion will result in a total floor area of 144,477 square feet, which equates to 0.53 FAR. The PD permits a maximum FAR of 0.75 in Subarea I. The PD requires 1 parking space per 4 employees and 1 bike parking space for each 10 auto spaces. The proposed expansion is anticipated to provide employment for 12 new employees. Together with the existing 68 employees at the site, the total expected employment count is 80 employees, resulting in a minimum parking requirement of 20 vehicular spaces. The existing surface parking lot would remain, with 67 vehicular parking spaces and 28 bike racks, meeting the PD requirements. Vehicular access to and from the Property will be provided via the existing driveway entrance to Subarea I from Doty Avenue.

The PD requires 2 loadings spaces for buildings that are greater than 100,000 square feet in area, plus 1 space per 100,000 square foot or portion thereof above 100,000 square feet. With a combined building floor area of 144,477 square feet, the PD would require 3 10'x 50' loading spaces. Two exterior loading spaces and one drive-in dock are provided in the existing facility, plus an additional fourth space

currently occupied by the facility's compactor. The proposed expansion will add another drive-in dock, resulting in a total of 5 loading spaces.

The proposed height of the expansion is 25'-8", which matches the height of the existing facility, and is within the maximum building height of 50 feet permitted in Subarea I. The existing facility provides a rear setback of approximately 30 feet. The proposed expansion would follow that same setback. The PD requires a minimum rear setback of 16 feet.

The existing detention basin located on the east side of the site will remain. The existing landscaping conditions were planned for the original building and the expansion. All damaged or dead parkway trees and any shrubs in need of replacement will be replaced as shown on the landscape plans.

This approval includes the following attached documents:

- AX050 – Site Plan Expansion (08.18.21) prepared by Heitman Architects, Inc.
- AX200 – Building Elevations Expansion (01.12.22) prepared by Heitman Architects, Inc.
- L2 – Landscape Plan (03.28.22) prepared by Ives/Ryan Group, Inc.

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Business-Residential-Institutional Planned Development No. 1167. Accordingly, this site plan submittal is hereby approved as conforming to PD 1167. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Erika Sellke at (312) 744-9146 or at erika.sellke@cityofchicago.org.

Sincerely,



Steven Valenziano
Assistant Zoning Administrator

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 The drawings, specifications, design ideas, and other information contained within as prepared by the Landscape Architect/Planner for this project are instruments of the Landscape Architect/Planner's service, for use solely with respect to this project and, unless otherwise provided, the Landscape Architect/Planner shall be deemed the author of these documents and shall retain all common law, statutory, and other rights, including copyright. This drawing is not to be reproduced without the expressed written consent of IVESRYAN GROUP, INC.

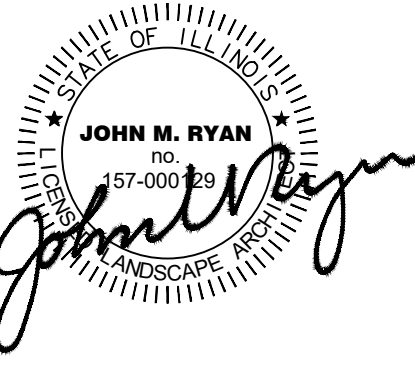
REVISIONS

NO.	DATE	DESCRIPTION

1 Per Site Plan 4-15-22



10636 WOODLAWN
 CHICAGO, IL



IRG Ives/Ryan Group, Inc.
 1741 S. WESBROOK ROAD
 WHEATON, IL 60189
 PHONE: 630.738.0726

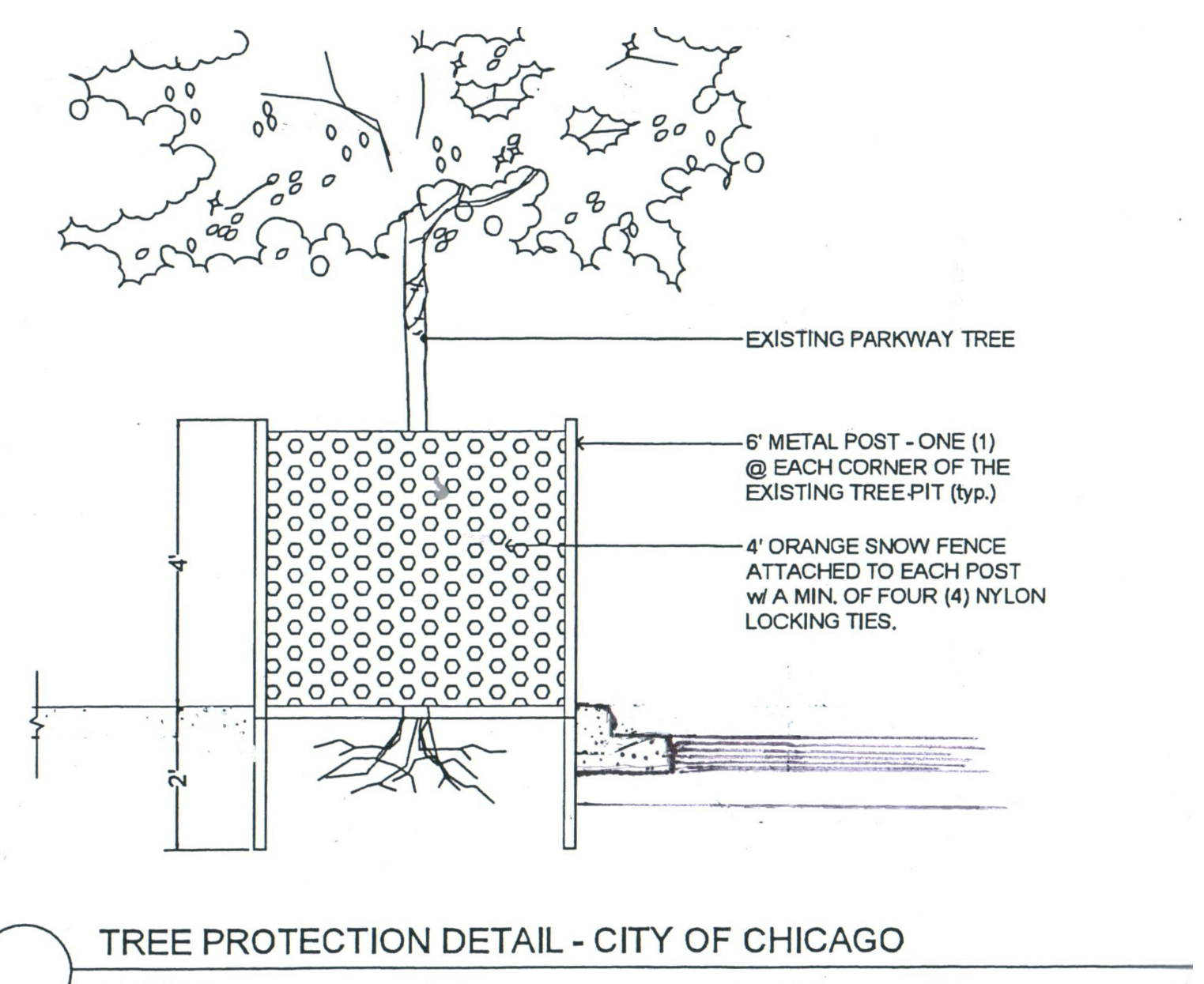
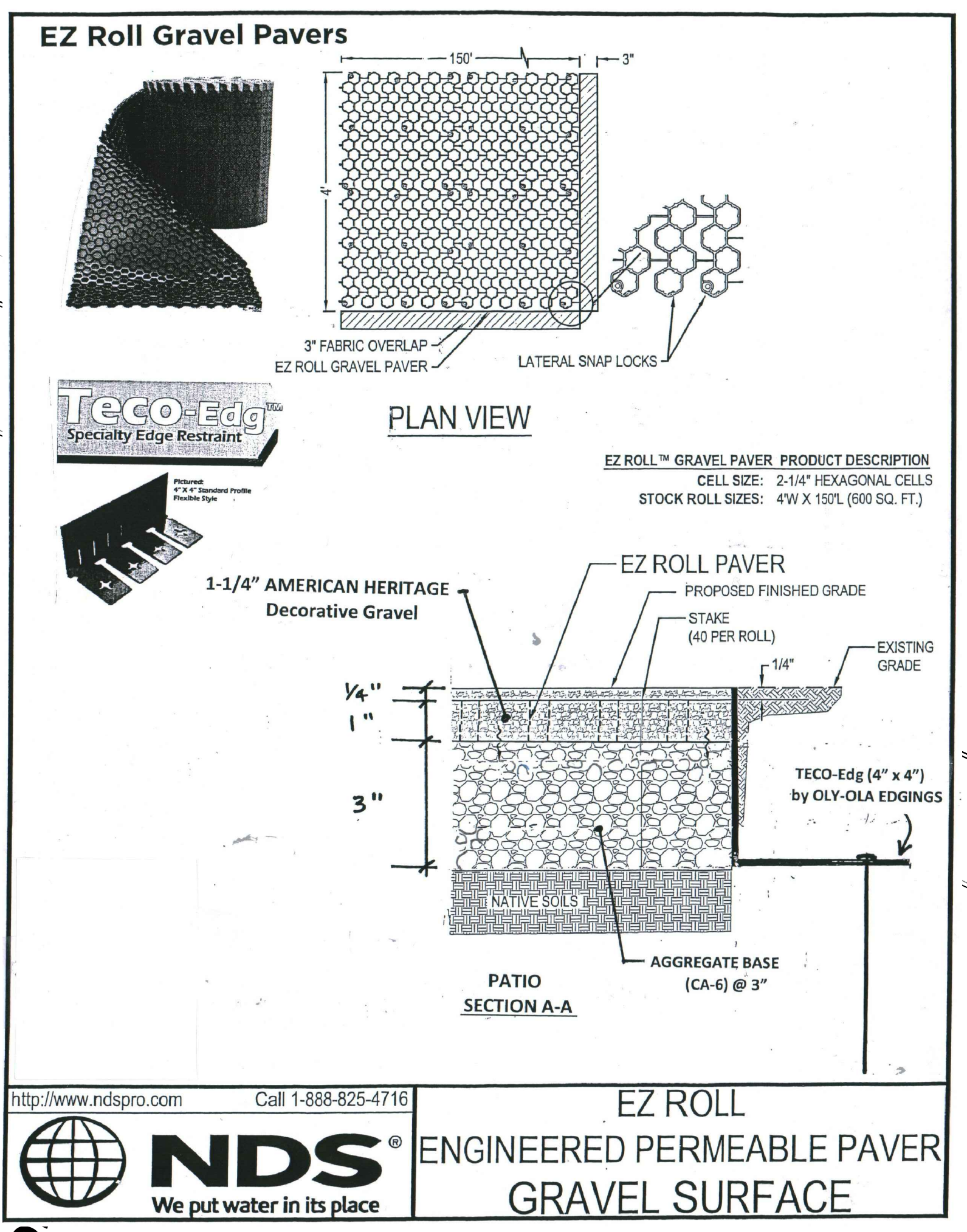
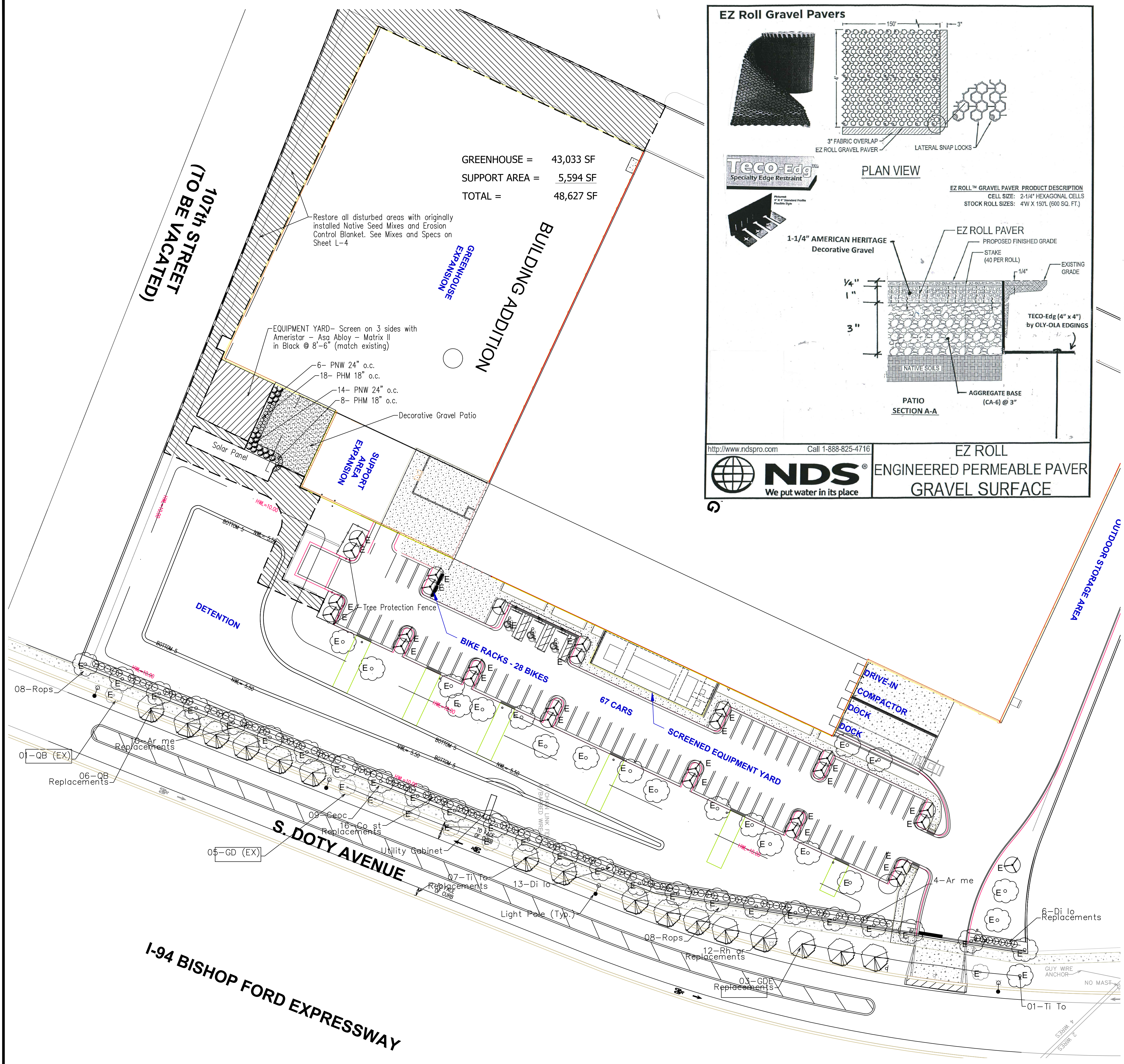
Landscape Architecture
 Park & Recreation Design
 Site & Community Planning
 www.ivesryangroup.com

LANDSCAPE PLAN

PROJECT NO.: JOB NO.:
L822 - 9331

DATE: 03-28-22
 SCALE: 1"=30'
 PLANNER: JMR
 DRAWN BY: _____
 CHECKED: _____

SHEET
L-2



PLANT LIST

REPLACEMENT PLANTS
PARKWAY TREES & PARKING LOT SCREENING- Dead (standing or removed)
 Per the original approved Landscape Plan last revised 8/30/18

KEY	QUAN	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS SHADE TREES				
GDE*	3	Gymnocladus g. 'Espresso'	Espresso Kentucky Coffeetree	2.5"BB
Qu bi	6	Quercus bicolor	Swamp White Oak	2.5"BB
Ti to	7	Tilia tomentosa	Sterling Silver Linden	2.5"BB
DECIDUOUS SHRUBS				
Ar me	15	Aronia melanocarpa	Black Chokeberry	#3
Co st	16	Cornus stolonifera	Red-osier Dogwood	#3
Di lo	19	Diervilla lonicera	Dwf Bush Honeysuckle	#3
Rh ar	12	Rhus a. 'Gro-Low'	Gro Low Fragrant Sumac	#3

ADDITIONAL PLANTS - Patio

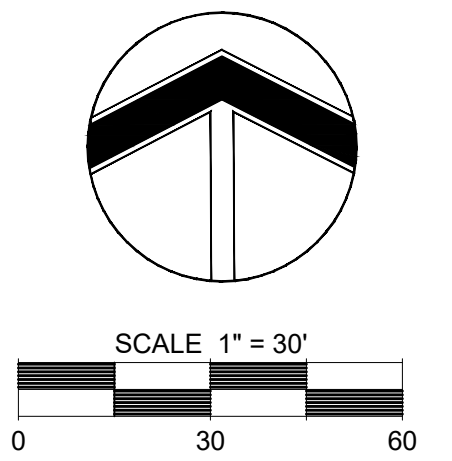
ORNAMENTAL GRASSES	QUAN	BOTANICAL NAME	COMMON NAME	SIZE
PHM	26	Panicum v. 'Heavy Metal'	Heavy Metal Switchgrass (18" O.C.)	#1
PNW	20	Panicum v. 'Northwind'	Northwind Switchgrass (24" O.C.)	#1

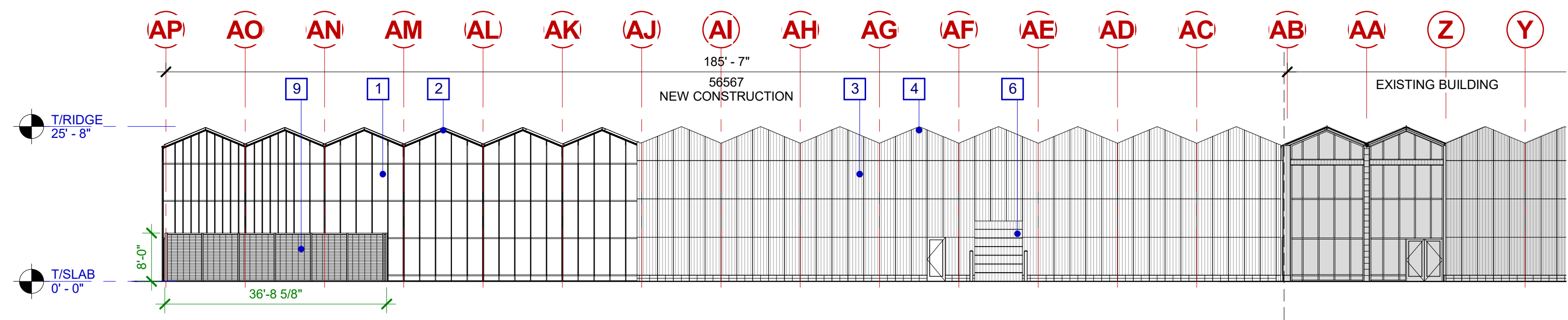
* NOTE: Substitution replacement for dead Gleditsia li.'cultivar' (Honeylocust)

MATERIALS LIST

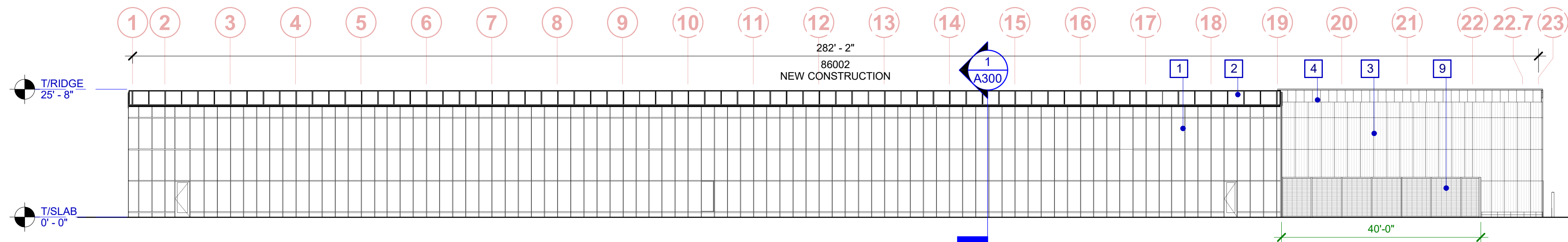
QUAN	MATERIAL	DESCRIPTION
330 SF	Decorative Gravel Patio	NDS EZ Roll Gravel Pavers on CA6 Base With Teco-Edg Edge Restraint buy Oly-Ola Edgings backfilled with American Heritage Decorative gravel (SEE DETAIL)
TBD	Native Seed Mix with Erosion Control Blanket (restore Disturbance areas)	See Specifications
As Required	Mulch	See Specifications

QUANTITIES PROVIDED IN THE ABOVE TABLE ARE PROVIDED AS A CONVENIENCE IN DETERMINING THE SCOPE OF WORK. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR CALCULATING THEIR OWN QUANTITIES AND INSTALLING THE FULL SCOPE OF MATERIAL SHOWN ON THE PLANS. THE OWNER AND LANDSCAPE ARCHITECT ASSUME NO RESPONSIBILITY FOR ANY VARIANCES.

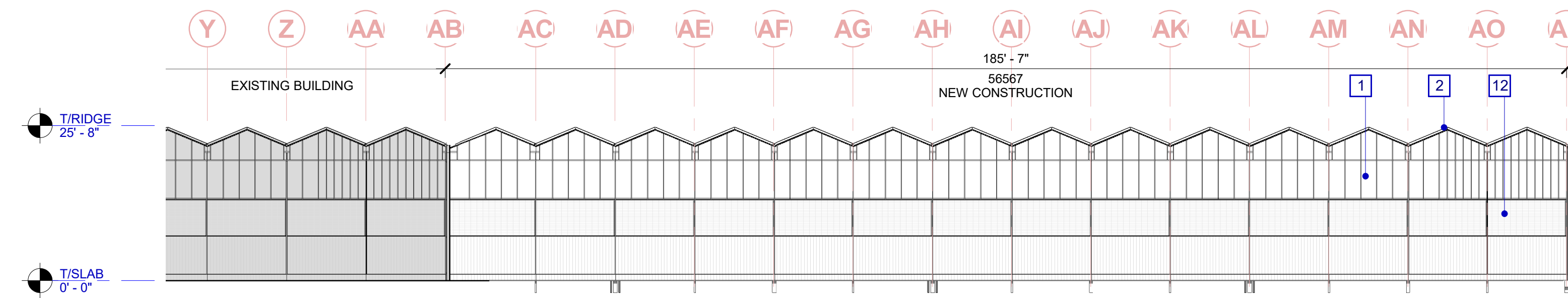




1 EAST ELEVATION - EXPANSION
 AX200 1/16" = 1'-0"



2 SOUTH ELEVATION - EXPANSION
 AX200 1/16" = 1'-0"



3 WEST ELEVATION - EXPANSION
 AX200 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 TEMPERED GLASS WALL
- 2 TEMPERED DIFFUSE GLASS ROOF
- 3 INSULATED METAL PANEL WALLS
- 4 INSULATED METAL PANEL ROOF

- 6 INSULATED STEEL OVERHEAD SECTIONAL DOOR

- 9 DECORATIVE SCREEN WALL
- 10 ANODIZED ALUMINUM AND GLASS DOOR, PAIR
- 11 ANODIZED ALUMINUM AND GLASS DOOR, SINGLE, WITH GLASS SIDELITE
- 12 GUILLOTINE WINDOW, 4m [13'-1 1/2"] TALL, WITH INSECT SCREEN



555 PIERCE ROAD, SUITE 130
 ITASCA, ILLINOIS 60143, USA
 TEL . 630.773.3551
 FAX . 630.773.3599

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GOTHAM GREENS

10636 S. WOODLAWN AVENUE
 CHICAGO, ILLINOIS

STRUCTURAL & MEP ENGINEERS:
IMEG CORP.
 1100 WARENVILLE ROAD, SUITE 400W
 NAPERVILLE, IL
 P: (630) 527-2320
 F: (630) 527-2321

CIVIL ENGINEERS:
SPACECO, INC.
 9575 W. HIGGINS ROAD, SUITE 700
 ROSEMONT, IL
 P: (847) 696-4060
 F: (847) 696-4065

ISSUE DATE

SHEET TITLE
 BUILDING ELEVATIONS - EXPANSION

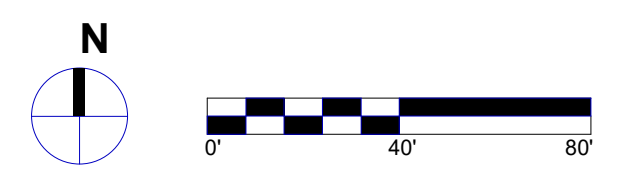
DATE	01/12/22	SHEET NUMBER	
PROJECT NUMBER	217110		AX200

**DESIGN DRAWINGS:
 NOT FOR CONSTRUCTION**
This plan is not to be used for construction. Plan layouts are for concept design only, and are subject to change based on detailed local code analysis and thorough evaluation of specific existing building conditions. Employee counts, furniture inventories and product inventories are provided as preliminary guideline estimates only. Detailed design documents will be required by licensed design professionals of record, as project moves forward.

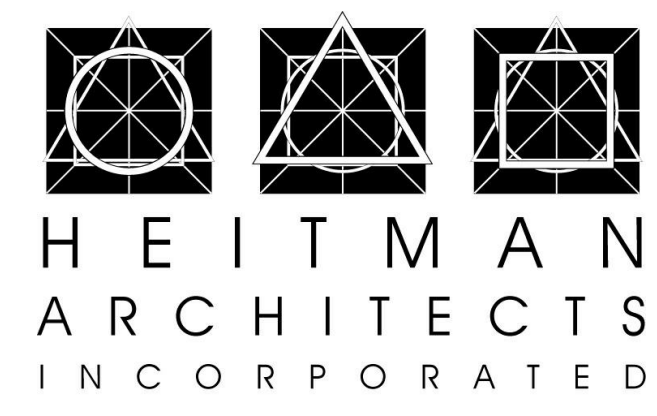


SITE TABULATIONS:	
SITE AREA:	6.25 ACRES (272,129 SF)
BUILDING AREA EXISTING:	95,850 SF [FAR=0.35]
PROPOSED EXPANSION:	5,594 SF SUPPORT 43,033 SF GREENHOUSE 48,627 SF TOTAL EXP.
TOTAL BUILDING AREA:	144,477 SF [FAR=0.53]
EXISTING PAVED AREA:	36,990 SF
NEW PAVED AREA:	680 SF
TOTAL PAVED AREA:	37,670 SF
EXISTING ROWS/BAYS	
GREENHOUSE ROWS:	17 ROWS (TOTAL)
GREENHOUSE BAYS:	7 BAYS
NEW BAYS:	3 BAYS
	10 BAYS (TOTAL)
EXISTING DOCKS:	2 DOCKS
	1 COMPACTOR
	1 DRIVE-IN
NEW DOCKS:	1 DRIVE-IN
PARKING:	67 CARS
	28 BICYCLES

1 SITE PLAN
AX050 1" = 40'-0"



**DESIGN DRAWINGS:
NOT FOR CONSTRUCTION**
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GOTHAM GREENS

10636 S. WOODLAWN AVENUE
CHICAGO, ILLINOIS

STRUCTURAL & MEP ENGINEERS:
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ROSEMONT, IL
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F: (847) 696-4065

ISSUE DATE	
2018/09/07	ADDENDUM #1
2018/10/17	PERMIT COMMENTS RESPONSE #2

SHEET TITLE
SITE PLAN EXPANSION

DATE	08/18/21	SHEET NUMBER	
PROJECT NUMBER	217110	AX050	



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 14, 2021

Mariah DiGrino
Partner
DLA Piper LLP (US)
444 West Lake Street, Suite 900
Chicago, Illinois 60606-0089

Re: Site Plan Approval for Business-Residential-Institutional Planned Development No. 1167, Subarea B, generally located at 716 E. 111th Street.

Dear Ms. DiGrino:

Please be advised that your request for site plan approval for Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project includes the development of a fast-food restaurant on an approximately 1.254-acre site located in Subarea B of PD 1167.

The proposed development consists of a single-story retail/restaurant building, containing approximately 4,190 square feet of floor area together with a surface parking lot containing 48 off-street vehicular parking spaces.

Outside of the subject project, Subarea B is developed with a single-story multi-tenant retail building consisting of approximately 9,780 square feet of floor area and 77 parking spaces (the "Phase 1 Project"). The PD contemplates development of Subarea B with multiple stand-alone commercial buildings with a mix of retail, restaurant and hotel uses. The Subarea B overall site plan approved in connection with the 2016 amendment to the PD depicts a stand-alone restaurant with a drive-through in the location of the subject site.

The proposed building height will be approximately 25 feet, which is less than the maximum building height of 100 feet permitted in Subarea B.

The parking standard for Subarea B requires no parking for the first 10,000 square feet of retail floor area, with 2.5 spaces for every 1,000 square feet of retail floor area thereafter. Evaluating Phase 1 and the proposed new building in the aggregate, a minimum of 10 off-street parking spaces would be required to serve the two buildings. With this new development, a total of 125

PD 1167
Site Plan Approval
January 14, 2021
Page 2

parking spaces will be provided within Subarea B. In accordance with the PD, ten bike parking spaces are provided within the property, generally located on the northeast corner of the proposed building.

Vehicular access to and from the property will be provided via the existing private internal drive located in Subarea B.

The proposed development will comply with the requirements of the Landscape Ordinance. A total of 66 trees are required for the proposed development. The project includes 66 trees in addition to a screening hedge and landscaped planting areas.

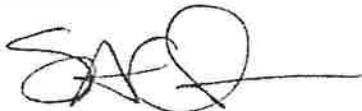
This approval includes the following attached documents:

- C5 – Geometric Plan (12.11.20) prepared by SpaceCo, Inc.
- Landscape Plan (01.07.21) prepared by Gary R. Webber Associates, Inc.
- A1 – Elevations (12.08.2020) prepared by Ollmann Ernest Martin Architects

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Business-Residential-Institutional Planned Development No. 1167. Accordingly, this site plan submittal is hereby approved as conforming to PD 1167. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Erika Sellke at (312) 744-9146 or at erika.sellke@cityofchicago.org.

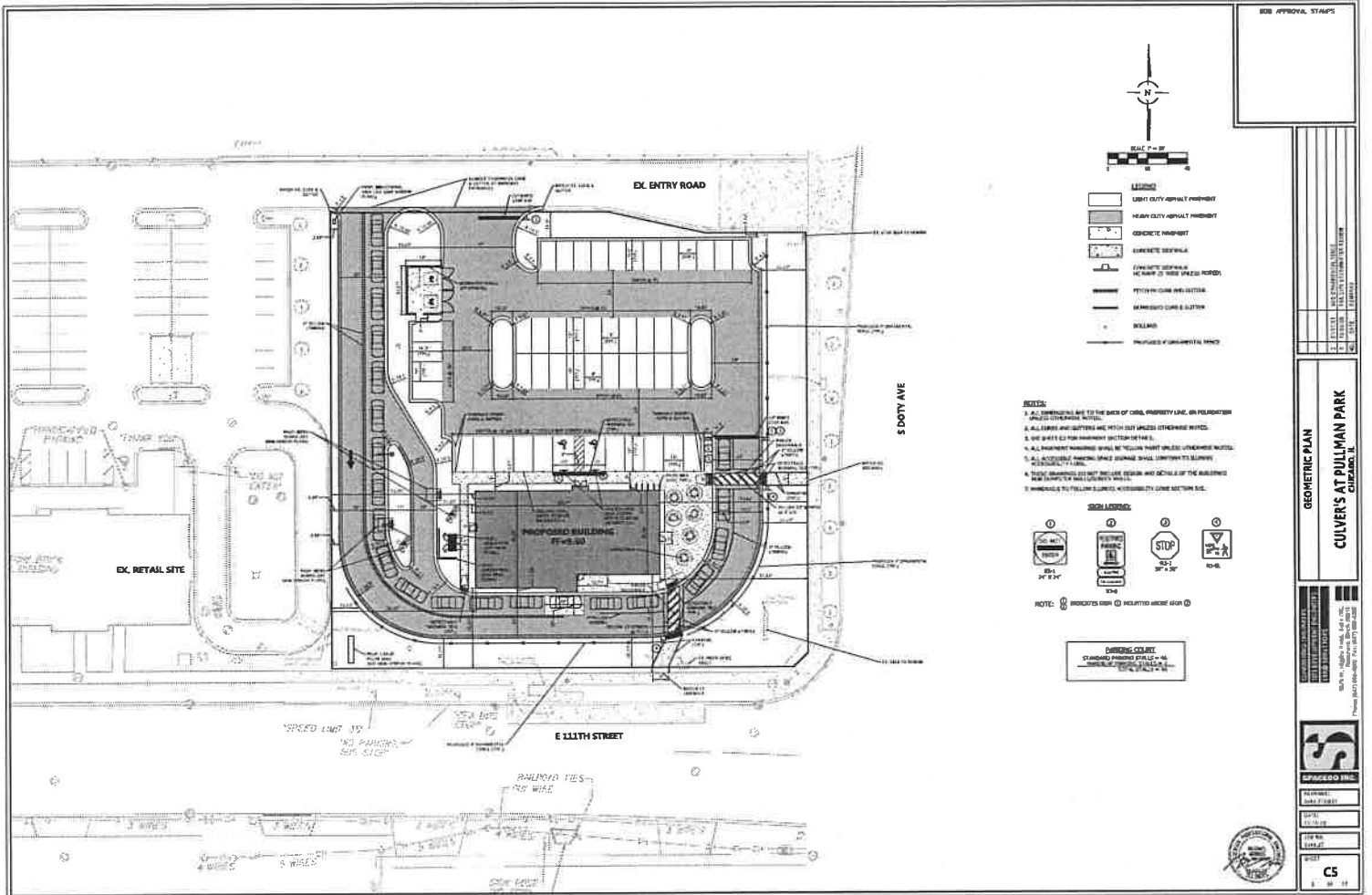
Sincerely,



Steven Valenziano
Assistant Zoning Administrator

Originated by: Erika Sellke

cc: Erik Glass, DPD
Janice Hill, DPD
Mike Marmo, DPD
Erika Sellke, DPD
Planned Development files

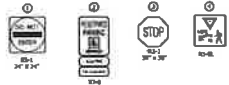


008 APPROVAL STAMP



- LEGEND**
- [Symbol] LIGHT CITY OFFICIAL PAVEMENT
 - [Symbol] HEAVY CITY OFFICIAL PAVEMENT
 - [Symbol] GEOMETRIC PAVEMENT
 - [Symbol] CONCRETE SIDEWALK
 - [Symbol] CURB CUTS, DRIVEWAYS, REPAIRS OF EXISTING PAVED AREAS
 - [Symbol] PAVED DRIVE AND ALLEYS
 - [Symbol] DRIVEWAYS
 - [Symbol] PROPOSED UNPAVED AREAS

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BATCH OF CURB, PROPERTY LINE, OR PERMITS/STREET CENTERLINE, UNLESS OTHERWISE NOTED.
 2. ALL DRIVEWAYS AND ALLEYS ARE TO BE SET BACK UNLESS OTHERWISE NOTED.
 3. SEE SHEET 02 FOR IMPROVEMENT SECTION DETAILS.
 4. ALL IMPROVEMENTS SHOWN SHALL BE INSTALLED UNLESS OTHERWISE NOTED.
 5. ALL EXISTING/PROPOSED AREAS SHALL BE SHOWN UNLESS OTHERWISE NOTED.
 6. THESE DRAWINGS DO NOT INCLUDE DESIGN AND DETAILS OF THE BUILDING AND INTERIOR OR MECHANICAL SYSTEMS.
 7. REFER TO THE FOLLOWING SHEETS FOR COMPLETION OF THIS SECTION: 01, 02.



NOTE: (1) INDICATES SIGN (2) RELATED SIGNAGE SIGN (3)

DRIVING CYCLE
 STANDARD PAVED STABLE - 46
 CONCRETE PAVED STABLE - 46

PROJECT NO.	1311TH ST. PULLMAN PARK, CHICAGO, IL
DATE	01/15/10
SCALE	AS SHOWN
DRAWN BY	...
CHECKED BY	...
APPROVED BY	...

GEOMETRIC PLAN
CULVER'S AT PULLMAN PARK
 CHICAGO, IL

DESIGNED BY: ...
 DRAWN BY: ...
 CHECKED BY: ...
 APPROVED BY: ...



DATE: 01/15/10
 SHEET NO.: 01
 OF NO.: 01

CS
 1 10 10



WEST PERIMETER YARD (SIDE)
YARD: 2231.16 L.F.
 LANDSCAPING RECOMMENDED PER OLD TITLE 10, CH. 32 & TITLE 17, CH. 19A OF THE CHICAGO MUNICIPAL CODE.
 • 4" TRESS # 2 CAL TREES
 LANDSCAPING PROVIDED:
 • 4 TREES # 2 1/2" CAL

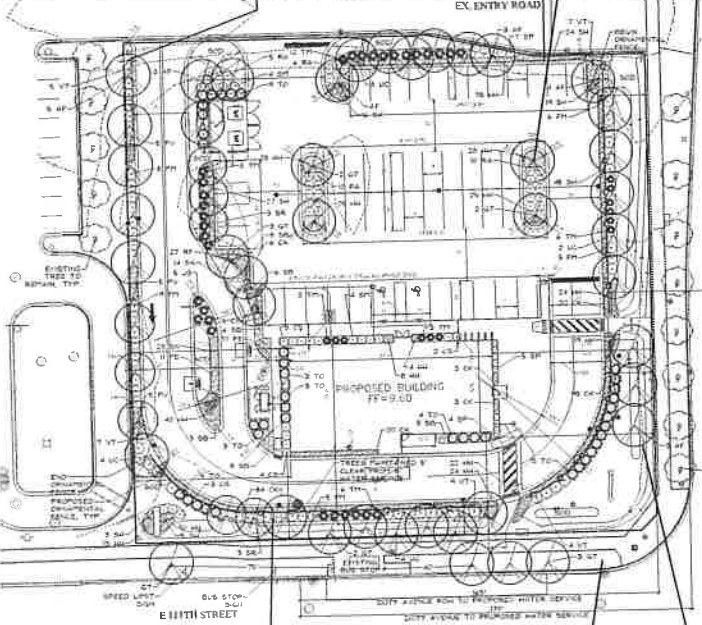
NORTH PERIMETER YARD (FRONT)
YARD: 2128.76 L.F.
 LANDSCAPING RECOMMENDED PER OLD TITLE 10, CH. 32 & TITLE 17, CH. 19A OF THE CHICAGO MUNICIPAL CODE.
 • CONTINUOUS SCREENING HEDGE MAINTAINED BETWEEN 30" AND 48" HEIGHT
 • 4 TREES # 2 1/2" CAL
 LANDSCAPING PROVIDED:
 • CONTINUOUS SCREENING HEDGE MAINTAINED BETWEEN 30" AND 48" HEIGHT
 • 4 TREES # 2 1/2" CAL

PARKING LOT INTERNAL PLANTING
AREA: 234,107 S.F. VUA
 LANDSCAPING RECOMMENDED PER OLD TITLE 10, CH. 32 & TITLE 17, CH. 19A OF THE CHICAGO MUNICIPAL CODE.
 • INTERNAL LANDSCAPE AREA REQUIRED: 3,400 S.F.
 • 27 TREES
 LANDSCAPING PROVIDED:
 • INTERNAL LANDSCAPE AREA PROVIDED: 3,107 S.F.
 • 25 TREES

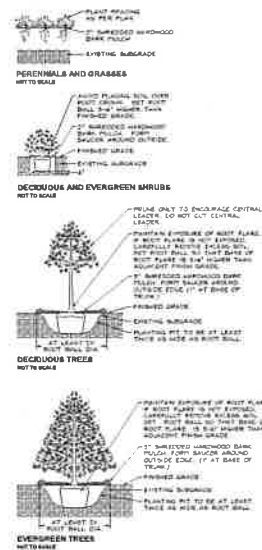
SOUTH PARKWAY TREES
2332.79 L.F.
 LANDSCAPING RECOMMENDED PER OLD TITLE 10, CH. 32 & TITLE 17, CH. 19A OF THE CHICAGO MUNICIPAL CODE.
 • 1" TRESS # 2 1/2" CAL
 LANDSCAPING PROVIDED:
 • 1" TRESS # 2 1/2" CAL MAINTAINED BETWEEN 30" AND 48" HEIGHT

EAST PERIMETER YARD (SIDE)
YARD: 2204.77 L.F.
 LANDSCAPING RECOMMENDED PER OLD TITLE 10, CH. 32 & TITLE 17, CH. 19A OF THE CHICAGO MUNICIPAL CODE.
 • 2 FT WIDE PERENNIAL PLANTING AREA
 • 8 TREES # 2 1/2" CAL
 LANDSCAPING PROVIDED:
 • 2 FT WIDE PERENNIAL PLANTING AREA
 • 8 TREES # 2 1/2" CAL
 • CONTINUOUS SCREENING HEDGE MAINTAINED BETWEEN 30" AND 48" HEIGHT
 • 4 FT 10" HEIGHT ORNAMENTAL FENCING 3 FT FROM CURB OF CURB

SOUTH PERIMETER YARD (BACK)
YARD: 2232.78 L.F.
 LANDSCAPING RECOMMENDED PER OLD TITLE 10, CH. 32 & TITLE 17, CH. 19A OF THE CHICAGO MUNICIPAL CODE.
 • CONTINUOUS SCREENING HEDGE MAINTAINED BETWEEN 30" AND 48" HEIGHT
 • 4 TREES # 2 1/2" CAL
 LANDSCAPING PROVIDED:
 • 4 TREES # 2 1/2" CAL
 • CONTINUOUS SCREENING HEDGE MAINTAINED BETWEEN 30" AND 48" HEIGHT
 • 4 FT 10" HEIGHT ORNAMENTAL FENCING 3 FT FROM CURB



PLANTING DETAILS



PLANT LIST

NO.	DESCRIPTION	QTY	REMARKS
1	4" TRESS # 2 CAL	4	
2	1" TRESS # 2 1/2" CAL	1	
3	2 FT WIDE PERENNIAL PLANTING AREA	1	
4	4 FT 10" HEIGHT ORNAMENTAL FENCING	1	
5	CONTINUOUS SCREENING HEDGE	1	

GENERAL NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variances.
- Material quantities shown are for contractor convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to amend lines and grades when in field or during construction. All work shall conform to American Standards for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal Requirements.
- Contractor shall secure and care for all permits, fees, and insurance necessary for the proper execution of the work and comply with all codes applicable to the work.
- See General Conditions and Specifications for landscape work for material requirements.



GARY R. WEBER ASSOCIATES, INC.
 LAND PLANNING
 ECOSYSTEMS CONSULTING
 40 WEST LIBERTY SQUARE
 WHEATON, ILLINOIS 60187
 PHONE: 630.848.1777

CULVERS AT PULLMAN PARK
 Pullman Park
 Chicago, IL
LANDSCAPE PLAN

DATE: 1/19/20
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SHEET NO. 1 OF 2

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required here.

1. The establishment of trees, shrubs, perennials, annual and lawn areas as shown on Landscape Plan.
2. The provision of post-planting management as specified herein.
3. Any specialized operations necessary in accordance with the plans as specified in this Division which may be required.

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.
- B. Daily General Procedures:
 1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulatory agencies as to landscape materials.
 2. Do not make substitutions. If specified landscape material is not available, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
 3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Planting Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
- B. Maintenance Instruction - Landscape Work

Submit two (2) copies of operation instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one (1) year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mowing and pruning for plant material and tree-ring operations, instructions for mulching, weeding and mowing grass areas when the contractor has (2) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions upon receipt.
- C. Submit two (2) copies of soil test of existing landscape with recommendations for soil addition requirements to Landscape Architect for review and written approval.
- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
- E. Necessary planting lists including the species and quantities of material installed must be provided to the Owner within 10 days upon request.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect, of extraordinary conditions. Do not proceed until the work until satisfactory conditions have been corrected to an acceptable manner.
- B. Utilities: Before underground utility location maps and plans, notify local utility location services departments an awareness of utility locations, and verify existence of utility for the installation of utilities during course of work. Contractor shall be responsible for any damage to utilities or structures.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 WARRANTIES

- A. Guarantee covered and sodded areas through the specified maintenance period and until final acceptance.
- B. Guarantee trees, shrubs, perennials and annuals for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for deaths resulting from neglect by Owner, severe or damage by others or unusual phenomena or incidents which are beyond Landscape Architect's control.
- C. Guarantee whole trees included in replacement trees for a period of three years after date of acceptance against defects including death and unsatisfactory growth, except for deaths resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Architect's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOU

Provide strongly rooted seed, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only seed suitable for growth and germination after planting (clean, not dormant) and is stripes not more than 1/2" wide x 1/4" long. Provide seed composed of a 5-way blend of Kentucky Bluegrass such as: Pflueger, Alta, Vici, Haverhill, Liberty.

2.2 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompact loam (established at site) for all planting pits, perennials, annual and grasses areas. (Topsoil shall be conditioned based on any recommendations resulting from the soil test at L.S.C.)

2.3 AMENDED SOIL MIXTURE

Provide amended soil mixture consisting of 20% sand, 30% compost (1/4" topsoil). Compost shall consist of 50% - 60% organic material and less than 10% manufactured inert material. Amended soil mixture shall pass through a 1/2" screen. The material thoroughly.

2.4 MULCH

Provide mulch consisting of shredded hardwood. Provide samples to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EVOLUTION

3.1 PLANTING SCHEDULE

All work thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTING

- A. Seeding New Lawns
 1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawn.
 2. Till to a depth of not less than 2" water soil underneath as needed, remove high areas and fill in depressions. Fill soil to a homogeneous mixture of fine texture, remove lumps, clods, coarse sand, clumps, roots and other extraneous matter. Dispose of such material legally off-site.
 3. Seeded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and water once an amount of 1/2 inch.
 4. Lay seed within 24 hours from time of sowing.
 5. Lay seed to form a solid mass with lighter filled joints. Both ends and sides of seed stripes do not overlap. Fringe stripes to affect joints in all joint courses. Joint lines should be well covered to minimize soil loss. Turf or soil lighter to ensure contact with substrate. Seeds shall not fall into cracks between pieces of seed; remove excess to avoid smothering of adjacent grass.
 6. Water seed thoroughly with a fine spray immediately after planting.
- B. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 18" wide. Install per opening indicated on plan.
- C. Trees and Shrubs
 1. Set, ball and burlap (BB) stock plants and in center of pit or trench with top of ball at an elevation that will leave the root flare exposed upon backfill and mulching. Remove burlap from base and sides of ball; retain on bottom. Retain soil, above additional backfill backfill ground base and sides of ball and work each layer to surface backfill and alternate roots and soil. After elevation is approximately 2:3:1, water thoroughly before placing remainder of backfill. Remove burlap with no more to be discarded. Water again after each final layer of backfill.
 2. Dish top of backfill to allow for mulching. Provide additional backfill around edge of excavation to form shallow saucer to collect water.
 3. Mark pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Minimum compact track top of all pits.
 4. Prune any injured or dead branches from flowering trees, if any. Protect central leader of live during shipping and during operations. Prune stems to retain natural character in accordance with standard horticultural practices.
 5. Remove and release immediately ground or B-former stock resulting from improper pruning.
 6. The Contractor shall be solely responsible for ensuring that all trees are planted in a vertical and trunk position and remain so throughout the life of the contract and guarantee period. Trunk may or may not be staked and guard depending upon the individual preference of the Contractor, however, any branching protection(s) must be approved by the Owner prior to its installation.

3.3 FINAL MAINTENANCE

- A. Begin maintenance immediately after planting, including until final acceptance. A minimum of 100% (60) days.
- B. Maintain planted and seeded areas by watering, mowing/grading, weeding and implementing erosion control as required to establish vegetation that is stable or lawn areas.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, alert attention and equipment shall directed. Keep grounds clean and work areas and adjacent areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and third parties. Further protection during maintenance and maintenance periods. Trees, roots or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for origin, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixture and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.

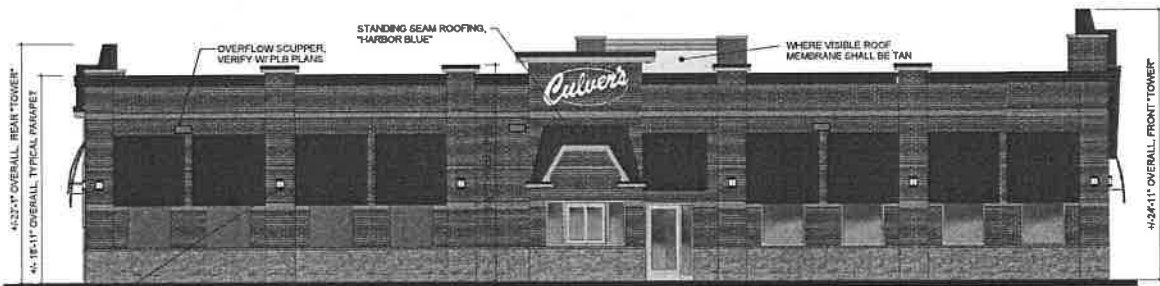


PROJECT NO. 257 FRENCH RD. FRENCH, IL, 618

CULVERS AT PULLMAN PARK
Pullman Park
Culvers
LANDSCAPE SPECIFICATIONS

1	REVISED
2	ISSUED
3	REVISION

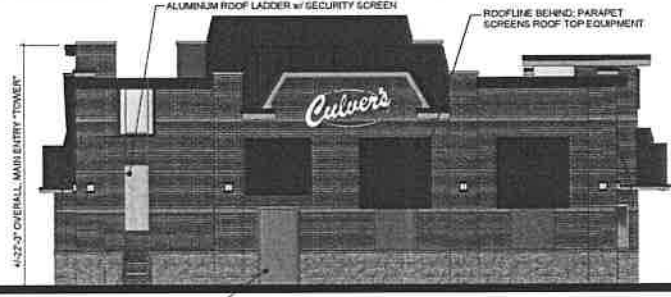
DATE:	1/20/20
PROJECT NO.:	257 FRENCH
DRAWN BY:	DL
CHECKED BY:	ML
PROJECT NO.:	257 FRENCH



DRIVE THROUGH (SOUTH) ELEVATION



FRONT (EAST) ELEVATION



REAR (WEST) ELEVATION



MAIN ENTRY (NORTH) ELEVATION

REPRESENTATION	MATERIAL	COLOR
	ROOF EDGE METAL, EXCEPTIONAL METALS	"HARBOR BLUE"
	BRICK ACCENT BANDS	"NATURAL PATINA"
	ACME, THIN BRICK	"BURNT PUMPKIN" or OTHER TO MATCH
	AWNING CANVAS (BY OTHERS)	"ROYAL BLUE"
	FAUX WINDOW STUCCO	4617
	BRICK, FIELD COLOR	"ROCKWOOD CLAY" SW 2823
	ACME, THIN BRICK	"CRIMSON" or OTHER TO MATCH
	WARRISOT & SILL MPGR & COLOR TBD	MANUFACTURED STONE WARM GRAY TONES w/ TEXTURED FACE

INTENDED COLORS SHOWN; ACTUAL SELECTIONS MAY VARY PER AVAILABILITY

NEW RESTAURANT: CULVER'S OF PULLMAN PARK
 E 111th Street & S Doty Ave
 Chicago, IL 60628
 County of COOK

OLLIVIAN ERNEST MARTIN
 ARCHITECTS, P.C.
 200 BOARDMAN STREET
 CHICAGO, ILLINOIS 60608
 312-544-7700 PHON
 312-544-7700 FAX

ELEVATIONS
 DATE: 10-20-09
 A1



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

September 21, 2020

Mariah DiGrino
Partner
DLA Piper LLP (US)
444 West Lake Street, Suite 900
Chicago, Illinois 60606-0089

Re: Site Plan Approval for Business-Residential-Institutional Planned Development No. 1167, Subarea G, generally located at 716 E. 111th Street.

Dear Ms. DiGrino:

Please be advised that your request for site plan approval for Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project includes the development of a new industrial facility on an approximately 42-acre site located in Subarea G of PD 1167.

The proposed development within Subarea G, approved pursuant to two Site Plan Approval letters issued by the Zoning Administrator on March 6, 2020, and adopted by City Council on June 17, 2020 as part of an amendment to the PD, is currently under construction. The development includes a 144,043 sf industrial building with a surface parking lot with 1,210 vehicular parking spaces and stormwater detention areas.

A change to the parking lot configuration is being requested by the Applicant to improve internal site circulation. Under the current approved site plan, a conflict point exists where fleet vehicles entering and exiting the site at the south portion of Subarea G must cross each other. In order to address that issue, the Applicant is proposing to relocate the fleet vehicle staging area for the south side of the building from the south property line to the north end of the southern van parking lot. The proposed changes would result in a net decrease of 97 van parking spaces. None of the standard sized employee vehicular parking spaces will be eliminated in connection with this request.

The parking standard for Subarea G requires 1 parking space per 4 employees. Based on an estimate of 300 employees, 75 vehicular parking spaces are required to be provided on-site to serve the proposed use. Despite the reduction in vehicular parking spaces from 1,210 to 1,113 spaces, the proposed plans provide in excess of the required 75 parking spaces within Subarea G.

No reductions in landscaping are proposed. The same number and amounts of parkway trees, vehicular use area screening and landscaping, and perimeter landscaping is provided on-site. The relocated staging area requires relocating four trees from the center of the parking lot: two trees would be relocated to the southeast corner of the building; two trees would be relocated to the northern site perimeter.

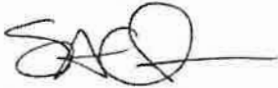
This approval includes the following attached documents prepared by SpaceCo, Inc:

- L1 – Landscaping Plan (09.14.20)
- C10 – Overall Site Plan (07.28.20)

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Business-Residential-Institutional Planned Development No. 1167. Accordingly, this site plan submittal is hereby approved as conforming to PD 1167. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Erika Sellke at (312) 744-9146 or at erika.sellke@cityofchicago.org.

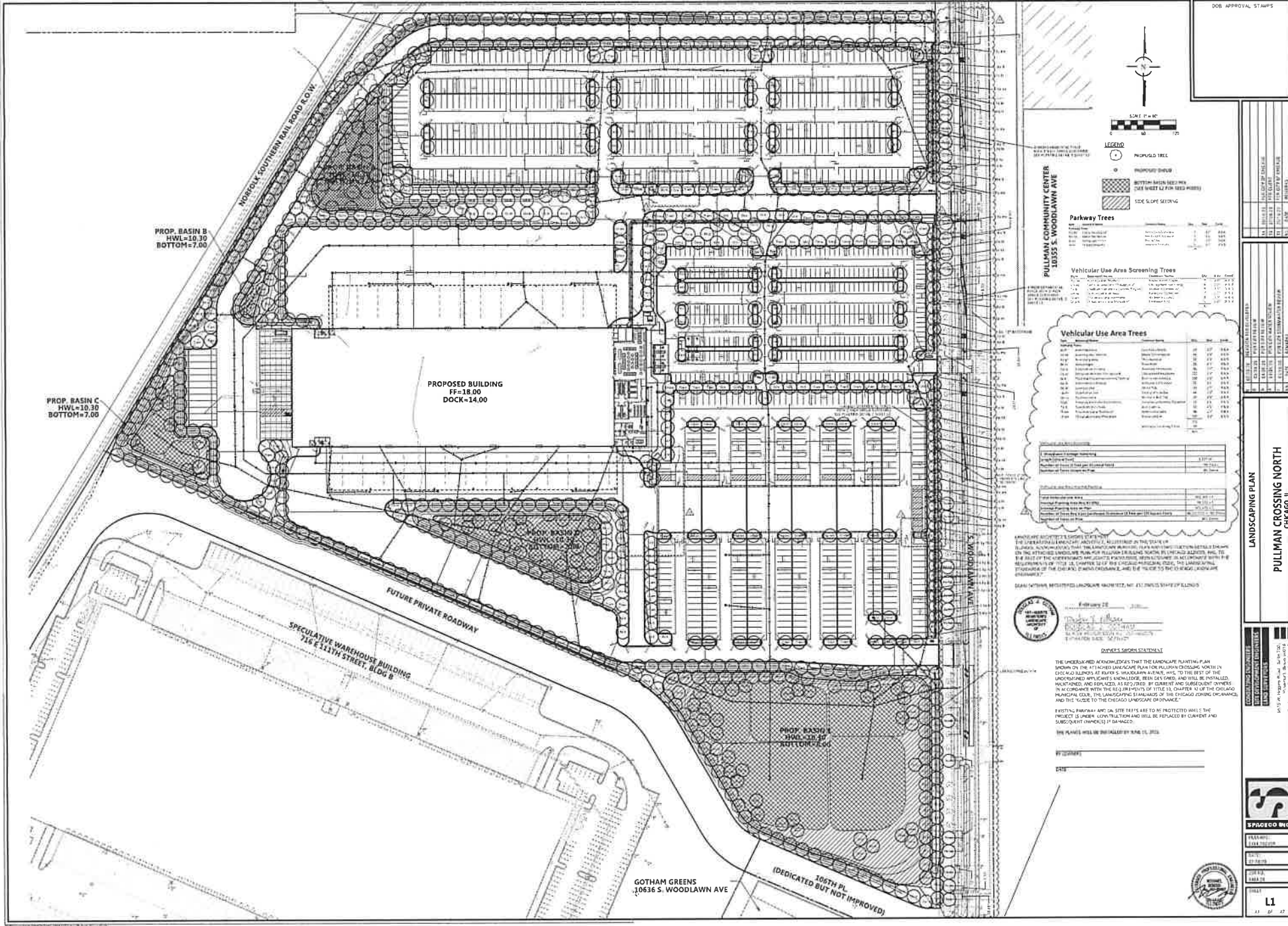
Sincerely,



Steven Valenziano
Assistant Zoning Administrator
Planned Developments

Originated by: Erika Sellke

cc: Erik Glass, DPD
Janice Hill, DPD
Mike Marmo, DPD
Erika Sellke, DPD
Planned Development files



DOB APPROVAL STAMPS



- LEGEND**
- PROPOSED TREE
 - PROPOSED SHRUB
 - PROPOSED BASIN SEED MIX (SEE SHEET 16 FOR SEED MIXES)
 - SIDE SLOPE SEEDING

Parkway Trees

Plant Name	Quantity	Notes
...

Vehicular Use Area Screening Trees

Plant Name	Quantity	Notes
...

Vehicular Use Area Trees

Plant Name	Quantity	Notes
...

Summary Tables:

- Planting Schedule**: Includes columns for quantity and timing.
- Planting Details**: Includes columns for plant name, quantity, and notes.
- Planting Summary**: Includes total quantities and notes.

LANDSCAPE ARCHITECT'S LEGAL OPINION
 THE OPERATIONAL LANDSCAPE ARCHITECT HAS REVIEWED THE WORK OF THE LANDSCAPE ARCHITECTURE FIRM. THE LANDSCAPE ARCHITECTURE FIRM HAS ADVISED THAT THE WORK IS ACCORDING TO THE STANDARDS OF THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO, ILLINOIS. THE ARCHITECT HAS REVIEWED THE ATTACHED LANDSCAPE PLAN AND IS OF THE OPINION THAT THE WORK IS ACCORDING TO THE STANDARDS OF THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO, ILLINOIS. THE ARCHITECT HAS REVIEWED THE ATTACHED LANDSCAPE PLAN AND IS OF THE OPINION THAT THE WORK IS ACCORDING TO THE STANDARDS OF THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO, ILLINOIS.



OWNER'S SOLEMN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO, ILLINOIS AT 1605 S. WOODLAWN AVENUE, HAS TO THE BEST OF THE UNDERSIGNED'S KNOWLEDGE, BEEN EXAMINED AND WILL BE MAINTAINED, MAINTAINED AND REPLACED, AS REQUIRED BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 17, CHAPTER 12 OF THE CHICAGO MUNICIPAL CODE. THE UNDERSIGNED UNDERSTANDS THAT THE LANDSCAPE ARCHITECT'S LEGAL OPINION IS LIMITED TO THE TECHNICAL ASPECTS OF THE PROJECT AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE RESULTS THEREOF.

THE PLANS WILL BE REVISED BY DATE: 01/25/2023

DATE: 01/25/2023

PROJECT: PULLMAN CROSSING NORTH

REVISIONS

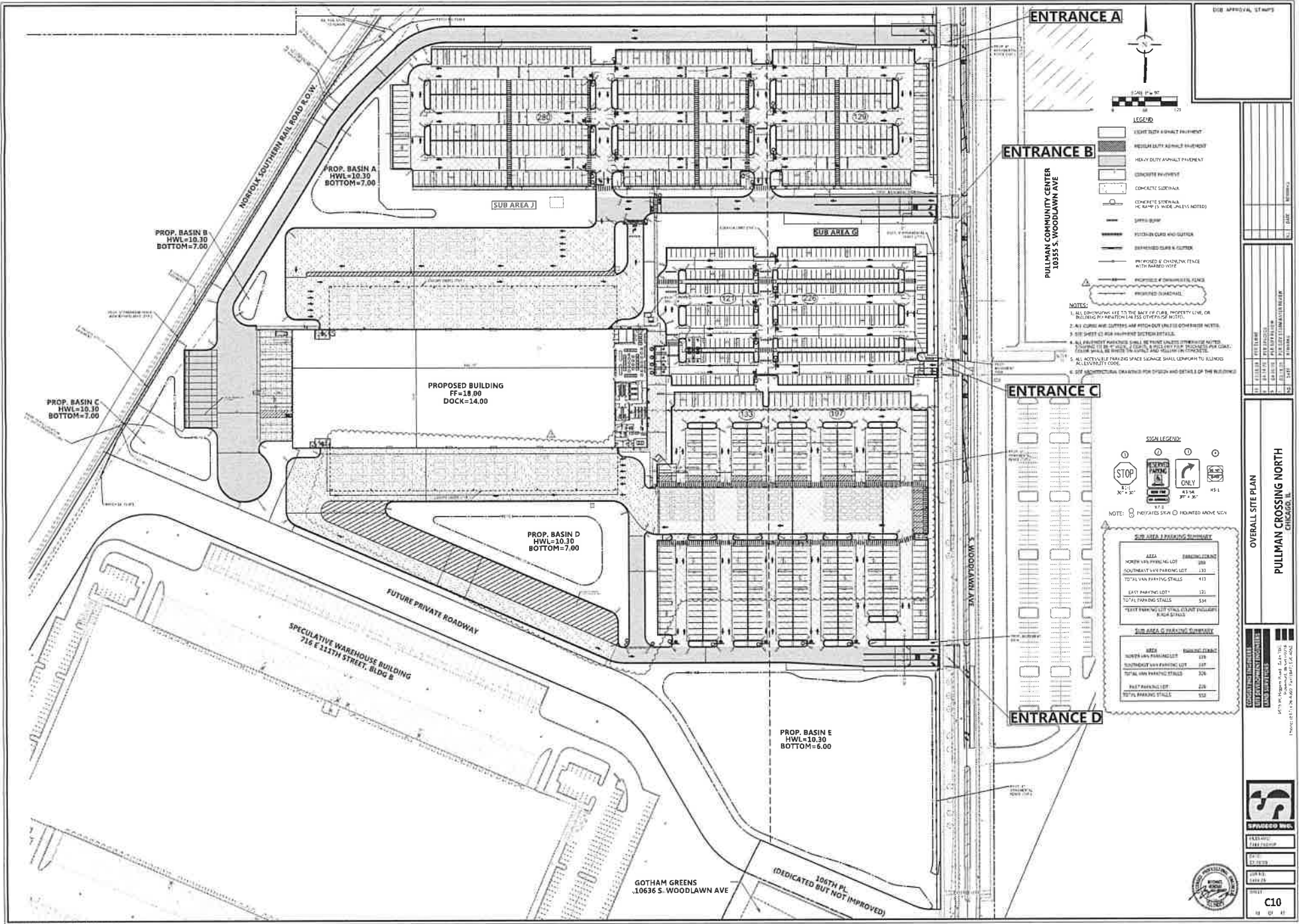
NO.	DATE	DESCRIPTION
1	01/25/2023	ISSUED FOR PERMIT
2	01/25/2023	ISSUED FOR PERMIT
3	01/25/2023	ISSUED FOR PERMIT

LANDSCAPING PLAN
PULLMAN CROSSING NORTH
 CHICAGO, IL

PROJECT NO. 22-00000
 SCALE: 1/4" = 1'-0"



DATE: 01/25/2023
 PROJECT: PULLMAN CROSSING NORTH
 SHEET: L1



ENTRANCE A

ENTRANCE B

ENTRANCE C

ENTRANCE D

DATE APPROVAL STAMP

- LEGEND:**
- LIGHT DUTY ASPHALT PAVEMENT
 - MEDIUM DUTY ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - COMPACTED SUBGRADE
 - CONCRETE SUBGRADE (TO BE USED IN AREAS WHERE NOTED)
 - ASPHALT BASE
 - PAVED CURBS AND GUTTERS
 - REPAIRED CURBS & GUTTERS
 - PROPOSED CHAIN LINK FENCE WITH BARBED WIRE
 - PROPOSED CHAIN LINK FENCE

- NOTES:**
1. ALL CONCRETE SHALL BE TO THE BACK OF CURB UNLESS OTHERWISE NOTED OR INDICATED BY PARALLEL LINES ON THE FACE OF THE CURB.
 2. ALL CURBS AND GUTTERS ARE PROPOSED UNLESS OTHERWISE NOTED.
 3. SEE SHEET 02 FOR EQUIPMENT SCHEDULE DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PROPOSED UNLESS OTHERWISE NOTED. PAINTING TO BE WHITE (EXCEPT FOR STOP AND YIELD IN CONCRETE). LETTERS SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE.
 5. ALL VERTICAL CLEARANCE SPACES SHALL CONFORM TO ILLINOIS ALLEVITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDING.

SIGN LEGEND:

NOTE: INDICATES STAY INDICATED ABOVE SIGN

SUB AREA A PARKING SUMMARY

AREA	PARKING STALLS
NORTH VAN PARKING LOT	280
SOUTH VAN PARKING LOT	133
TOTAL VAN PARKING STALLS	413
EXIST'G PAVING LOT	121
TOTAL PARKING STALLS	534
EXIST'G PARKING LOT STALLS (EXIST'G BLDG STALLS)	121

SUB AREA F PARKING SUMMARY

AREA	PARKING STALLS
NORTH VAN PARKING LOT	133
SOUTH VAN PARKING LOT	137
TOTAL VAN PARKING STALLS	270
EXIST'G PARKING LOT	226
TOTAL PARKING STALLS	496

OVERALL SITE PLAN

PULLMAN CROSSING NORTH
CHICAGO, IL

DATE: 10/15/2024
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

SPACESO WDC

PROJECT NO.: [Number]
SHEET NO.: [Number]
DATE: [Date]

C10



**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

September 21, 2020

Mariah DiGrino
Partner
DLA Piper LLP (US)
444 West Lake Street, Suite 900
Chicago, Illinois 60606-0089

Re: Site Plan Approval for Business-Residential-Institutional Planned Development No. 1167, Subarea G, generally located at 716 E. 111th Street.

Dear Ms. DiGrino:

Please be advised that your request for site plan approval for Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

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- C10 – Overall Site Plan (07.28.20)

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If you have any questions or need further clarification on these comments, please contact Erika Sellke at (312) 744-9146 or at erika.sellke@cityofchicago.org.

Sincerely,



Steven Valenziano
Assistant Zoning Administrator
Planned Developments

Originated by: Erika Sellke

cc: Erik Glass, DPD
Janice Hill, DPD
Mike Marmo, DPD
Erika Sellke, DPD
Planned Development files

*Reclassification Of Area Shown On Map No. 26-E.
(As Amended)
(Application No. 20353)
(Common Address: 720 E. 111th St.)*

BRI PD 1167, 99

[SO2020-1853]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business-Residential-Institutional Planned Development Number 1167, as amended, symbols and indications shown on Map Number 26-E in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of the 100-foot wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of Business-Residential-Institutional Planned Development Number 1167, as amended, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business-Residential-Institutional Planned Development No. 1167, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development Number 1167 (the "Planned Development") consists of approximately 7,419,988 square feet of net site area (approximately 170 acres) of property (the "Property"), together with certain portions of existing adjacent rights-of-way, as depicted on the attached Planned Development Boundary and Property Line Map. The Planned Development is divided into subareas (each, a "Subarea", and collectively, the "Subareas") as indicated on the attached Subarea Map. For purposes of this amendment to the Planned Development, Ryan Companies U.S., Inc. is the

"Applicant" with due authorization from each respective property owner within Subareas G and J.

2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. These Planned Development Statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II Approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Zoning Administrator as a minor change to this Planned Development, provided such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant (or its successors, assigns or grantors) for approval by CDOT, the Department and by the City Council at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II Approval), and (c) shall not be deemed to confer any additional bulk, density or other development rights.

The Applicant shall prepare and submit for CDOT's review and approval a traffic signal warrant analysis, analyzing traffic volumes and movements at the intersection of South Woodlawn Avenue with the main driveway entrance to the Pullman Community Center and the corresponding driveway entrance to Subarea G, to determine whether a traffic signal at that intersection is warranted. If the facility contemplated in Subarea G is operational on or before December 1, 2020, the traffic signal warrant study shall be completed within six months after the facility commences operations. If the facility commences operations after December 1, 2020, the traffic signal warrant study shall be completed within one year after the facility commences operations. The traffic signal warrant study will include three analyses: normal day traffic, high season of the site (holiday), and the peak of Pullman Community Center. The Applicant shall coordinate with CDOT before conducting the warrant study. If the signal is warranted, the Applicant shall fund the design and installation of a traffic signal conforming to CDOT's specifications.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium or homeowners' association

which may be formed). The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated Subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as Chicago Neighborhood Initiatives, Inc. or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant (or Applicant's successor, assignee or grantee to such master developer ownership interest) or such affiliate. Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. The developer making application shall have the burden of establishing to the reasonable satisfaction of the Department that the Applicant's consent has been obtained or irrevocably waived. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof; provided, however, that Chicago Neighborhood Initiatives, Inc.'s right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property or a covenant binding upon owners of the Property may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development and irrevocably waive the Applicant's consent right.

4. This Planned Development consists of these seventeen (17) statements and the following "Design Exhibits" attached hereto: an Existing Zoning Map, an Existing Land-Use Map, a Planned Development Boundary and Property Line Map (three pages), a Site Plan (thirteen pages), a Landscape Plan (six pages), Subarea G Building Elevations (four pages), Rights-of-Way Adjustment Map, Plan of Development Bulk Regulations and Data Table -- Subarea G, Plan of Development Bulk Regulations and Data Table -- Subarea J, all prepared by Spaceco, Inc. and dated March 18, 2020.

The following Design Exhibits are incorporated by reference: Bulk Elevations -- North Woodlawn/Doty Avenues (Subarea G), Bulk Axonometrics (Subareas A, B, G), Plan of Development Bulk Regulation and Data Tables (including permitted uses) for each of Subareas B and C (two pages), all prepared by PappageorgeHaymes Partners dated August 15, 2013; Design Guidelines for Subarea G, prepared by

PappageorgeHaymes dated April 15, 2010; Subarea C Site Plan, prepared by William McDonough Partners dated August 15, 2013; Project Legacy Landscape Plan (two pages), prepared by Norris Design dated August 15, 2013; and Building Elevations and Building Sections Sheet for Subarea C, both prepared by William McDonough Partners dated August 15, 2013; a final Subarea Plan and Site Plan (Phase 1) for Subarea B, Elevations -- Subarea B (two pages), Plan of Development Bulk Regulations and Data Table -- Subarea B and Design Guidelines -- Subarea B, all prepared by ZPD+A Architects and dated December 2, 2015; and a Landscape Plan (Subarea B -- Phase 1) prepared by Spaceco, Inc. and dated November 11, 2015.

Full-size copies of the Design Exhibits are on file with the Department.

The following administrative relief and site plan approval letters are hereby incorporated by reference and made part of this Planned Development (collectively, the "Administrative Approvals"): Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated February 25, 2011; Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated May 2, 2011; Administrative Relief Request and Site Plan Approval for Subarea A, Phase 1B to David Doig dated January 25, 2013; Site Plan Approval for Phase 1B of Subarea A (South Out Lot -- 10834 South Doty Avenue) to David Reifman dated July 25, 2014; and Signage Plan Approval for P.D. to David Reifman dated January 23, 2015, Site Plan Approval for Subarea A, issued to Warren Johnson, dated April 16, 2019, Site Plan Approval for Subarea J, issued to Mariah DiGrino dated May 9, 2019 [Site Plan Approval for Subarea 1, issued to Mariah DiGrino dated March 6, 2020, Site Plan Approval for Subarea G, issued to Mariah DiGrino dated March 6, 2020].

References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits and Administrative Approvals. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these Statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The permitted uses, floor area ratio, building height, setback, parking, bicycle parking and off street loading requirements for each Subarea are set forth in the applicable Plan of Development Bulk Regulations and Data Tables included in the Design Exhibits. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply.
6. Changes in the boundaries of Subareas shall require an amendment to these Statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.

7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premises signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. All ingress and egress shall be subject to the review and approval of CDOT and the Department. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach. Any dedication, opening, or vacation of public streets, alleys or easements or any adjustment of the public rights-of-way contained within a particular Part II submittal shall be approved by City Council prior to the issuance of any final Part II Approval. In connection with the Applicant's (or any developer's) submittal of any Site Plans in accordance with Statement 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). Applicant and its successors, assigns and grantees, at such parties' expense, agree to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third party construction inspection services to assist CDOT in its review and approval of Site Plan submissions (which approvals shall be a condition precedent to the Department's issuance of any applicable Part II Approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
10. Final Subarea Plans were previously approved for Subarea A, as part of establishment of the original Planned Development, and for Subarea C, as part of the amendment to the Planned Development approved on September 11, 2013, and for Subarea B (Phase I), as part of the amendment to the Planned Development approved on June 22, 2016. Final Subarea Plans shall not be required for Subareas G, H, I or J but development of such Subareas shall be subject to Site Plan Review, as set forth in this Statement 10.

Prior to the Part II Approval (per Section 17-13-0610 of the Zoning Ordinance), Site Plan Review shall be required for all projects undertaken in furtherance of the

Planned Development and, as applicable, the Final Subarea Plan in accordance with Section 17-13-0800 of the Chicago Zoning Ordinance, excluding Site Plan review for (i) the project depicted in Subarea A, which was approved with the original Planned Development and by its related Administrative Approvals, (ii) the project depicted in Subarea C, which was approved as part of the amendment to the Planned Development approved on September 11, 2013, (iii) the project depicted as Phase I of Subarea B, which was approved as part of the amendment to the Planned Development approved on June 22, 2016; (iv) the project depicted in Subarea I, which was approved as part of the amendment to the Planned Development approved on May 25, 2018; (v) the project depicted in Subarea J, which was previously approved by Site Plan Approval issued May 9, 2019; and (vi) the project depicted in Subarea G, which was approved by Site Plan approval issued March 6, 2020. The future expansion of the industrial building in Subarea C shall require Site Plan Review and an Administrative Relief submission prior to a Part II Approval of the aforementioned expansion project. Review and approval by the Department of Planning and Development is intended to assure that specific development components substantially conform with the Planned Development, including the Plan of Development Bulk Regulations and Data Table and Design Guidelines applicable to such Subarea(s), and to assist the City in monitoring ongoing development. Subarea Site Plan Approval Submittals (per Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant.

If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's subarea (if applicable), or the final approved subdivision plat (if applicable), the Applicant or developer of the subject project shall provide an exhibit showing lot sizes and boundaries for such project. In addition to the submittal requirements of Section 17-13-0802-B, the Applicant or developer shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, included in such project:

- (1) the Gross Site Area;
- (2) the Net Site Area;
- (3) the square feet of floor area of each proposed building;
- (4) the amount of FAR utilized out of the maximum FAR permitted in such Subarea;
- (5) the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- (6) the number of dwelling units to be constructed and the maximum number of dwelling units permitted under the Design Exhibits applicable to such Subarea;
- (7) the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;

- (8) all Residential Open Space, if applicable;
- (9) the number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Bulk Regulation Data Table Summary and Design Exhibits, as applicable; and
- (10) final elevations; elevations must be provided for all of the proposed building facades and building specified.

The Site Data Table shall also incorporate a table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the Department and such other bureaus, departments or agencies as the Zoning Administrator deems appropriate before issuance of any Part II Approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable). If, after City departmental review, the Zoning Administrator determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance (as applicable to improvements in a C2-3 District, for example, the Site Plans include 60 dwelling units or more, or buildings 75 feet or more in height), then the Site Plan must then be reviewed by the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda, publication in accordance with Section 17-13-0107-B of the Chicago Zoning Ordinance, and posting in accordance with Section 17-13-0107-C of the Chicago Zoning Ordinance shall be required, but for which written notice pursuant to Section 17-13-0107-A of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If such mandatory thresholds are not met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review, the Zoning Administrator determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Zoning Administrator. Without limiting the foregoing, the first development project within Subarea H may, in the Zoning Administrator's discretion, be presented to the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda shall be required, but for which publication, posting and written notice pursuant to Sections 17-13-0107-A, -B, and -C of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If, after City departmental review, the Zoning Administrator shall determine that the Site Plan is not in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable), the Zoning Administrator shall advise the Applicant or developer in writing of why the Site Plan

does not substantially comply with the Planned Development and/or the Final Subarea Plan (if applicable). In such case, the Applicant or developer shall be given an opportunity to submit revised Site Plans. If the Zoning Administrator finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan (if applicable), the Applicant or developer then shall be required to amend this Planned Development and/or the Final Subarea Plan (if applicable) in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan (if applicable) and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Section 13 hereof, if applicable.

11. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto:
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's stormwater management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) Intentionally omitted.
 - (d) Within Subarea A, a Chicago Transit Authority bus turnaround in a location and of such size and configuration as mutually agreed upon by the Applicant, the Chicago Transit Authority and CDOT has been previously completed.
 - (e) Intentionally omitted.
 - (f) Applicant acknowledges that the City will not maintain or bear the cost of maintaining any landscape or streetscape improvements on any medians to be constructed within the Planned Development. Prior to CDOT approval of engineering drawings for any median street to be constructed by the Applicant within the Planned Development, the Applicant must demonstrate to the satisfaction of CDOT that sufficient sustainable resources have been committed, and written agreements exist (which provide reasonable protection to the City and, among other things, shall name the City as intended beneficiary, shall grant the City enforcement rights, and shall include or extend

indemnification and insurance provisions for the benefit of the City) to provide for the satisfactory maintenance of such medians, which agreements may provide for maintenance costs to be funded through a special service area or special service district, the establishment of which is subject to separate City Council approval.

- (g) Applicant, at the Applicant's expense, has previously reconstructed South Woodlawn Avenue, from approximately East 107th Street to East 111th Street, in accordance with the requirements of Statement 9.
 - (h) The Applicant and each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.
12. The Part II Review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.50 per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other than applicable charge) at the time of such Part II Review. Such fee shall be determined and assessed by the Department at the time of each and every Part II Review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II Approval. Following Part II Review and approval by the Zoning Administrator, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. Any interim reviews associated with Site Plan review or Part II reviews, are conditional until final Part II Approval.
13. Subject to the other terms and conditions of these Statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Zoning Administrator upon application and a determination by the Zoning Administrator in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided,

however, that Section 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the net site area of or dwelling units permitted in other Subareas or the Planned Development as a whole) and that such modification, and the improvements contemplated thereby, are consistent with the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any Subarea shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the submittal of Site Plans pursuant to this Planned Development. In addition, the Applicant shall install a perimeter raceway for a medium voltage loop and conduit provisions for power and communications, in accordance with submitted plans, to accommodate future electric vehicle charging stations for 100 percent of fleet vehicles. Also in addition, 30 percent of the project roof area has been designed with excess weight capacity, to support potential future solar power infrastructure. The Applicant will provide community solar information to all prospective tenants of the building.
15. Unless substantial construction of any new building, as proven by the issuance of building permits and the diligent completion of construction pursuant to such permits for Subarea I, has commenced within six (6) years of this amendment to the Planned Development, this Planned Development shall expire upon the sixth anniversary date of the effective date of this amendment to the Planned Development. If this amendment to the Planned Development expires pursuant to the foregoing provision, this amendment to the Planned Development shall expire by separately introduced ordinance, if any, and in such event the zoning of the Property shall revert to Business-Residential-Institutional Planned Development Number 1167, as adopted by the Chicago City Council on June 22, 2016. Such reversion shall not render any building existing at the time to be nonconforming. The six-year period described above may be extended for up to one additional year if, before expiration, the Zoning Administrator determines that good cause for an extension is shown.
16. Intentionally omitted.
17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must

identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit Review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

[Existing Zoning Map; Existing Land-Use Map; Boundary and Property Line Maps;
Site Plans; Landscape Plans; North, South, East and West Building Elevations;
and Rights-of-Way Adjustment Maps referred to in these Plan of
Development Statements printed on pages 18565
through 18595 of this *Journal*.]

Bulk Regulations and Data Table -- Subareas G and J referred to in these Plan of Development Statements read as follows:

* Editor's Note: Numbering sequence error; (i) missing in original document.

Business-Residential-Institutional Planned Development No. 1167, As Amended.

Bulk Regulations And Data Table -- Subareas G And J.

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USES

The following C2, Motor Vehicle-Related Commercial District and other related and similar uses shall be allowed: day care; parks and recreation; community centers, recreation buildings and similar assembly use; school; all sports and recreation, participant excluding entertainment cabaret; dwelling units located on and above the ground floor as follows: detached houses, elderly housing, multi-unit (3 + units) residential; townhouses. The following uses shall be allowed: artisan; limited and general manufacturing; production and industrial services, including without limitation manufacturing of soap, detergents and cleaning products; warehousing; wholesaling and freight movement; vehicle sales and service; sports and recreation, participant; retail sales, general; residential storage warehouse; office, including without limitation high technology office and electronic data storage center; urban farm, including without limitation indoor operation, outdoor operation and rooftop operation; and colleges and universities.

No adult uses are allowed.



KEY PLAN

Site Area

Gross 1,941,959 sf (44.58 acres)
 Rights of Way 111,562 sf (2.56 acres)
 Net Site Area 1,830,397 sf (42.02 acres)

Detention/Buffer Zone 213,103 sf (4.89 acres)
 percent of net 11.6%

Maximum F.A.R.		1.2	
Building Height		65 ft	
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	16 ft	
Parking		1 space per 4 employees	
Bicycle Parking		1 per every 10 auto spaces	
Off Street Loading	0-9,999	0	10 x 25 10 x 50 for buildings over 20,000 sq. ft.
	10,000-49,000	1	
	50,000-99,999	2	
	100,000+	2 + 1 per 10,000 sq. ft. or portion thereof above 100,000 sq. ft.	

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USES

The following C2, Motor Vehicle-Related Commercial District and other related and similar uses shall be allowed: day care, parks and recreation; community centers, recreation buildings and similar assembly use; school; all sports and recreation, participant excluding entertainment cabaret; dwelling units located on and above the ground floor as follows: detached houses, elderly housing, multi-unit (3 + units) residential; townhouses. The following uses shall be allowed: artisan; limited and general manufacturing; production and industrial services, including without limitation manufacturing of soap, detergents and cleaning products; warehousing; wholesaling and freight movement; vehicle sales and service; sports and recreation, participant; retail sales, general; residential storage warehouse; office, including without limitation high technology office and electronic data storage center; urban farm, including without limitation indoor operation, outdoor operation and rooftop operation; and colleges and universities.

No adult uses are allowed.



KEY PLAN

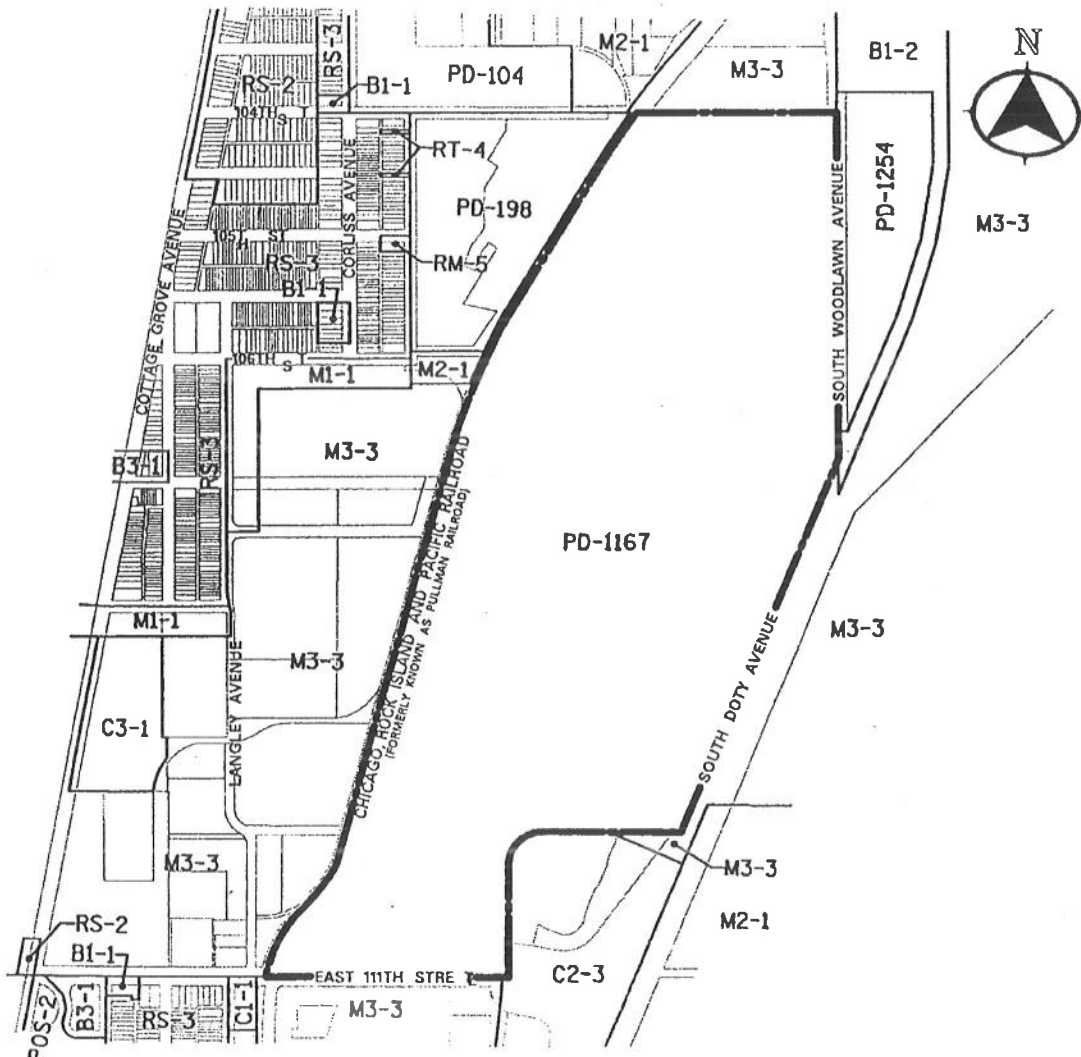
Site Area

Gross 1,074,099 sf (24.66 acres)
 Rights of Way 0 sf
 Net Site Area 1,074,099 sf (24.66 acres)

Detention/Buffer Zone 98,009 sf (2.25 acres)
 percent of net 9.1%

Maximum F.A.R.		1.2	
Building Height		65 ft	
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	16 ft	
Parking		1 space per 4 employees	
Bicycle Parking		1 per every 10 auto spaces	
Off Street Loading	0-9,999	0	10 x 25 10 x 50 for buildings over 20,000 sq. ft.
	10,000-49,000	1	
	50,000-99,999	2	
	100,000+	2 + 1 per 10,000 sq. ft. or portion thereof above 100,000 sq. ft.	

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EXISTING ZONING MAP

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



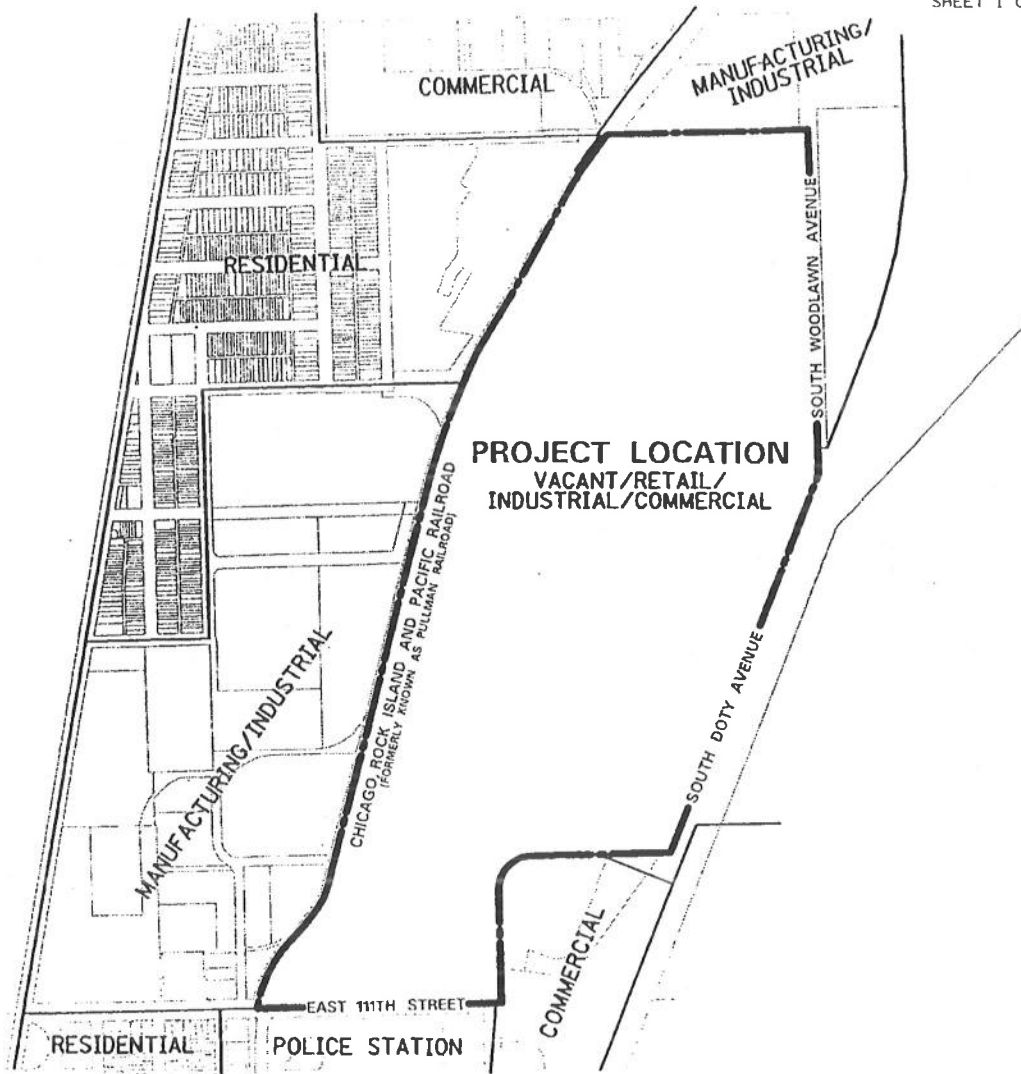
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVIVORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (815) 274-4300 Fax: (815) 274-4363

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SCALE: 1" = 800'
SHEET 1 OF 1



EXISTING LAND USE MAP

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

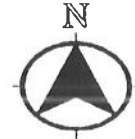


CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

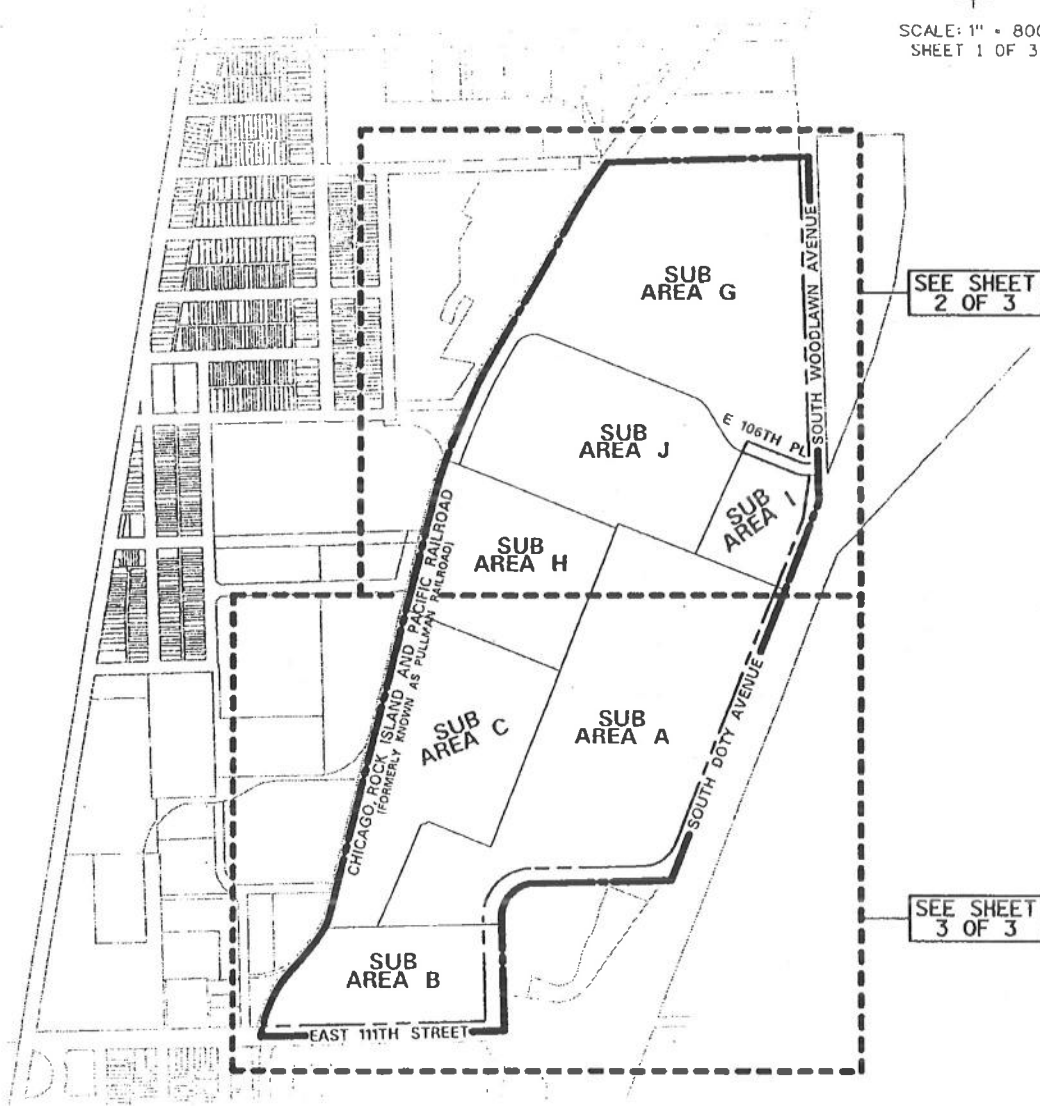
5571 W. Higgins Road, Suite 200
Evanston, Illinois 60201
Phone: 847.551.0203 Fax: 847.479.6401


 PLANNED DEVELOPMENT BOUNDARY
 PROPERTY LINE

FINAL FOR PUBLICATION



SCALE: 1" = 800'
SHEET 1 OF 3



PLANNED DEVELOPMENT BOUNDARY
AND PROPERTY LINE MAP

APPLICANT:
 RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: APRIL 22, 2020
 CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

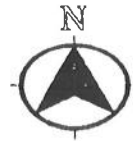


CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

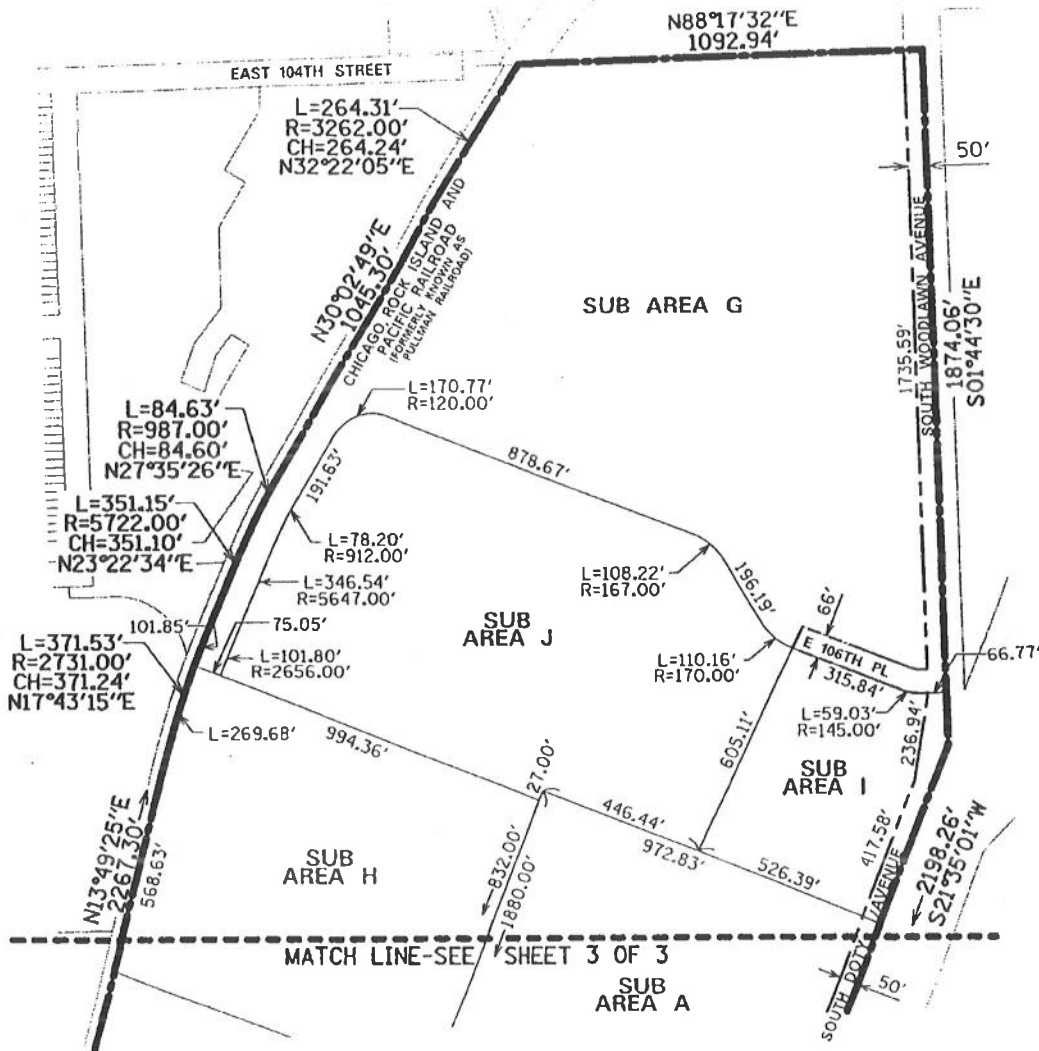
4575 W. Higgins Road, Suite 300
 Rosemont, Illinois 60018
 Phone: 630.584.6500 Fax: 630.584.6261

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 PLANNED DEVELOPMENT BOUNDARY
 PROPERTY LINE



SCALE: 1" = 400'
 SHEET 2 OF 3



**PLANNED DEVELOPMENT BOUNDARY
 AND PROPERTY LINE MAP**

APPLICANT:
 RYAN COMPANIES US, INC.

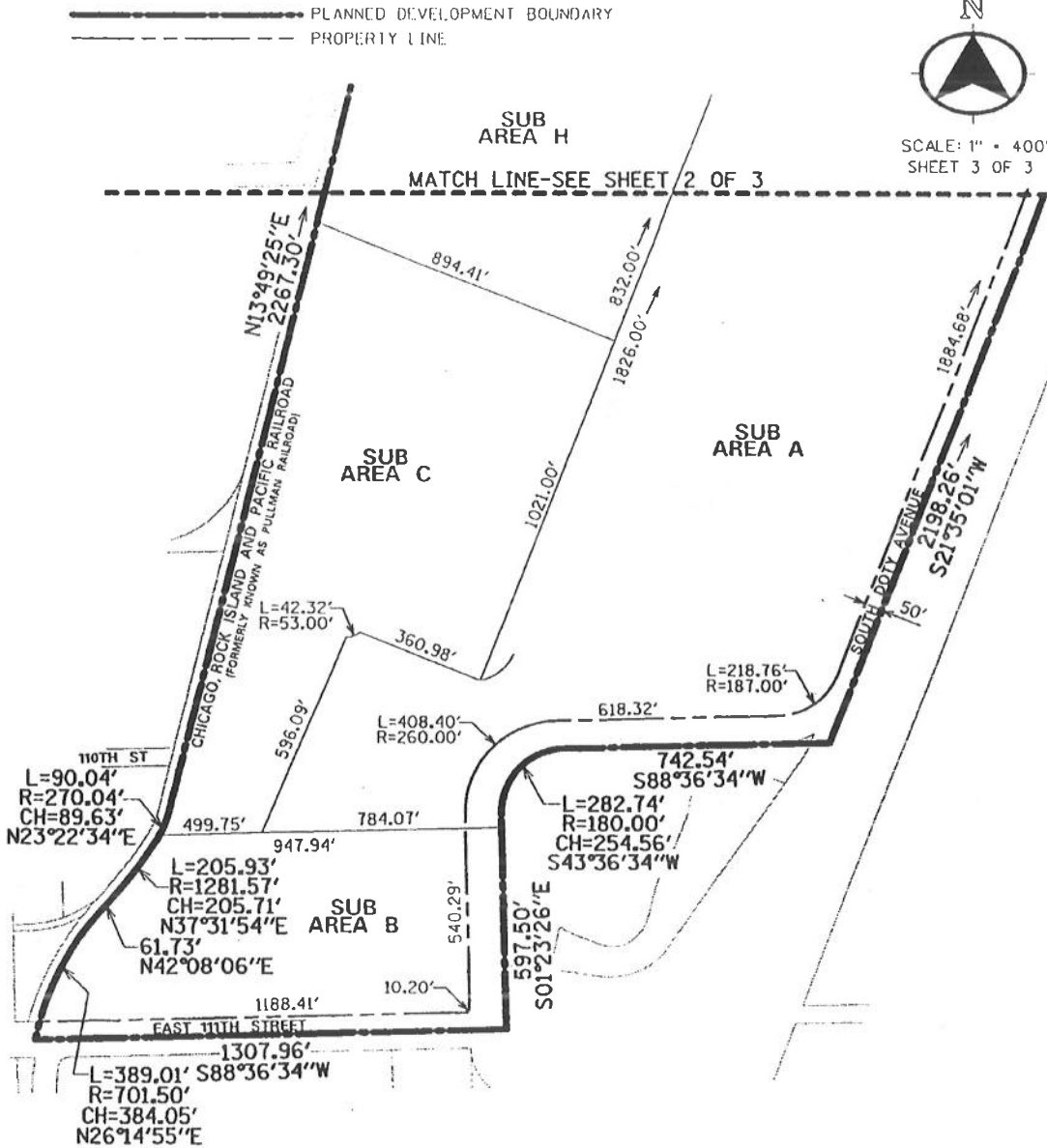
ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: APRIL 22, 2020
 CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



CONSULTING ENGINEERS
 ENVIRONMENTAL ENGINEERS
 LANDSCAPE ARCHITECTS

557 W. Higgins Road, Suite 305
 Rosemont, Illinois 60018
 Phone: 630-574-2200 Fax: 630-574-7711

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PLANNED DEVELOPMENT BOUNDARY AND PROPERTY LINE MAP

APPLICANT:
RYAN COMPANIES US, INC.

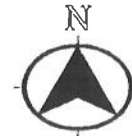
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

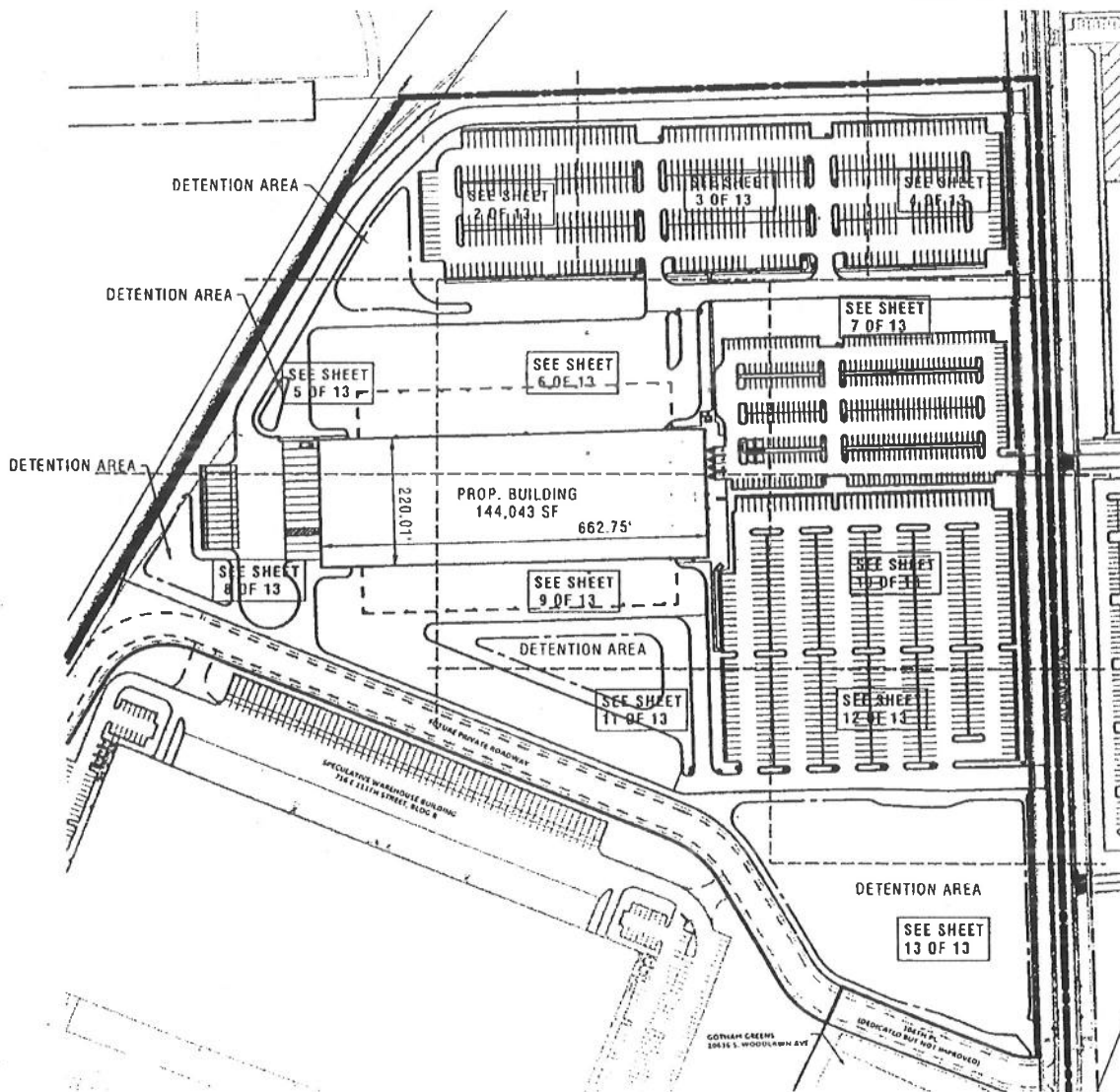
4375 W. Higgins Road, Suite 500
Rosemont, Illinois 60018
Tel: 630.581.0262 Fax: 630.581.0263

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SCALE: 1" = 250'

SHEET 1 OF 13



SITE PLAN

APPLICANT:
RYAN COMPANIES US, INC.

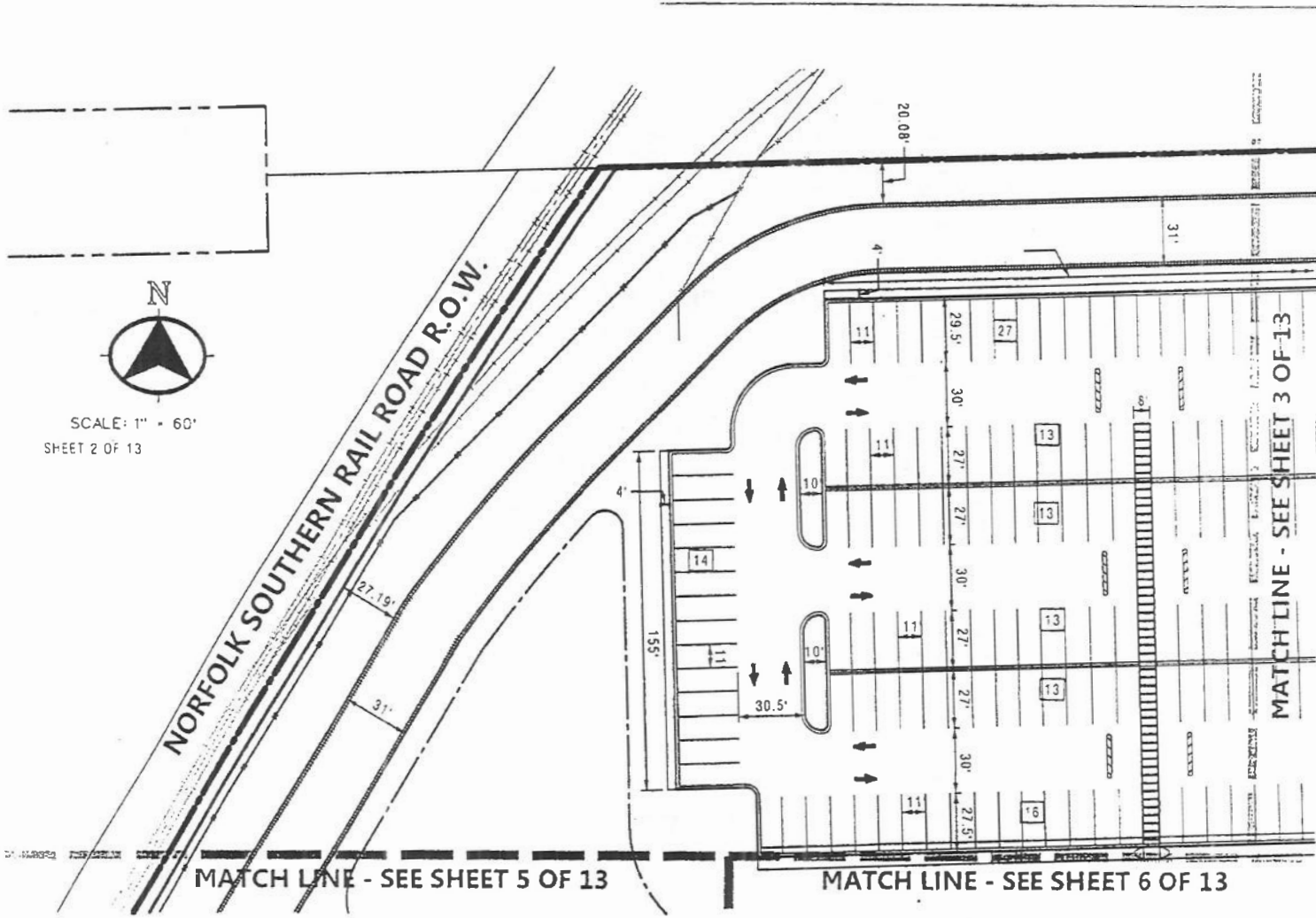
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

5372 W. Higgins Road, Suite 700
Rosemead, Illinois 60018
Phone: 630.480.1500 Fax: 630.480.1501

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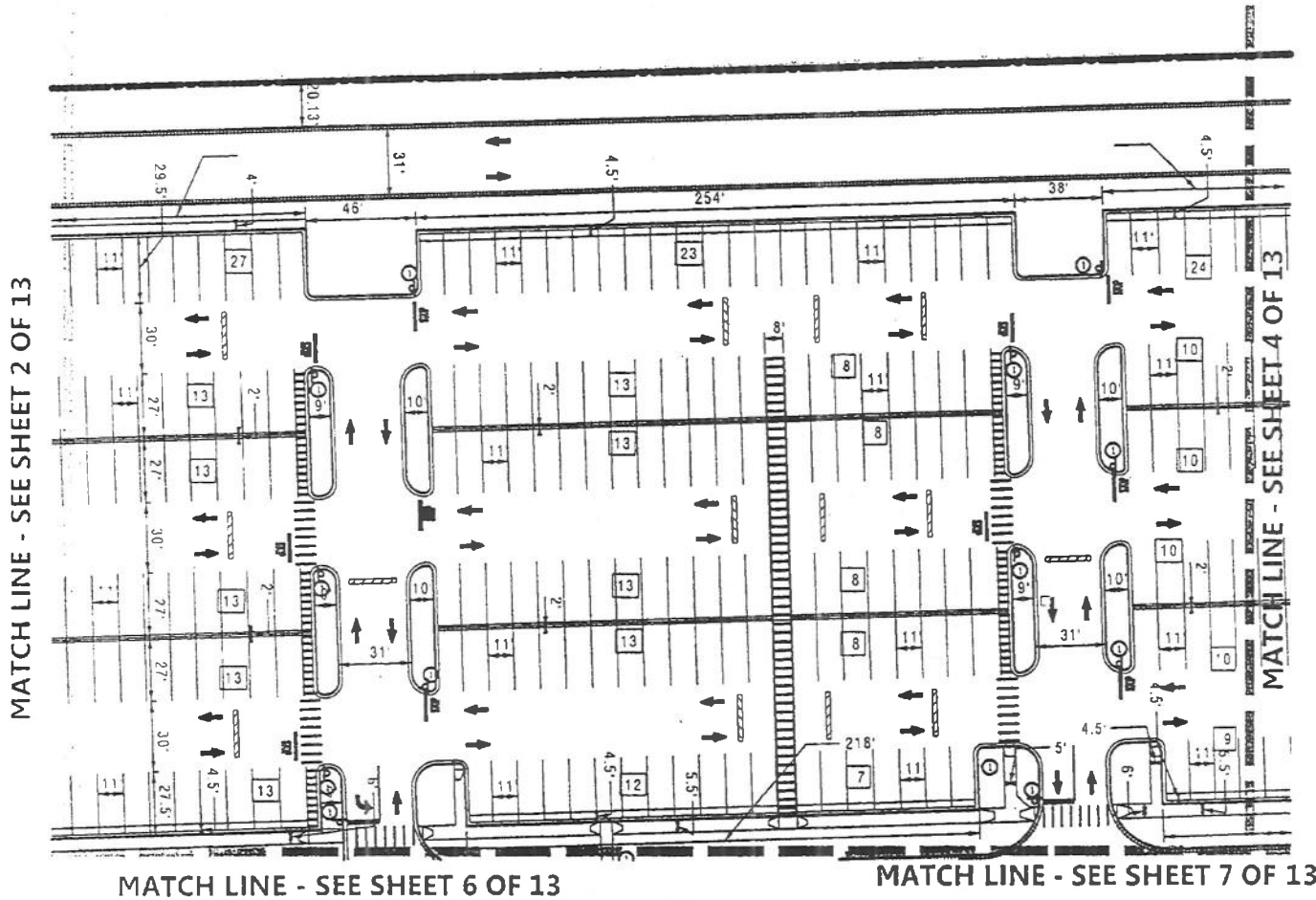
SITE PLAN

APPLICANT:
 RYAN COMPANIES US, INC.
 ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: APRIL 22, 2020
 CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES
- #V NUMBER OF STRIPED VAN PARKING SPACES

SPACED INC.
 CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 1525 W. 119th Street, Suite 100
 Chicago, IL 60658
 Phone: 773.448.4500 Fax: 773.448.4501

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SITE PLAN

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 11TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES
- # NUMBER OF STRIPED VAN PARKING SPACES



SCALE: 1" = 60'
SHEET 3 OF 13



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 704
Rosemont, Illinois 60018
Phone: (630) 695-4650 Fax: (630) 376-0355

6/17/2020

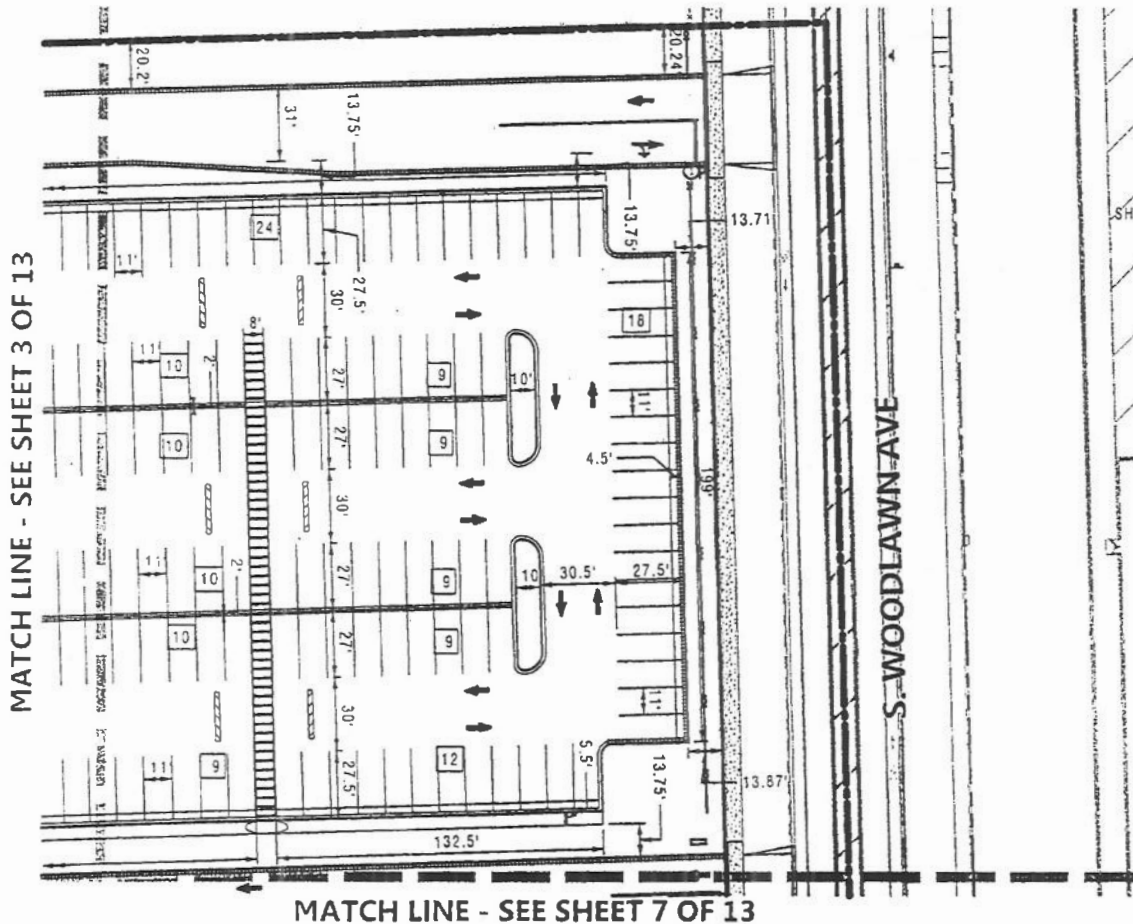
REPORTS OF COMMITTEES

18573



SCALE: 1" = 60'
SHEET 4 OF 13

FINAL FOR PUBLICATION



SITE PLAN

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

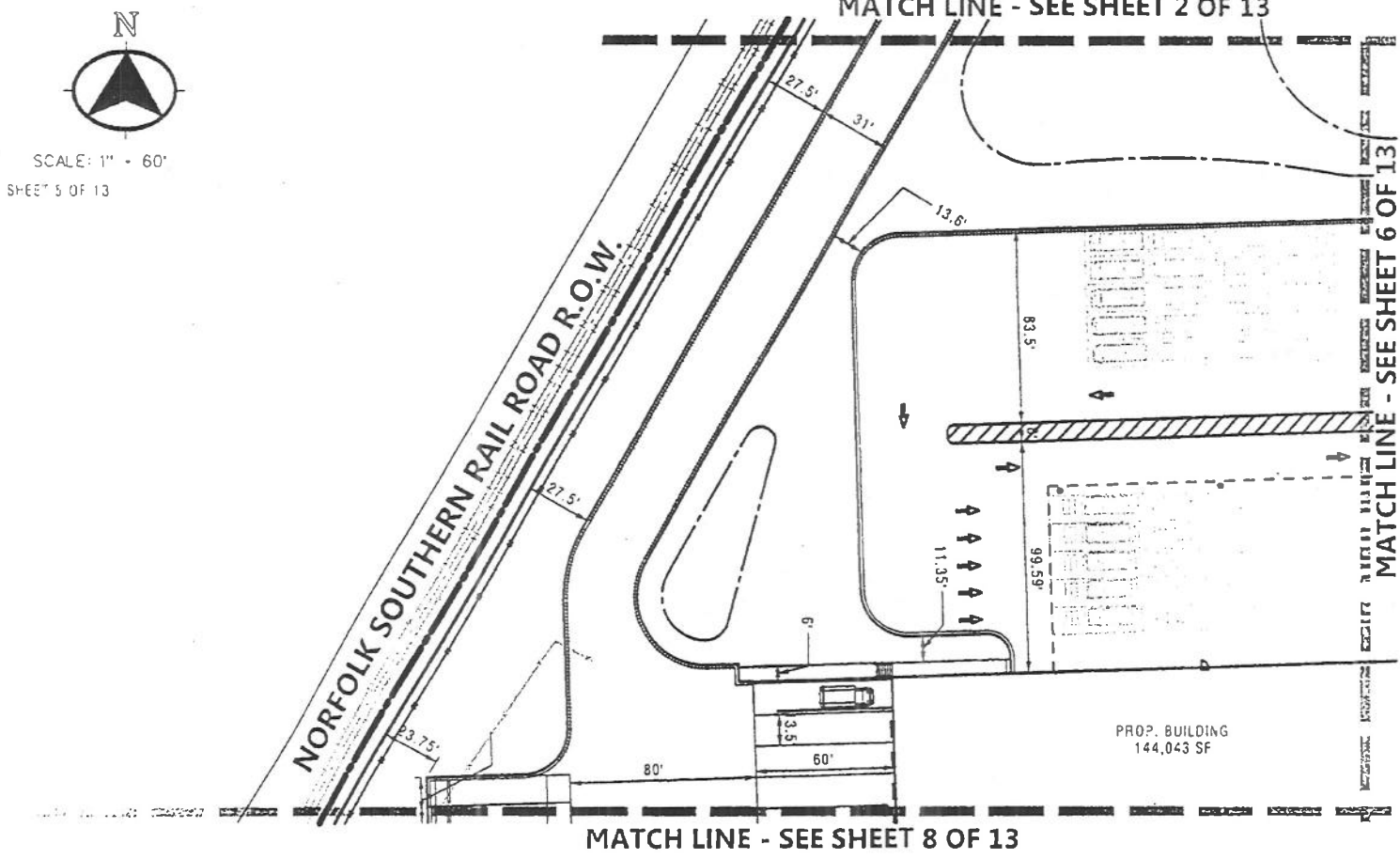
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-  NUMBER OF STRIPED HANDICAP PARKING SPACES
-  NUMBER OF STRIPED VAN PARKING SPACES

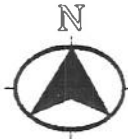


CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700
 Rosemont, Illinois, 60018
 Phone: (847) 675-4051 Fax: (847) 675-4052

FINAL FOR PUBLICATION





 SCALE: 1" = 60'
 SHEET 5 OF 13

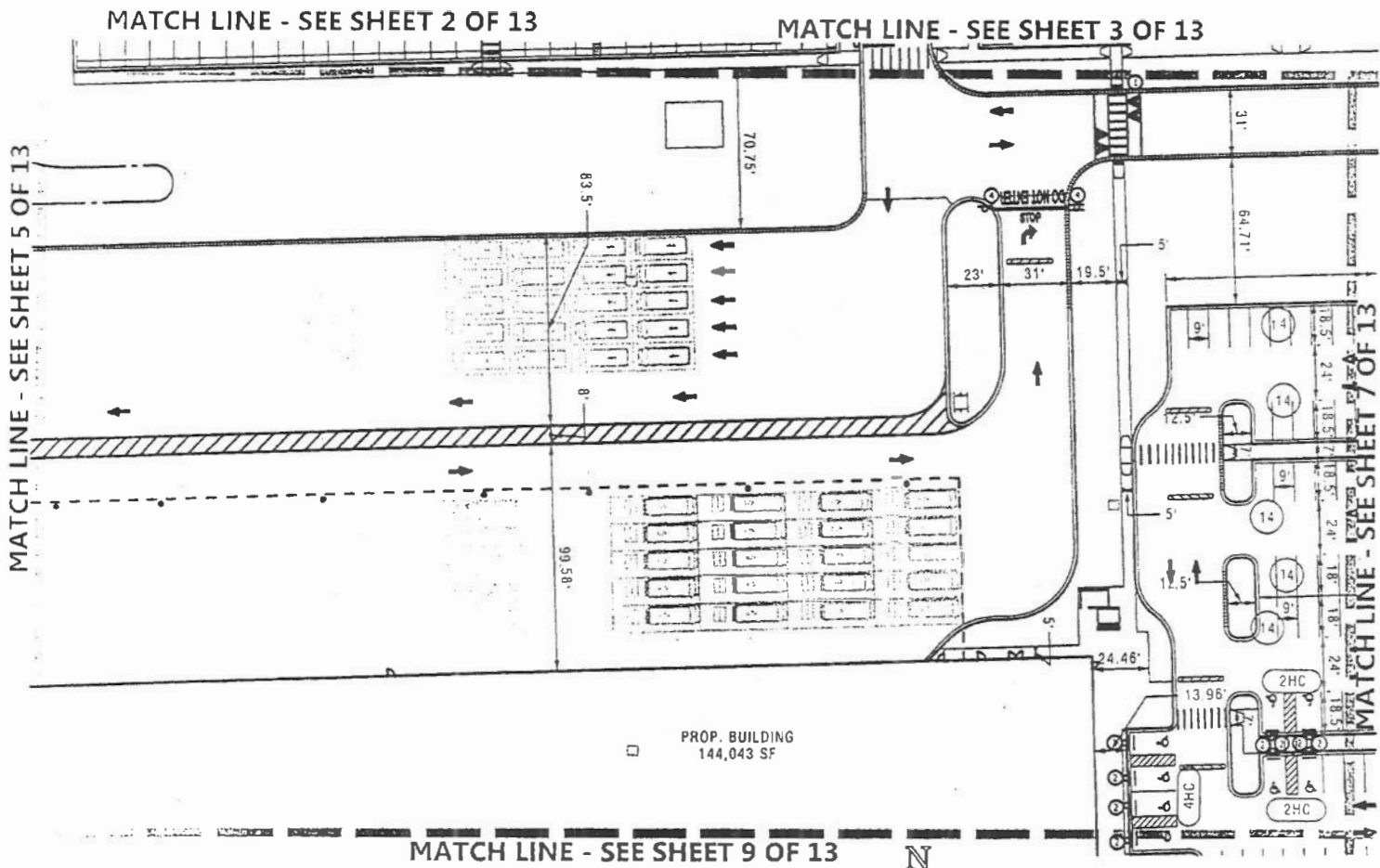
SITE PLAN

APPLICANT:
 RYAN COMPANIES US, INC.
 ADDRESS: 117TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: APRIL 22, 2020
 CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

-  NUMBER OF STRIPED PARKING SPACES
-  NUMBER OF STRIPED HANDICAP PARKING SPACES
-  NUMBER OF STRIPED VAN PARKING SPACES



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS
 9323 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 476-6542 Fax: (847) 476-6542



SITE PLAN

APPLICANT
RYAN COMPANIES JS, INC.

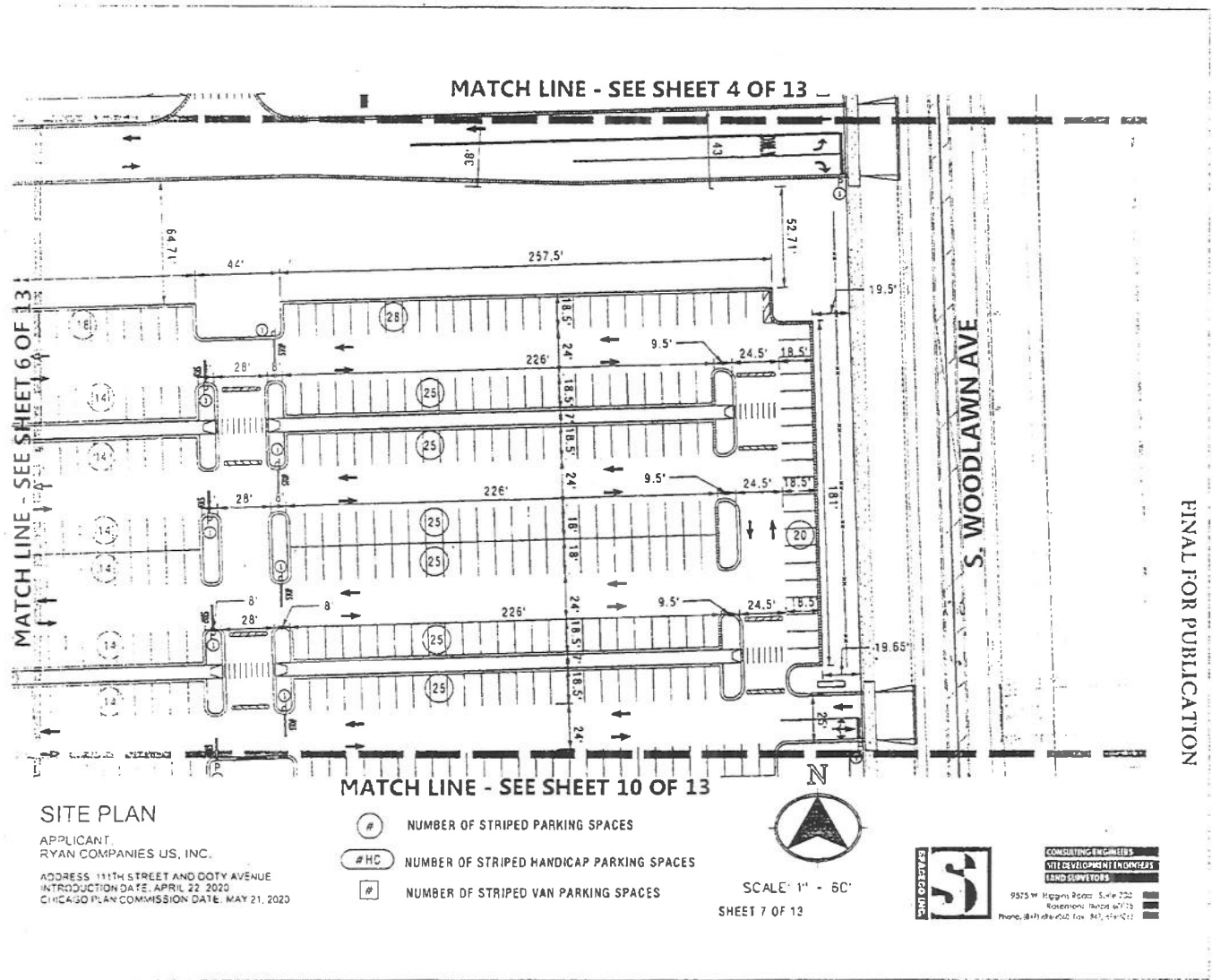
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

- # NUMBER OF STRIPEO PARKING SPACES
- #HC NUMBER OF STRIPEO HANDICAP PARKING SPACES
- # NUMBER OF STRIPEO VAN PARKING SPACES



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9525 W. Ingalls Road, Suite 730
Rosemont, IL 60018
Phone: (847) 874-4540 Fax: (847) 874-4545



FINAL FOR PUBLICATION

SITE PLAN

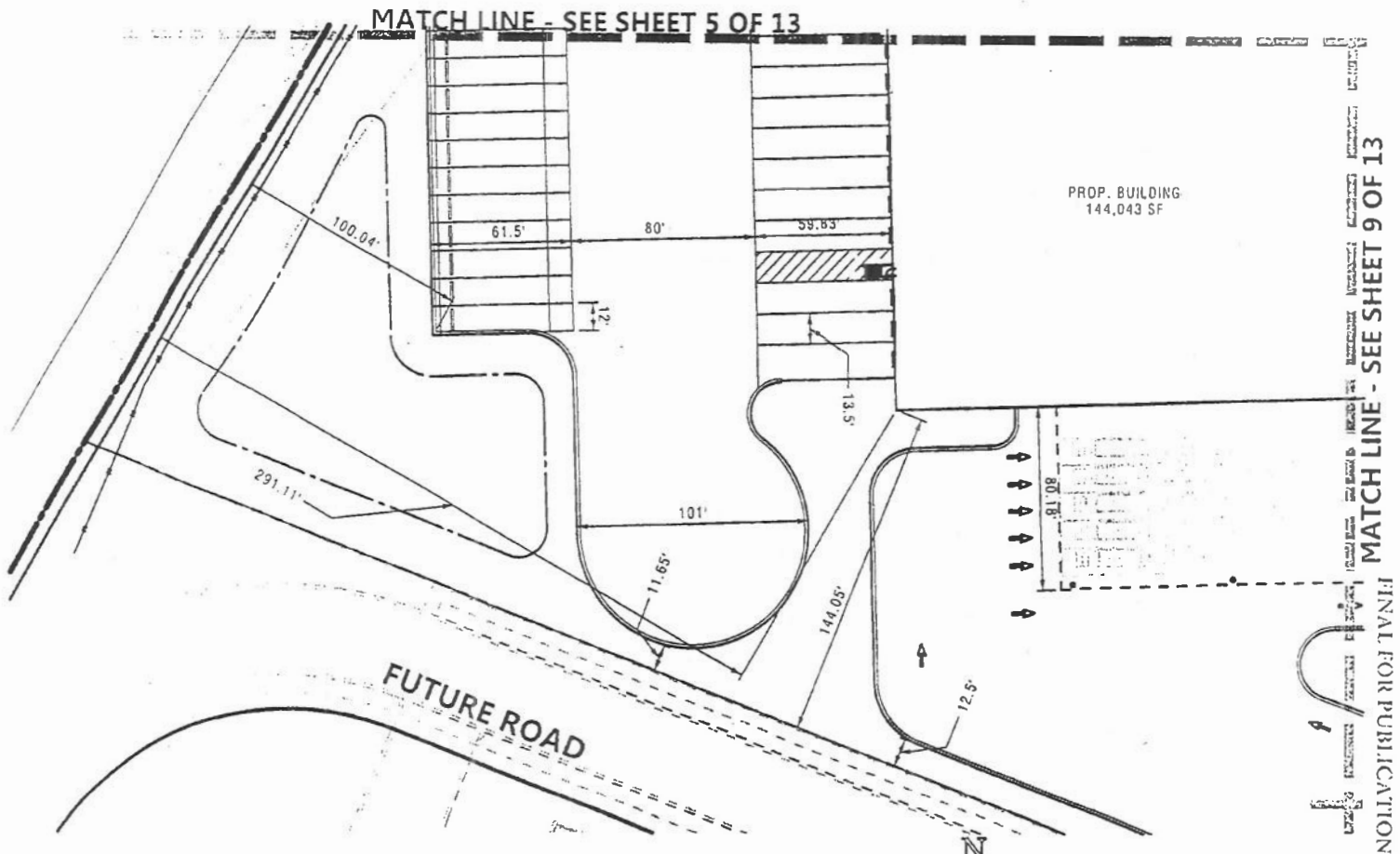
APPLICANT
 RYAN COMPANIES US, INC.
 ADDRESS 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: APRIL 22 2020
 CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

- # NUMBER OF STRIPED PARKING SPACES
- # HC NUMBER OF STRIPED HANDICAP PARKING SPACES
- # NUMBER OF STRIPED VAN PARKING SPACES

SCALE: 1" = 60'
 SHEET 7 OF 13



SARGO CONSULTING ENGINEERS
 CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9575 W Higgins Road, Suite 200
 Rosemont, Illinois 60018
 Phone: 847.414.2000 Fax: 847.414.2021



MATCH LINE - SEE SHEET 9 OF 13

FINAL FOR PUBLICATION

SITE PLAN

APPLICANT
RYAN COMPANIES US, INC

ADDRESS 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE, APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

-  NUMBER OF STRIPED PARKING SPACES
-  NUMBER OF STRIPED HANDICAP PARKING SPACES
-  NUMBER OF STRIPED VAN PARKING SPACES

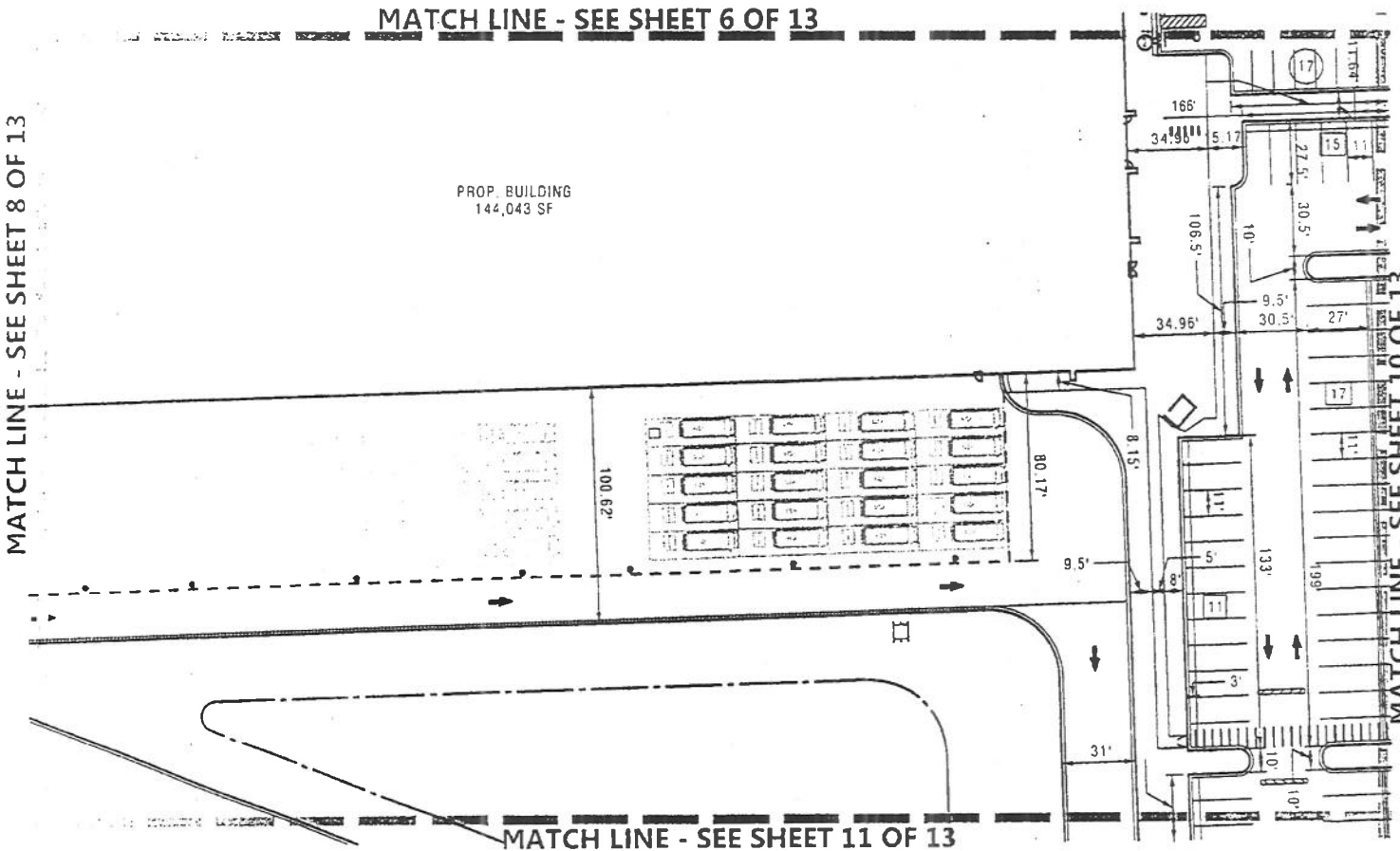


SCALE: 1" = 60'
SHEET 8 OF 13



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9576 W. Higgins Road, Suite 201
Rosemont, Illinois 60018
Phone (847) 696-4640 Fax (847) 696-0665



FINAL FOR PUBLICATION

SITE PLAN

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 1115H STREET AND DOTY AVENUE
PRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



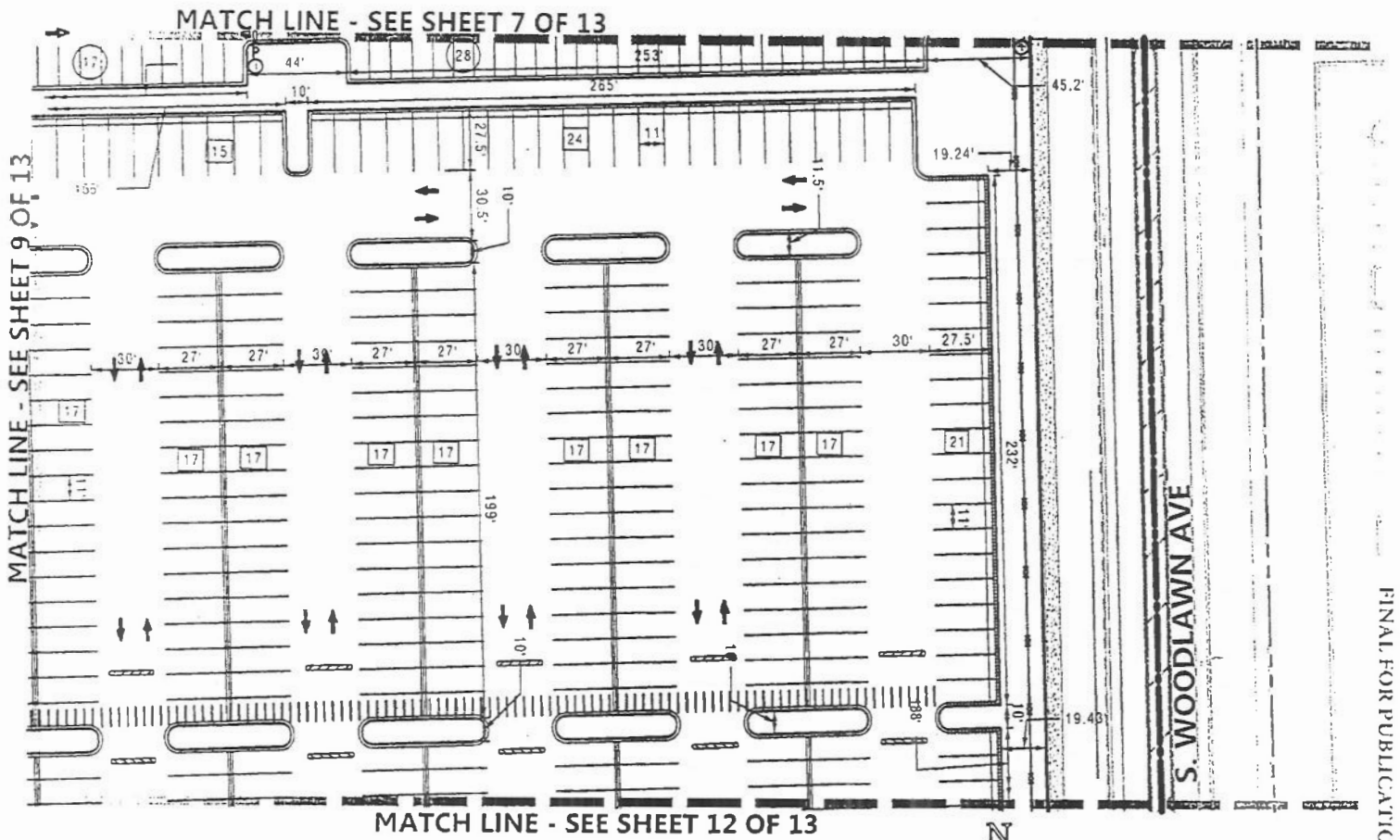
SCALE: 1" = 60'
SHEET 9 OF 13

- NUMBER OF STRIPED PARKING SPACES
- NUMBER OF STRIPED HANDICAP PARKING SPACES
- NUMBER OF STRIPED VAN PARKING SPACES



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9373 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 678-6663 Fax: (847) 678-6982



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SITE PLAN

APPLICANT:
 RYAN COMPANIES US, INC.
 ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: APRIL 22, 2020
 CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

- # NUMBER OF STRIPED PARKING SPACES
- # HC NUMBER OF STRIPED HANDICAP PARKING SPACES
- # NUMBER OF STRIPED VAN PARKING SPACES

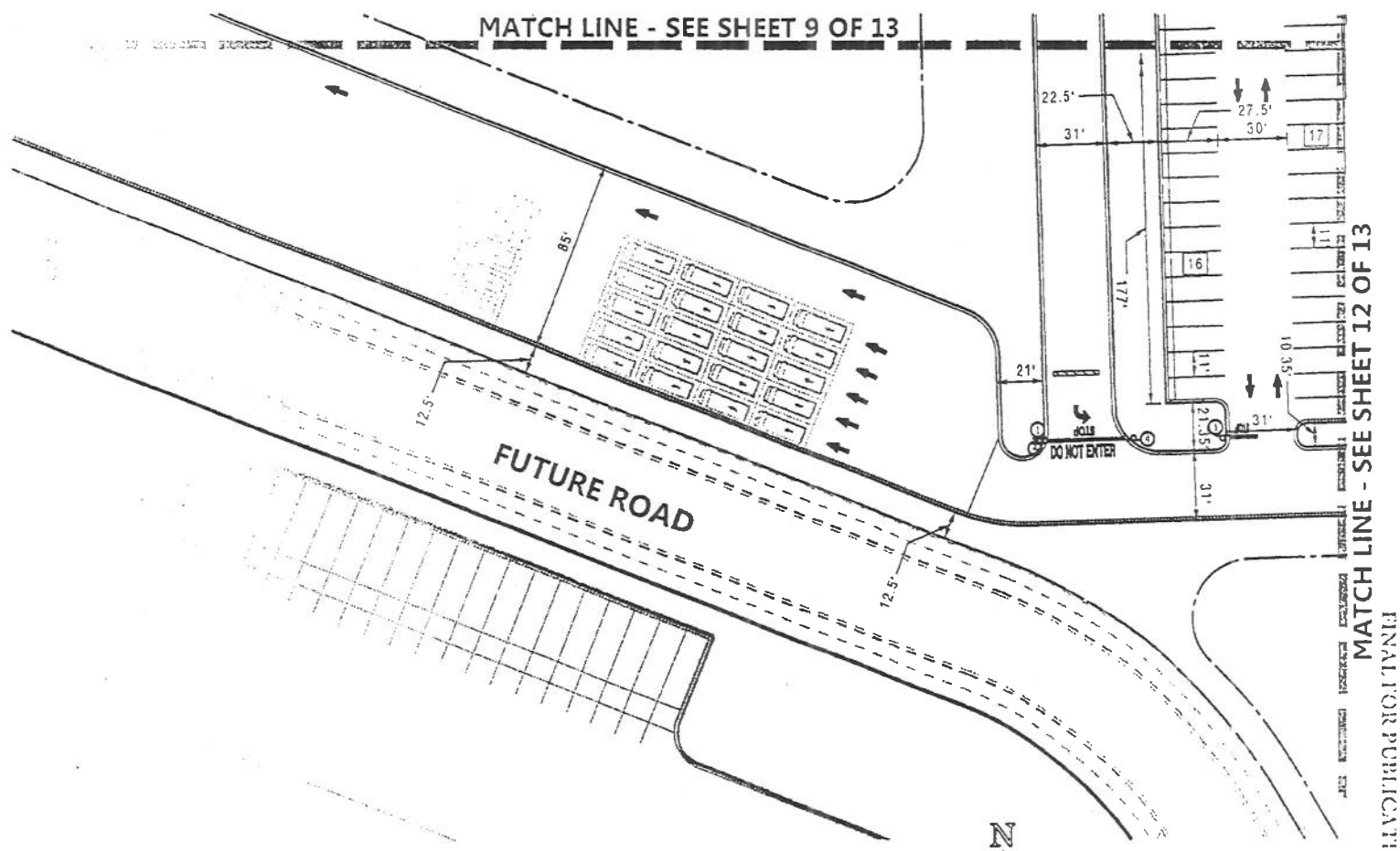


SCALE: 1" = 60'
 SHEET 10 OF 13



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9525 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 654-4332 Fax: (847) 654-4345



MATCH LINE - SEE SHEET 9 OF 13

MATCH LINE - SEE SHEET 12 OF 13
FINAL FOR PUBLICATION

SITE PLAN

APPLICANT:
 RYAN COMPANIES US, INC
 ADDRESS: 111TH STREET AND OCTY AVENUE
 INTRODUCTION DATE: APRIL 22, 2020
 CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES
- # NUMBER OF STRIPED VAN PARKING SPACES



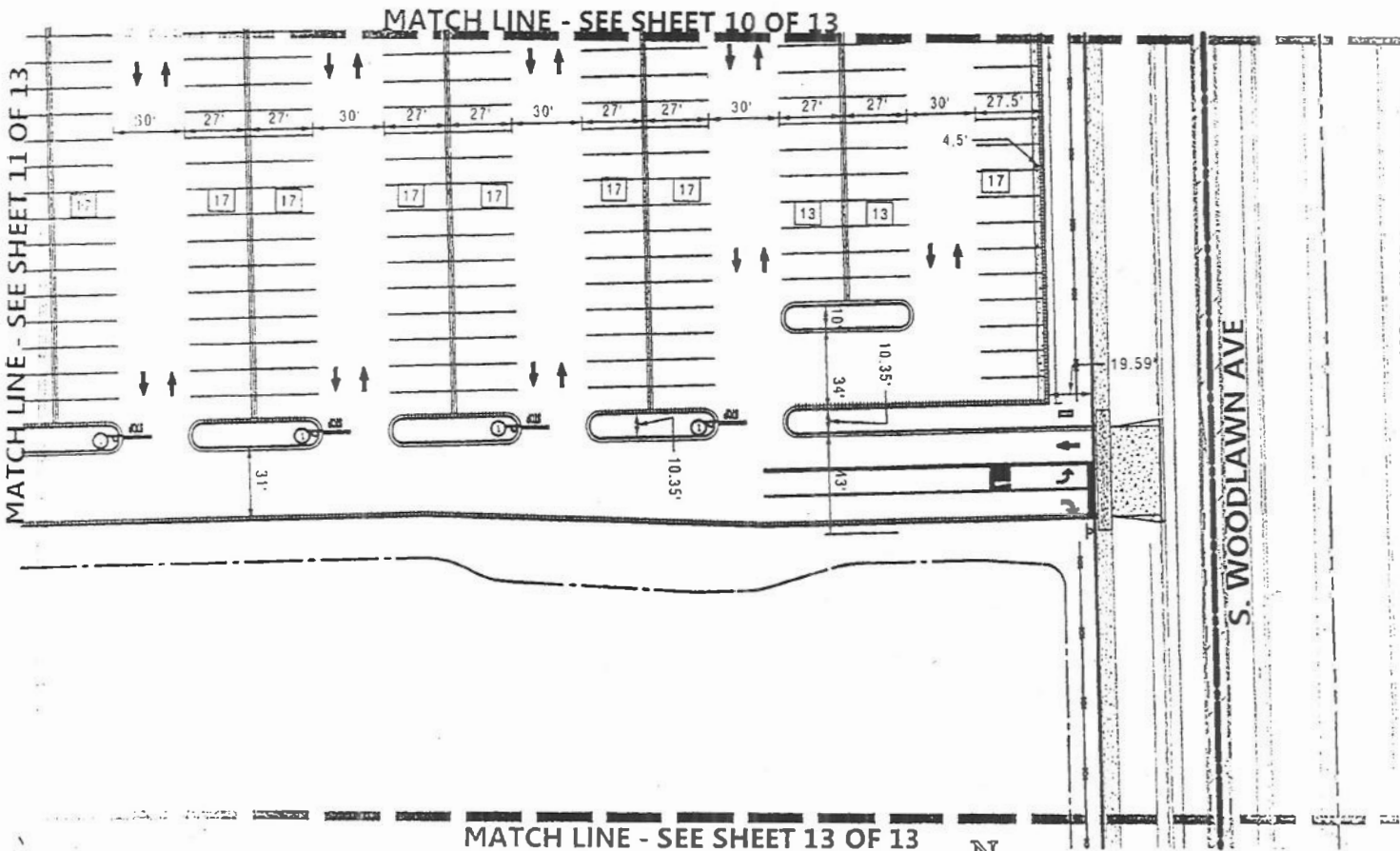
SCALE: 1" = 60'
 SHEET 11 OF 13



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9375 W. Higgins Road, Suite 201
 Rosemont, Illinois 60018
 Phone: (647) 874-6500 Fax: (647) 874-6505

FINAL FOR PUBLICATION



SITE PLAN

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 1117TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES
- #V NUMBER OF STRIPED VAN PARKING SPACES

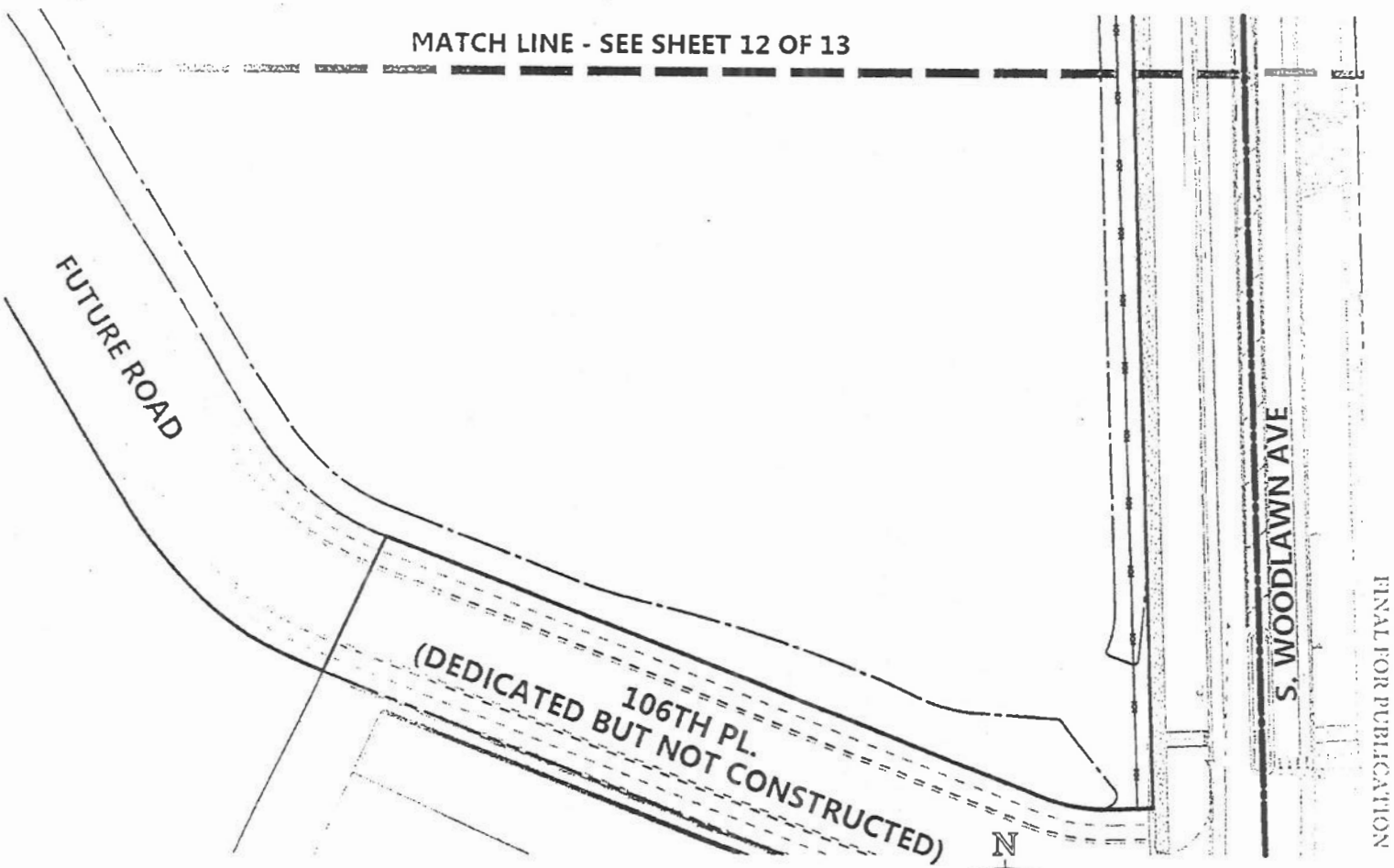


SCALE: 1" = 60'
SHEET 12 OF 13



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9973 W. Higgins Road, Suite 700
 Rosemont, Illinois 60018
 Phone: (847) 616-4100 Fax: (847) 616-0665



FINAL FOR PUBLICATION

SITE PLAN

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND OOTY AVENUE
INTRODUCTION DATE: MARCH 18, 2020
CHICAGO PLAN COMMISSION DATE: MARCH 19, 2020

- # NUMBER OF STRIPED PARKING SPACES
- #HC NUMBER OF STRIPED HANDICAP PARKING SPACES
- # NUMBER OF STRIPED VAN PARKING SPACES



SCALE: 1" = 60'
SHEET 13 OF 13



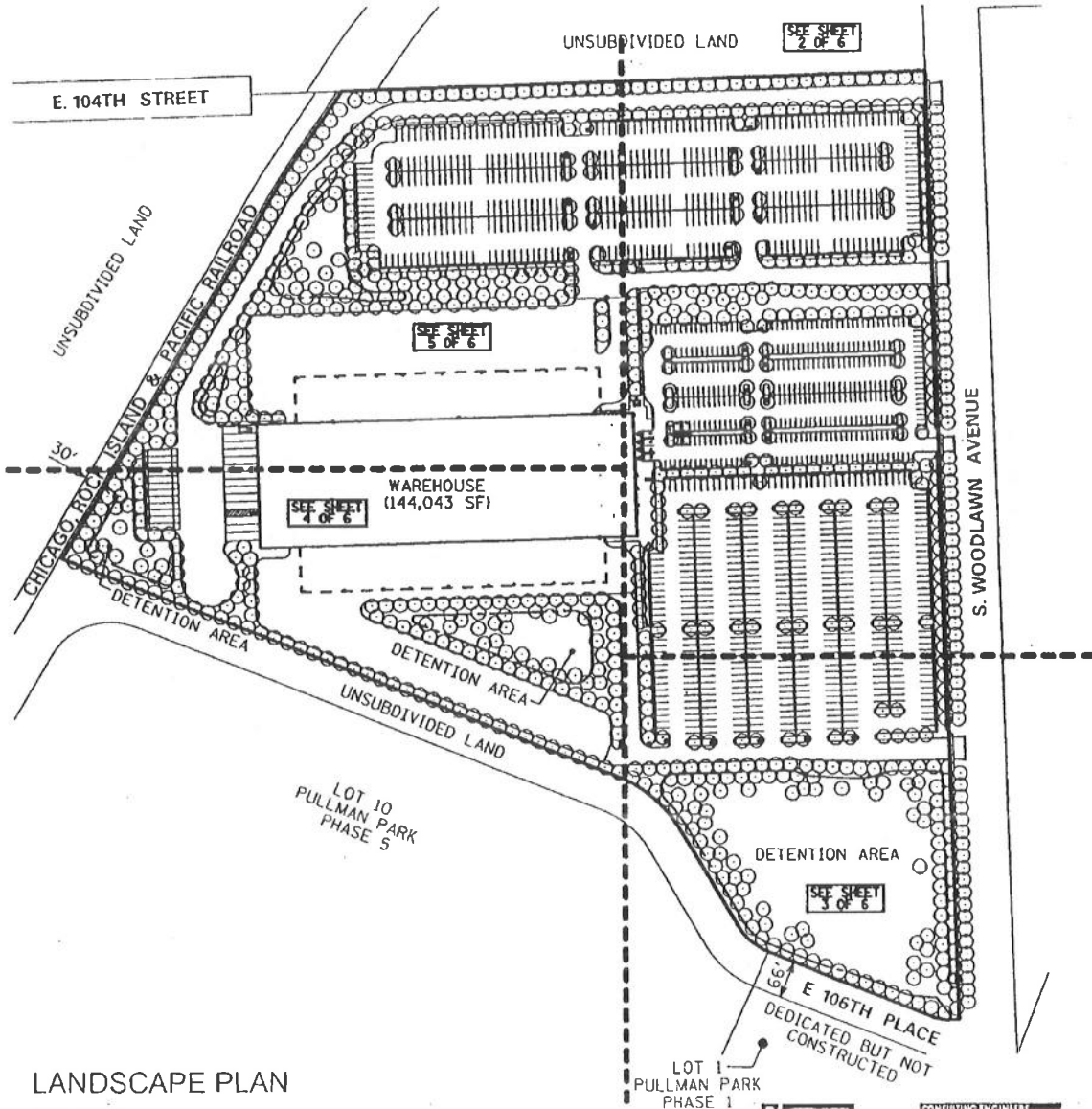
CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

7575 W. Higgins Road, Suite 200,
Rosemont, Illinois 60018
Phone: 647.994.4400 Fax: 647.994.4343

FINAL FOR PUBLICATION



SCALE: 1" = 250'
SHEET 1 OF 6



LANDSCAPE PLAN

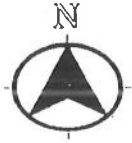
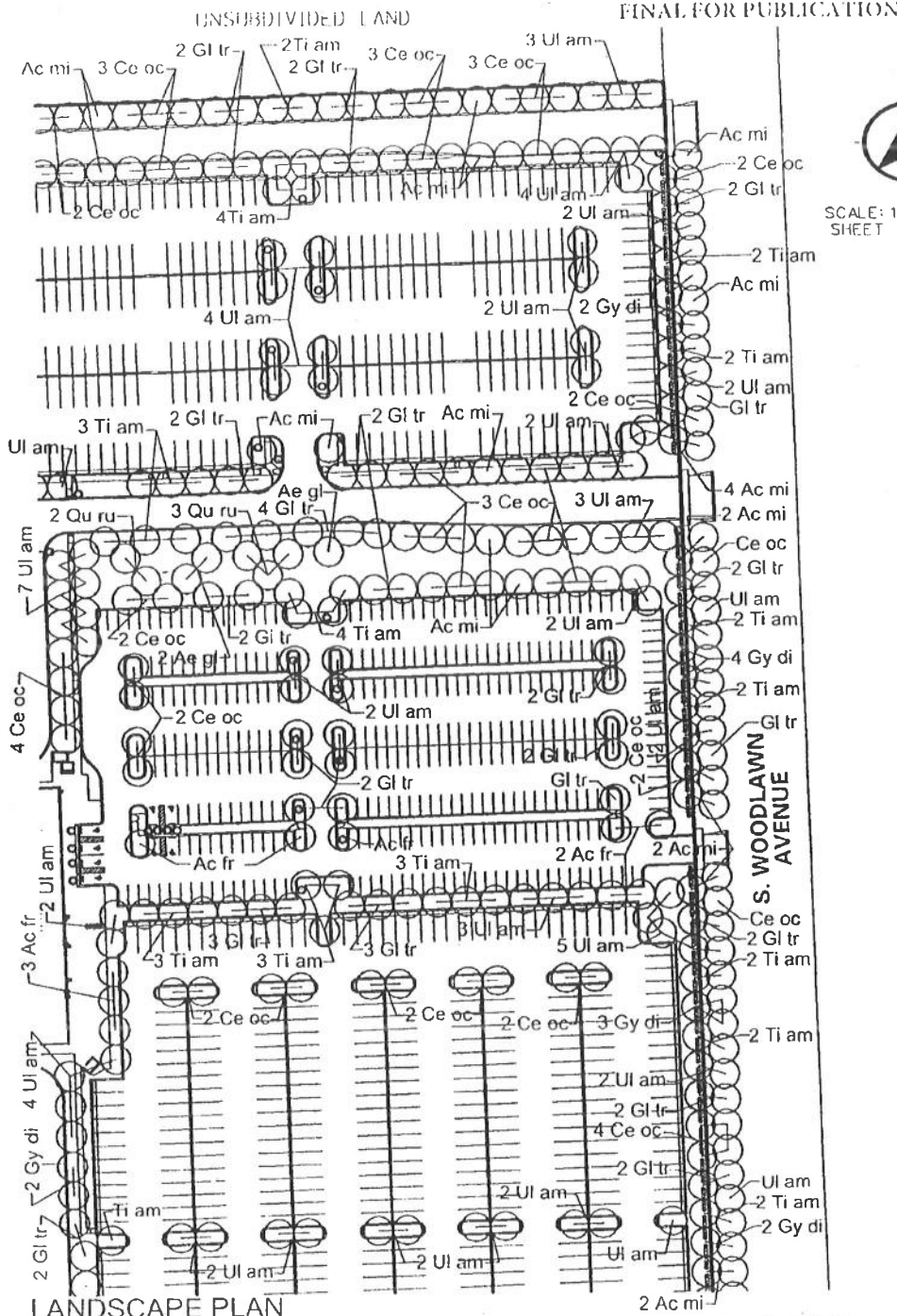
APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

4520 N. Highland, Suite 202
Chicago, IL 60640
Tel: 773.424.1234 Fax: 773.424.1235



SCALE: 1" = 120'
SHEET 2 OF 6

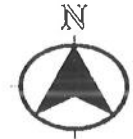
LANDSCAPE PLAN

APPLICANT
RYAN COMPANIES US, INC.
ADDRESS 11114 STREET AND DOTY AVENUE
INTRODUCTION DATE APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE MAY 21, 2020

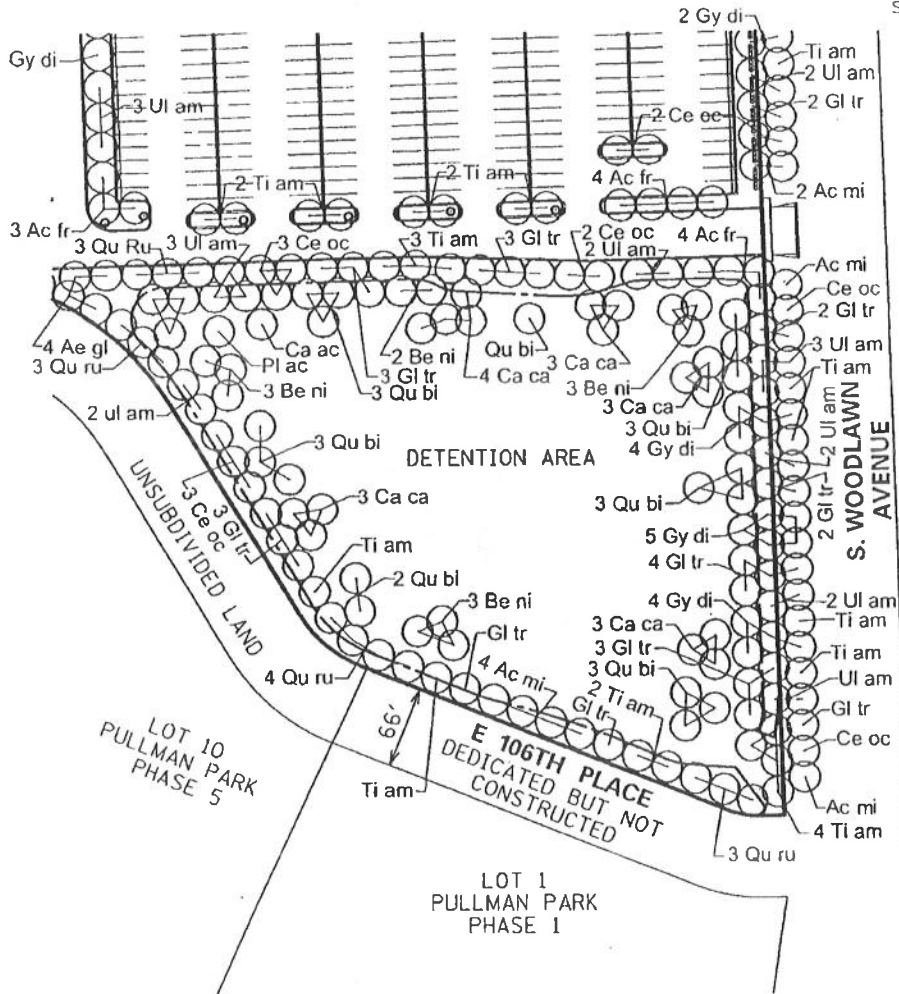


CONSULTING ENGINEER
SITE DEVELOPMENT ENGINEER
LAND SURVEYOR
5572 W. Maplewood, Suite 202
Chicago, Illinois 60629
Tel: 773-442-7878 Fax: 773-442-7879

FINAL FOR PUBLICATION



SCALE: 1" = 120'
SHEET 3 OF 6



LANDSCAPE PLAN

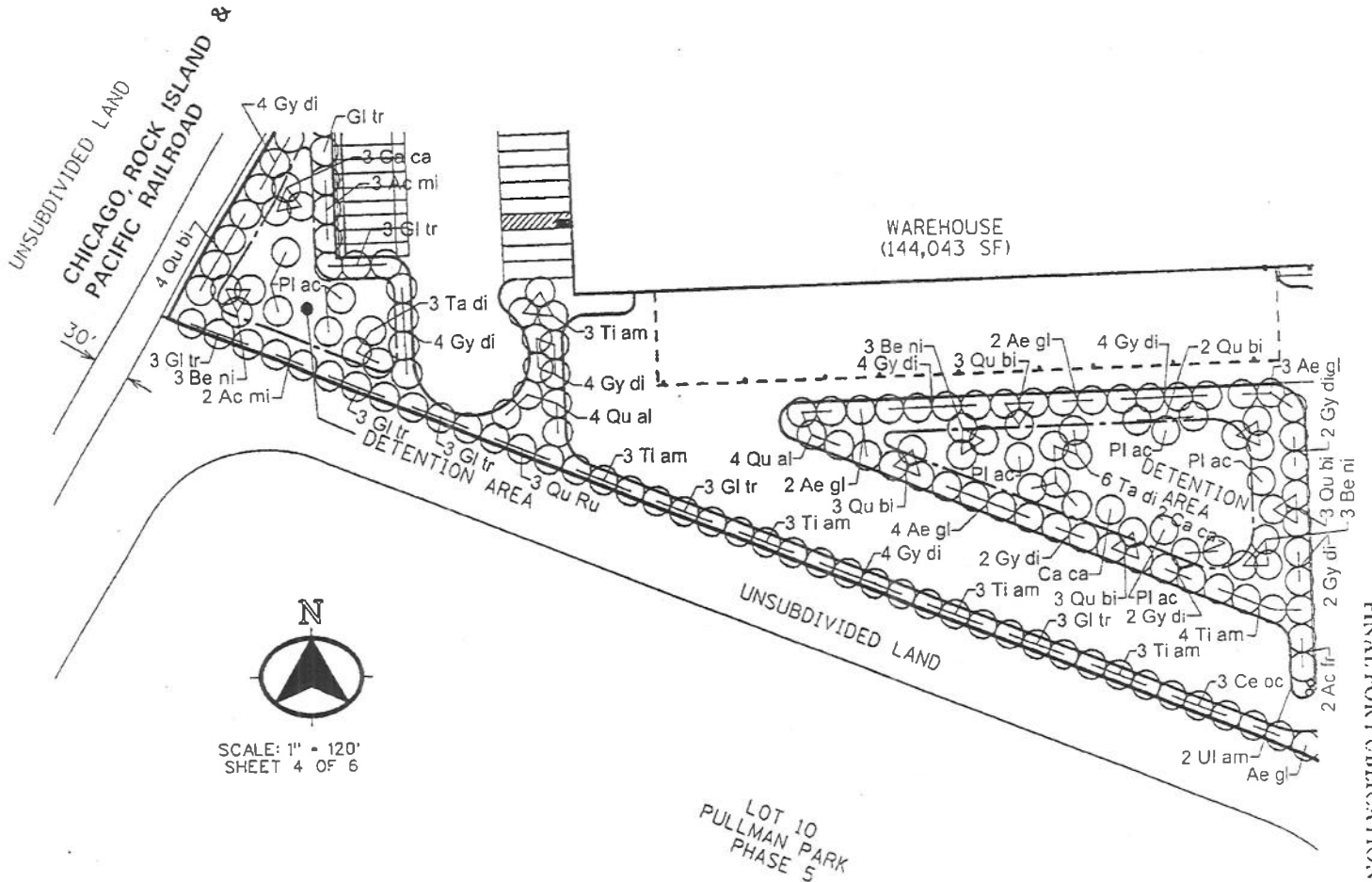
APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



CONSULTING ENGINEERS
ELECTRICAL ENGINEERING
LAND SURVEYING

1311 W. Irving Road, Suite 200
Chicago, IL 60606
(773) 442-1100 Fax: (773) 442-1101



FINAL FOR PUBLICATION

LANDSCAPE PLAN

APPLICANT
 RYAN COMPANIES US, INC.

ADDRESS 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: MARCH 18, 2020
 CHICAGO PLAN COMMISSION DATE: MARCH 19, 2020

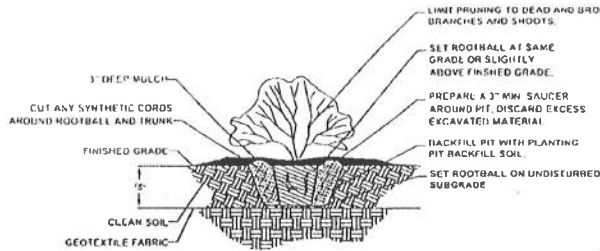
LOT 10
 PULLMAN PARK
 PHASE 5



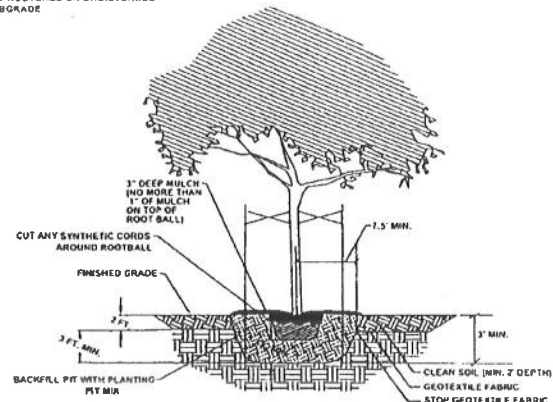
CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 1570 W. Higgins Road, Suite 100
 Addison, IL 60101
 Phone: 630.209.6600 Fax: 630.209.6601

FINAL FOR PUBLICATION

SHEET 6 OF 6



SHRUB PLANTING DETAIL
NO SCALE



TREE PLANTING DETAIL
NO SCALE

Sym.	Botanical Name	Common Name	Qty.	Size	Cond.
Parkway Trees (88)					
Ac m	<i>Acer nijsabel Morton'</i>	Maple Street Maple	10	2.5"	B & B
Ce oc	<i>Celtis occidentalis ChicagoLand'</i>	ChicagoLand Hackberry	12	2.5"	B & B
Gl Ir	<i>Gleditsia triacanthos inermis 'Skyline'</i>	Skyline Honeylocust	12	2.5"	B & B
Gy d	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	10	2.5"	B & B
Ti am	<i>Tilia americana Redmond'</i>	Redmond Linden	12	2.5"	B & B
Ua am	<i>Ulmus americana Princeton'</i>	Princeton Elm	12	2.5"	B & B
			68		
Parking Lot Screening Trees					
Ac m	<i>Acer nijsabel Morton'</i>	Maple Street Maple	6	2.5"	B & B
Ce oc	<i>Celtis occidentalis ChicagoLand'</i>	ChicagoLand Hackberry	6	2.5"	B & B
Gl Ir	<i>Gleditsia triacanthos inermis 'Skyline'</i>	Skyline Honeylocust	8	2.5"	B & B
Gy d	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	7	2.5"	B & B
Ti am	<i>Tilia americana Redmond'</i>	Redmond Linden	7	2.5"	B & B
Ua am	<i>Ulmus americana Princeton'</i>	Princeton Elm	7	2.5"	B & B
			39		
Vehicle Use Area Trees					
Ac f	<i>Acer freemanii</i>	Freeman's Maple	23	2.5"	B & B
Ac m	<i>Acer nijsabel Morton'</i>	Maple Street Maple	34	2.5"	B & B
As gl	<i>Asaculum glabra</i>	Ohio Buckeye	34	2.5"	B & B
Be ni	<i>Betula nigra</i>	River Birch	27	2.5"	B & B
Ca ca	<i>Carpinus caroliniana</i>	American Hornbeam	22	2.5"	B & B
Ce oc	<i>Celtis occidentalis ChicagoLand'</i>	ChicagoLand Hackberry	122	2.5"	B & B
Gl Ir	<i>Gleditsia triacanthos inermis 'Skyline'</i>	Skyline Honeylocust	109	2.5"	B & B
Gy d	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	51	2.5"	B & B
Qu al	<i>Quercus alba</i>	White Oak	20	2.5"	B & B
Qu bi	<i>Quercus bicolor</i>	Swamp White Oak	44	2.5"	B & B
Qu ru	<i>Quercus rubra</i>	Northern Red Oak	28	2.5"	B & B
Pl ac	<i>Platanus acerifolia 'Exclamation'</i>	Exclamation London Planetree	15	2.5"	B & B
Ta d	<i>Taxodium distichum</i>	Bald Cypress	11	2.5"	B & B
Ti am	<i>Tilia americana Redmond'</i>	Redmond Linden	98	2.5"	B & B
Ua am	<i>Ulmus americana Princeton'</i>	Princeton Elm	108	2.5"	B & B
			745		
			852		

LANDSCAPE PLAN

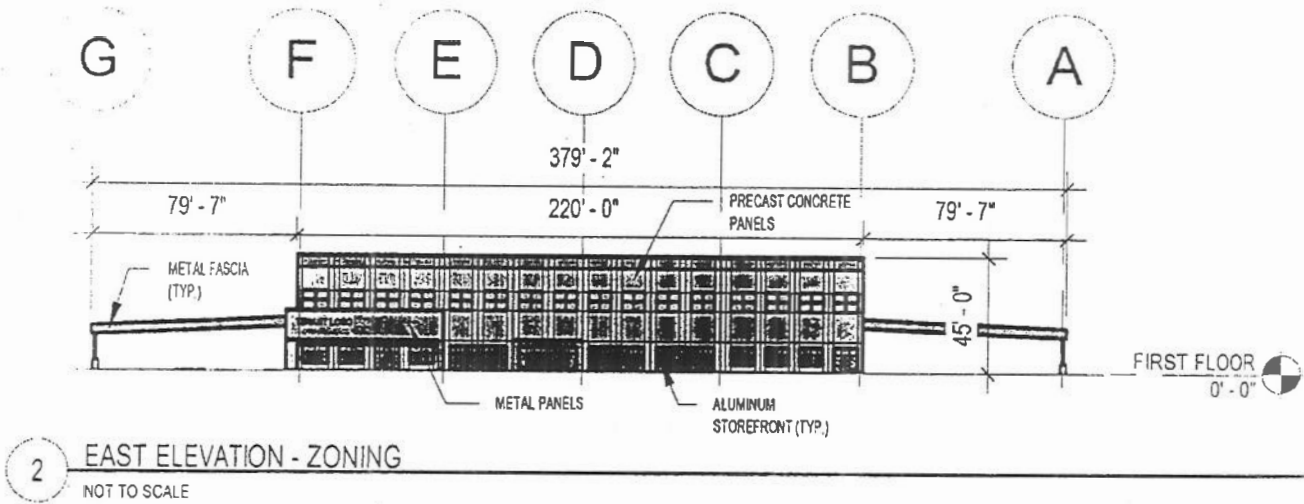
APPLICANT
RYAN COMPANIES US, INC.

ADDRESS 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE MAY 21, 2020



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

1111 W. Wrightwood, Suite 200
Rosemont, Illinois 60018
Phone: 630.451.1000, 630.451.4300



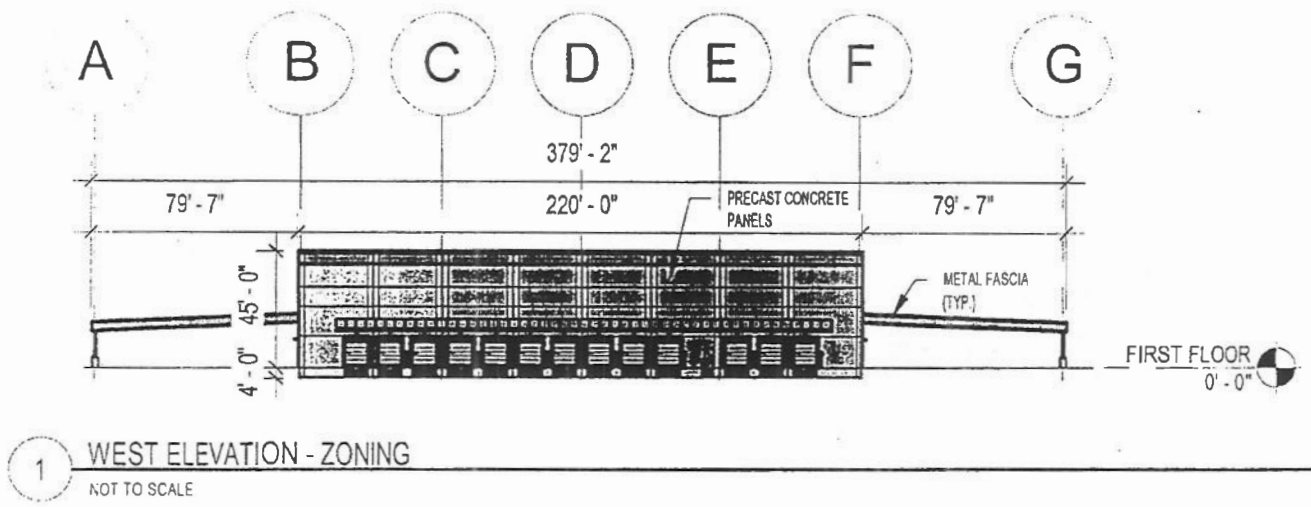
FINAL FOR PUBLICATION

BUILDING ELEVATIONS

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

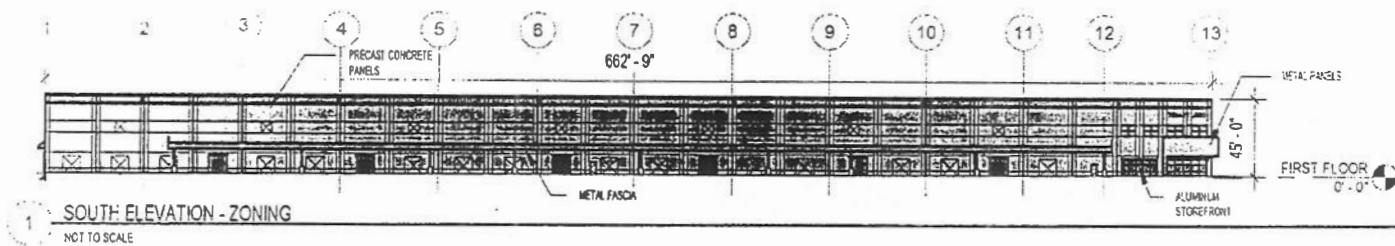
FINAL FOR PUBLICATION



BUILDING ELEVATIONS

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



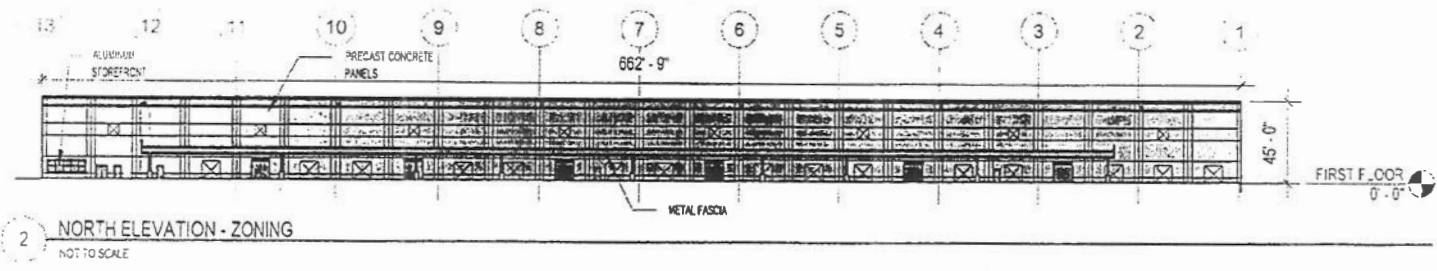
1 SOUTH ELEVATION - ZONING
NOT TO SCALE

FINAL FOR PUBLICATION

BUILDING ELEVATIONS

APPLICANT
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

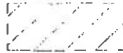



FINAL FOR PUBLICATION

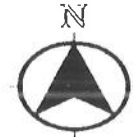
BUILDING ELEVATIONS

APPLICANT:
RYAN COMPANIES US, INC.

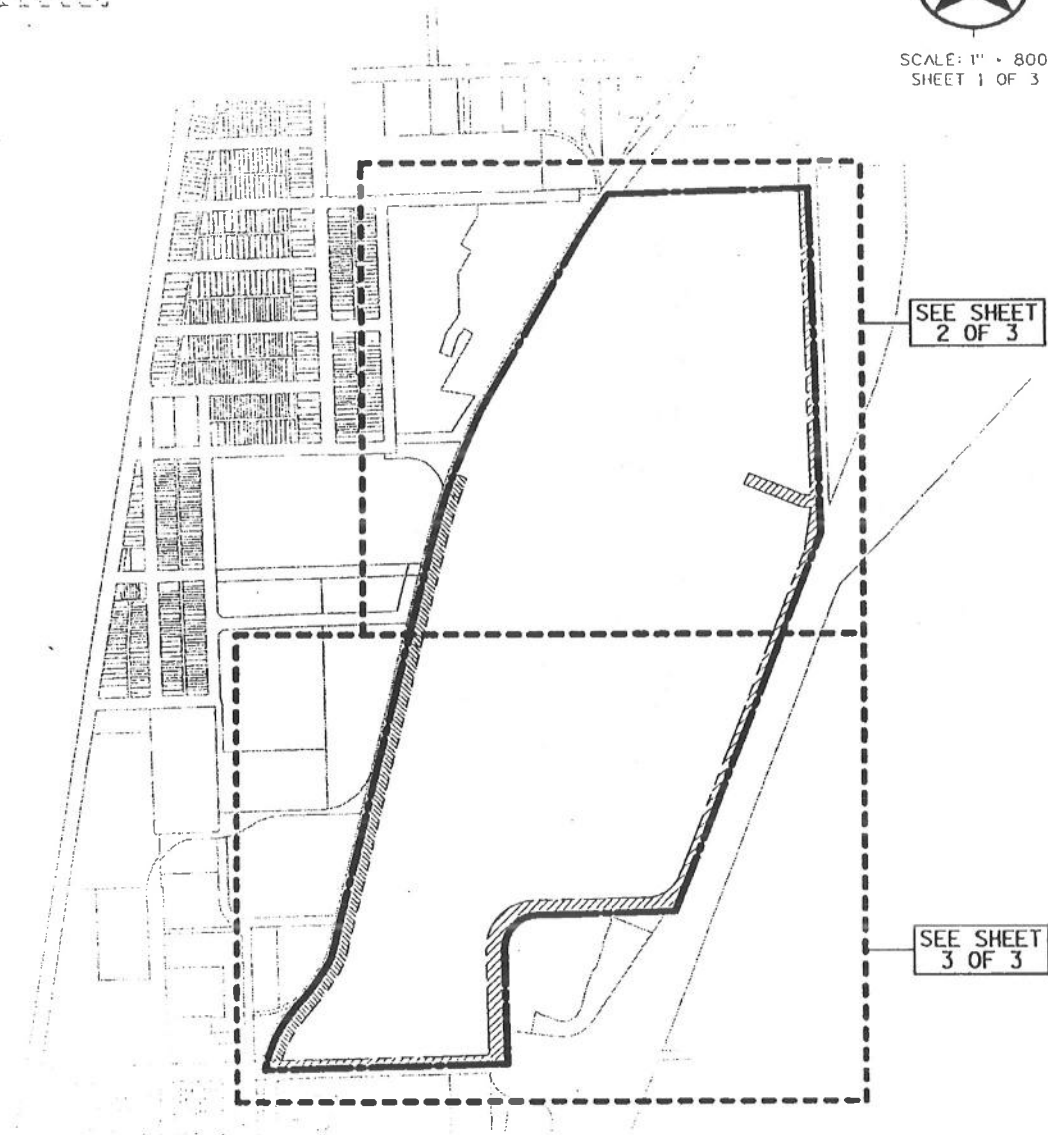
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

-  EXISTING R.O.W. TO REMAIN
-  EXISTING PRIVATE DRIVEWAY

FINAL FOR PUBLICATION



SCALE: 1" = 800'
SHEET 1 OF 3




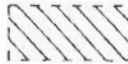
RIGHTS-OF-WAY ADJUSTMENT MAP

APPLICANT:
 RYAN COMPANIES US, INC.
 ADDRESS 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE APRIL 22, 2020
 CHICAGO PLAN COMMISSION DATE MAY 21, 2020



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

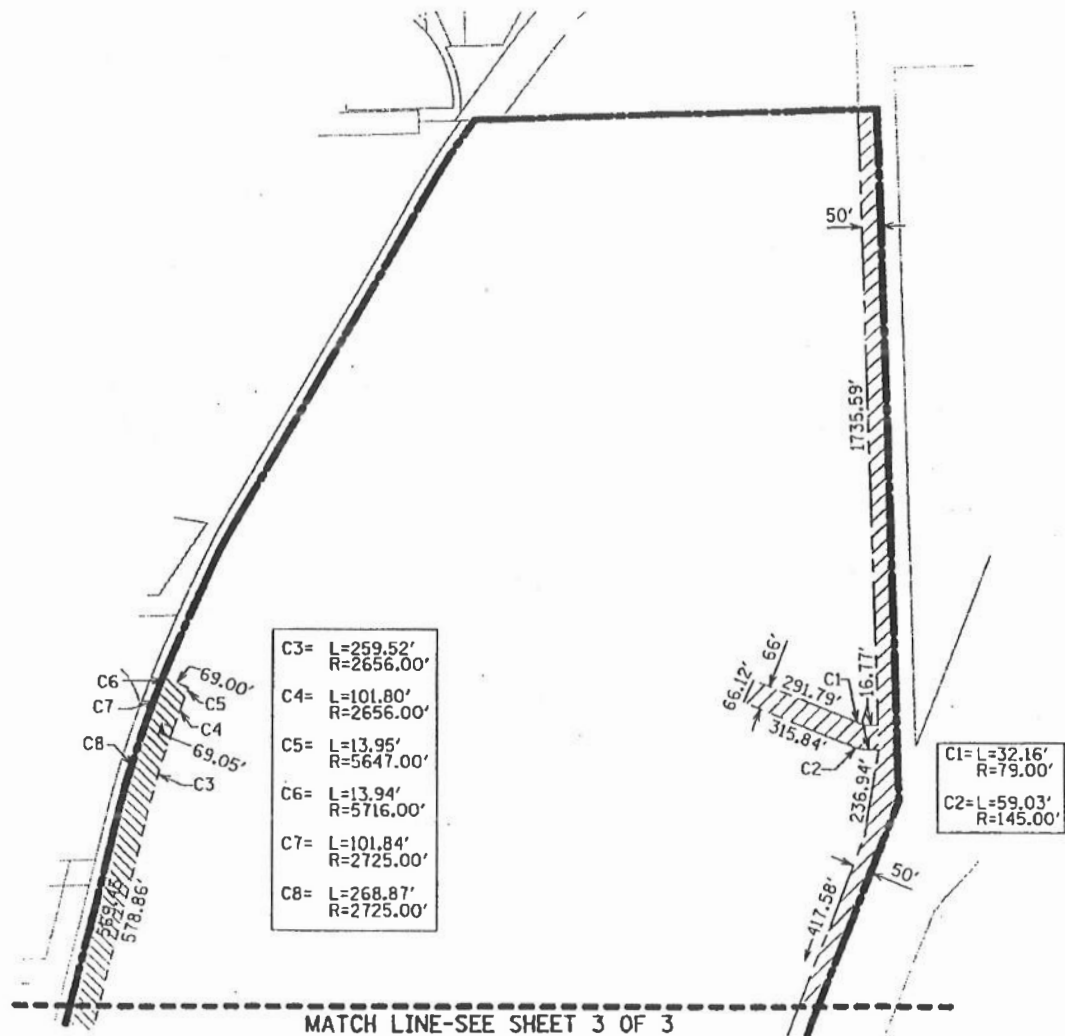
1570 W. Hyde Park Blvd. Suite 205
 Rosemont, Illinois 60018
 Tel: 630-562-4444 Fax: 630-562-4471

 EXISTING R.O.W. TO REMAIN
 EXISTING PRIVATE DRIVEWAY

FINAL FOR PUBLICATION



SCALE: 1" = 400'
SHEET 2 OF 3



RIGHTS-OF-WAY ADJUSTMENT MAP

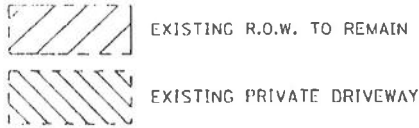
APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020

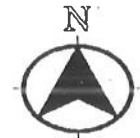


CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

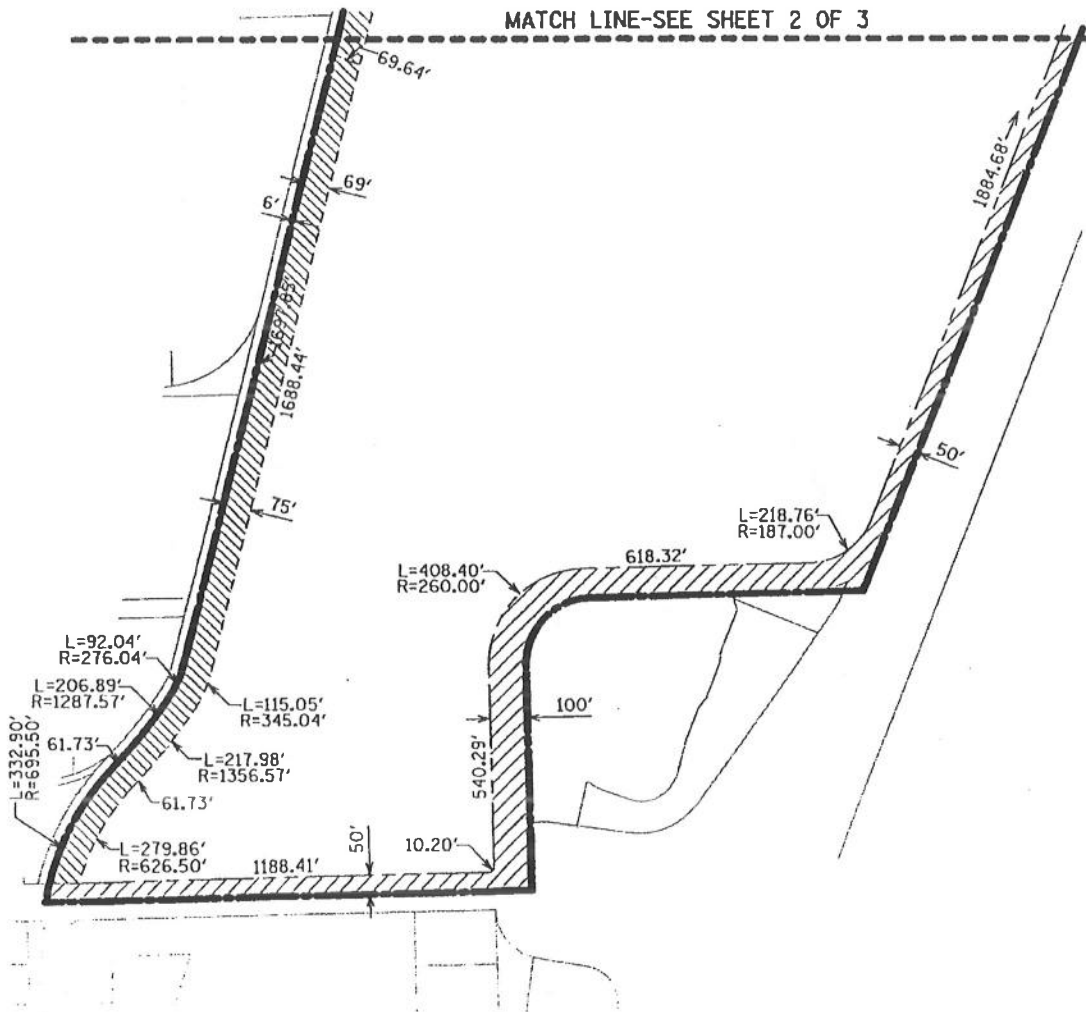
9375 W. Higgins Road, Suite 200,
Rosemont, Illinois 60018
PHONE: (630) 578-4560 FAX: (630) 578-4563



FINAL FOR PUBLICATION



SCALE: 1" = 400'
SHEET 3 OF 3



RIGHTS-OF-WAY ADJUSTMENT MAP

APPLICANT:
RYAN COMPANIES US, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: APRIL 22, 2020
CHICAGO PLAN COMMISSION DATE: MAY 21, 2020



CONSULTING ENGINEER
SITE DEVELOPMENT ENGINEER
LAND SURVEYOR

9575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018
Phone: (847) 696-4062 Fax: (847) 696-4065



**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

March 6, 2020

Mariah DiGrino
Partner
DLA Piper LLP (US)
444 West Lake Street, Suite 900
Chicago, Illinois 60606-0089

Re: Site Plan Approval for Business-Residential-Institutional Planned Development No. 1167, Subarea G, generally located at 716 E. 111th Street.

Dear Ms. DiGrino:

Please be advised that your request for site plan approval for Business-Residential-Institutional Planned Development No. 1167 (“PD 1167”) has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project includes the development of a new industrial facility on an approximately 38.2 acre site located in Subareas J and G of PD 1167. The site plan approval for Subarea J is addressed in a separate letter.

The proposed development will include the construction of a 144,043 sf industrial building with a surface parking lot within Subarea J (“Proposed Development”). Subarea G, the subject of this site plan approval, would also be improved with 226 non-required accessory parking spaces, driveways and stormwater detention areas serving the portion of the Proposed Development located on Subarea J, as well as stormwater detention areas required to serve Subarea G. Additional paved areas act as engineered barriers and provide flexibility for future parking.

Non-accessory parking is explicitly listed as a permitted use within Subarea G of PD 1167. A total of 249 trees will be provided, as required, in Subarea G.

This approval includes the following attached documents prepared by SpaceCo, Inc:

- EXH-01 Aerial (02.07.20)
- C-SP G Subarea G Site Plan (02.07.20)
- L1 Subarea G Landscape Plan (02.19.20)
- L4 Vehicular Use Area Calculation - G (02.28.20)

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Business Planned Development No. 1167. Accordingly, this site plan submittal is hereby approved as conforming to PD 1167. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Erika Sellke at (312) 744-9146 or at erika.sellke@cityofchicago.org.

Sincerely,



Nancy Radzevich
Assistant Commissioner
Planned Developments

Originated by: Erika Sellke

cc: Erik Glass, DPD
Janice Hill, DPD
Mike Marmo, DPD
Erika Sellke, DPD
Planned Development files



DLA Piper LLP (US)
444 West Lake Street
Suite 900
Chicago, Illinois 60606-0089
www.dlapiper.com

Mariah F. DiGrino
mariah.digrino@dlapiper.com
T 312.368.7261
F 312.251.5833

March 5, 2020
VIA HAND DELIVERY & E-MAIL

Mr. Patrick Murphey, Zoning Administrator
Attn: Erika Sellke
Department of Planning and Development
City of Chicago
121 N. LaSalle St. Rm. 905
Chicago, IL 60602

**Re: Business-Residential-Institutional Planned Development No. 1167, as amended
Request for Site Plan Approval – Subarea G – UPDATED REQUEST
Ryan Companies, Inc.**

Dear Mr. Murphey:

Pursuant to Statement 10 of Business-Residential-Institutional Planned Development No. 1167, as amended (the "**PD**") and Section 17-13-0800 of the Zoning Ordinance, I am writing on behalf of Ryan Companies Inc. ("**Ryan**") to request Site Plan Approval of the enclosed site plan and landscape plan for property located within Subarea G of the PD. This letter and the enclosed exhibits are provided as an update to the Site Plan Approval request submitted for Subarea G on February 12, 2020, based on subsequent agency reviews.

Ryan proposes to develop a new industrial facility on an approximately 38.2 acre site located within Subareas J and G of the PD (the "**Property**"). The Property is currently vacant and unimproved with the exception of remaining building foundations from the Ryerson steel plant, which closed in 2006.

Ryan proposes to construct an approximately 144,043 square foot industrial building together with a surface parking lot within Subarea J (the "**Proposed Development**").

Subarea G, which is the subject of this site plan approval request, would be improved with 226 non-required accessory parking spaces, driveways, and stormwater detention areas serving the portion of the Proposed Development located on Subarea J, as well as stormwater detention areas required to serve Subarea G. Additional paved areas act as engineered barriers and provide flexibility for future parking.

Pursuant to Section 17-10-0603-B of the Zoning Ordinance, non-required accessory parking serving uses located in C districts may be located off site in any zoning district that allows non-accessory parking. The zoning classification that immediately preceded the establishment of the PD in 2010 (i.e. the "underlying" zoning) is the C2-3 Motor Vehicle-Related Commercial District. Non-accessory parking is explicitly listed as a permitted use within Subarea G. Non-accessory parking is also a permitted use in the underlying C2-



3 district. Consequently, non-required accessory parking may be located within Subarea G under the governing PD.

The Proposed Development will comply with the requirements of the Landscape Ordinance. A total of 249 trees are required for Subarea G. All are provided on-site, as depicted on the enclosed landscape plan.

The proposed improvements are depicted on the enclosed site and landscape plans, prepared by SpaceCo Inc.

Thank you for your consideration of this site plan approval request. If you need any additional information, please contact me or my colleague, Liz Butler, at (312) 368-4092.

Very truly yours,

DLA Piper LLP (US)

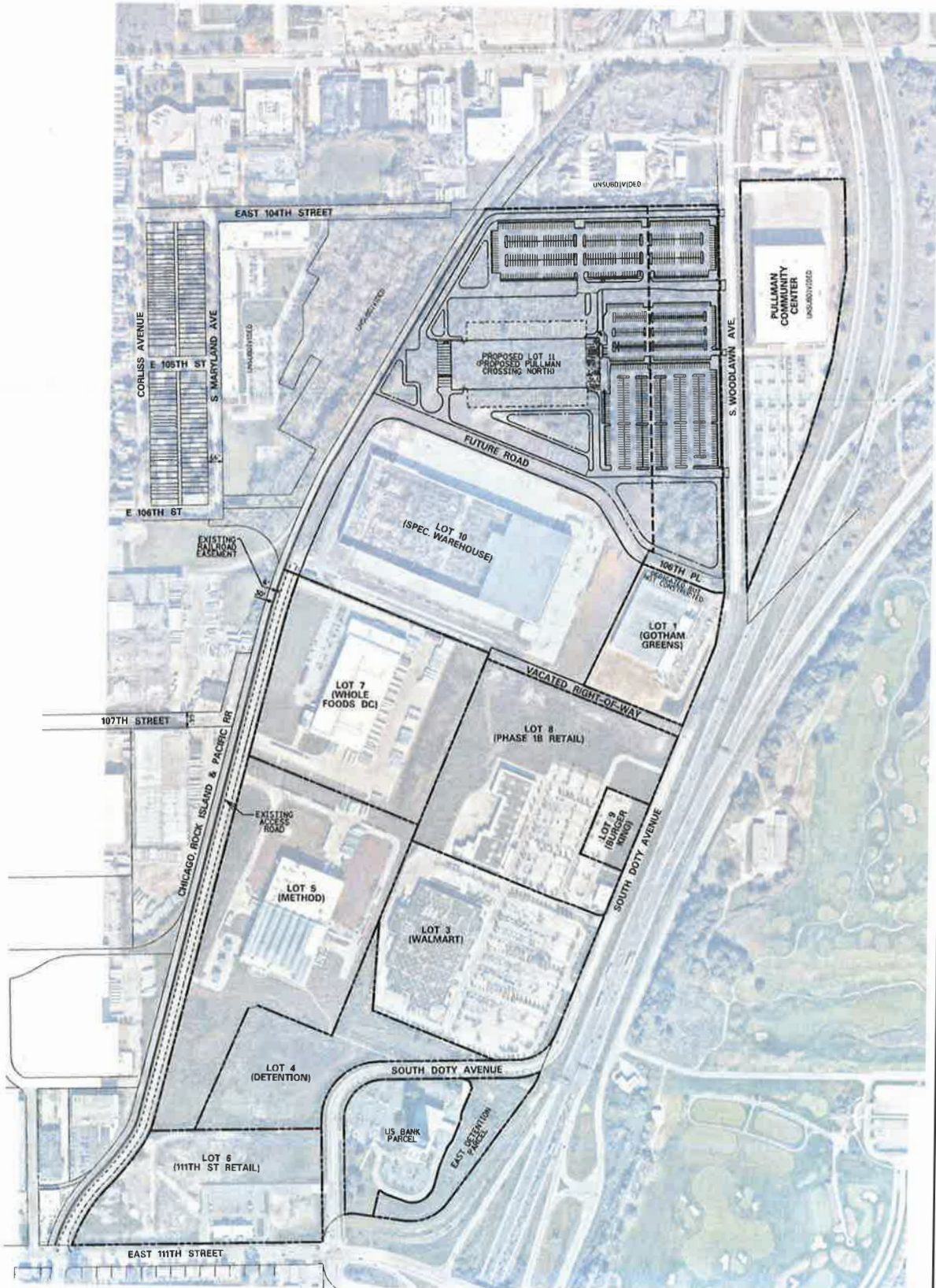
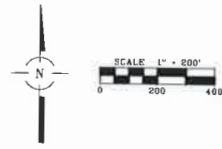
A handwritten signature in black ink that reads 'Mariah F. DiGrino'.

Mariah F. DiGrino

Enclosures

cc (via e-mail): Liz Butler

PULLMAN PARK EXHIBIT



REVISIONS:



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

DATE: 02/25/2020
 JOB NO: 1944-24
 FILE NO: 1944-24
 SHEET: 1 OF 1

1835 W. Higgins Road, Suite 200
 Naperville, Illinois 60563
 Phone: 312.354.4000 Fax: 312.354.4002



CS
 CONSULTING ENGINEERS
 1000 N. LAKE ST. SUITE 1000
 CHICAGO, IL 60610
 TEL: 312.467.1000
 FAX: 312.467.1001
 WWW.CS-ENGINEERS.COM

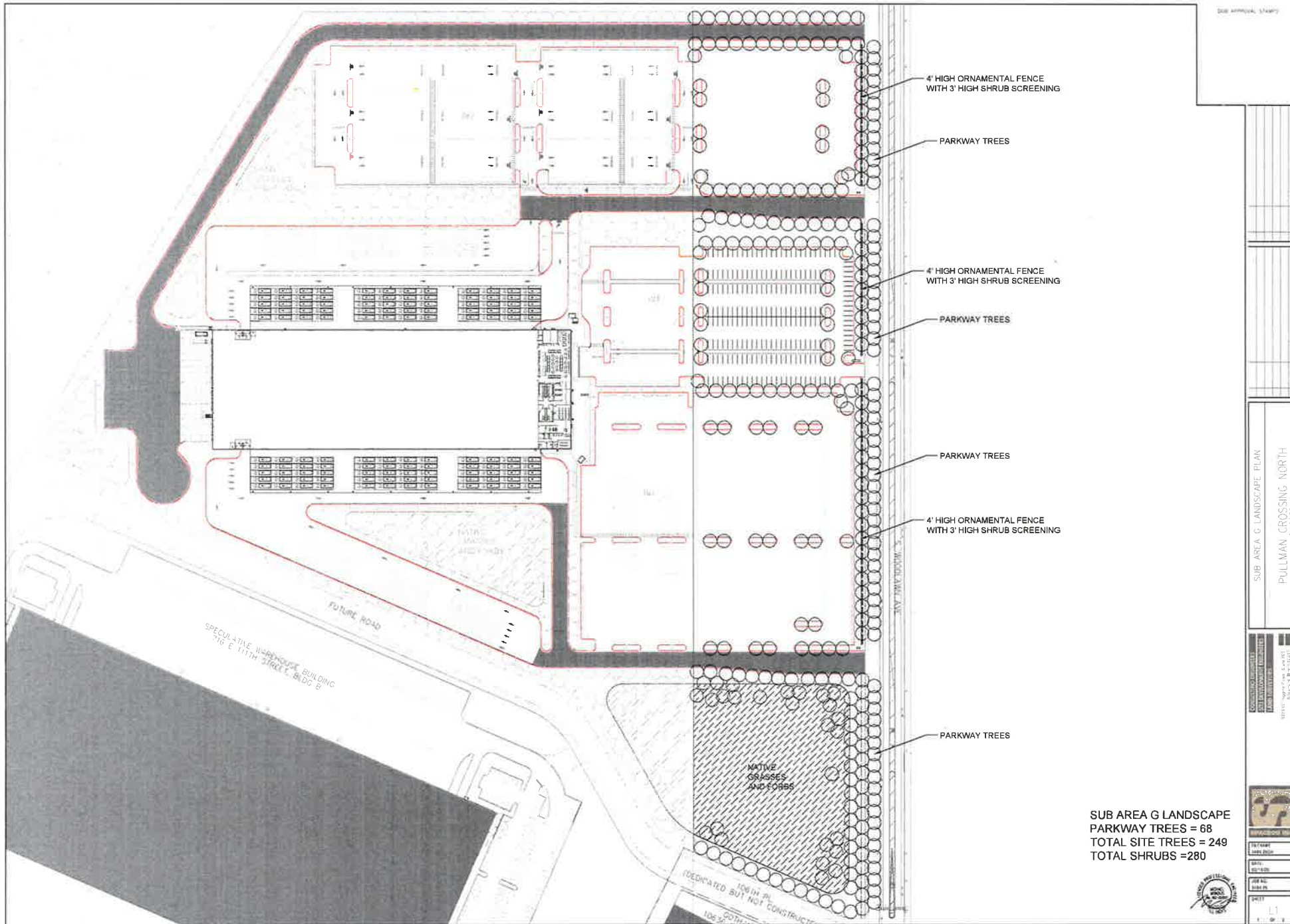
CONSULTING ENGINEER
DATE: 08/14/2018
PROJECT: PULLMAN CROSSING NORTH
SHEET: CSP G

SUB AREA G SITE PLAN
PULLMAN CROSSING NORTH
CHICAGO, IL

DATE	DESCRIPTION

DATE	DESCRIPTION



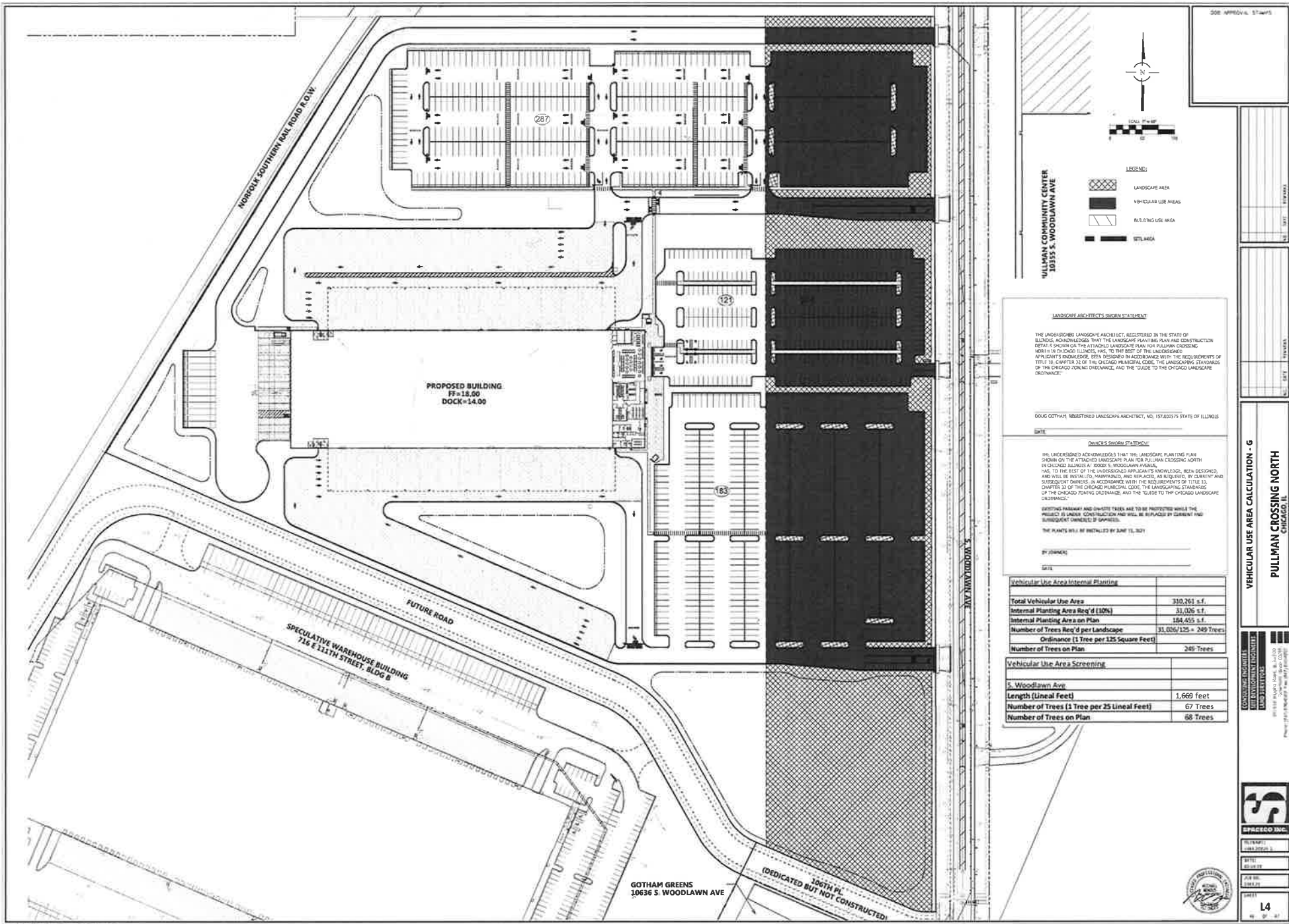


SUB AREA G LANDSCAPE PLAN
 PARKWAY TREES = 68
 TOTAL SITE TREES = 249
 TOTAL SHRUBS = 280



SUB AREA G LANDSCAPE PLAN	
PULLMAN CROSSING NORTH	
CHICAGO, IL	
DATE: 05/15/2014	PROJECT: PULLMAN CROSSING NORTH
SCALE: AS SHOWN	DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]	DATE: 05/15/2014
SHEET	L1

SEE APPENDIX STAMP



300 APPROVAL STAMPS



LEGEND:

- LANDSCAPE AREA
- VEHICULAR USE AREAS
- BUILDING USE AREA
- UTIL AREA

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED, LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO, ILLINOIS, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 17, CHAPTER 33 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

DOUG COTHAM, REGISTERED LANDSCAPE ARCHITECT, NO. 157403153 STATE OF ILLINOIS

DATE: _____

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO ILLINOIS AT 10636 S. WOODLAWN AVENUE, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DEIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CLIENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 17, CHAPTER 33 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND FUTURE OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY JUNE 15, 2021

BY OWNER: _____

DATE: _____

Vehicular Use Area Internal Planting	
Total Vehicular Use Area	330,261 s.f.
Internal Planting Area Req'd (10%)	33,026 s.f.
Internal Planting Area on Plan	184,455 s.f.
Number of Trees Req'd per Landscape Ordinance (1 Tree per 125 Square Feet)	31,026/125 = 249 Trees
Number of Trees on Plan	249 Trees

Vehicular Use Area Screening	
S. Woodlawn Ave	
Length (Lineal Feet)	1,669 feet
Number of Trees (1 Tree per 25 Lineal Feet)	67 Trees
Number of Trees on Plan	68 Trees

VEHICULAR USE AREA CALCULATION - G

PULLMAN CROSSING NORTH
CHICAGO, IL

COORDINATOR: _____
DATE: _____



PROJECT: PULLMAN CROSSING NORTH
DATE: 10/20/21
DRAWN BY: _____
CHECKED BY: _____
SCALE: AS SHOWN
SHEET: L4





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 6, 2020

Mariah DiGrino
Partner
DLA Piper LLP (US)
444 West Lake Street, Suite 900
Chicago, Illinois 60606-0089

Re: Site Plan Approval for Business-Residential-Institutional Planned Development No. 1167, Subarea J, generally located at 716 E. 111th Street.

Dear Ms. DiGrino:

Please be advised that your request for site plan approval for Business-Residential-Institutional Planned Development No. 1167 ("PD 1167") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project includes the development of a new industrial facility on an approximately 38.2 acres site located in Subareas J and G of PD 1167. The site plan approval for Subarea G is addressed in a separate letter.

The proposed development will include the construction of a 144,043 sf industrial building, 591 vehicular parking stalls, 12 truck trailer parking spaces, 3 loading docks and landscaping including 536 trees ("Proposed Development"). The proposed building and required accessory parking will be sited entirely within the boundaries of Subarea J, which permits industrial uses such as warehouse and distribution.

The existing improvements within Subarea J were reviewed and approved pursuant to a Site Plan Approval letter issued by the Zoning Administrator on May 9, 2019 ("Industrial Phase I Approval"). The Industrial Phase I Approval authorized the construction of an industrial building with a floor area ratio of 0.37 ("Industrial Phase I Improvements"). The overall project FAR for the Proposed Development will be 0.062, which, together with the Industrial Phase I Improvements, results in a total built floor area that is less than the maximum 1.2 FAR permitted within Subarea J.

This approval includes the following attached documents prepared by SpaceCo, Inc:

- EXH-01Aerial (02.07.20)

121 NORTH LASALLE STREET, ROOM 1000, CHICAGO ILLINOIS 60602

- C-SP J Subarea J Site Plan (02.07.20)
- L1 Subarea J Landscape Plan (02.19.20)
- L3 Vehicular Use Area Calculation - J (02.26.20)

The approval includes the following attached documents prepared by BL Companies, Inc:

- AS 1.02 Exterior Elevations (03.04.20)
- AS 1.01 Exterior Elevations (03.04.20)
- A1.01 Overall Floor Plan (02.04.20)

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Business Planned Development No. 1167. Accordingly, this site plan submittal is hereby approved as conforming to PD 1167. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Erika Sellke at (312) 744-9146 or at erika.sellke@cityofchicago.org.

Sincerely,



Nancy Radzevich
Assistant Commissioner
Planned Developments

Originated by: Erika Sellke

cc: Erik Glass, DPD
Janice Hill, DPD
Mike Marmo, DPD
Erika Sellke, DPD
Planned Development files



DLA Piper LLP (US)
444 West Lake Street
Suite 900
Chicago, Illinois 60606-0089
www.dlapiper.com

Mariah F. DiGrino
mariah.digrino@dlapiper.com
T 312.368.7261
F 312.251.5833

March 5, 2020
VIA HAND DELIVERY & E-MAIL

Mr. Patrick Murphey, Zoning Administrator
Attn: Erika Sellke
Department of Planning and Development
City of Chicago
121 N. LaSalle St. Rm. 905
Chicago, IL 60602

**Re: Business-Residential-Institutional Planned Development No. 1167, as amended
Request for Site Plan Approval – Subarea J – UPDATED REQUEST
Ryan Companies, Inc.**

Dear Mr. Murphey:

Pursuant to Statement 10 of Business-Residential-Institutional Planned Development No. 1167, as amended (the "PD") and Section 17-13-0800 of the Zoning Ordinance, I am writing on behalf of Ryan Companies Inc. ("**Ryan**") to request Site Plan Approval of the enclosed site plan, landscape plan, and building elevations for property located within Subarea J of the PD. This letter and the enclosed exhibits are provided as an update to the Site Plan Approval request submitted for Subarea J on February 12, 2020, based on subsequent agency reviews.

Ryan proposes to develop a new industrial facility on an approximately 38.2 acre site located within Subareas J and G of the PD (the "**Property**"). The Property is currently vacant and unimproved with the exception of remaining building foundations from the Ryerson steel plant, which closed in 2006.

Ryan proposes to construct an approximately 144,043 square foot industrial building together with a surface parking lot containing 591 vehicular parking spaces, 12 truck trailer parking spaces, and 13 loading docks (the "**Proposed Development**"). The proposed building and required accessory parking will be sited entirely within the boundaries of Subarea J, which permits industrial uses such as warehouse and distribution.

The existing improvements within Subarea J were reviewed and approved pursuant to a Site Plan Approval letter issued by the Zoning Administrator on May 9, 2019 ("**Industrial Phase I Approval**"). The Industrial Phase I Approval authorized the construction of an industrial building with a floor area ratio of 0.37 (the "**Industrial Phase I Improvements**"). The overall project FAR for the Proposed Development will be 0.062, which, together with the Industrial Phase I Improvements, results in a total built floor area that is less than the maximum 1.2 FAR permitted within Subarea J.



The proposed building height will be 45 feet, which is less than the maximum building height of 65 feet permitted in Subarea J.

The parking standard for Subarea J requires 1 parking space per 4 employees. Based on an estimate of 300 on-site warehouse and administrative employees and approximately 263 delivery van drivers using company-owned deliver vehicles, the applicable parking standard requires a minimum of 141 vehicular parking spaces provided on-site to serve the proposed use. The proposed plans provide well in excess of 141 parking spaces within Subarea J. The additional parking spaces are provided to accommodate visitors and shift turnover, and to provide operational flexibility for delivery van drivers.

Access to and from the portion of the Property located within Subarea J will be provided via private drive aisles and driveways from Woodlawn Avenue, exclusively for use by the Proposed Development, in the portion of the Property located in Subarea G, which has direct access and frontage on Woodlawn Avenue, as depicted on the Pullman Park overall aerial exhibit. The current owner of the Property has submitted a subdivision application to create a one-lot subdivision covering all of the Property, with direct frontage on Woodlawn. Ryan has also submitted an application to amend the PD to consolidate the Property as a single subarea for zoning purposes, also with direct frontage on Woodlawn.

Ryan intends to achieve the sustainability requirement for the Proposed Development by earning 100 points under the City's Sustainable Development Policy in the following manner:

70 Points	2 Green Globes
10 Points	7.5 EV Charging Stations
10 Points	8.1 80% Waste Diversion
10 Points	9.2 Bird Protection Enhanced

Additional documentation for each strategy will be submitted and approved prior to Part II approval, as required by the Chicago Sustainable Development Program handbook.

The Proposed Development will comply with the requirements of the Landscape Ordinance. A total of 536 trees are required for Subarea J. As depicted on the enclosed site plan, all are provided on-site.

The proposed improvements are depicted on the enclosed site and landscape plans, prepared by SpaceCo Inc, and building elevations and floor plans prepared by BL Companies.

Thank you for your consideration of this site plan approval request. If you need any additional information, please contact me or my colleague, Liz Butler, at (312) 368-4092.



Very truly yours,

DLA Piper LLP (US)

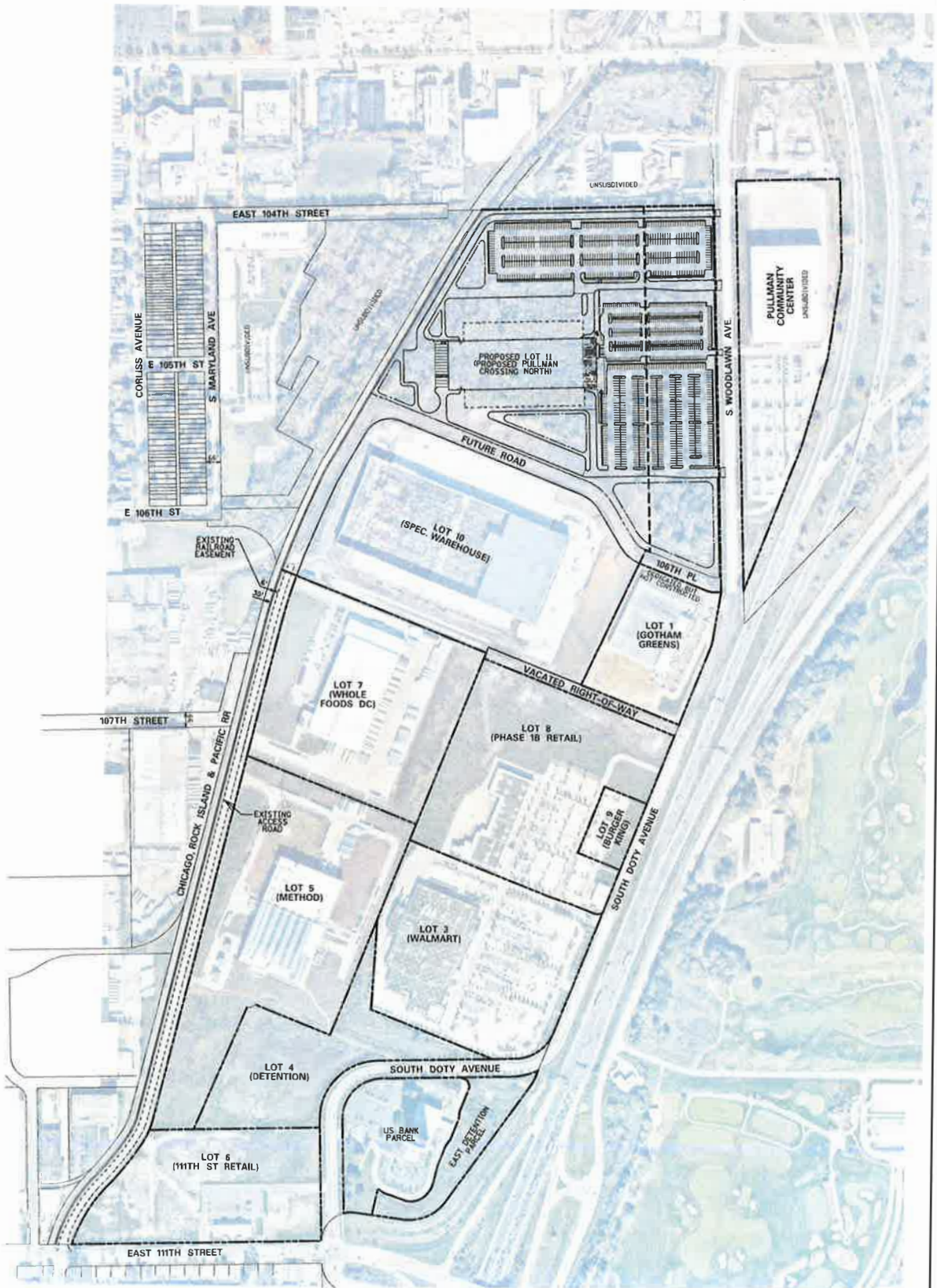
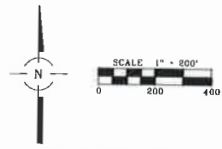
A handwritten signature in blue ink that reads 'Mariah F. DiGrino'. The signature is written in a cursive style with a long horizontal line extending from the end.

Mariah F. DiGrino

Enclosures

cc (via e-mail): Liz Butler

PULLMAN PARK EXHIBIT



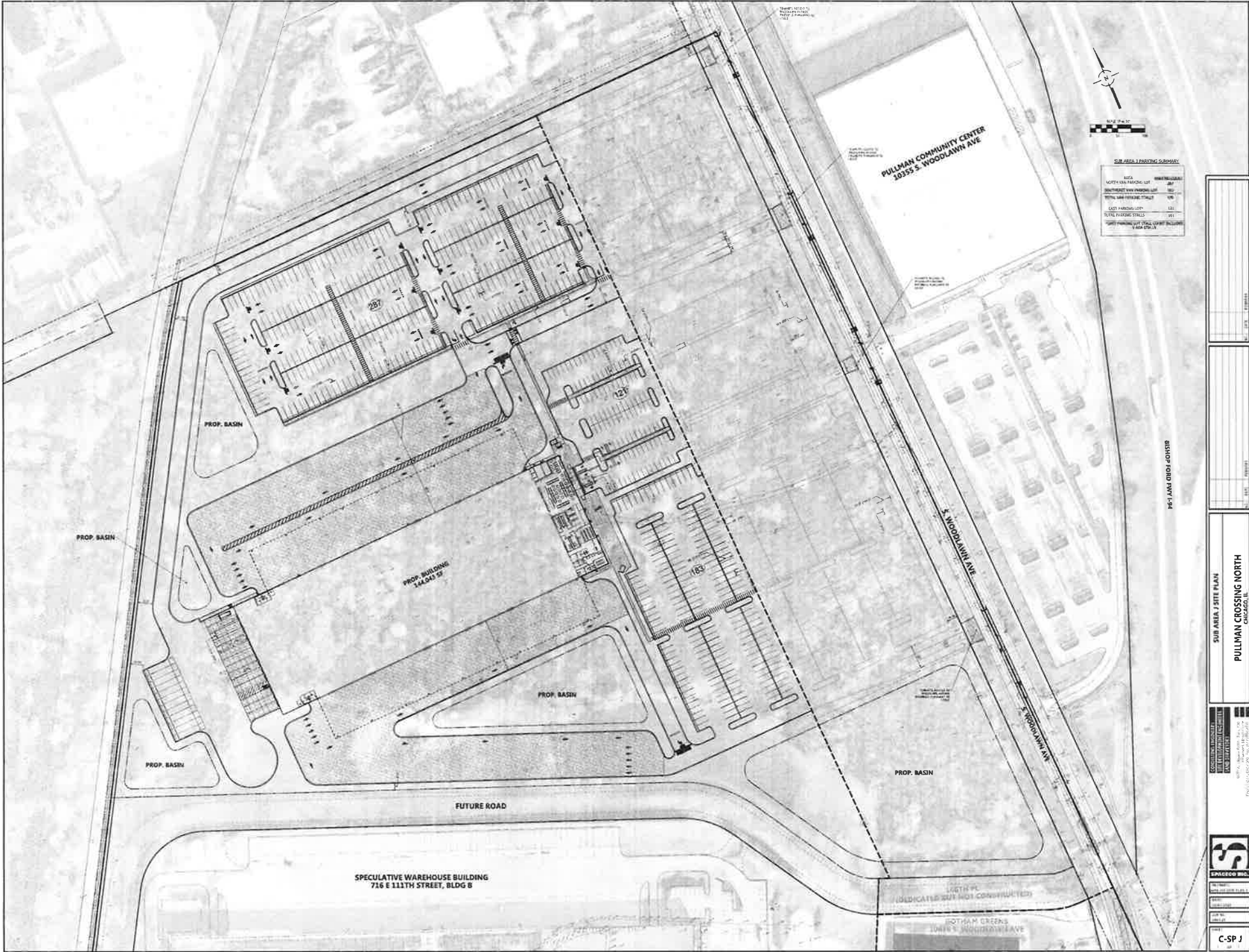
REVISIONS



CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

DATE: 02/07/2020
JOB NO: 1484-24
FILENAME: 1201-01 RETAIL
SHEET: 4 OF 4

1170 N. Higgins Road, Suite 200
 Chicago, IL 60642-1170
 Phone: 312-934-0233 Fax: 312-934-0232



North Arrow
Graphic Scale
Scale: 1" = 100'



SUB AREA 1 PARKING SUMMARY

AREA	NUMBER OF SPACES
NORTH SIDE PARKING LOT	287
SOUTH SIDE PARKING LOT	131
EAST PARKING LOT	131
SOUTH SIDE PARKING STALLS	91
TOTAL PARKING SPACES INCLUDING VISITOR SPACES	640

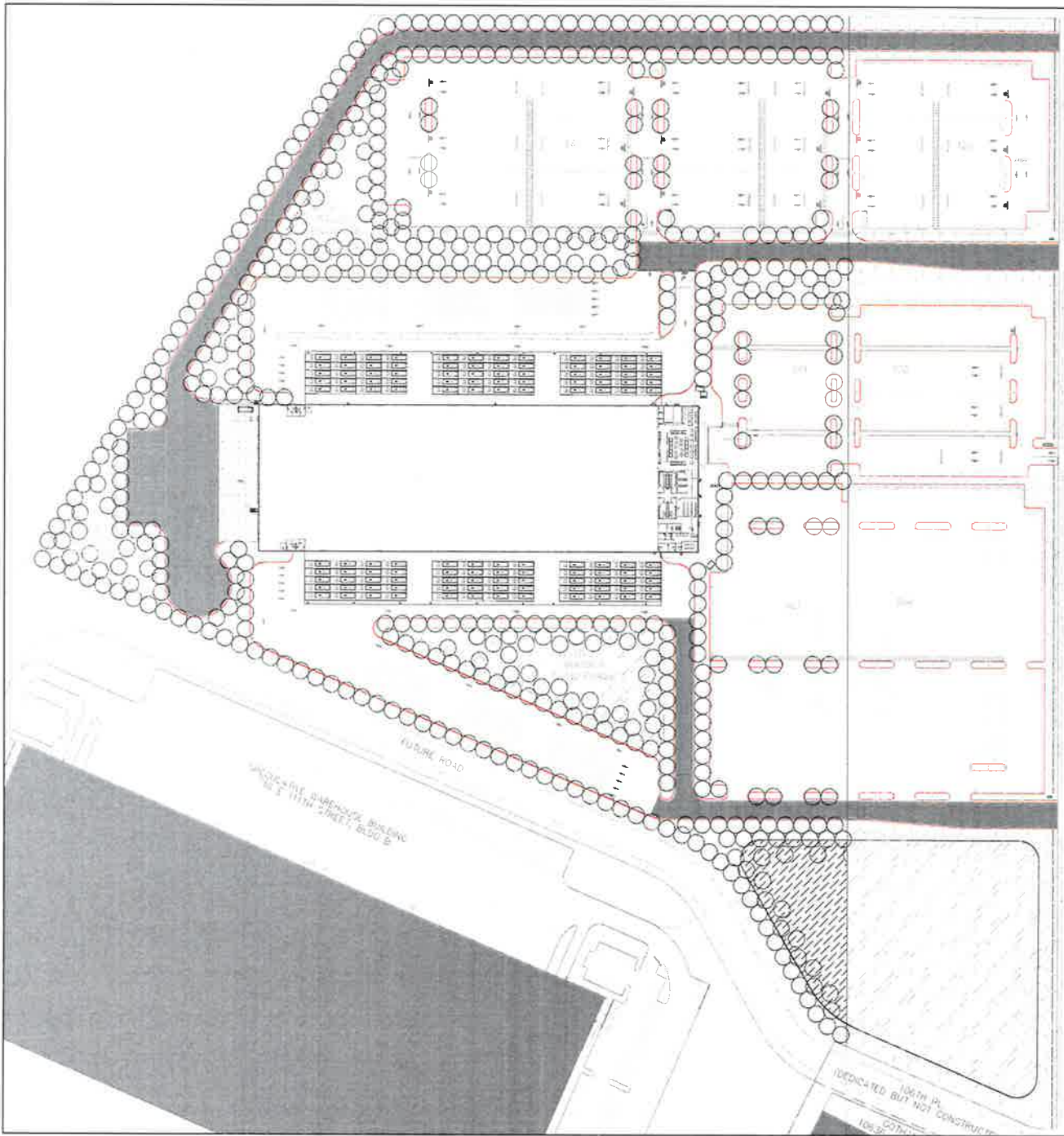
PER LAND OBGDS #01518

SUB AREA 1 SITE PLAN

PULLMAN CROSSING NORTH
CHICAGO, IL



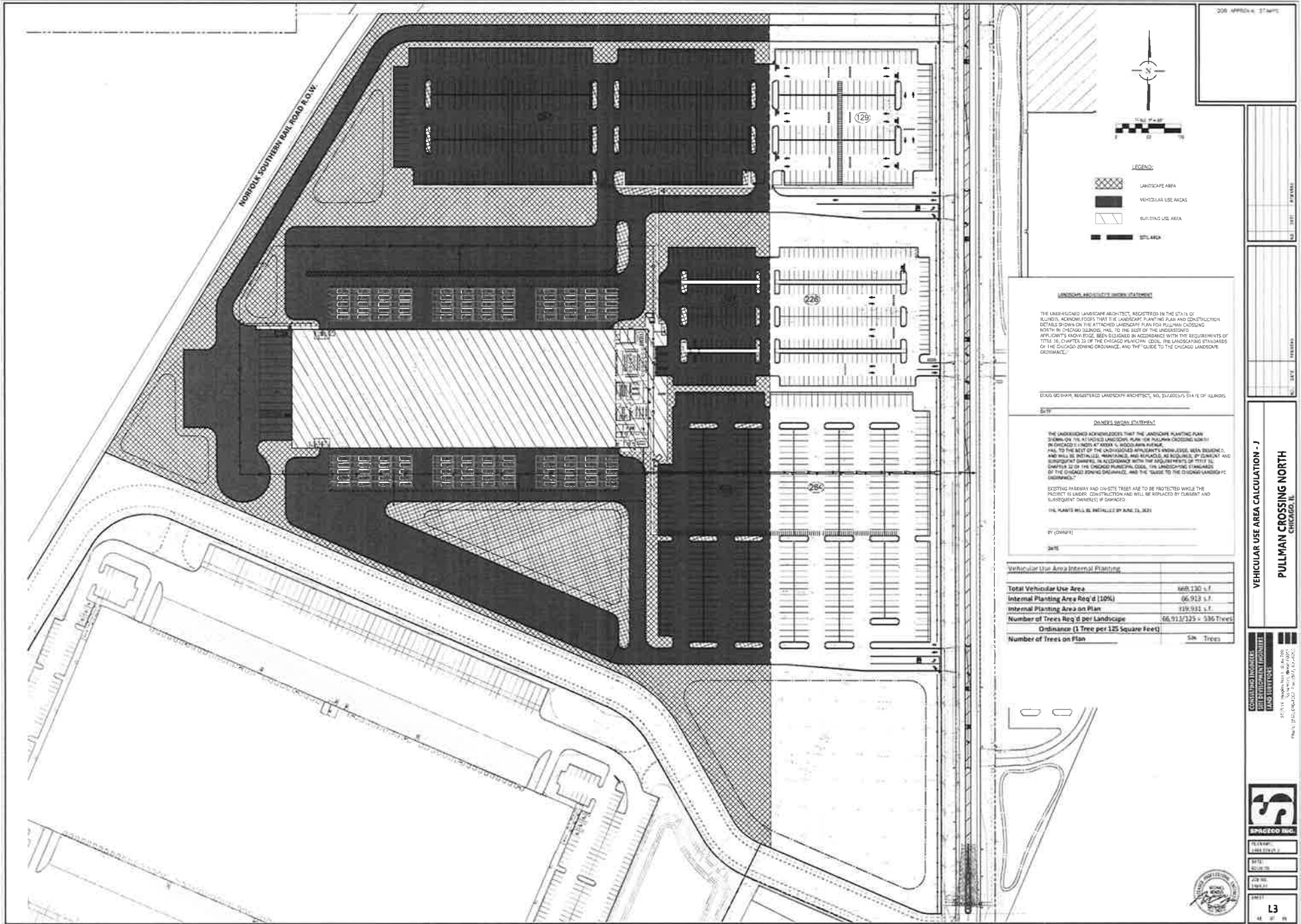
C-SP J



SUB AREA G LANDSCAPE
TOTAL SITE TREES = 536

SUB AREA G LANDSCAPE PLAN PULLMAN CROSSING NORTH 10/16/2018	
PROJECT NO. 100-37-0000	SHEET NO. 100-37-0000-01
DATE 10/16/2018	SCALE AS SHOWN
DRAWN BY J. H. HARRIS	CHECKED BY J. H. HARRIS
PROJECT LOCATION 100-37-0000	PROJECT DESCRIPTION PULLMAN CROSSING NORTH
PROJECT OWNER PULLMAN CROSSING NORTH	PROJECT ARCHITECT J. H. HARRIS
PROJECT ENGINEER J. H. HARRIS	PROJECT LANDSCAPE ARCHITECT J. H. HARRIS





208 APPROVAL STAMPS



- LEGEND:**
- LANDSCAPE AREA
 - VEHICULAR USE AREAS
 - BUILDING USE AREA
 - UTIL AREA

LANDSCAPE ARCHITECT'S DESIGN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO ILLINOIS, HAS, TO THE BEST OF THE UNDERSIGNED ARCHITECT'S KNOWLEDGE, BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 26, CHAPTER 31 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

DOUG GOYER, REGISTERED LANDSCAPE ARCHITECT, NO. 037200375 STATE OF ILLINOIS

OWNER'S DESIGN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR PULLMAN CROSSING NORTH IN CHICAGO ILLINOIS AT 1100 N. WOOD AVE. HAS BEEN PREPARED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY GENERAL AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 26, CHAPTER 31 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

EXISTING PASSENGER AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANS WILL BE REINSTALLED BY DATE 12/31/2021

BY (OWNER):

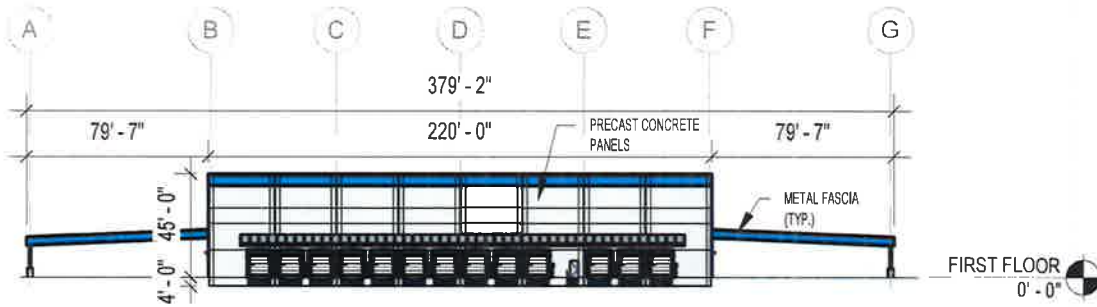
Vehicle Use Area Internal Planting

Total Vehicular Use Area	668,130 s.f.
Internal Planting Area Req'd (10%)	66,813 s.f.
Internal Planting Area on Plan	319,931 s.f.
Number of Trees Req'd per Landscape Ordinance (1 Tree per 125 Square Feet)	66,813/125 = 536 Trees
Number of Trees on Plan	536 Trees

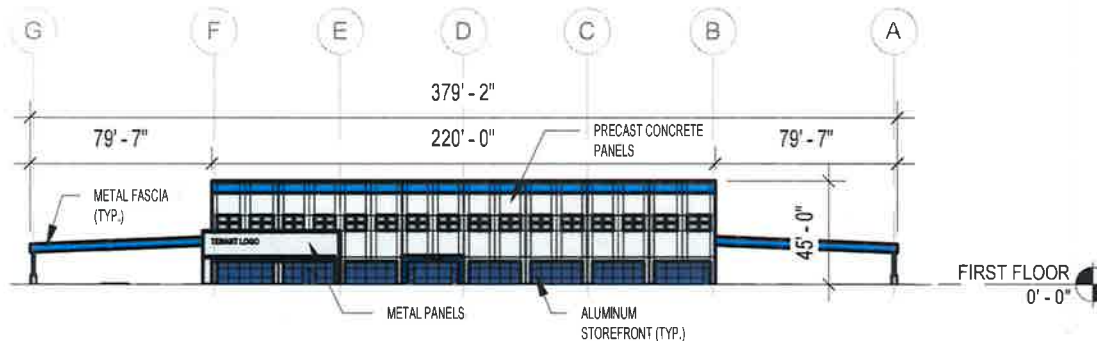
VEHICULAR USE AREA CALCULATION - J
PULLMAN CROSSING NORTH
 CHICAGO, IL

CONTRACT NO. 2021-001
 DATE: 08/11/2021
 PROJECT NO. 2021-001
 SHEET NO. 13





1 WEST ELEVATION - ZONING
NOT TO SCALE



2 EAST ELEVATION - ZONING
NOT TO SCALE

BL Companies
 Architecture
 Engineering
 Environmental
 Land Surveying
 355 Research Parkway
 Meriden, CT 06450
 (203) 630-1406
 (203) 630-2615 Fax

PULLMAN
 10500 S WOODLAWN AVE
 CHICAGO, IL 60628
 EXTERIOR ELEVATIONS

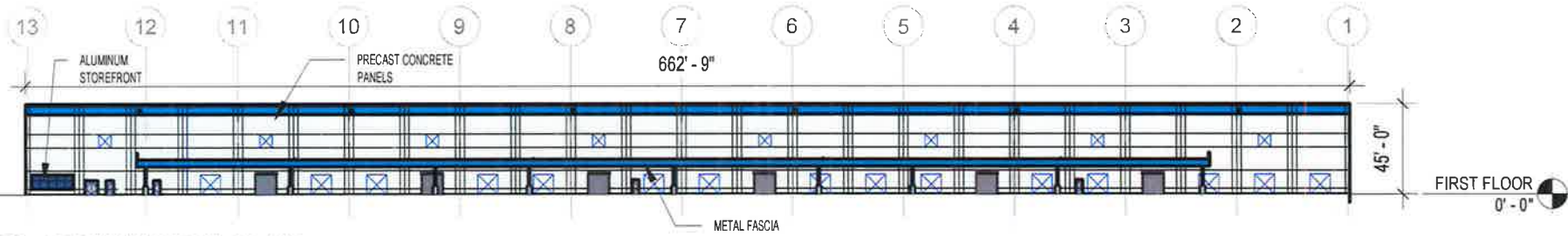
Origin:
 Reference Drawing:
 Drawn: KL
 Reviewed: KH
 Scale: 1" = 80'-0"
 Project No. 2000087
 Date: 03/04/20
 Sheet No. **AS1.02**

C:\Users\Kle\Documents\2000087-ARCH-R18-Central_kle.rvt

3/4/2020 3:58:58 PM



1 SOUTH ELEVATION - ZONING
NOT TO SCALE



2 NORTH ELEVATION - ZONING
NOT TO SCALE



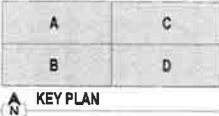
Architecture
Engineering
Environmental
Land Surveying
355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax

PULLMAN
10500 S WOODLAWN AVE
CHICAGO, IL 60628
EXTERIOR ELEVATIONS

Origin:
Reference Drawing:
Drawn: KL
Reviewed: KH
Scale: 1" = 80'-0"
Project No. 2000087
Date: 03/04/20
Sheet No. AS1.01

CONSTRUCTION NOTES

1. THE OWNER HAS PROVIDED ALL INFORMATION AND DATA NECESSARY FOR THE DESIGN AND CONSTRUCTION OF THIS PROJECT.
2. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
3. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
4. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
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11. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
12. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
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15. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
16. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
17. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
18. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
19. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.
20. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND FIELD INVESTIGATIONS TO VERIFY THE INFORMATION PROVIDED BY THE OWNER.



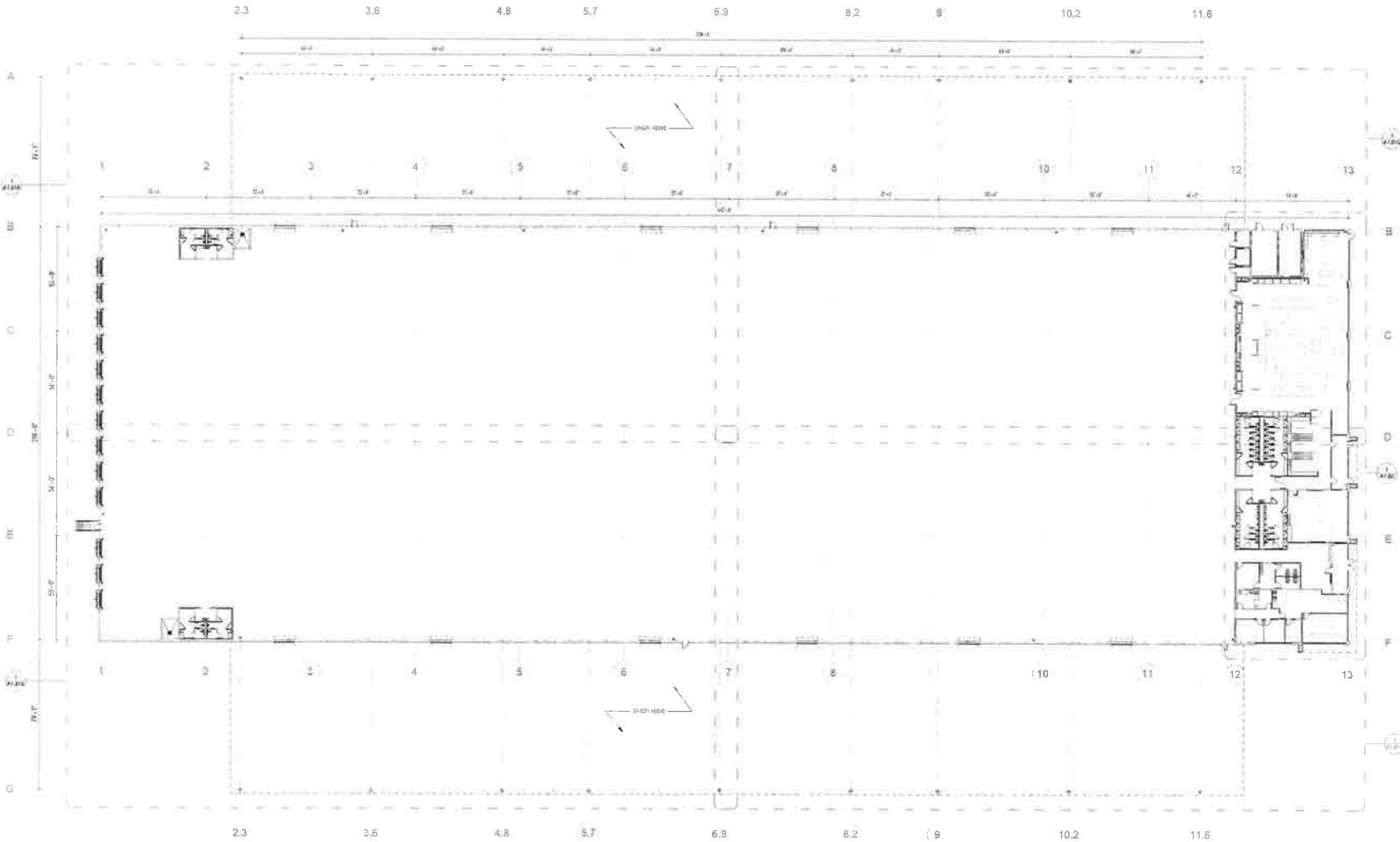
1000 S WOODLAWN AVE
CHICAGO, IL 60628

PULLMAN CROSSINGS
10400 S WOODLAWN AVE
CHICAGO, IL 60628

DATE: 08/11/11
DRAWN BY: [Name]
CHECKED BY: [Name]
DESIGNED BY: [Name]

OVERALL FLOOR PLAN

A1.01



1 OVERALL FLOOR PLAN
364' x 740'





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 9, 2019

Mariah DiGrino
Partner
DLA Piper LLP (US)
444 West Lake Street, Suite 900
Chicago, Illinois 60606-0089

Re: Site Plan Review for Business-Residential-Institutional Planned Development No. 1167, Subarea J, generally located at 716 E 111th Street, Building B.

Dear Ms. Mariah DiGrino:

Please be advised that your request for site plan approval for Business-Residential-Institutional Planned Development No. 1167 ("PD 1167"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-1 3-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project consists of the construction of a 400,000 square foot industrial building in Subarea J of PD 1167. The proposed project will have an overall height of 46' that complies with the maximum height of 65' allowed in Subarea J. The 1,074,099 square foot site will also be improved with landscaping, a trash enclosure and a parking lot consisting of 356 accessory parking spaces. The proposed Floor Area Ratio of 0.37 is well below the allowable 1.2 FAR for Subarea J. The proposed building will be primarily built with insulated precast wall system, and prefinished metal fascia. The request for approval includes the following attached documents prepared by Space Co. Inc. and Harris Architects, Inc.:

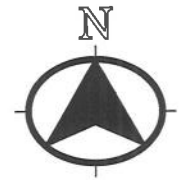
- Site Plan (5.9. 19) Sheets no. 1-3
- Truck Turn Exhibit – Sheet 1 (4.2.1 9)
- Building Elevations – Sheets A2.0 and A2.1.
- L-1.0 Landscape Plan (5.9.19) Sheets no. 1-5
- Pullman Park Exhibit (11.9.18) Sheet no. 1

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of PD 1167. Accordingly, this site plan submittal is hereby approved as conforming to PD 1167. This site plan approval does not cover any signage, which must be covered by a separate application.

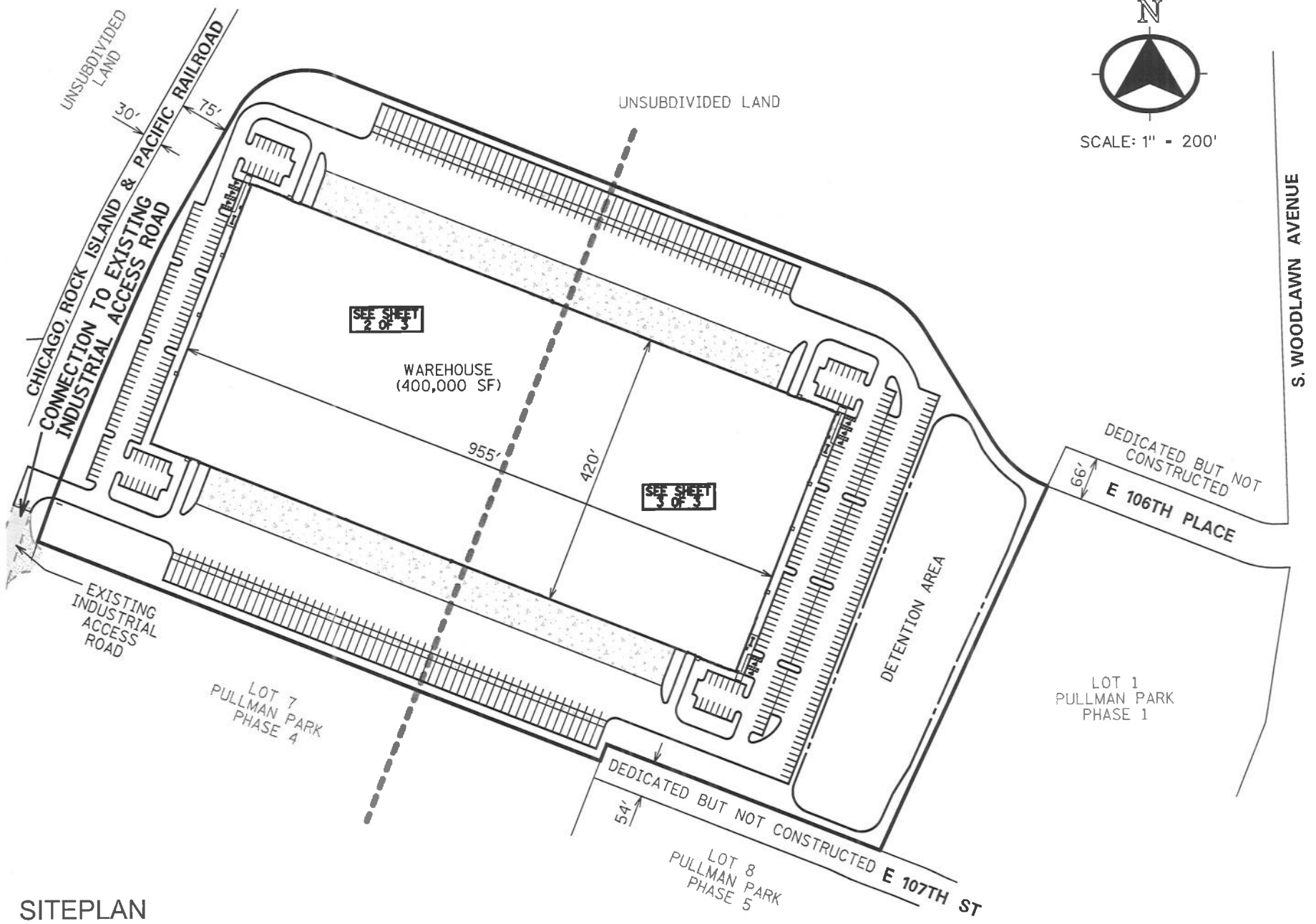
Zoning Administrator

Originated by: Fernando Espinoza

cc: Erik Glass, DPD
Mike Marmo, DPD
Nancy Radzevich, DPD

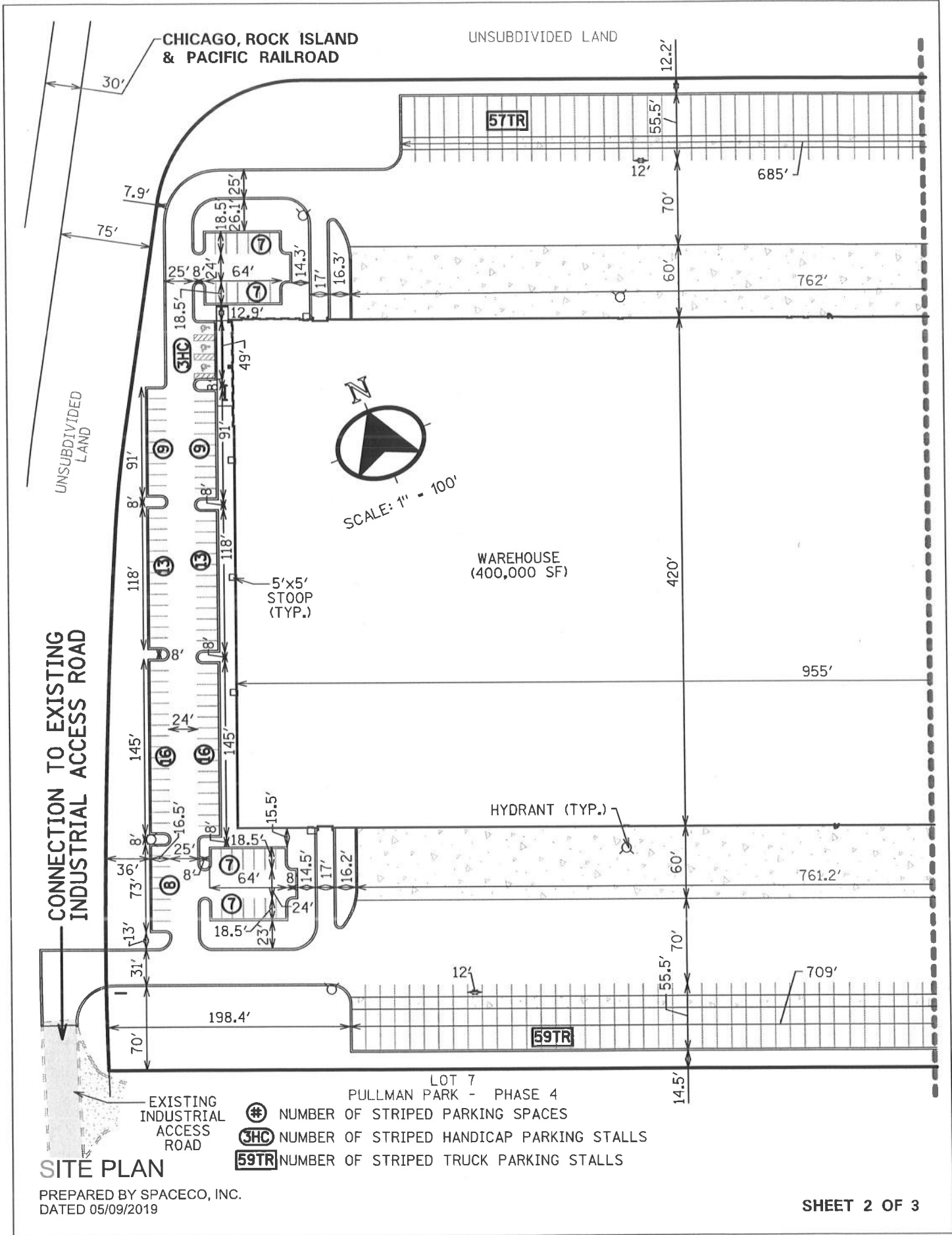


SCALE: 1" = 200'



SITEPLAN

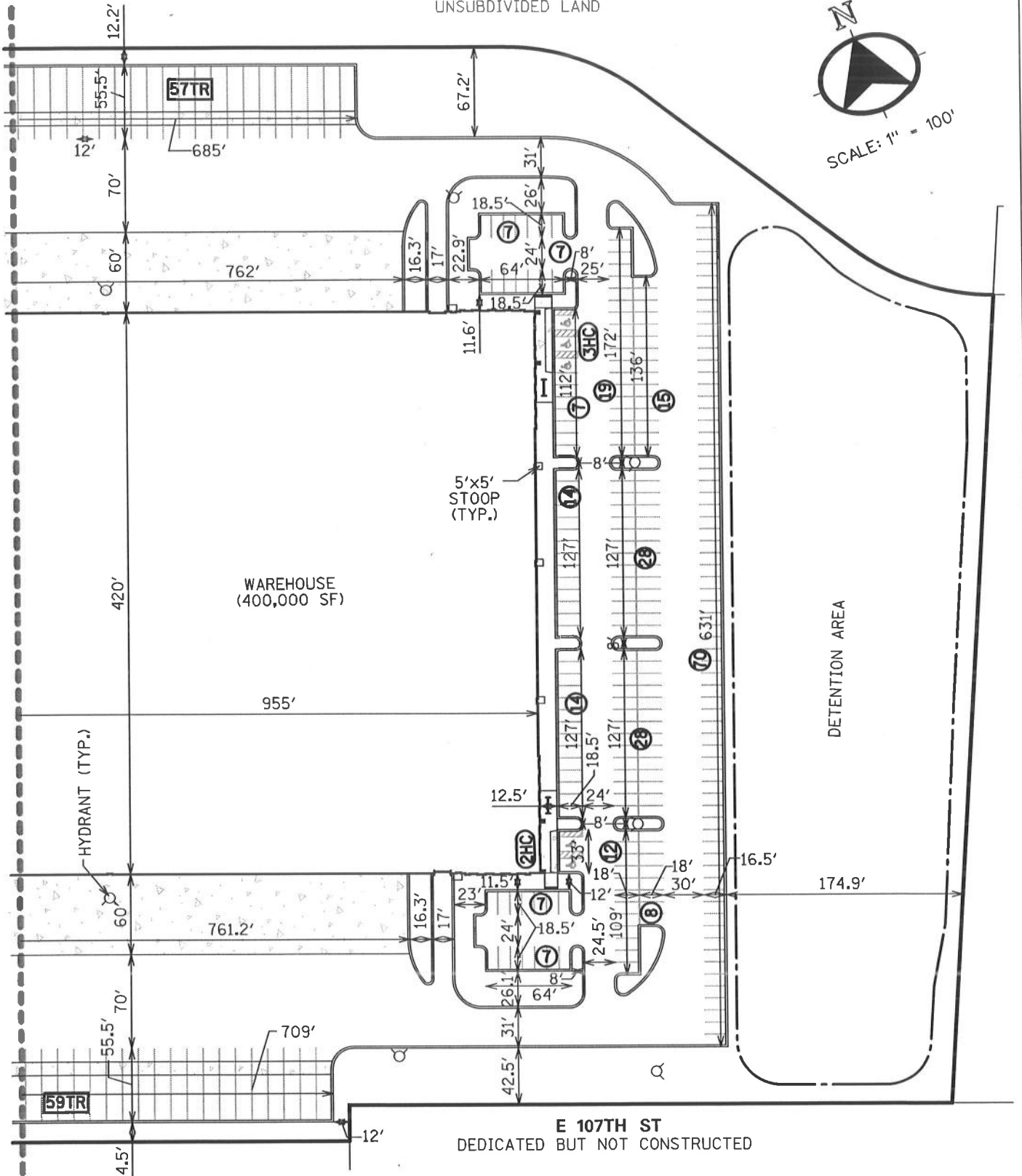
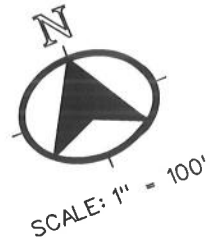
PREPARED BY SPACECO, INC.
DATED 05/09/2019



SITE PLAN

PREPARED BY SPACECO, INC.
DATED 05/09/2019

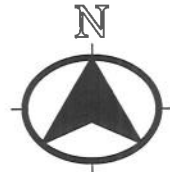
UNSUBDIVIDED LAND



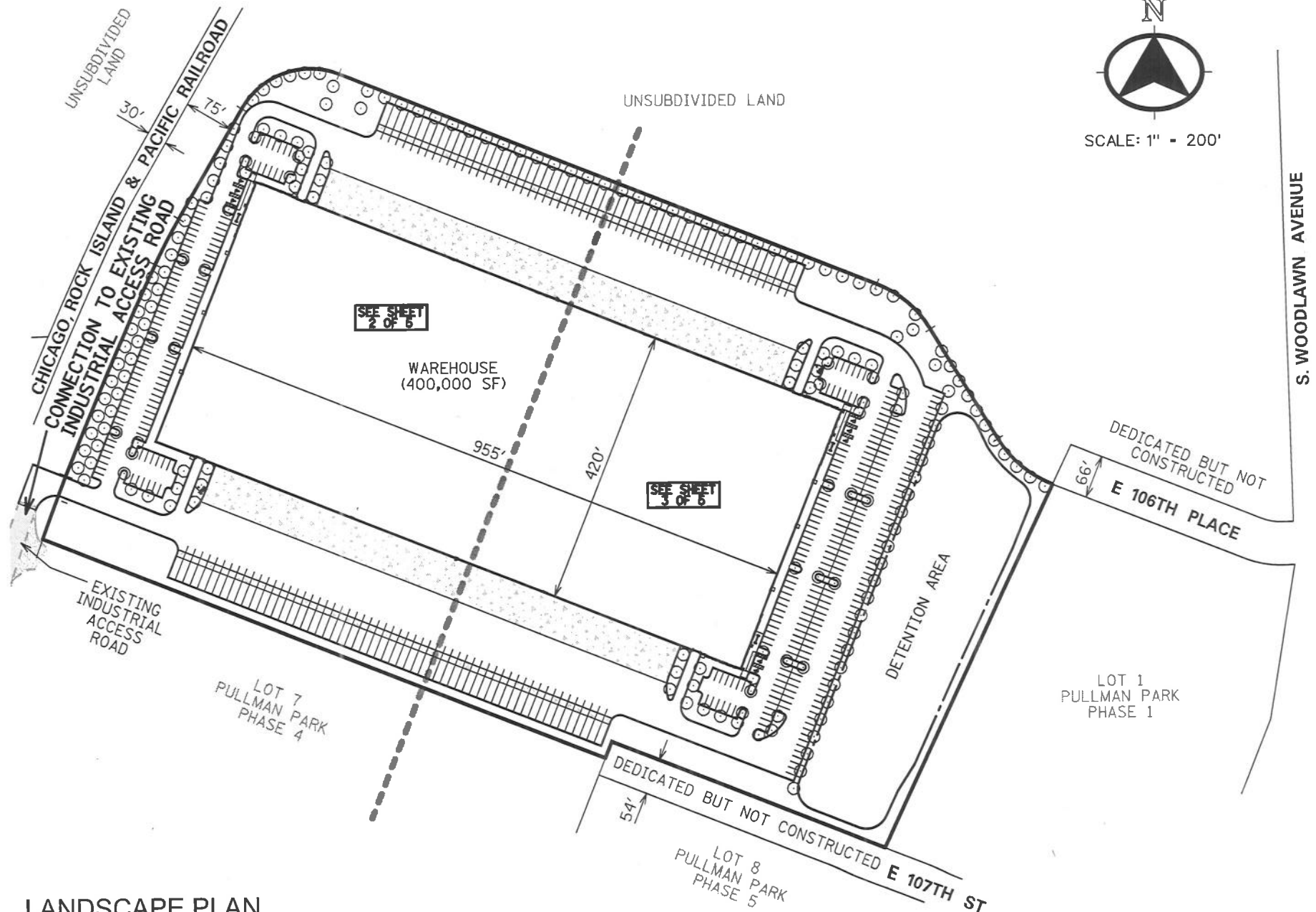
- # NUMBER OF STRIPED PARKING SPACES
- 3HC NUMBER OF STRIPED HANDICAP PARKING STALLS
- 59TR NUMBER OF STRIPED TRUCK PARKING STALLS

SITE PLAN

PREPARED BY SPACECO, INC.
DATED 05/09/2019

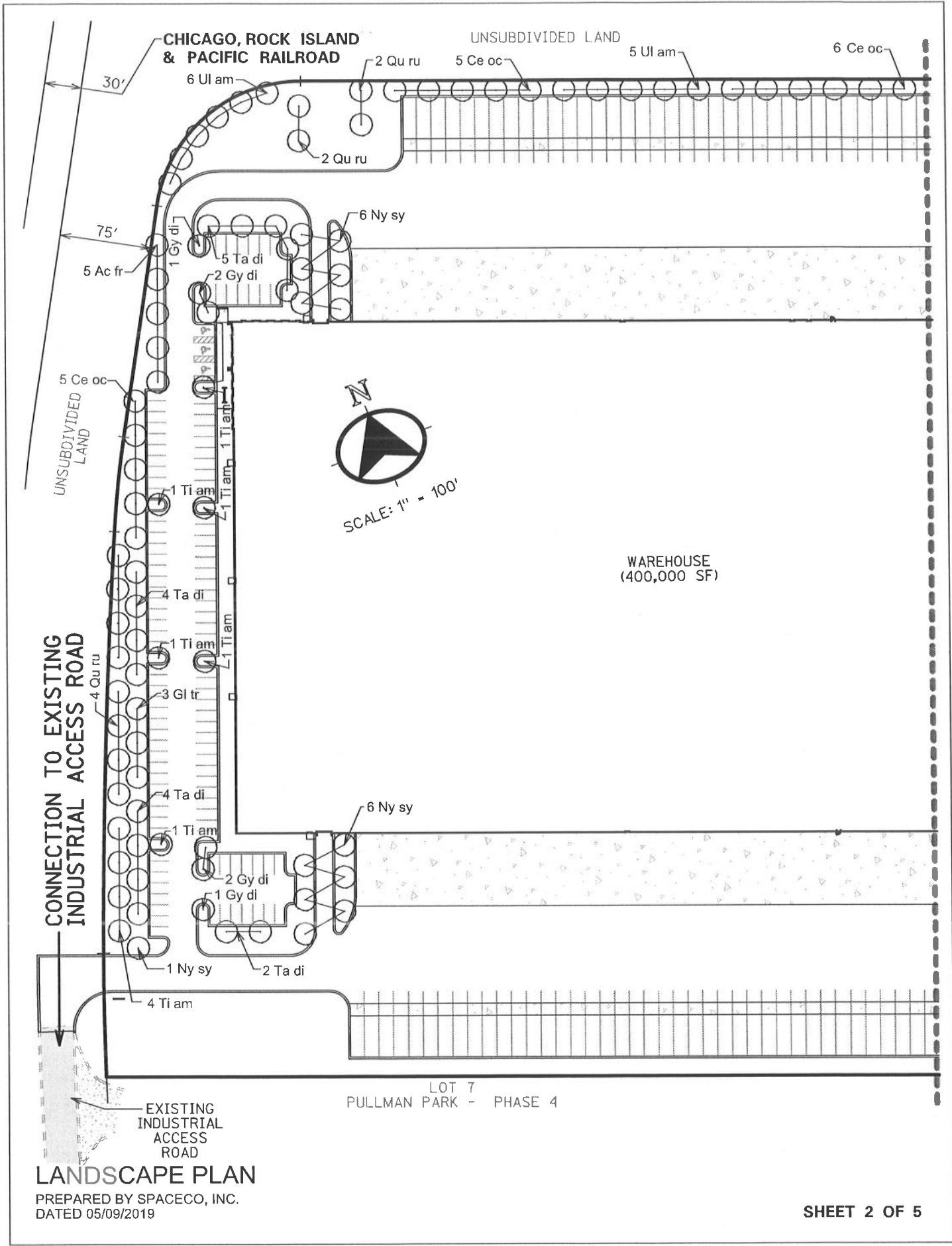


SCALE: 1" = 200'



LANDSCAPE PLAN

PREPARED BY SPACECO, INC.
DATED 05/09/2019



CHICAGO, ROCK ISLAND & PACIFIC RAILROAD

UNSUBDIVIDED LAND

CONNECTION TO EXISTING INDUSTRIAL ACCESS ROAD

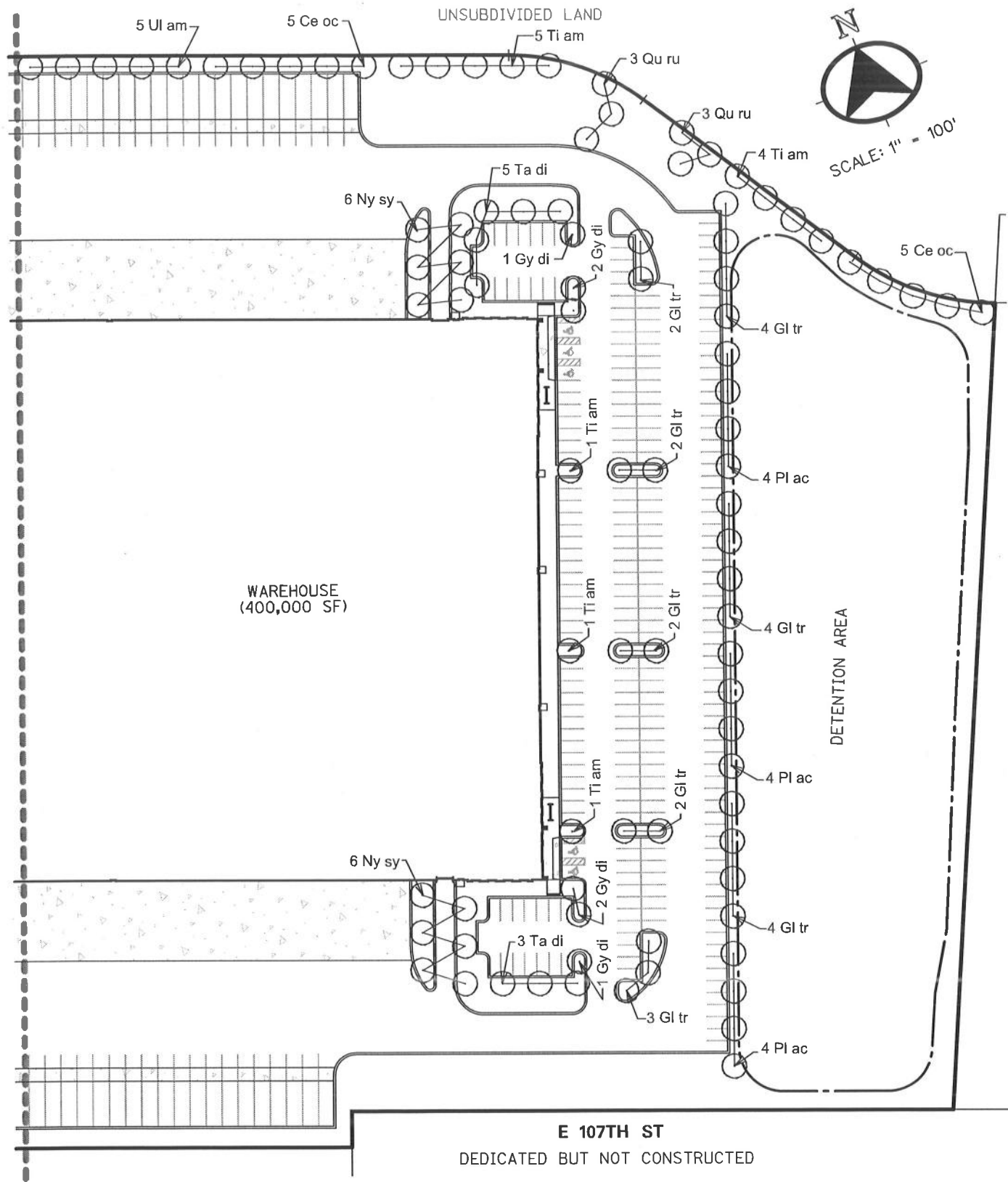
EXISTING INDUSTRIAL ACCESS ROAD

WAREHOUSE (400,000 SF)

LOT 7 PULLMAN PARK - PHASE 4

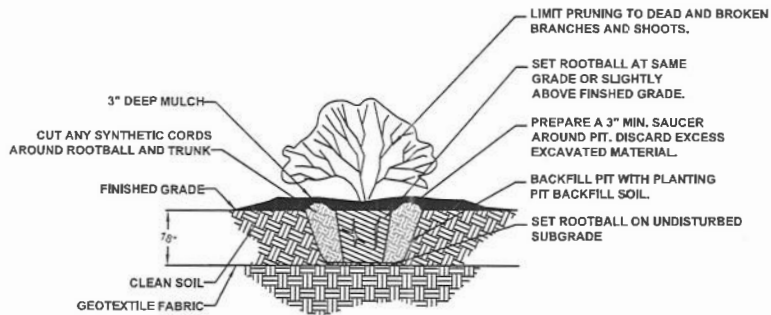
LANDSCAPE PLAN

PREPARED BY SPACECO, INC.
DATED 05/09/2019

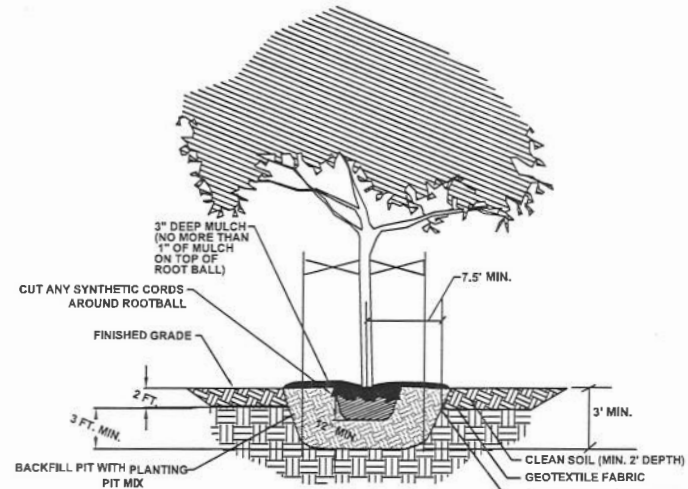


LANDSCAPE PLAN

PREPARED BY SPACECO, INC.
 DATED 05/09/2019



SHRUB PLANTING DETAIL
NO SCALE



TREE PLANTING DETAIL
NO SCALE

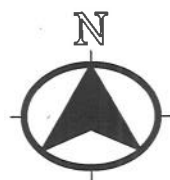
PLANT LIST

Sym.	Botanical Name	Common Name	Qty.	Size	Cond.
Deciduous Trees					
Ac fr	<i>Acer freemanii</i> 'Jeffers Red'	Autumn Blaze Freeman Maple	5	2.5"	B & B
Ce oc	<i>Celtis occidentalis</i> 'Chicagoland'	Chicagoland Hackberry	26	2.5"	B & B
Gl tr	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Honeylocust	26	2.5"	B & B
Gy di	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	12	2.5"	B & B
Ny sy	<i>Nyssa sylvatica</i>	Tupelo	25	2.5"	B & B
Pl ac	<i>Platanus acerifolia</i> 'Morton Circle'	Exclamation London Plane Tree	16	2.5"	B & B
Qu ru	<i>Quercus rubra</i>	Northern Red Oak	14	2.5"	B & B
Ta d	<i>Taxodium distichum</i>	Bald Cypress	23	2.5"	B & B
Ti am	<i>Tilia americana</i> 'Redmond'	Redmond Linden	26	2.5"	B & B
Ul am	<i>Ulmus americana</i> 'Princeton'	Princeton Elm	16	2.5"	B & B
			189		

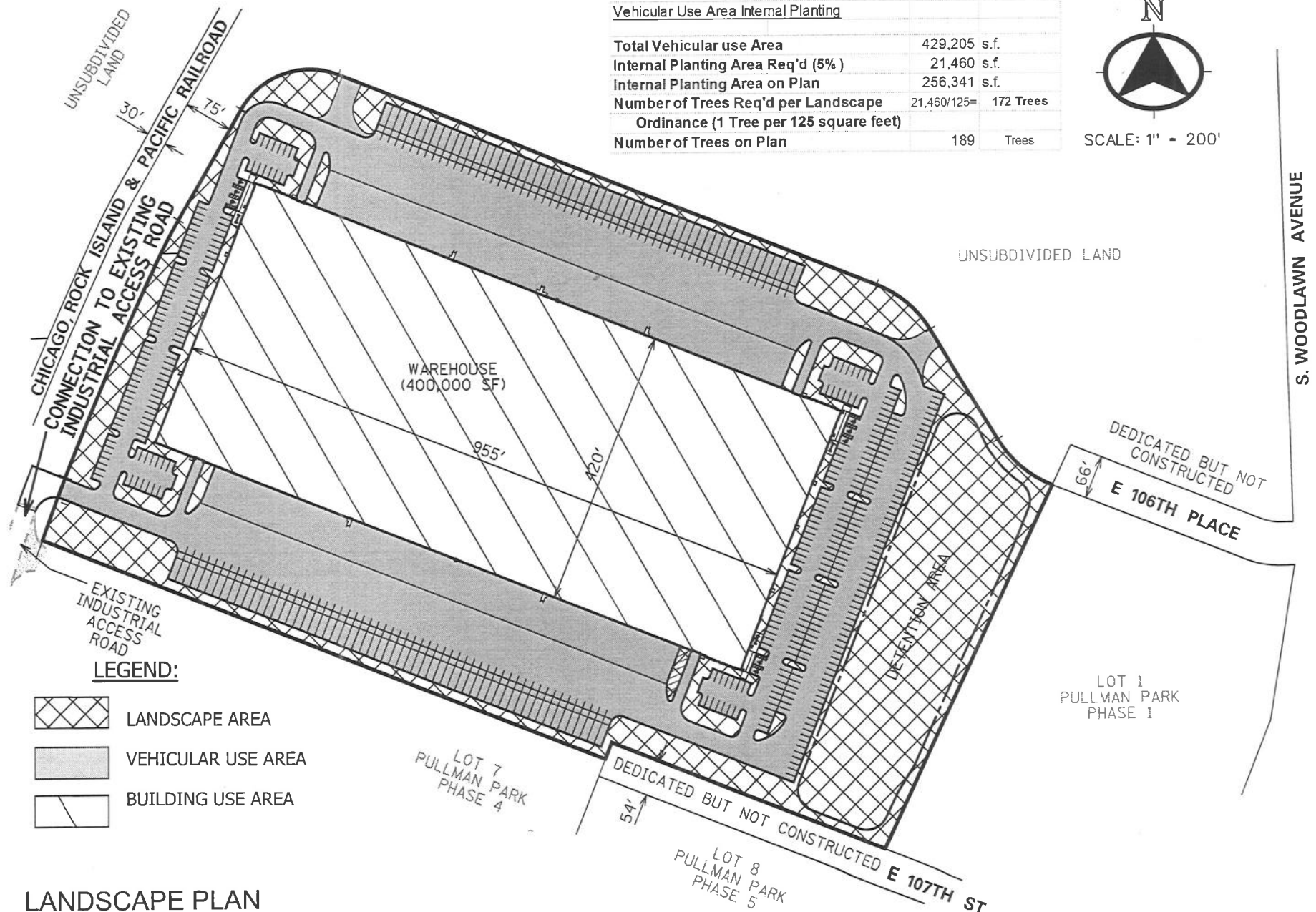
LANDSCAPE PLAN

PREPARED BY SPACECO, INC.
DATED 05/09/2019

Vehicular Use Area Internal Planting	
Total Vehicular use Area	429,205 s.f.
Internal Planting Area Req'd (5%)	21,460 s.f.
Internal Planting Area on Plan	256,341 s.f.
Number of Trees Req'd per Landscape Ordinance (1 Tree per 125 square feet)	$21,460/125 = 172$ Trees
Number of Trees on Plan	189 Trees



SCALE: 1" = 200'

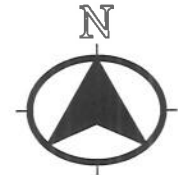


LEGEND:

- LANDSCAPE AREA
- VEHICULAR USE AREA
- BUILDING USE AREA

LANDSCAPE PLAN

PREPARED BY SPACECO, INC.
DATED 05/09/2019



SCALE: 1" = 200'

UNSUBDIVIDED LAND

UNSUBDIVIDED
LAND

CHICAGO, ROCK ISLAND & PACIFIC RAILROAD

30'

75'

WAREHOUSE
(400,000 SF)

955'

420'

DETENTION AREA

DEDICATED BUT NOT
CONSTRUCTED
E 106TH PLACE

LOT 1
PULLMAN PARK
PHASE 1

LOT 7
PULLMAN PARK
PHASE 4

DEDICATED BUT NOT CONSTRUCTED
E 107TH ST

LOT 8
PULLMAN PARK
PHASE 5

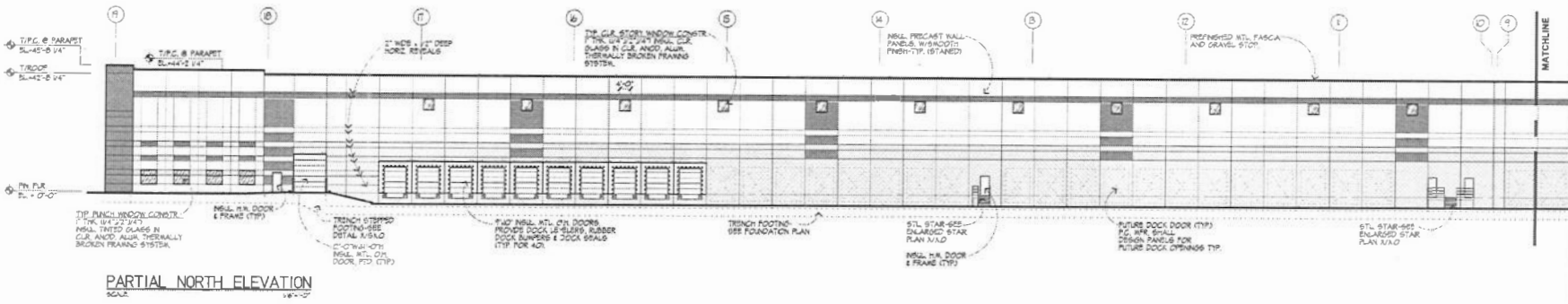
54'

66'

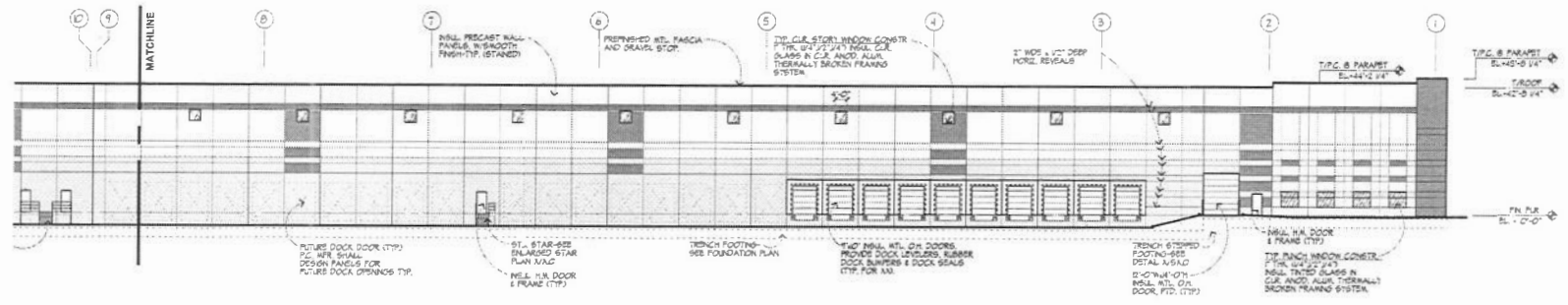
TRUCK TURN EXHIBIT

PREPARED BY SPACECO, INC.
DATED 05/09/2019

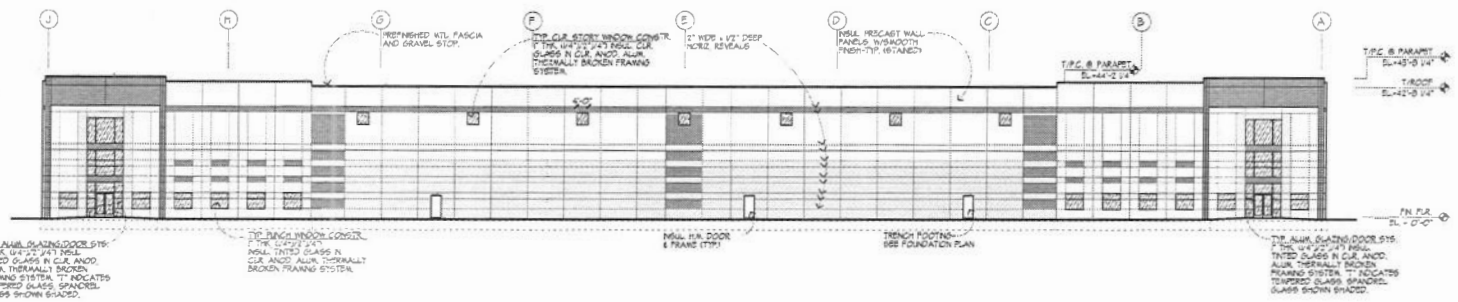
SHEET 1 OF 3



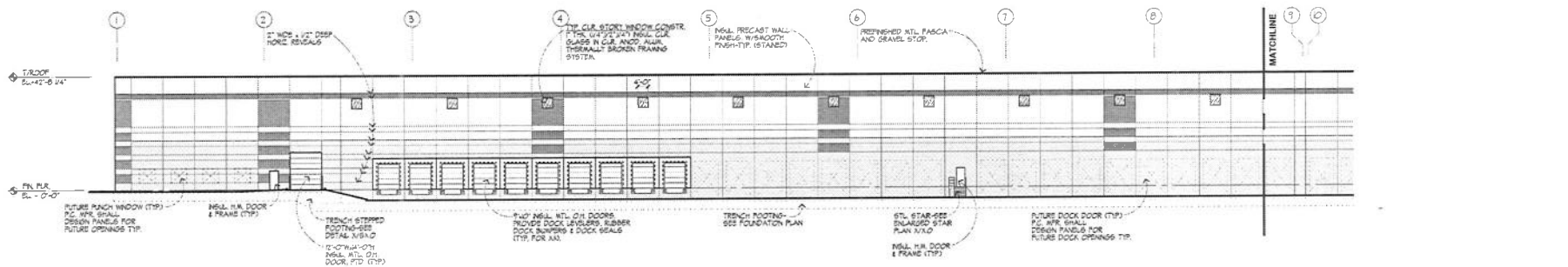
PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



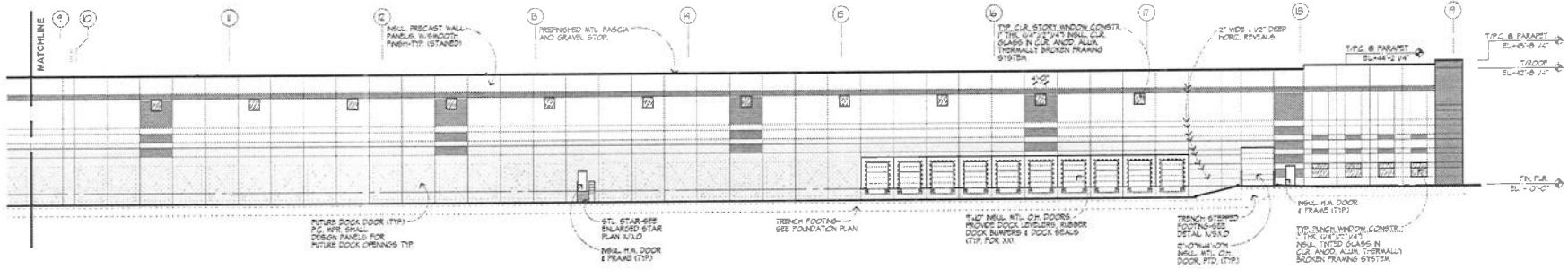
PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



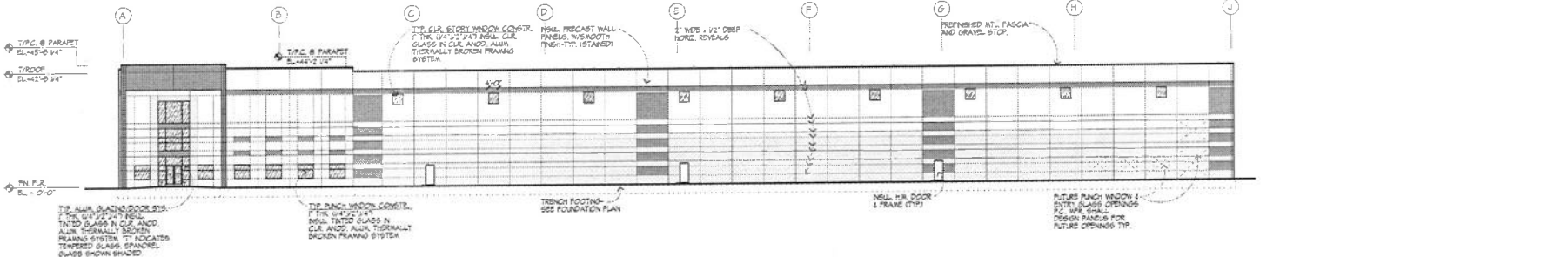
EAST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL SOUTH ELEVATION
SCALE 1/8"=1'-0"



PARTIAL SOUTH ELEVATION
SCALE 1/8"=1'-0"



WEST ELEVATION
SCALE 1/8"=1'-0"



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

April 16, 2019

Warren Johnson
Warren Johnson Architects Inc.
19 North Greeley Street
Palatine, Illinois 60067

**Re: Site Plan Review for Business-Residential-Institutional Planned Development
No. 1167, Subarea A, generally located at 10800 S. Doty Avenue**

Dear Mr. Johnson:

Please be advised that your request for site plan approval for Business-Residential-Institutional Planned Development No. 1167 ("PD 1167"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project consists of the construction of a 2,866 square foot commercial fast food restaurant with a drive through service window at 10800 S. Doty Avenue in Subarea A of PD 1167. The proposed project will have an overall height of 18' which is in compliance with the maximum height of 50' allowed in Subarea A. The 65,600 square foot site will also be improved with landscaping, a trash enclosure and a parking lot consisting of 63 accessory parking spaces and 12 bicycle parking spaces.

The proposed Floor Area Ratio of 0.044 is well below the allowable 0.75 FAR for Subarea A. The proposed building will be primarily clad in Nichiha fiber cement panels, ceramic tile, aluminum trim, metal coping and an aluminum commercial storefront glazing system. The request for approval includes the following attached documents prepared by Warren Johnson Architects, Inc.:

- SCP-1 Overall Site Plan (4.2.19)
- SP-1 Architectural Site Plan (4.2.19)
- SP-2 Site Details (4.2.19)
- SP-3 Site Details (4.2.19)
- L-0.0 Tree Survey (1.8.19)
- L-0.1 Tree Survey Images (1.8.19)
- L-0.2 Tree Survey Images (1.8.19)
- L-1.0 Landscape Plan (4.2.19)
- L-2.0 Landscape Detail (4.2.19)
- A-1 Floor Plan (11.16.18)
- A-2 Exterior Elevations (11.16.18)
- A-2.1 Exterior Finishes (11.16.18)
- CE-1 Colored Elevations (11.16.18)
- Colored Rendering

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of PD 1167.

Accordingly, this site plan submittal is hereby approved as conforming to PD 1167. This site plan approval does not cover any signage, which must be covered by a separate application.

Sincerely,



Patrick Murphey
Zoning Administrator

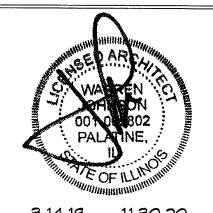
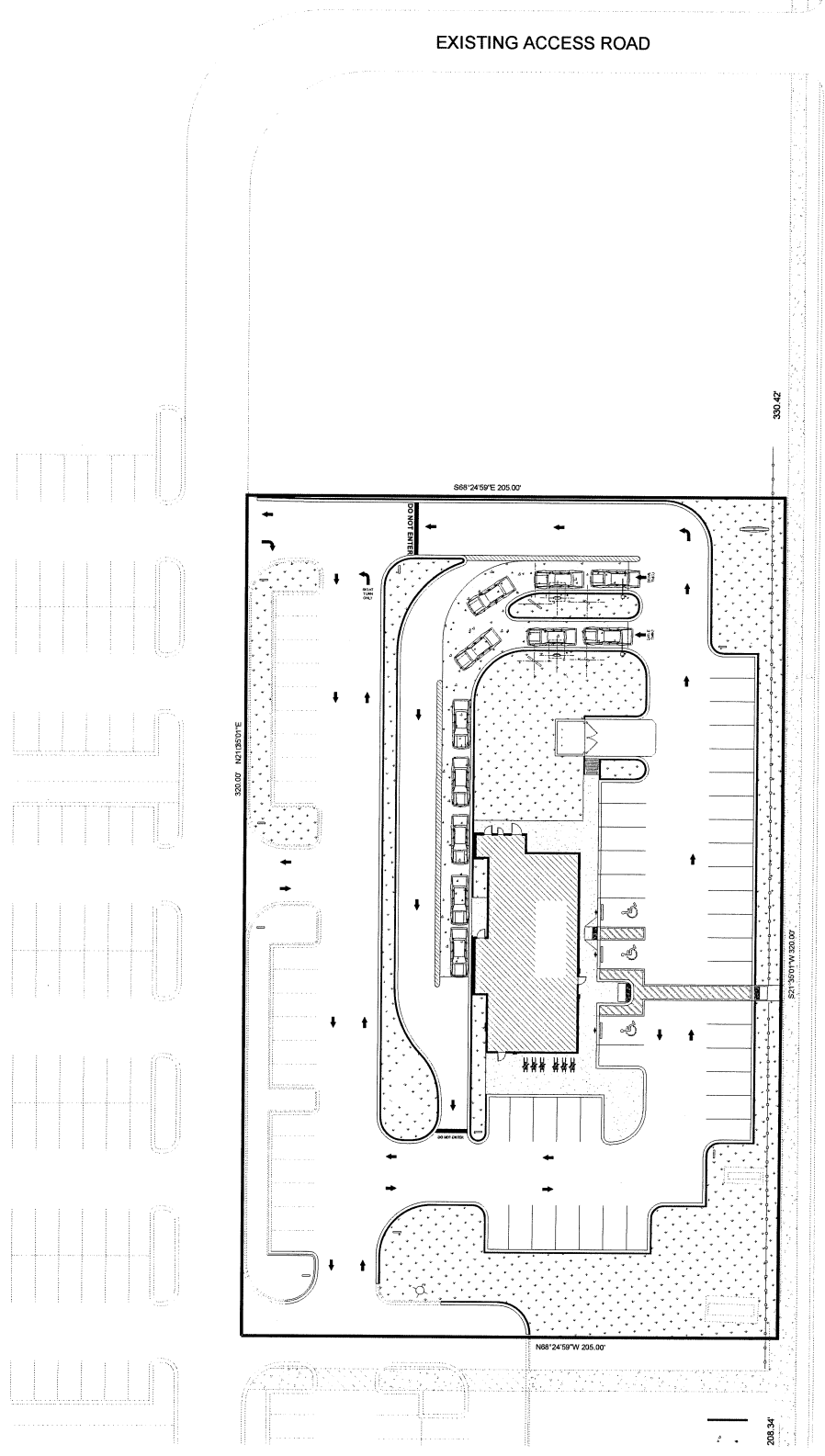
Originated by: Heidi Sperry

cc: Robb Pomis, Warren Johnson Architects Inc.
Erik Glass, DPD
Mike Marmo, DPD
Heidi Sperry, DPD
Planned Development files



SATELLITE IMAGE
SCALE: N.T.S.

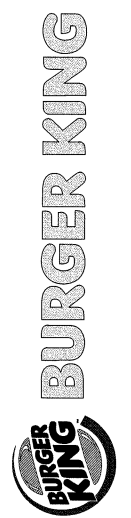
SITE PLAN
SCALE: 1" = 30'



3.14.19 DATE
11.30.20 LIC. EXPIRES

WARREN JOHNSON ARCHITECTS, INC.

19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616



ISSUE DATES / REVISIONS	
CDOT REVISIONS	4.2.19
SITE PLAN REVIEW REVISION	9.12.19
SITE PLAN REVIEW	12.20.19

NO.	DESCRIPTION	DATE
1	DRAWN BY: T. MILLIE	
2	CHECKED BY: W. JOHNSON	
3	DATE: 8.21.2018	
4	PROJECT NO: 18026	

BURGER KING
OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(FULLMAN PARK)

SHOPPING CENTER
PLAN

SHEET

SCP-1

ONE OF ONE

PARKING NOTES

PARKING (PER CHICAGO ZONING ORDINANCE - PD 1161, SUB-AREA A.):
REQUIRED: NONE FOR THE FIRST 10,000SF, THEN 2.5 SPACES/1000SF

2866 SF/1000 X 2.5 = 7 STALLS REQUIRED

REQUIRED NUMBER OF HANDICAP STALLS (PER ILLINOIS ACCESSIBILITY CODE):
1 PER 1-25 STALLS
2 PER 26-50 STALLS
3 PER 51-75 STALLS
4 PER 76-100 STALLS

PROVIDED:
60 STALLS
3 ADA STALLS
63 TOTAL STALLS **

** TOTAL PARKING STALLS CONSIDERED PART OF OVERALL PLANNED DEVELOPMENT (PD 1161, SUB-AREA A)

OFF-STREET LOADING (LOADING NOT REQUIRED < 4,999 SQ. FT.):
0 REQUIRED
0 PROVIDED

BICYCLE PARKING REQUIRED: 1 PER 5 AUTO SPACES = 12 SPACES REQUIRED
BICYCLE PARKING PROVIDED: 12 SPACES PROVIDED - (2) BIKES PER RACK

ZONING NOTES

SITE INFORMATION:
AREA: 65,600 SQUARE FEET = 1.51 ACRES
USE: 161, SUB-AREA A, OUT LOT #9 = COMMERCIAL FAST FOOD RESTAURANT

BUILDING INFORMATION:
CONSTR. TYPE: V-B (NON-SPRINKLERED)
OCCUPANCY: "F" MERCANTILE
AREA: 2866 SQUARE FEET (GROSS)
HEIGHT: 18 FEET (MAIN BUILDING, TOP OF LIGHT BAND)
21 FEET (HIGHEST TOXER PROTRUSION)

SEATING INFORMATION:
62 FIXED SEATS

BUILDING SETBACK DISTANCE FROM PROPERTY LINES (PER CHICAGO ZONING ORDINANCE - PD 1161 SUB AREA A.):

FRONT YARD	REQUIRED 0'-0"	PROVIDED 77'-1"
NORTH SIDE YARD:	0'-0"	128'-6"
SOUTH SIDE YARD:	0'-0"	107'-11"
REAR YARD:	0'-0"	92'-7"

LOT COVERAGE REQUIREMENT

MAX FLOOR AREA RATIO (PER CHICAGO ZONING ORDINANCE - PD 1161 SUB AREA A.):
REQUIRED: .75
PROVIDED: .044

SEE LANDSCAPE PLAN FOR LANDSCAPE REQUIREMENTS
LANDSCAPE REGION INCLUDED IN CALCULATION

DRIVE-THRU NOTES

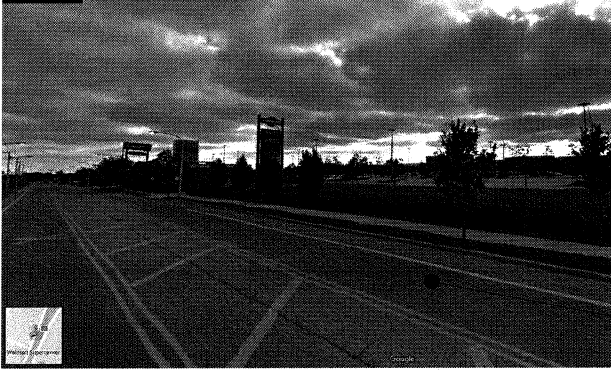
DRIVE-THRU STACKING (PER CHICAGO ZONING ORDINANCE - SECTION 11-4-0106):
REQUIRED: 3 VEHICLES
PROVIDED: 4 VEHICLES AT ORDER WINDOWS
11 TOTAL BEHIND PICK UP WINDOW



STREET VIEW 1



STREET VIEW 2



STREET VIEW 3



STREET VIEW 4

EXISTING FENCE TO REMAIN
DOTY AVENUE

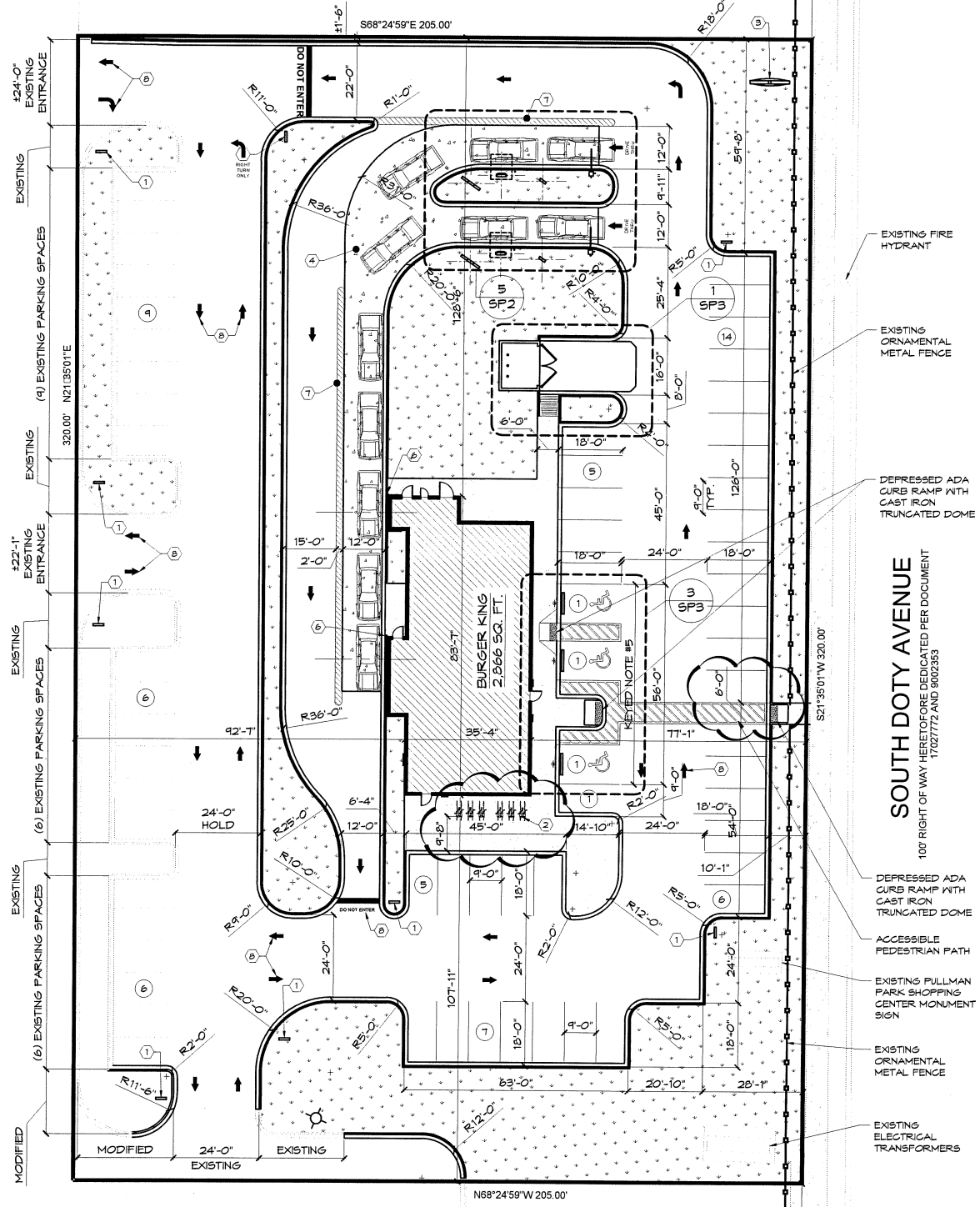
EXISTING FENCE TO REMAIN
DOTY AVENUE

EXISTING FENCE TO REMAIN
DOTY AVENUE

ACCESS DRIVE SOUTH OF SITE

CITY OF CHICAGO
Department of Transportation
Plan Review Committee Approval
Site Plan Over-sized Driveway
Other:
Signed: *[Signature]*
Date: 4/14/2018
Project Title: Fullman Park Outlot #9
*Subject to acceptable construction drawings, addressing and other program approvals.
Non-transferable, revocable if modified.

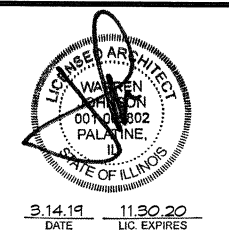
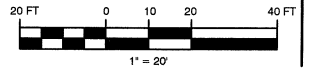
- KEYED NOTES**
- DIRECTIONAL SIGN. SEE 6/SP2. S.C. TO SUPPLY, INSTALL & PROVIDE POWER. SIGN TO BE ORDERED THRU ENTERA. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - CDOT TYPE "B" BICYCLE RACK (6). SEE DETAIL ON SHEET SP-3.
 - "BK" ROAD SIGN. SIGN WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER.
 - "BLACK" CONCRETE DRIVE-THRU LANE & DETECTOR LOOPS. SEE CIVIL DRAWINGS & DETAIL 6/SP3.
 - IT IS THE RESPONSIBILITY OF THE S.C. TO VERIFY THAT THE GRADES MEET ADA COMPLIANCE AT THE ADA PARKING & ACCESS STALLS. ADA COMPLIANCE IS TO BE LESS THAN 2% SLOPE IN ANY DIRECTION.
 - NEW BOLLARD. SEE DETAIL 1/SP2 & 10/SP2.
 - 4" PAINTED STRIPING, 18" O.C. AT 45° (YELLOW REFLECTIVE).
 - TYPICAL LOT STRIPING. SEE DETAIL 8/SP2.



SITE LEGEND

NEW CURB. SEE CIVIL DRAWINGS.	
"BLACK" CONCRETE DRIVE-THRU LANE & DETECTOR LOOPS. SEE CIVIL DRAWINGS & DETAILS 6/SP2 & 8/SP2.	
NEW SIDEWALK. SEE CIVIL DRAWINGS.	
LANDSCAPE AREAS. SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION.	

SITE PLAN
SCALE: 1" = 20'



WARREN JOHNSON ARCHITECTS, INC.
19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616



ISSUE DATES / REVISIONS

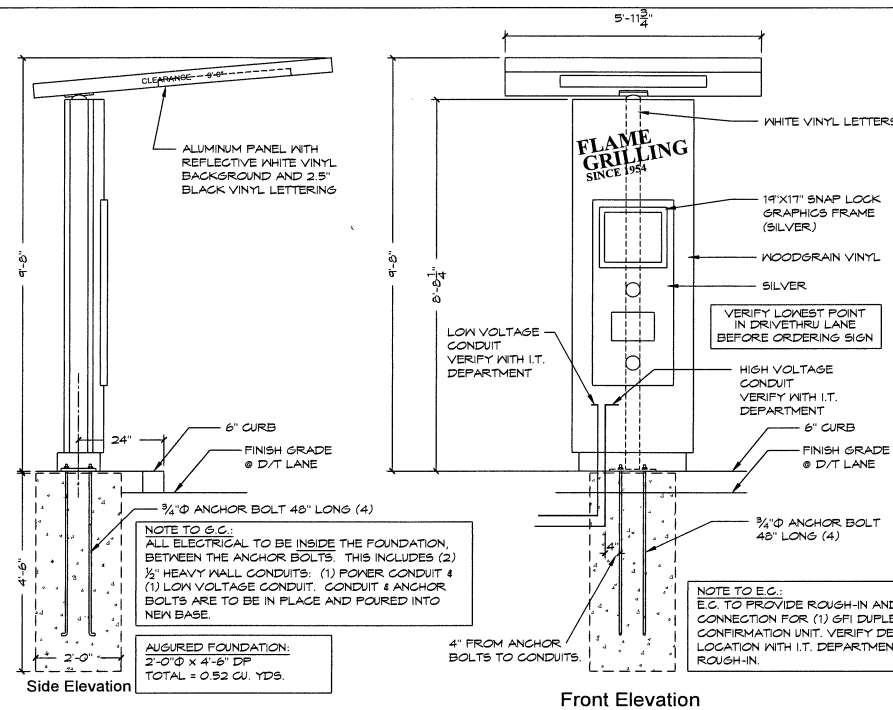
NO.	DESCRIPTION	DATE
CDOT REVISIONS		4.2.19
SITE PLAN REVIEW REVISION		3.12.19
SITE PLAN REVIEW		12.20.18

100' RIGHT OF WAY HERETOFORE DEDICATED PER DOCUMENT 17027772 AND 9602353

BURGER KING OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(FULLMAN PARK)

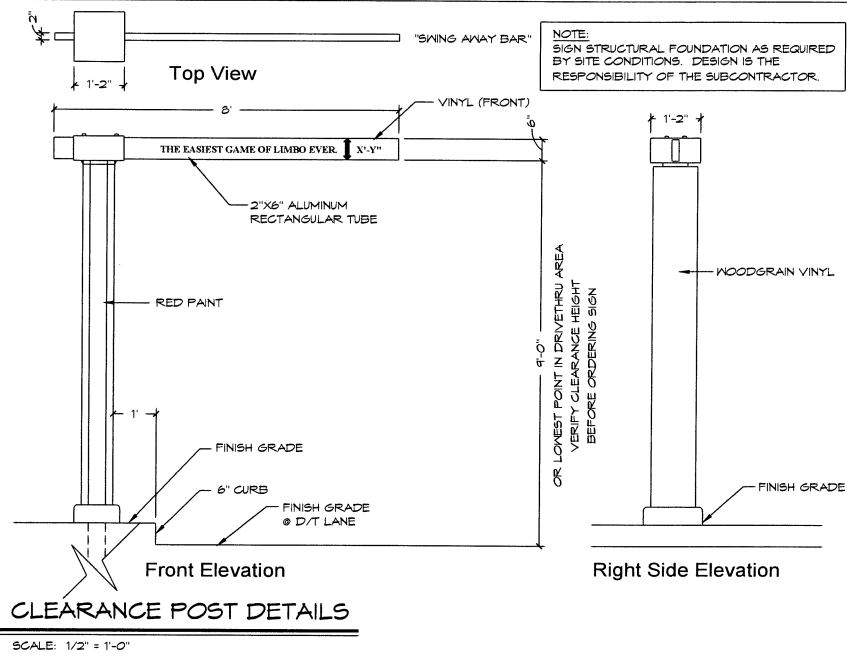
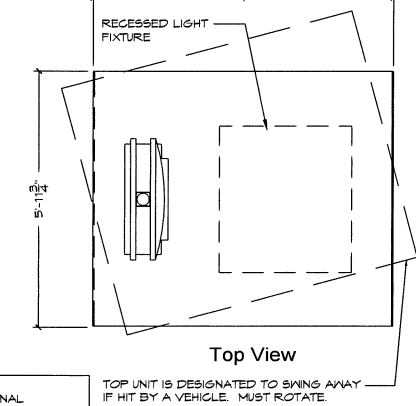
ARCHITECTURAL SITE PLAN

SHEET
SP-1
ONE OF THREE



NOTE: SIGN STRUCTURAL FOUNDATION AS REQUIRED BY SITE CONDITIONS. DESIGN IS THE RESPONSIBILITY OF THE SUBCONTRACTOR.

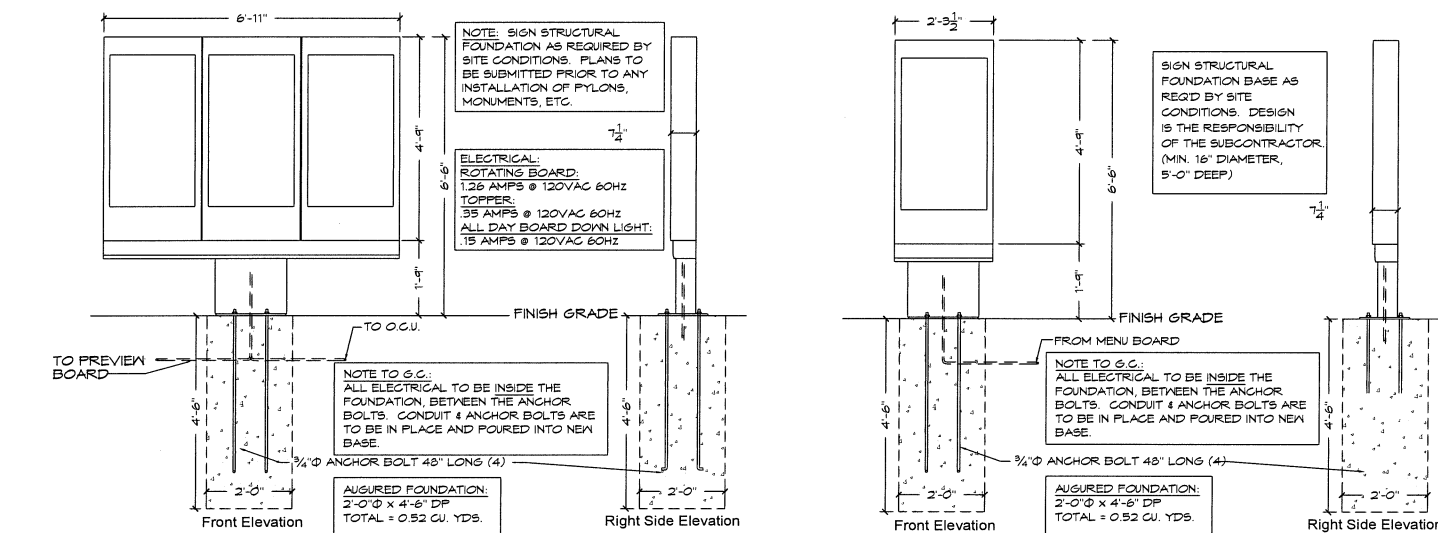
- 120 VOLT, 20 AMP ELECTRICAL SUPPLY TO NEW OCU IN 1/2" HEAVY WALL CONDUIT. POWER IS FOR OCU LIGHT.
- DATA CABLE FOR THE ACQUIVUE DISPLAY IN 1/2" HEAVY WALL CONDUIT.
- BACK OF SIGN TO BE REMOVABLE FOR SERVICE ACCESS.



NOTE: SIGN STRUCTURAL FOUNDATION AS REQUIRED BY SITE CONDITIONS. DESIGN IS THE RESPONSIBILITY OF THE SUBCONTRACTOR.

1 ORDER CONFIRMATION UNIT DETAILS

SCALE: 1/2" = 1'-0"

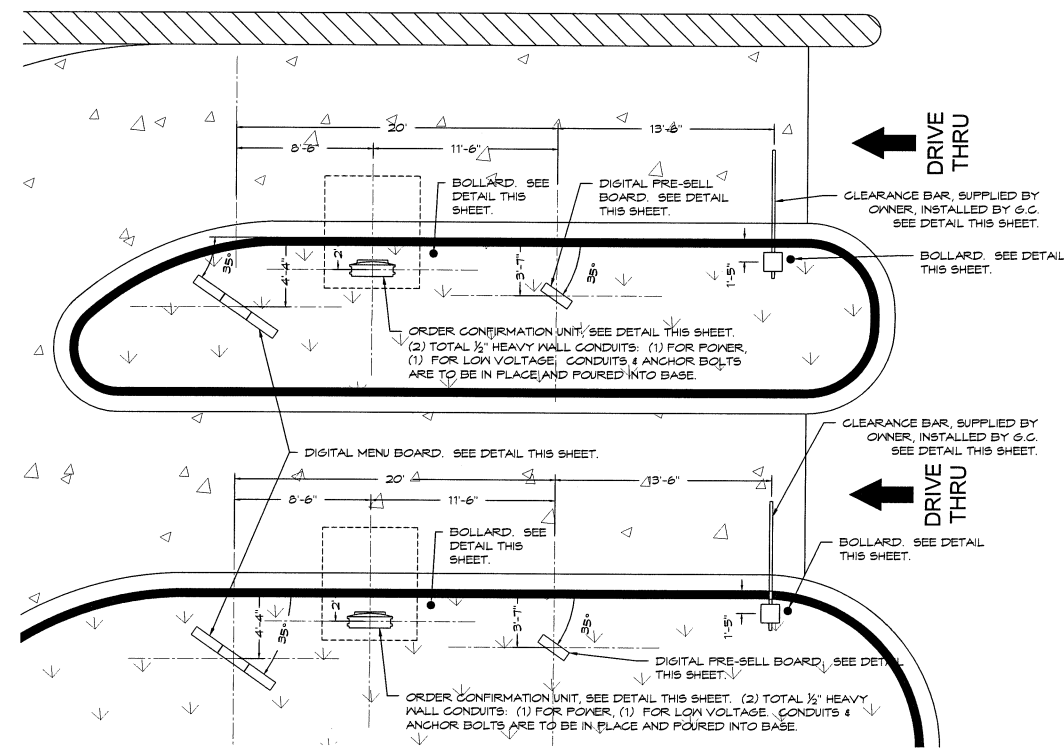


3 MENU BOARD DETAIL

SCALE: 1/2" = 1'-0"

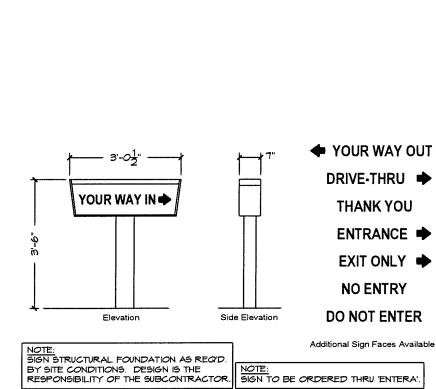
4 PRE-SELL BOARD DETAIL

SCALE: 1/2" = 1'-0"



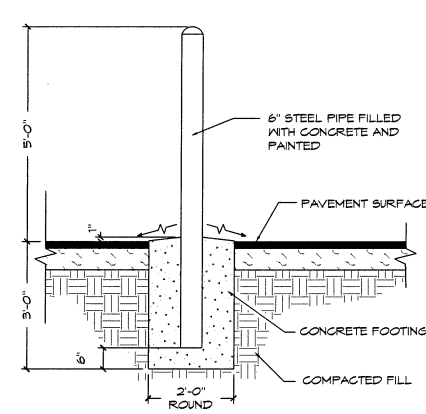
5 ENLARGED DRIVE THRU PLAN

SCALE: 3/16" = 1'-0"



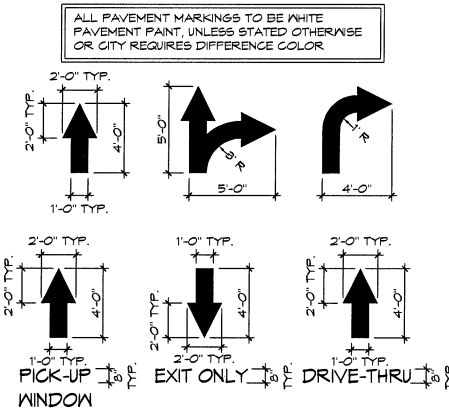
6 DIRECTIONAL SIGNS DETAIL

SCALE: N.T.S.



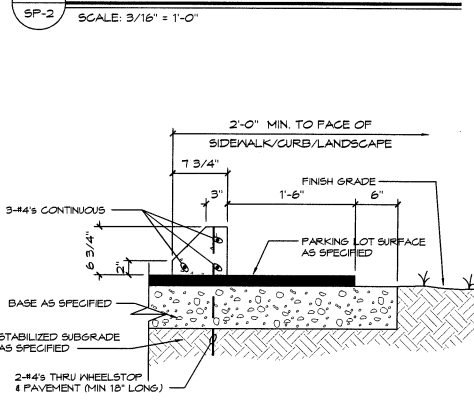
7 BOLLARD DETAIL

SCALE: 1/2" = 1'-0"



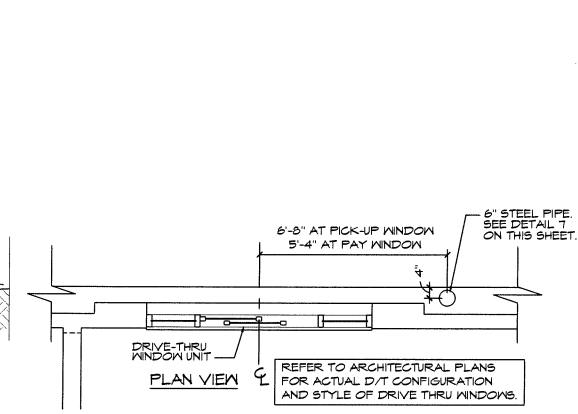
8 LOT STRIPING DETAIL

SCALE: N.T.S.



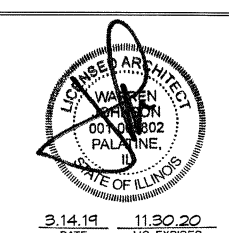
9 WHEELSTOP DETAIL

SCALE: 1" = 1'-0"



10 BOLLARD AT DRIVE-THRU WINDOWS

SCALE: 3/8" = 1'-0"



WARREN JOHNSON ARCHITECTS, INC.

19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616

BURGER KING

ISSUE DATES / REVISIONS	
CDOT REVISIONS	4.2.19
SITE PLAN REVIEW REVISION	3.12.19
SITE PLAN REVIEW	12.20.18
NO. DESCRIPTION	DATE
1 WARREN JOHNSON ARCHITECTS, INC. 2019 THESE DOCUMENTS ARE THE PROPERTY OF WARREN JOHNSON ARCHITECTS, INC. & MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE AUTHOR.	
DRAWN BY:	T. ILLIIE
CHECKED BY:	W. JOHNSON
DATE:	8.21.2018
PROJECT NO:	18026

BURGER KING
OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(FULLMAN PARK)

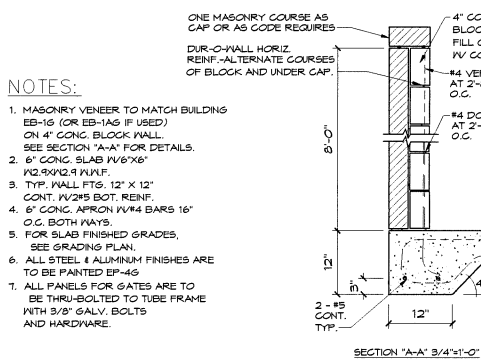
SITE DETAILS

SHEET

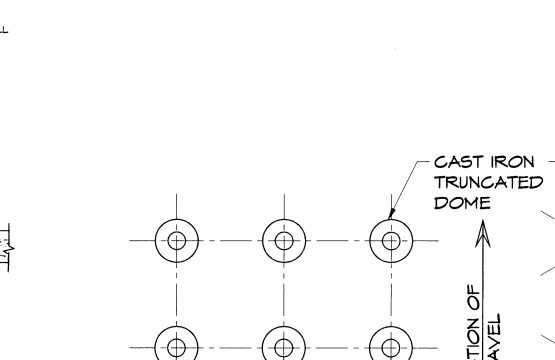
SP-2

TWO OF THREE

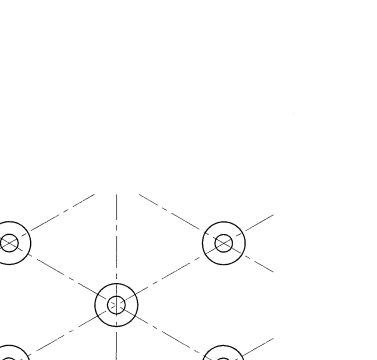
1 TRASH ENCLOSURE WALL PLAN
SCALE: 3/16" = 1'-0"



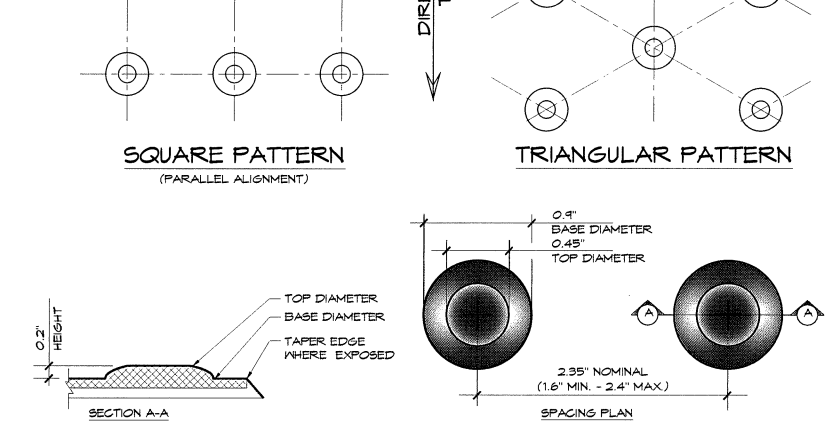
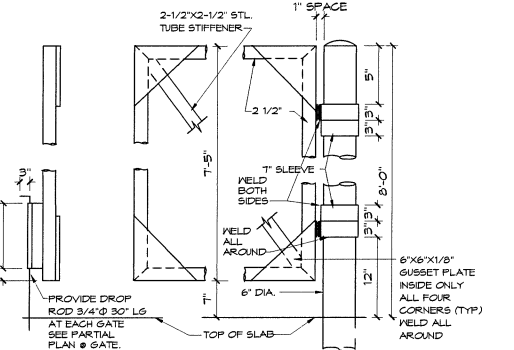
1A TRASH ENCLOSURE FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



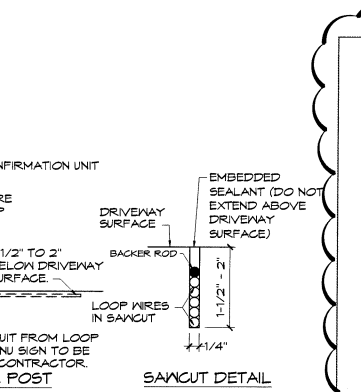
1B PARTIAL PLAN AT GATE
SCALE: 3/4" = 1'-0"



1C TRASH ENCLOSURE WALL SECTION 'A'
SCALE: 3/4" = 1'-0"



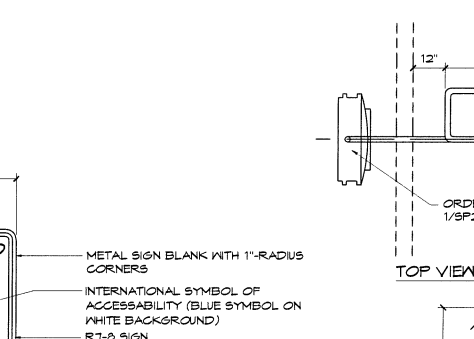
3 ADA ENLARGED PLAN
SCALE: 3/16" = 1'-0"



1D PARTIAL GATE SECTION
SCALE: 3/4" = 1'-0"



2 DETECTABLE WARNING DETAIL
SCALE: N.T.S.



4 RAMP DETAIL
SCALE: 1/2" = 1'-0"



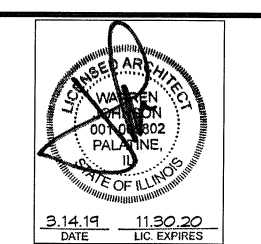
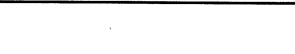
5 HANDICAP SIGN DETAILS
SCALE: N.T.S.



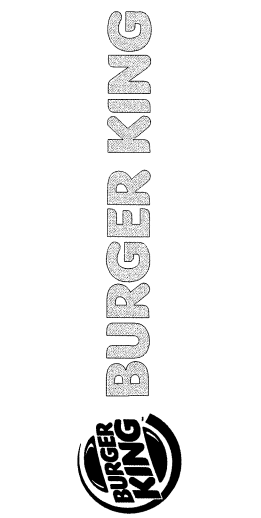
6 DETECTOR LOOP DETAILS
SCALE: 3/8" = 1'-0"



7 BIKE RACK DETAIL
SCALE: N.T.S.



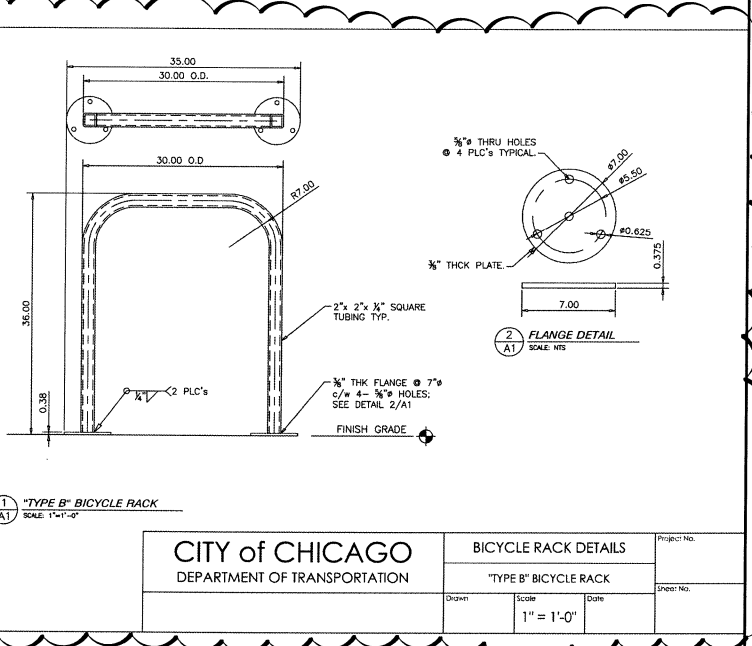
WARREN JOHNSON ARCHITECTS, INC.
19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616



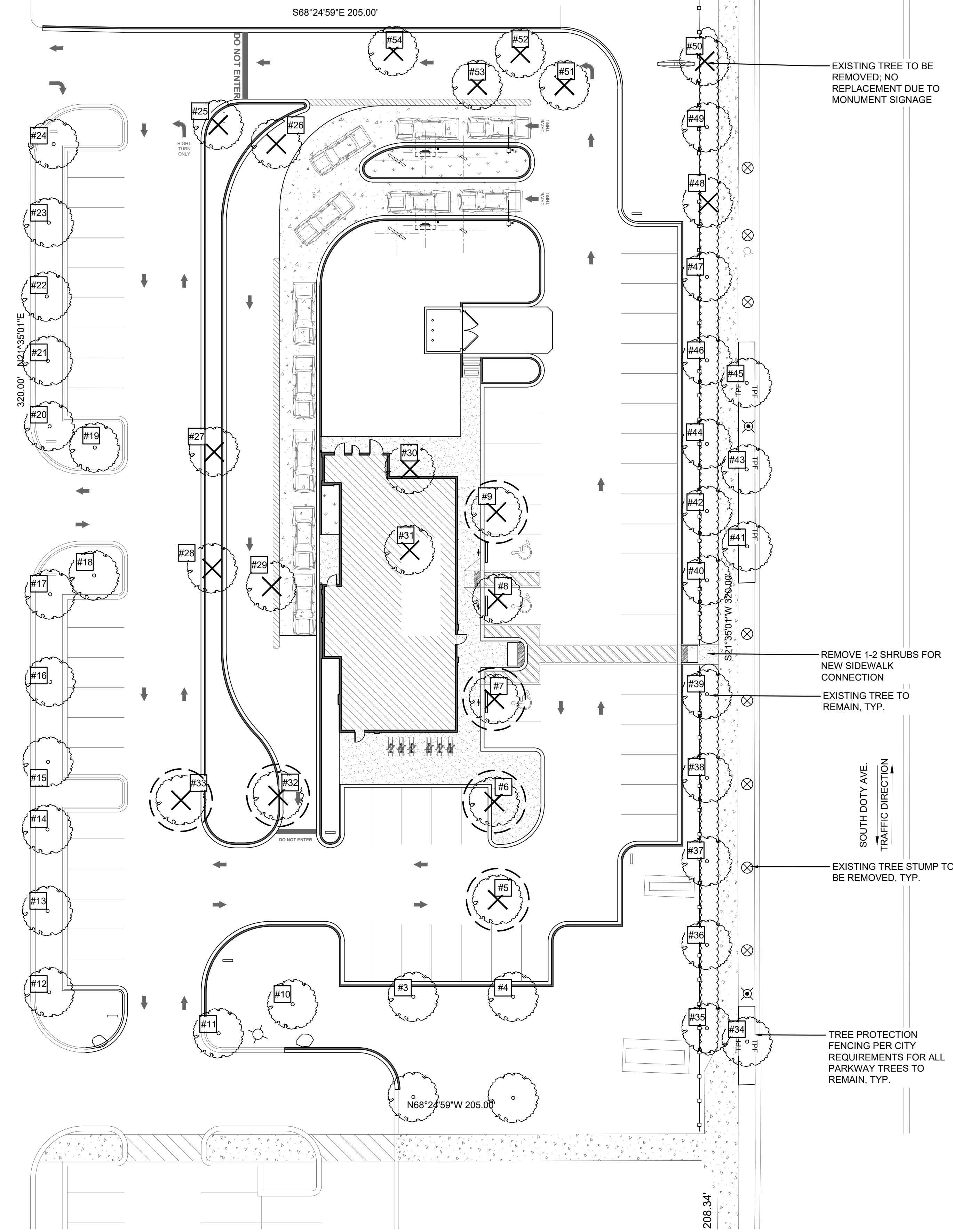
ISSUE DATES / REVISIONS	
CDOT REVISIONS	4.2.19
SITE PLAN REVIEW REVISION	3.12.19
SITE PLAN REVIEW	12.20.18
NO. DESCRIPTION	DATE
1	WARREN JOHNSON ARCHITECTS, INC. 2019
2	THESE DOCUMENTS ARE THE PROPERTY OF WARREN JOHNSON ARCHITECTS, INC. & MAY NOT BE REPRODUCED, COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE AUTHOR.
DRAWN BY:	T. WILLIE
CHECKED BY:	M. JOHNSON
DATE:	8.21.2018
PROJECT NO.:	18026

BURGER KING OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(FULLMAN PARK)

SITE DETAILS



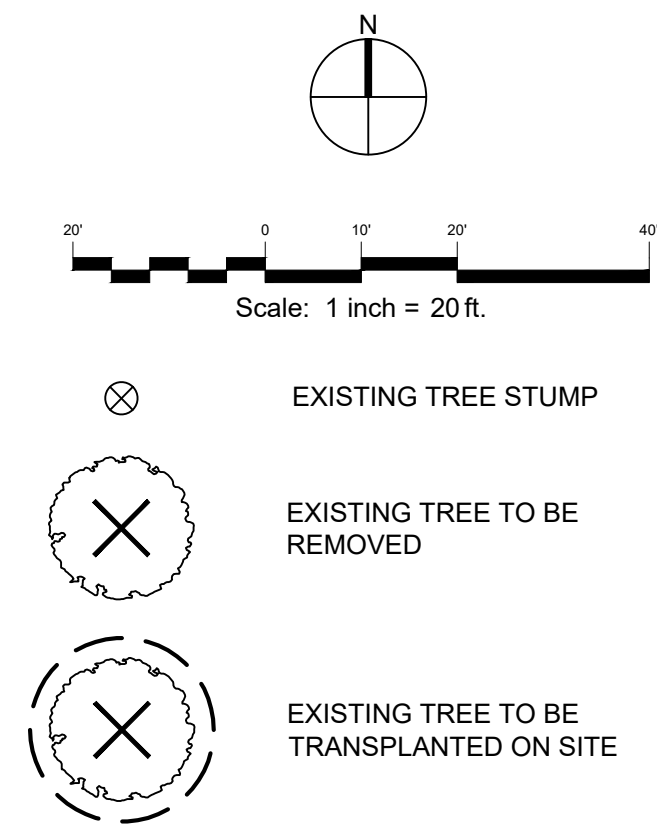
CITY of CHICAGO DEPARTMENT OF TRANSPORTATION	BICYCLE RACK DETAILS	Project No.
	"TYPE B" BICYCLE RACK	Sheet No.
Drawn	Scale	Date
	1" = 1'-0"	



NOTE:
EXISTING TREES SHOWN OVERLAID WITH
PROPOSED SITE PLAN FOR REFERENCE.

TREE REMOVED	TREES TRANSPLANTED
20	6

1. A PERMIT IS REQUIRED FROM THE CHICAGO BUREAU OF FORESTRY TO REMOVE, PLANT, TRIM, OR TAKE ANY ACTION THAT WILL, IN ANY WAY, AFFECT THE HEALTH OF THE TREES IN THE PUBLIC RIGHT-OF-WAY. CONTRACTOR SHALL APPLY FOR PARKWAY TREE PERMITS DIRECTLY FROM THE BUREAU OF FORESTRY (312-746-5254).



1 EXISTING TREE PLAN
SCALE: NTS

SWORN STATEMENTS:

The undersigned acknowledges the landscape planting shown on the landscape plan for the property at:
10700 S. DOTY AVE. (LOT #9), Chicago, Illinois

to the best of the undersigned applicant's knowledge has been designed and will be installed, maintained, and replaced, as required, by current and subsequent owners in accordance with the requirements of Chapter 32 of the Chicago Municipal Code, the landscaping standard of the Chicago Zoning Ordinance, and the "Guide to the Chicago Landscape Ordinance."

Existing parkway and on-site interior trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged.

Owner's Name and Signature _____

<p>LANDSCAPE CONTRACTOR:</p> <p>www.landscapeconcepts.com</p>	<p>LANDSCAPE ARCHITECT:</p> <p>225 W Ohio Street - Suite 400, Chicago, IL 60654 (T) 312-467-0123 (F) 312-467-0220</p>
---	---

The undersigned LANDSCAPE ARCHITECT, registered in the State of Illinois, acknowledges that the landscape planting plan and construction details shown on the attached landscape plans for the property at:

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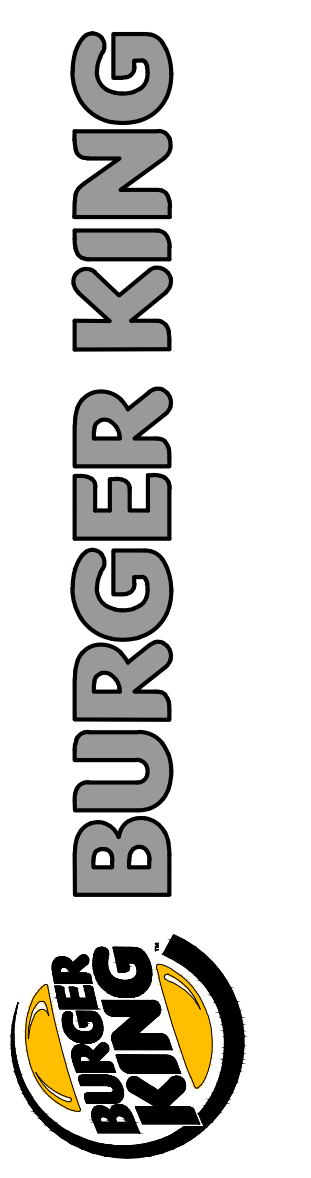
#157-000150
exp. 8/31/19

Keven Graham FASLA, PLA
TERRA Engineering Ltd.
225 W. Ohio Street, Fourth Floor
Chicago, Illinois 60610
ph: 312.467.0123



*Estimated time of planting: June 15, 2019

WARREN JOHNSON ARCHITECTS, INC.
19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616



ISSUE DATES / REVISIONS	
SITE PLAN REVIEW REVISION	1.8.19
SITE PLAN REVIEW	12.20.18
NO. DESCRIPTION DATE:	

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DRAWN BY: T. WILLIE
CHECKED BY: W. JOHNSON
DATE: 8.21.2018
PROJECT No: 18026

BURGER KING OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(PULLMAN PARK)

TREE SURVEY

SHEET
L-0.0



#1 LINDEN TO REMAIN



#2 OAK TO REMAIN



#3 LINDEN TO REMAIN



#4 OAK TO REMAIN



#5 OAK TO BE TRANSPLANTED



#6 OAK TO BE TRANSPLANTED



#7 OAK TO BE TRANSPLANTED



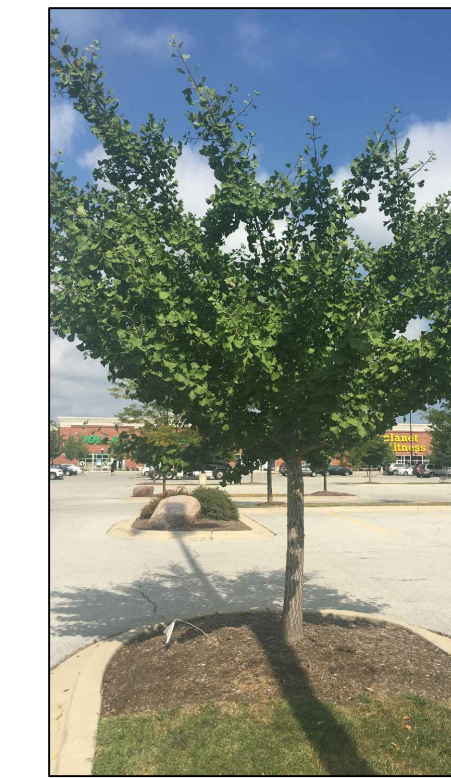
#8 OAK TO BE REMOVED



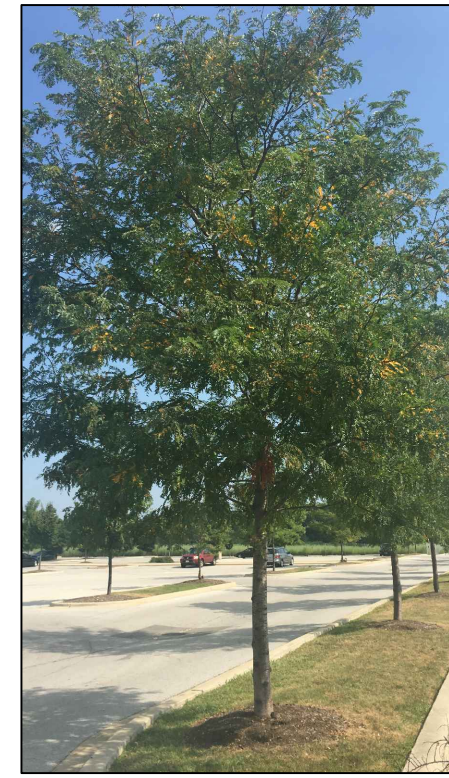
#9 OAK TO BE TRANSPLANTED



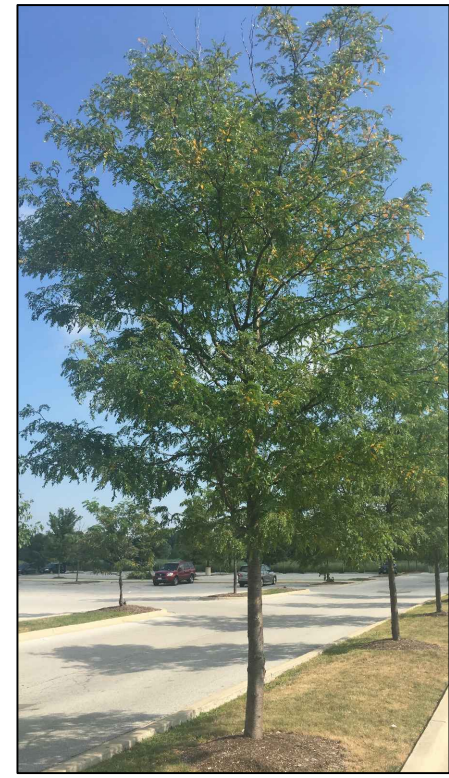
#10 OAK TO REMAIN



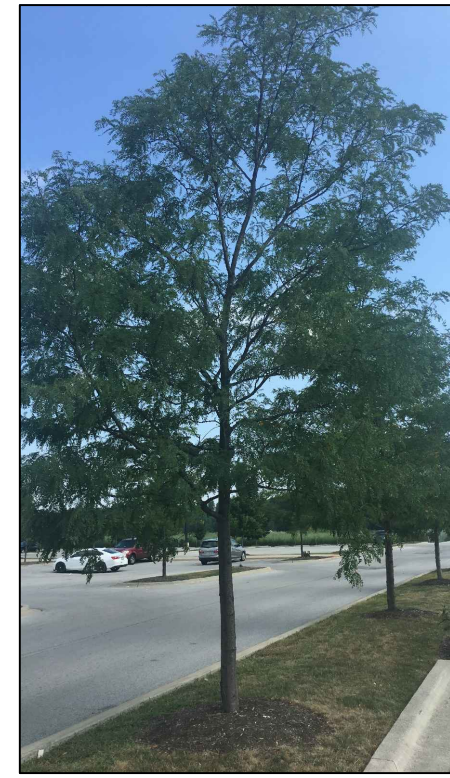
#11 GINKO TO REMAIN



#12 HONEYLOCUST TO REMAIN



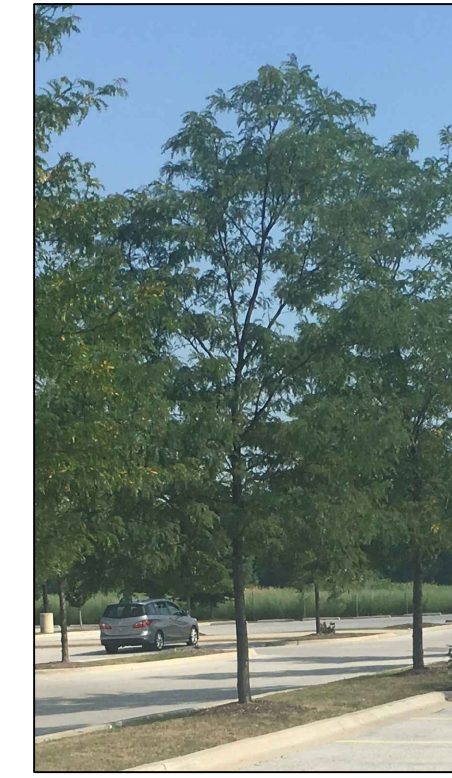
#13 HONEYLOCUST TO REMAIN



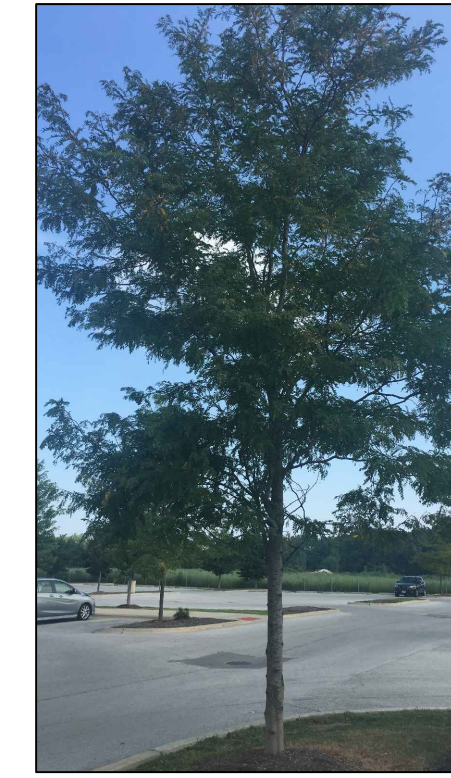
#14 HONEYLOCUST TO REMAIN



#15 HONEYLOCUST TO REMAIN



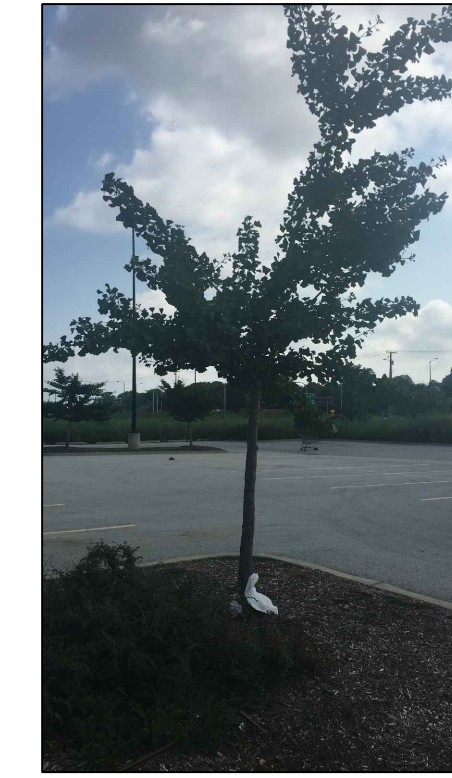
#16 HONEYLOCUST TO REMAIN



#17 HONEYLOCUST TO REMAIN



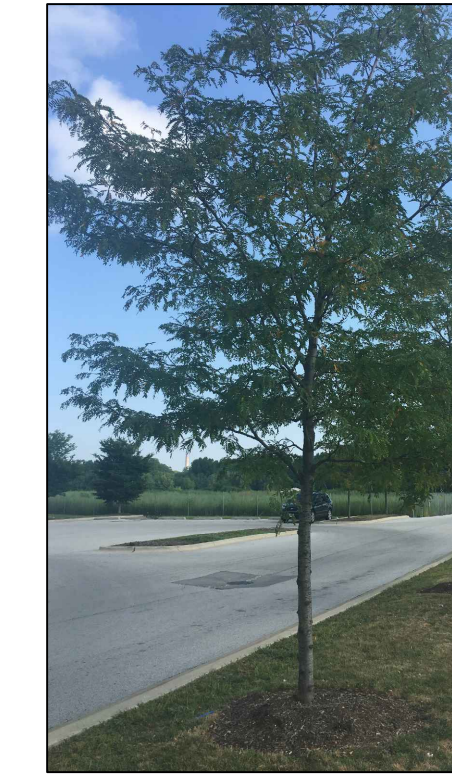
#18 GINKO TO REMAIN



#19 GINKO TO REMAIN



#20 HONEYLOCUST TO REMAIN



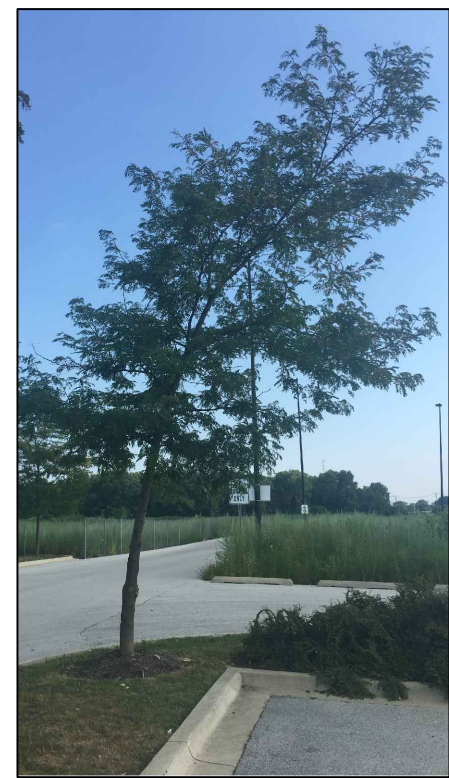
#21 HONEYLOCUST TO REMAIN



#22 HONEYLOCUST TO REMAIN



#23 HONEYLOCUST TO REMAIN



#24 HONEYLOCUST TO REMAIN



#25 GINKO TO BE REMOVED



#26 GINKO TO BE REMOVED



#27 GINKO TO BE REMOVED



#28 GINKO TO BE REMOVED



#29 GINKO TO BE REMOVED



#30 GINKO TO BE REMOVED



#31 GINKO TO BE REMOVED



#32 LINDEN TO BE TRANSPLANTED



#33 LINDEN TO BE TRANSPLANTED



#34 HACKBERRY TO REMAIN



#35 MAPLE TO REMAIN



#36 PEAR TO REMAIN



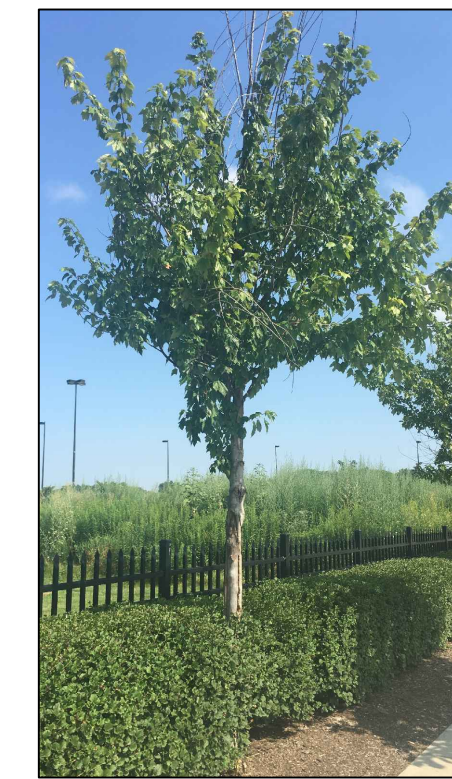
#37 PEAR TO REMAIN



#38 PEAR TO REMAIN



#39 PEAR TO REMAIN



#40 MAPLE TO REMAIN

ISSUE DATES / REVISIONS	
SITE PLAN REVIEW REVISION	1.8.19
SITE PLAN REVIEW	12.20.18
NO. DESCRIPTION	DATE:

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DRAWN BY:	T. WILLIE
CHECKED BY:	W. JOHNSON
DATE:	8.21.2018
PROJECT No:	18026

BURGER KING
OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(PULLMAN PARK)

TREE SURVEY IMAGES

SHEET

L-0.1

1 EXISTING INTERIOR AND PARKWAY TREE IMAGES

SCALE: NTS

NOTE:
TREES TO BE TRANSPLANTED SHALL, BE TRANSPLANTED BY CONTRACTOR. CONTRACTOR HAS OPTION TO REPLACE TRANSPLANTED TREES WITH NEW TREES OF SAME SPECIES AND SIZE.

SWORN STATEMENTS:

The undersigned acknowledges the landscape planting shown on the landscape plan for the property at:

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Owner's Name and Signature

LANDSCAPE CONTRACTOR:



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Keven Graham

Keven Graham FASLA, PLA
TERRA Engineering Ltd.
225 W. Ohio Street, Fourth Floor
Chicago, Illinois 60610
ph: 312.467.0123

#157-000150
exp. 8/31/19

LANDSCAPE ARCHITECT:



*Estimated time of planting: June 15, 2019



#41 OAK TO REMAIN



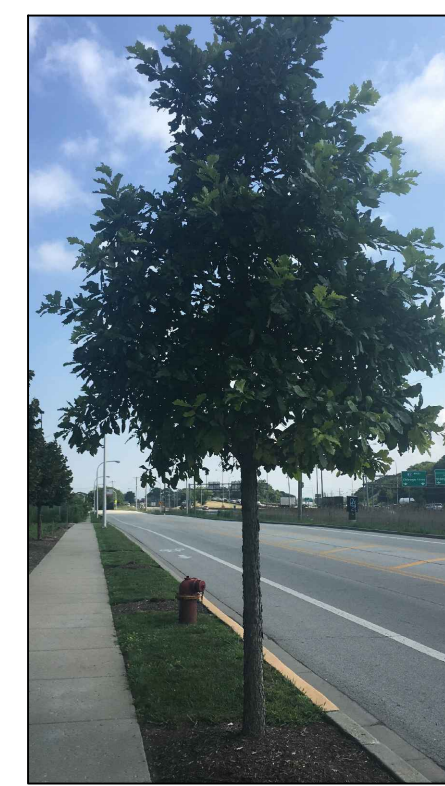
#42 MAPLE TO REMAIN



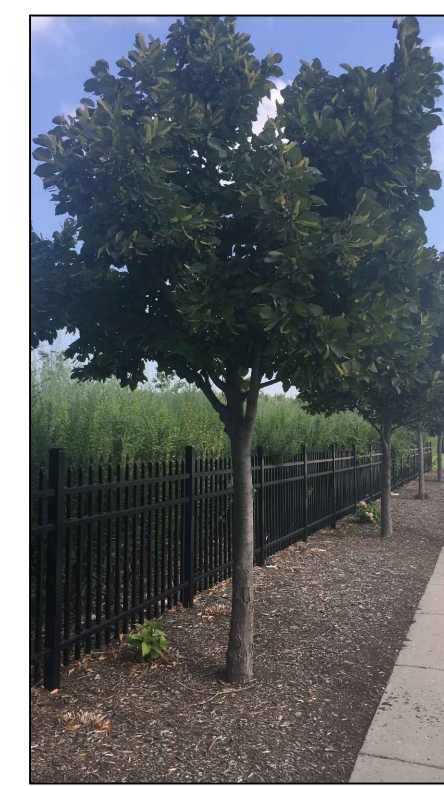
#43 OAK TO REMAIN



#44 LINDEN TO REMAIN



#45 OAK TO REMAIN



#46 LINDEN TO REMAIN



#47 LINDEN TO REMAIN



#48 LINDEN (DYING) TO BE REMOVED



#49 LINDEN TO REMAIN



#50 LINDEN TO REMAIN



#51 OAK TO BE REMOVED

#52 OAK TO BE REMOVED

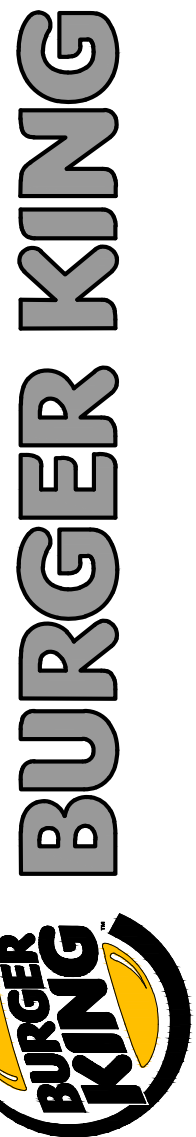
#53 OAK TO BE REMOVED

#54 GINKGO TO BE REMOVED

1 EXISTING TREE IMAGES
SCALE: NTS



19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616



ISSUE DATES / REVISIONS	
SITE PLAN REVIEW REVISION	1.8.19
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NO:	DESCRIPTION

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DRAWN BY:	T. WILLIE
CHECKED BY:	W. JOHNSON
DATE:	8.21.2018
PROJECT No:	18026

BURGER KING
OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(PULLMAN PARK)

TREE SURVEY IMAGES

SHEET

L-0.2

LANDSCAPE CONTRACTOR: **Landscape Concepts Management**
www.landscapeconcepts.com

LANDSCAPE ARCHITECT: **TERRA ENGINEERING LTD.**
225 W Ohio Street - Suite 400, Chicago, IL 60654
(T) 312-467-0123 | (F) 312-467-0220

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#157-000150 exp. 8/31/19

Keven Graham FASLA, PLA
TERRA Engineering Ltd.
225 W. Ohio Street, Fourth Floor
Chicago, Illinois 60610
ph: 312.467.0123

*Estimated time of planting: June 15, 2019

SWORN STATEMENTS:

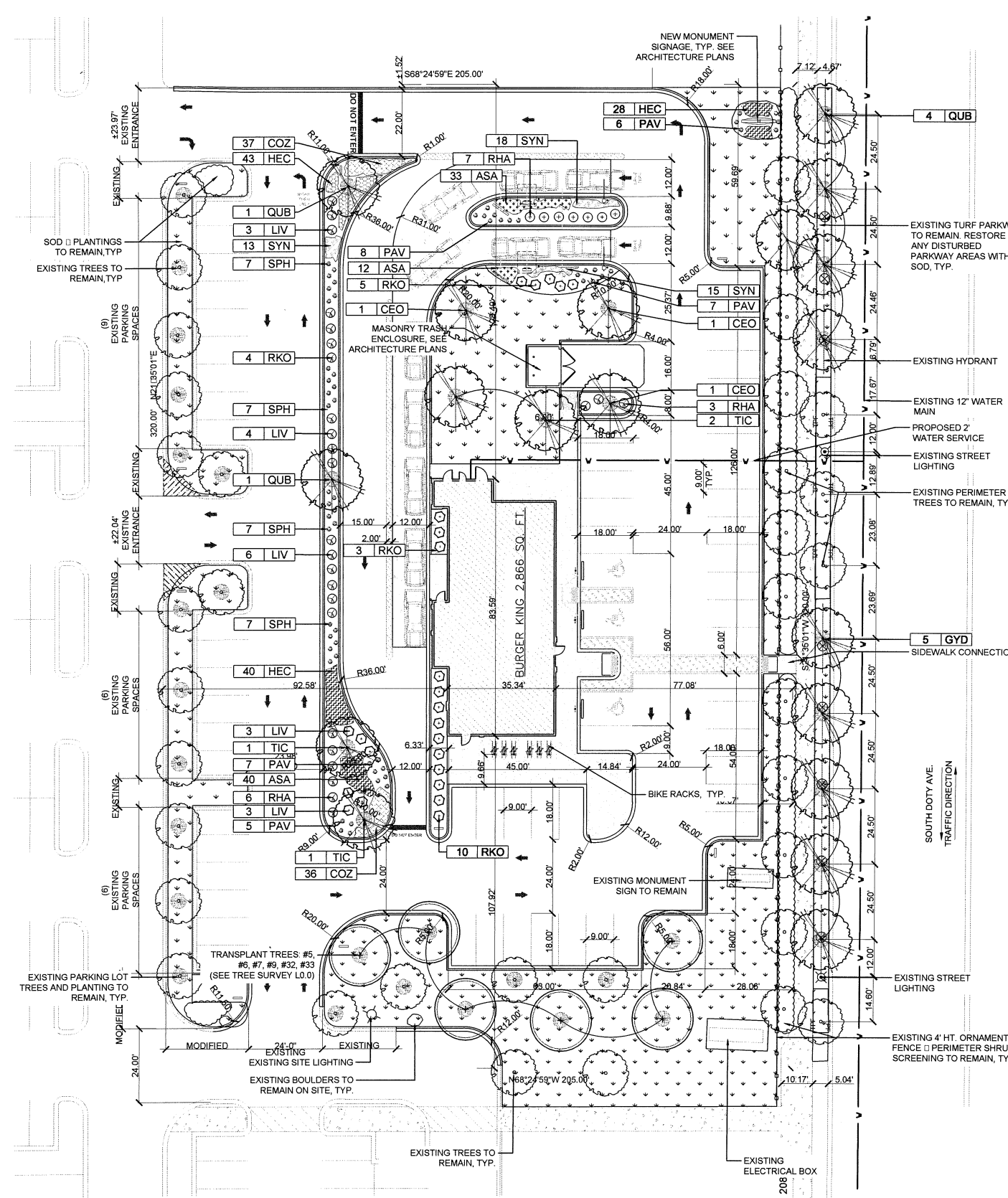
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Owner's Name and Signature



1 LANDSCAPE PLAN
SCALE: 1" = 20'

Vehicular Use Area Calculation

Proposed Vehicular Use Area: **40,752** SF
Internal Landscape Required (10%): **4,075** SF required

TOTAL INTERNAL LANDSCAPE AREA PROVIDED: **18,042** SF

Internal Trees required as part of internal landscape area: **33** Trees required
(at 1 tree per 125 SF of req. internal landscape area)

Existing Internal Trees (includes transplants): **24**
Proposed Internal Trees: **9**

TOTAL INTERNAL TREES PROVIDED: **33** Trees provided

Landscape Ordinance Analysis

Parkway Trees Required: **13** Trees required

Existing Parkway Trees: **4**
Proposed Parkway Trees: **9**

TOTAL PARKWAY TREES PROVIDED: **13** Trees provided

Perimeter Trees required: **13** Trees required

Existing Perimeter Trees: **11**
Proposed Perimeter Trees: **1**

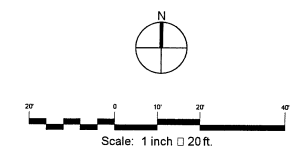
TOTAL PERIMETER TREES PROVIDED: **12** Trees provided

Note: The number of parkway trees provided may be less than the number of trees required due to locations of existing trees and required tree clearances from monument signage, light poles, driveways, and intersections.

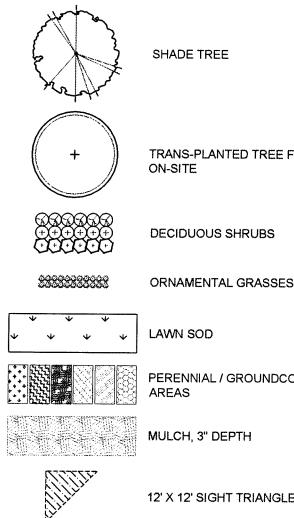
Plant Schedule
Burger King - Chicago IL

Qty.	Key	Botanical name	Common name	Size	Notes
SHADE TREES					
2	CEO	Celtis occidentalis	Hackberry	2.5"	B&B Central leader
3	GYD	Gymnocladus dioica	Kentucky Coffeetree	2.5"	B&B Central leader
4	QUB	Quercus bicolor	Swamp White Oak	2.5"	B&B Central leader
5	TIC	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.5"	B&B Central leader
DECIDUOUS & EVERGREEN SHRUBS					
13	RHA	Rhus aromatica "Gro-Low"	Gro-Low Sumac	24"	#5 Cont. 4' o.c.
17	RKO	Rosa 'Knockout'	Knockout Rose	24"	#5 Cont. 4' o.c.
23	LIV	Ligustrum vulgare "Cheyenne"	Cheyenne Privet	30"	B&B 5' o.c.
PERENNIALS					
85	ASA	Astilbe x arendsii 'Fanal'	Fanal Astilbe	#1	Cont. 18" o.c.
73	COZ	Coreopsis 'Zagreb'	Zagreb Coreopsis	#1	Cont. 18" o.c.
111	HEC	Hemerocallis 'Chicago Fire'	Chicago Fire Daylily	#1	Cont. 18" o.c.
46	SYN	Symphoricarpon novae-angliae	Purple Dome New England Aster	#1	Cont. 18" o.c.
ORNAMENTAL GRASSES					
33	PAV	Panicum vegatum 'Northwind'	Northwind Switch Grass	#1	Cont. 3' o.c.
28	SPH	Sporobolus heterolepis	Prairie Droseed	#1	Cont. 3' o.c.

NOTE: RE-SEED EXISTING LAWN AREAS DAMAGED DURING CONSTRUCTION, AS NECESSARY.
SOD AREA - 1100 SY
MULCH AREA - 132 SY



LEGEND:



CITY OF CHICAGO
Department of Transportation
Plan Review Committee Approval*
Site Plan Over-sized Driveway
Signed: *[Signature]*
Date: 4/19/2019
Project Title: Pullman Park outlot #9
*Subject to acceptable construction drawings, addressing and other program approvals.
Non-transferable, revocable if modified.

SWORN STATEMENTS:

The undersigned acknowledges the landscape planting shown on the landscape plan for the property at:
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LANDSCAPE ARCHITECT:
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Keven Graham FASLA, PLA
TERRA Engineering Ltd.
225 W. Ohio Street, Fourth Floor
Chicago, Illinois 60610
ph: 312.467.0123
*Estimated time of planting: June 15, 2019

WARREN JOHNSON ARCHITECTS, INC
19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616



ISSUE DATES / REVISIONS

NO.	DESCRIPTION	DATE:
CDOT REVISIONS		4.2.19
SITE PLAN REVIEW REVISION		1.8.19
SITE PLAN REVIEW		12.20.18

NO. DESCRIPTION DATE:
DRAWN BY: T. WLLIE
CHECKED BY: W. JOHNSON
DATE: 8.21.2018
PROJECT No: 18026

BURGER KING OUTLOT #9
10800 S. DOTY AVE
CHICAGO, ILLINOIS 60628
(PULLMAN PARK)

LANDSCAPE PLAN

SHEET

L-1.0

Reclassification Of Area Shown On Map No. 26-E.

(As Amended)

(Application No. 19530)

(Common Address: 720 E. 111th St.)

BRIPD1167,99

[SO2018-881]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business-Residential-Institutional Planned Development Number 1167, as amended, symbols and indications shown on Map Number 26-E in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of the 100-foot wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of Business-Residential-Institutional Planned Development Number 1167, as amended, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business-Residential-Institutional Planned Development No. 1167, As Amended.

Planned Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development Number 1167 (the "Planned Development") consists of approximately 7,419,988 square feet of net site area (approximately 170 acres) of property (the "Property"), together with certain portions of existing adjacent rights-of-way, as depicted on the attached Planned Development Boundary and Property Line Map. The Planned Development is divided into subareas (each, a "subarea", and

collectively, the "subareas") as indicated on the attached Subarea Map. For purposes of this amendment to the Planned Development, Chicago Neighborhood Initiatives, Inc. is the "Applicant" with due authorization from each respective property owner within Subareas A, D, E, F, G and H.

2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. These Planned Development Statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II Approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Zoning Administrator as a minor change to this Planned Development, provided such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant (or its successors, assigns or grantors) for approval by CDOT, the Department and by the City Council at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II Approval), and (c) shall not be deemed to confer any additional bulk, density or other development rights.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium or homeowners' association which may be formed). The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as Chicago Neighborhood Initiatives, Inc. or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant (or Applicant's successor, assignee or grantee to such master developer ownership interest) or such affiliate. Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association

of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. The developer making application shall have the burden of establishing to the reasonable satisfaction of the Department that the Applicant's consent has been obtained or irrevocably waived. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof; provided, however, that Chicago Neighborhood Initiatives, Inc.'s right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property or a covenant binding upon owners of the Property may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development and irrevocably waive the Applicant's consent right.

4. This planned development consists of these seventeen (17) Statements and the following "Design Exhibits" attached hereto; an Existing Zoning Map, an Existing Land-Use Map, a Planned Development Boundary and Property Line Map (three pages), a Subarea Map, a Subarea I Site/Landscape Plan (three pages), Subarea I Building Elevations (four pages), Plan of Development Bulk Regulations and Data Table -- Summary, Plan of Development Bulk Regulations and Data Table -- Subarea A, Plan of Development Bulk Regulations and Data Table -- Subarea G, Plan of Development Bulk Regulations and Data Table -- Subarea H, Plan of Development Bulk Regulations and Data Table -- Subarea I, Plan of Development Bulk Regulations and Data Table -- Subarea J, Rights-of-Way Adjustment Map (three pages), all prepared by Spaceco Inc. and dated April 19, 2018. The following Design Exhibits are incorporated by reference: Bulk Elevations -- North Woodlawn/ Doty Avenues (Subarea G), Bulk Axonometrics (Subareas A, B, G), Plan of Development Bulk Regulation and Data Tables (including permitted uses) for each of Subareas B and C (two pages), all prepared by PappageorgeHaymes Partners dated August 15, 2013; Design Guidelines for Subarea G, prepared by PappageorgeHaymes dated April 15, 2010; Subarea C Site Plan, prepared by William McDonough Partners dated August 15, 2013; Project Legacy Landscape Plan (two pages), prepared by Norris Design dated August 15, 2013; and Building Elevations and Building Sections Sheet for Subarea C, both prepared by William McDonough Partners dated August 15, 2013; a final Subarea Plan and Site Plan (Phase 1) for Subarea B, Elevations -- Subarea B (two pages), Plan of Development Bulk Regulations and Data Table -- Subarea B, and Design Guidelines -- Subarea B, all prepared by ZPD+A Architects and dated December 2, 2015; and a Landscape Plan (Subarea B -- Phase 1) prepared by Spaceco, Inc. and dated November 11, 2015.

Full size copies of the Design Exhibits are on file with the Department.

The following administrative relief and site plan approval letters are hereby incorporated by reference and made part of this Planned Development (collectively, the "Administrative Approvals"): Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated February 25, 2011; Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated May 2, 2011; Administrative Relief Request and Site Plan Approval for Subarea A, Phase 1B to David Doig dated January 25, 2013; Site Plan Approval for Phase 1B of Subarea A (South Out Lot -- 10834 South Doty Avenue) to David Reifman dated July 25, 2014; and Signage Plan Approval for P.D. to David Reifman dated January 23, 2015.

References in these Statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits and Administrative Approvals. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development, and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these Statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The permitted uses, floor area ratio, building height, setback, parking, bicycle parking and off street loading requirements for each Subarea are set forth in the applicable Plan of Development Bulk Regulations and Data Tables Included In the Design Exhibits. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply.
6. Changes in the boundaries of subareas shall require an amendment to these Statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premises signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.

9. All ingress and egress shall be subject to the review and approval of CDOT and the Department. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach. Any dedication, opening, or vacation of public streets, alleys or easements or any adjustment of the public rights-of-way contained within a particular Part II Submittal shall be approved by City Council prior to the issuance of any final Part II Approval. In connection with the Applicant's (or any developer's) submittal of any Site Plans in accordance with Statement: 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). Applicant and its successors, assigns and grantees, at such parties' expense, agree to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third party construction inspection services to assist CDOT in its review and approval of Site Plan submissions (which approvals shall be a condition precedent to the Department's issuance of any applicable Part II Approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
10. Final Subarea Plans were previously approved for Subarea A, as part of establishment of the original Planned Development, and for Subarea C, as part of the amendment to the Planned Development approved on September 11, 2013, and for Subarea B (Phase I), as part of the amendment to the Planned Development approved on June 22, 2016. Final Subarea Plans shall not be required for Subareas G, H, I or J but development of such subareas shall be subject to Site Plan Review, as set forth in this Statement 10.

Prior to the Part II Approval (per Section 17-13-0610 of the Zoning Ordinance), Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and, as applicable, the Final Subarea Plan in accordance with Section 17-13-0800 of the Chicago Zoning Ordinance, excluding Site Plan review for (i) the project depicted in Subarea A, which was approved with the original Planned Development and by its related Administrative Approvals, (ii) the project depicted in Subarea C, which was approved as part of the amendment to the Planned Development approved on September 11, 2013, (iii) the project depicted as Phase I

of Subarea B, which was approved as part of the amendment to the Planned Development approved on June 22, 2016; and (iv) the project depicted in Subarea I, which is being approved as part of this amendment to the Planned Development. The future expansion of the industrial building in Subarea C shall require Site Plan Review and an Administrative Relief submission prior to a Part II Approval of the aforementioned expansion project. Review and approval by the Department of Planning and Development is intended to assure that specific development components substantially conform with the Planned Development, including the Plan of Development Bulk Regulations and Data Table and Design Guidelines applicable to such Subarea(s), and to assist the City in monitoring ongoing development. Subarea Site Plan Approval Submittals (per Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant.

If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's subarea (if applicable); or the final approved subdivision plat (if applicable), the Applicant or developer of the subject project shall provide an exhibit showing lot sizes and boundaries for such project. In addition to the submittal requirements of Section 17-13-0802-B, the Applicant or developer shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, included in such project:

- (1) the Gross Site Area;
- (2) the Net Site Area;
- (3) the square feet of floor area of each proposed building;
- (4) the amount of F.A.R. utilized out of the maximum F.A.R. permitted in such Subarea;
- (5) the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- (6) the number of dwelling units to be constructed and the maximum number of dwelling units permitted under the Design Exhibits applicable to such Subarea;
- (7) the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- (8) All Residential Open Space, if applicable;
- (9) The number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Bulk Regulation Data Table Summary and Design Exhibits, as applicable; and

- (10) final elevations; elevations must be provided for all of the proposed building facades and building specified.

The Site Data Table shall also incorporate a table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the Department and such other bureaus, departments or agencies as the Zoning Administrator deems appropriate before issuance of any Part II Approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable). If, after City departmental review, the Zoning Administrator determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance (as applicable to improvements in a C2-3 district, e.g., the Site Plans include 60 dwelling units or more, or buildings 75 feet or more in height), then the Site Plan must then be reviewed by the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda, publication in accordance with Section 17-13-0107-B of the Chicago Zoning Ordinance, and posting in accordance with Section 17-13-0107-C of the Chicago Zoning Ordinance shall be required, but for which written notice pursuant to Section 17-13-0107-A of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If such mandatory thresholds are not met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review, the Zoning Administrator determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Zoning Administrator. Without limiting the foregoing, the first development project within Subarea H may, in the Zoning Administrator's discretion, be presented to the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda shall be required, but for which publication, posting and written notice pursuant to Sections 17-13-0107-A, -B, and -C of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If, after City departmental review, the Zoning Administrator shall determine that the Site Plan is not in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable), the Zoning Administrator shall advise the Applicant or developer in writing of why the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan (if applicable). In such case, the Applicant or developer shall be given an opportunity to submit revised Site Plans. If the Zoning Administrator finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with die Planned Development and/or the Final Subarea Plan (if applicable), the Applicant or developer then shall be required to amend this Planned Development and/or the Final Subarea Plan (if applicable) in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After

approval of a Final Subarea Plan (if applicable) and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Section 13 hereof, if applicable.

11. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's storm water management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) It is the Applicant's intention to adaptively reuse the Brite Line building identified as "Existing Building" in Subarea D on the Site Plan; however, the Applicant reserves the right to demolish such building and to otherwise redevelop Subarea D in conformance with the applicable terms of this Planned Development in the event the Applicant determines that such adaptive reuse is not feasible or desirable.
 - (d) Within Subarea A, a Chicago Transit Authority bus turnaround in a location and of such size and configuration as mutually agreed upon by the Applicant, the Chicago Transit Authority and CDOT has been previously completed.
 - (e) Porches shall be features which are allowed to encroach into any required front yard setback in Subarea F, subject to Site Plan Approval.
 - (f) Applicant acknowledges that the City will not maintain or bear the cost of maintaining any landscape or streetscape improvements on any medians to be constructed within the Planned Development. Prior to CDOT approval of engineering drawings for any median street to be constructed by the Applicant within the Planned Development, the Applicant must demonstrate to the satisfaction of CDOT that sufficient sustainable resources have been committed, and written agreements exist (which provide reasonable protection to the City and, among other things, shall name the City as intended beneficiary, shall grant the City enforcement rights, and shall include or extend indemnification and insurance provisions for the benefit of the City) to provide for the satisfactory maintenance of such medians, which agreements may provide for maintenance costs to be funded through a special service area or special service district, the establishment of which is subject to separate City Council approval.

- (g) Applicant, at the Applicant's expense, has previously reconstructed South Woodlawn Avenue from approximately East 107th Street to East 111th Street in accordance with the requirements of Statement 9.
 - (h) The Applicant and each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.
12. The Part II Review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.50 per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II Review. Such fee shall be determined and assessed by the Department at the time of each and every Part II Review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II Approval. Following Part II Review and approval by the Zoning Administrator, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. Any interim reviews associated with Site Plan review or Part II Reviews, are conditional until final Part II Approval.
13. Subject to the other terms and conditions of these Statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Zoning Administrator upon application and a determination by the Zoning Administrator in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Section 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the net site area of or dwelling units permitted in other Subareas or the Planned Development as a whole) and that such modification, and the improvements contemplated thereby, are consistent with the

Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

14. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any Subarea shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the submittal of Site Plans pursuant to this Planned Development; provided, however, that the Zoning Administrator may approve alternative methods of satisfying the "Sustainable Development Policy Matrix."
15. Any open space to be dedicated to the Chicago Park District ("CPD") must meet CPD standards and, where applicable, the park must be designed and constructed to those standards. Any conveyance of open space to the CPD shall be subject to the approval of the CPD and a resolution or ordinance issued by the CPD Board of Commissioners must be provided to the Department to evidence such dedication, conveyance and acceptance.
16. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the Applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the Applicant's submission for Part II Permit Review for the project or any phase thereof, the Applicant must submit to DPD (a) updates (if any) to the Applicant's preliminary outreach plan, (b) a description of the

* Editor's Note: Numbering sequence error; (i) missing in original document.

Applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the Applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning-Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

17. Unless substantial construction of any new building, as proven by the issuance of building permits and the diligent completion of construction pursuant to such permits for Subarea I has commenced within six (6) years of this amendment to the Planned Development, this Planned Development shall expire upon the sixth anniversary date of the effective date of this amendment to the Planned Development. If this amendment to the Planned Development expires pursuant to the foregoing provision, this amendment to the Planned Development shall expire by separately introduced ordinance, if any, and in such event the zoning of the Property shall revert to Business-Residential-Institutional Planned Development Number 1167, as adopted by the Chicago City Council on June 22, 2016. Such reversion shall not render any building existing at the time to be nonconforming. The six year period described above may be extended for up to one additional year if, before expiration, the Zoning Administrator determines that good cause for an extension is shown.

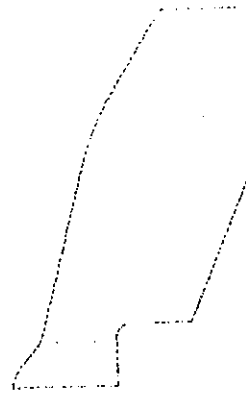
[Existing Land-Use Map; Boundary and Property Line Maps; Subarea Map; Existing Zoning Maps; Rights-of-Way Adjustment Maps; Subarea I Site/Landscape Plans; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 78841 through 78856 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

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BULK REGULATIONS AND DATA TABLE - SUMMARY

Site Area	
Gross	7,913,013 sf (181.66 acres)
Rights of Way	493,025 sf (11.32 acres)
Net Site Area	7,419,988 sf (170.34 acres)
Detention/Buffer Zone	
	805,889 sf (18.50 acres)
percent of net	10.2%
Public Open Space	
	605,921 sf (13.91 acres)
percent of net	8.2%
Building Area (other than residential)	
Retail	670,000 sf
Lodging	100,000 sf
Elderly Housing	100,000 sf
Educational	45,000 sf
Industrial	1,750,000 sf
Net Building Area	2,665,000 sf



KEY PLAN

Residential

700 Dwelling Units

BULK REGULATIONS AND DATA TABLE - SUMMARY

F.A.R.	Per Sub Area	
Maximum Building Height	100 feet	
Parking	Group A e.g. s.f. housing Group C e.g. multi-unit Group D e.g. elderly Group E e.g. school Group M e.g. retail Group S e.g. lodging	1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats 1 space per unit 0.33 spaces per unit 1 per 3 employees + additional parking and drop-off spaces as determined by DZLUP None for first 10,000 sf then 2.5 spaces per 1,000 sf 1 space per 3 lodging rooms
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces Group C e.g. multi-unit Group D e.g. elderly Group E e.g. school Group M e.g. retail Group S e.g. lodging	1 per 2 auto spaces 1 per 4 auto spaces 1 per 10 auto spaces; minimum 4 spaces 1 per 5 auto spaces 1 per 10 auto spaces
Off Street Loading	Retail Multi-Unit Lodging	10,000-24,999 sf = 1 berth (10 x 25) 25,000-49,999 sf = 2 berths (10 x 50) 50,000-99,999 sf = 3 berths (10 x 50) 100,000-249,000 sf = 4 berths (10 x 50) +250,000 sf = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf 25,000-199,999 = 1 berth (10 x 25) 25,000-199,999 = 1 berth (10 x 50)

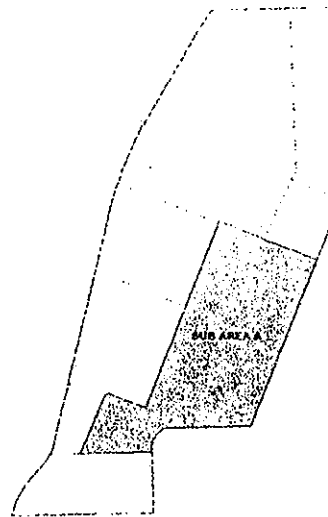
Applicant: Chicago Neighborhood Initiatives, Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: February 28, 2018
 Chicago Plan Commission Date: April 19, 2018

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BULK REGULATIONS AND DATA TABLE - SUB AREA A

USES

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: colleges and universities; cultural exhibits and libraries; day care; hospitals; parks and recreation; community centers; recreation buildings and similar assembly use; postal service; public safety services; religious assembly; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; all lodging including hotel/motel; medical service; office; high technology office; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.



No adult uses are allowed.

KEY PLAN

Site Area	
Gross	2,097,317.00 sf (48.14 acres)
Rights of Way	230,160 sf (5.28 acres)
Net Site Area	1,867,157 sf (42.86 acres)

Detention/Buffer Zone	379,314 sf (8.71 acres)
percent of net	20.3%

Building Area	
Retail	405,000 sf
Net Building Area	405,000 sf

Maximum F.A.R.	0.75	
Building Height	50 ft	
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	None for first 10,000 square feet then 2.5 spaces per 1,000 square feet	
Bicycle Parking	No use is required to provide more than 50 bicycle spaces.	
	1 per 5 auto spaces	
Off Street Loading	100,000 - 249,999 sf = 4 berths (10 x 50) +250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf	

Applicant: Chicago Neighborhood Initiatives, Inc.
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BULK REGULATIONS AND DATA TABLE - SUB AREA B

USES

The following C2 Motor Vehicle-Related Commercial District uses shall be allowed: day care; postal service; public safety services; utilities and services, minor; Chicago Transit Authority bus turnaround; all animal services excluding stables; artist work or sales space; body art services; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports including outdoor patio located on a rooftop; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; medical service; office; high technology office; electronic data storage center; parking, non-accessory; personnel service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales, and service excluding vehicle storage and towing with outdoor storage; hotels; elderly housing; wireless communication facilities excluding freestanding towers.



KEY PLAN

No adult uses are allowed.

Site Area	
Gross	649,518.00 sf (14.91 acres)
Rights of Way	116,231 sf (2.67 acres)
Net Site Area	533,287.00 sf (12.24 acres)
Public Open Space	15,167.00 sf (0.35 acres)
<i>percent of net</i>	2.8%

Maximum F.A.R.	1.0	
Building Height	100 ft	
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	Group M e.g. retail	None for the first 10,000 square feet then 2.5 spaces per 1,000 square feet
	Group D e.g. elderly housing	0.33 spaces per a unit
	Group S e.g. lodging	1 space per 3 lodging rooms
Bicycle Parking	No use is required to provide more than 50 bicycle spaces.	
Off Street Loading	Group M e.g. retail	1 per 5 auto spaces
	Group D e.g. elderly housing	1 per 4 auto spaces
	Group S e.g. lodging	1 per 10 auto spaces
Off Street Loading	Retail	100,000 - 249,999 sf = 4 berths (10 x 50)+250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf
	Lodging	25,000-199,999 = 1 berth (10 x 50)
	Multi-Unit	25,000-199,999 = 1 berth (10 x 25)

BULK REGULATIONS AND DATA TABLE - SUB AREA C

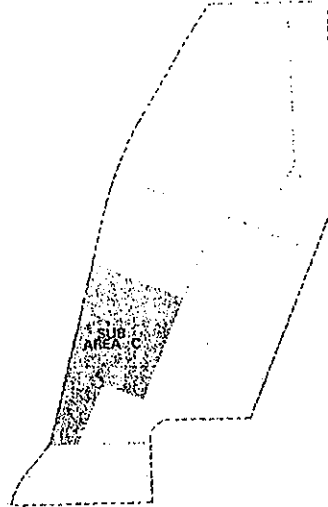
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USES

The following C2, Motor Vehicle Related Commercial District and other related and similar uses shall be allowed: Artisan, Limited and General Manufacturing, Production and Industrial Services, including without limitation manufacturing of soap, detergents and cleaning products; Warehousing, Wholesaling and Freight Movement; Retail Sales; General Office, including without limitation High Technology Office and Electronic Data Storage Center; Urban farm. Including without limitation outdoor operation and rooftop operation.

No adult uses are allowed.



KEY PLAN

Site Area	
Gross	1,052,830.00 sf (24.17 acres)
Rights of Way	0.00 sf (0.00 acres)
Net Site Area	1,052,830 sf (24.17 acres)
Detention/Buffer Zone	92,007.00 sf (2.11 acres)
<i>Percent of net</i>	8.7%
Public Open Space	108,731.00 sf (2.50 acres)
<i>Percent of net</i>	10.3%

Maximum F.A.R.	1.2	
Building Height	60 ft	
Setbacks	Front	30 ft
	Side	20 ft
	Rear	20 ft
Parking	57 Spaces	
Bicycle Parking	No use is required to provide more than 50 bicycle spaces.	
Off Street Loading	5	

Applicant: Chicago Neighborhood Initiatives, Inc.
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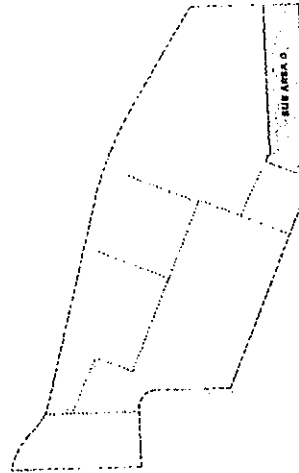
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BULK REGULATIONS AND DATA TABLE - SUB AREA G

USES

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: colleges and universities; cultural exhibits and libraries; day care; hospitals; parks and recreation; community centers; recreation buildings and similar assembly use; postal service; public safety services; religious assembly; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; all lodging including hotel/motel; medical service; office; high technology office; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barber shop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

No adult uses are allowed.

KEY PLANSite Area

Gross	621,768 sf (14.27 acres)
Rights of Way	111,582 sf (2.56 acres)
Net Site Area	610,186 sf (11.71 acres)

Detention/Buffer Zone	10,746 sf (0.25 acres)
percent of net	2.1%

Building Area/Coverage

Retail	100,000 sf (includes ground floor retail in mixed use buildings)
Multi-Family Residential	150,000 sf
Single Family Residential	50,000 sf
Net Building Area	300,000 sf
Building Zone	175,000 sf
Building Coverage	131,250 sf
Percent Coverage/Building Zone	75.0%

Dwelling Units

Minimum Lot Area	400 sf/ dwelling area
Total Units	Max. 300 dwelling units

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Maximum F.A.R.		1.0
Building Height		100 ft
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	Group A e.g. s.f. housing	1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats
	Group B e.g. multi-unit	1 space per unit
	Group M e.g. retail	None for first 10,000 sf then 2.5 spaces per 1,000 sf
Bicycle Parking	No use is required to provide more than 50 bicycle spaces.	
	Group C e.g. multi-unit	1 per 2 auto spaces
	Group M e.g. retail	1 per 5 auto spaces
Off Street Loading	Retail	50,000-99,999 = 3 berths (10 x 50)
	Multi-Unit	25,000-199,999 = 1 berth (10 x 25)

FINAL FOR PUBLICATION

BULK REGULATIONS AND DATA TABLE - SUB AREA H

Uses

The following C2, Motor Vehicle-Related Commercial District and other related and similar uses shall be allowed: artisan; limited and general manufacturing; production and industrial services, including without limitation manufacturing of soap, detergents and cleaning products; warehousing; wholesaling and freight movement; vehicle sales and service; sports and recreation, participant; retail sales, general; residential storage warehouse; office, including without limitation high technology office and electronic data storage center; urban farm, including without limitation indoor operation, outdoor operation and rooftop operation; and colleges and universities

No adult uses are allowed.



KEY PLAN

Site Area	
Gross	790,109 sf (18.13 acres)
Rights of Way	0
Net Site Area	790,109 sf (18.13 acres)
Public Open Space	88,038 sf (2.02 acres)
<i>percent of net</i>	11.1%
Detention/Buffer Zone	29,000 sf (0.67 acres)
<i>percent of net</i>	3.7%

Maximum F.A.R.		3.0
Building Height		65 ft
Setbacks	Front	0 ft
	Side	0 ft
	Rear	16 ft
Parking		1 space per 4 employees
Bicycle Parking		1 per every 10 auto spaces
Off Street Loading	0-9,999	0
	10,000-49,000	1
	50,000-99,999	2
	100,000+	2 + 1 per 10,000 sq. ft. or portion thereof above 100,000 sq. ft.
		10 x 25 10 x 50 for buildings over 20,000 sq. ft.

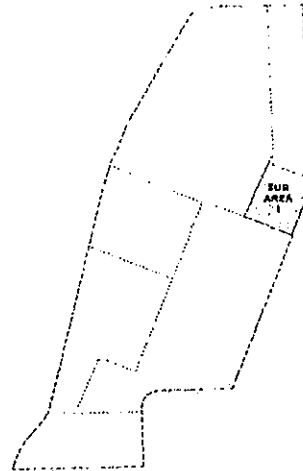
Applicant: Chicago Neighborhood Initiatives, Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: February 28, 2018
 Chicago Plan Commission Date: April 19, 2018

PLAN FOR SUBMISSION

BULK REGULATIONS AND DATA TABLE - SUB AREA I

USES

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: day care; postal service; public safety services; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; medical service; office; high technology office; electronic data storage center; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers; artisan; limited and general manufacturing; production and industrial services, including without limitation manufacturing of soap, detergents and cleaning products; warehousing; wholesaling and freight movement; vehicle sales and service; sports and recreation, participant; retail sales, general; residential storage warehouse; office, including without limitation high technology office and electronic data storage center; commercial greenhouse; urban farm, including without limitation indoor operation, outdoor operation and rooftop operation; and colleges and universities



No adult uses are allowed.

KEY PLAN

Site Area	
Gross	307,181 sf (7.05 acres)
Rights of Way	35,052 sf (0.80 acres)]
Net Site Area	272,129 sf (6.25 acres)
Detention/Buffer Zone	20,845 sf (0.48 acres)
percent of net	7.7%

Maximum F.A.R.	0.75	
Building Height	50 ft	
Setbacks	Front	0 ft
	Side	0 ft
	Rear	16 ft
Parking	1 space per 4 employees	
Bicycle Parking	1 per every 10 auto spaces No use is required to provide more than 50 bicycle parking spaces	
Off Street Loading	0-9,999	0
	10,000-49,000	1
	50,000-99,999	2
	100,000+	2 + 1 per 10,000 sq. ft. or portion thereof above 100,000 sq. ft.
		10 x 25 10 x 50 for buildings over 20,000 sq. ft.

Applicant: Chicago Neighborhood Initiatives, Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: February 28, 2018
 Chicago Plan Commission Date: April 19, 2018

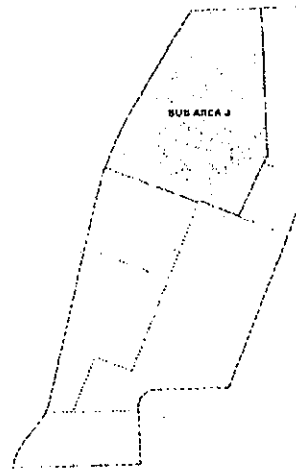
CHICAGO PLAN COMMISSION

BULK REGULATIONS AND DATA TABLE - SUB AREA J

USES

The following C2, Motor Vehicle-Related Commercial District and other related and similar uses shall be allowed: day care; parks and recreation; community centers; recreation buildings and similar assembly use; school; all sports and recreation, participant excluding entertainment cabaret; dwelling units located on and above the ground floor as follows: detached houses, elderly housing, multi-unit (3 + units) residential; townhouses. The following uses shall be allowed: artisan; limited and general manufacturing; production and industrial services, including without limitation manufacturing of soap, detergents and cleaning products; warehousing; wholesaling and freight movement; vehicle sales and service; sports and recreation, participant; retail sales, general; residential storage warehouse; office, including without limitation high technology office and electronic data storage center; urban farm, including without limitation indoor operation, outdoor operation and rooftop operation; and colleges and universities.

No adult uses are allowed.



KEY PLAN

Site Area

Gross 2,394,290 sf (54.95 acres)
 Rights of Way 0 sf
 Net Site Area 2,394,290 sf (54.95 acres)

Public Open Space 393,985 sf (9.04 acres)
percent of net 16.5%
 Detention/Buffer Zone 273,977 sf (6.29 acres)
percent of net 11.4%

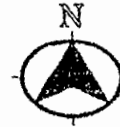
Dwelling Units

Minimum Lot Area 1000 sf / dwelling unit
 Total Units 400 dwelling units

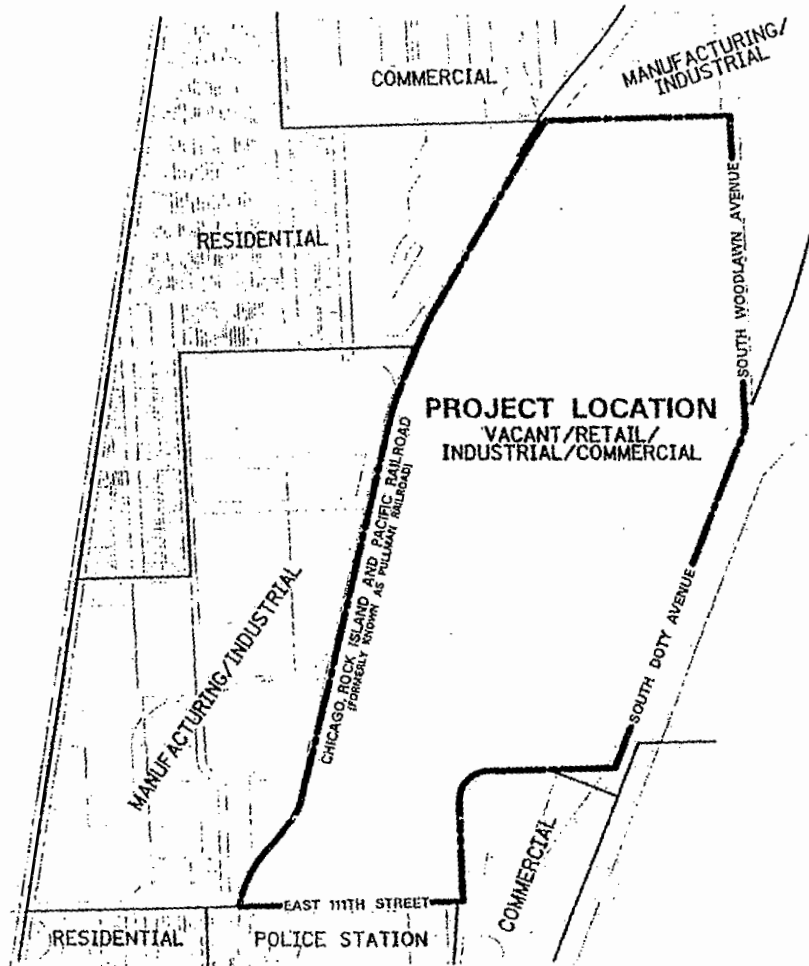
Maximum F.A.R.	1.2		
Building Height	65 ft		
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	16 ft	
Parking	1 space per 4 employees		
Bicycle Parking	1 per every 10 auto spaces		
Off Street Loading	0-9,999	0	10 x 25 10 x 50 for buildings over 20,000 sq. ft.
	10,000-49,000	1	
	50,000-99,999	2	
	100,000+	2 + 1 per 10,000 sq. ft. or portion thereof above 100,000 sq. ft.	

Applicant: Chicago Neighborhood Initiatives, Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: February 28, 2018
 Chicago Plan Commission Date: April 19, 2018

FINAL FOR PUBLICATION



SCALE: 1" = 800'
SHEET 1 OF 1



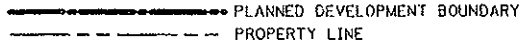
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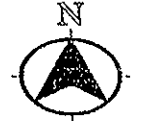
APPLICANT:
 CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: FEBRUARY 28, 2018
 CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018

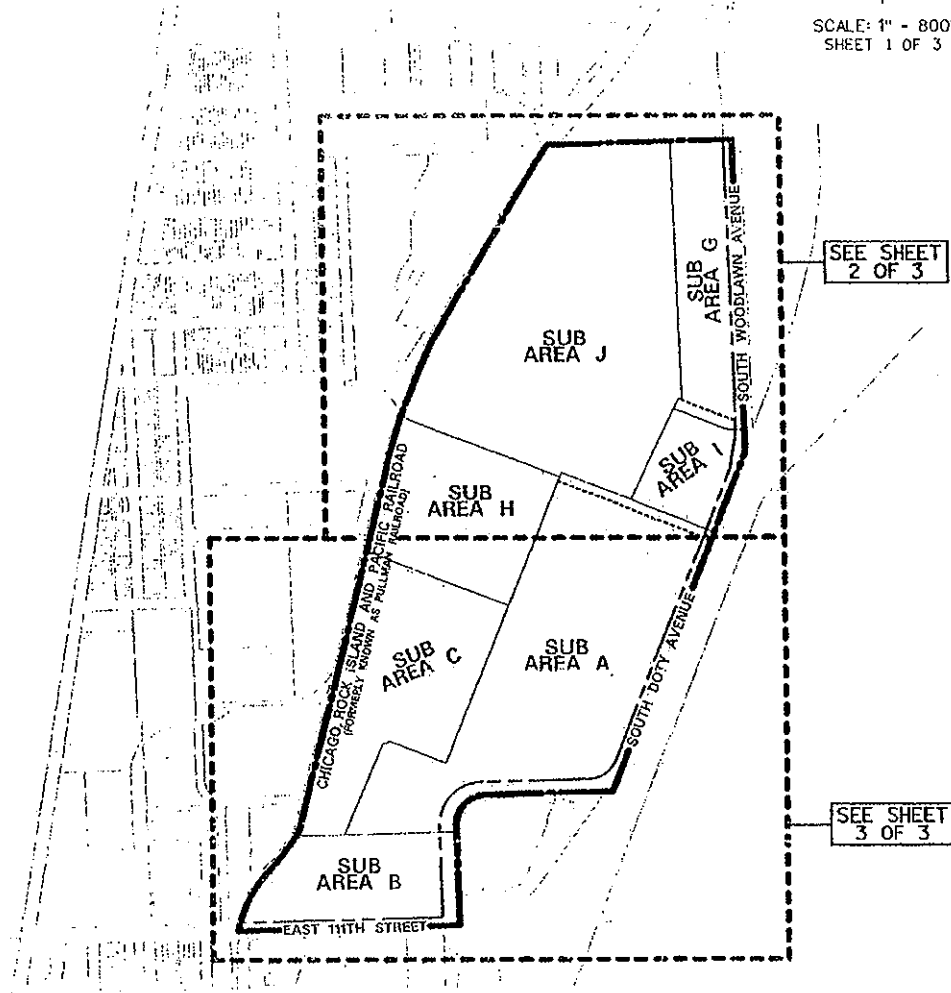


CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

1120 W. Madison Street, 5th Floor
 Chicago, IL 60606
 Tel: 312.467.0000 Fax: 312.467.0001


 PLANNED DEVELOPMENT BOUNDARY
 PROPERTY LINE


 SCALE: 1" = 800'
 SHEET 1 OF 3



**PLANNED DEVELOPMENT BOUNDARY
 AND PROPERTY LINE MAP**

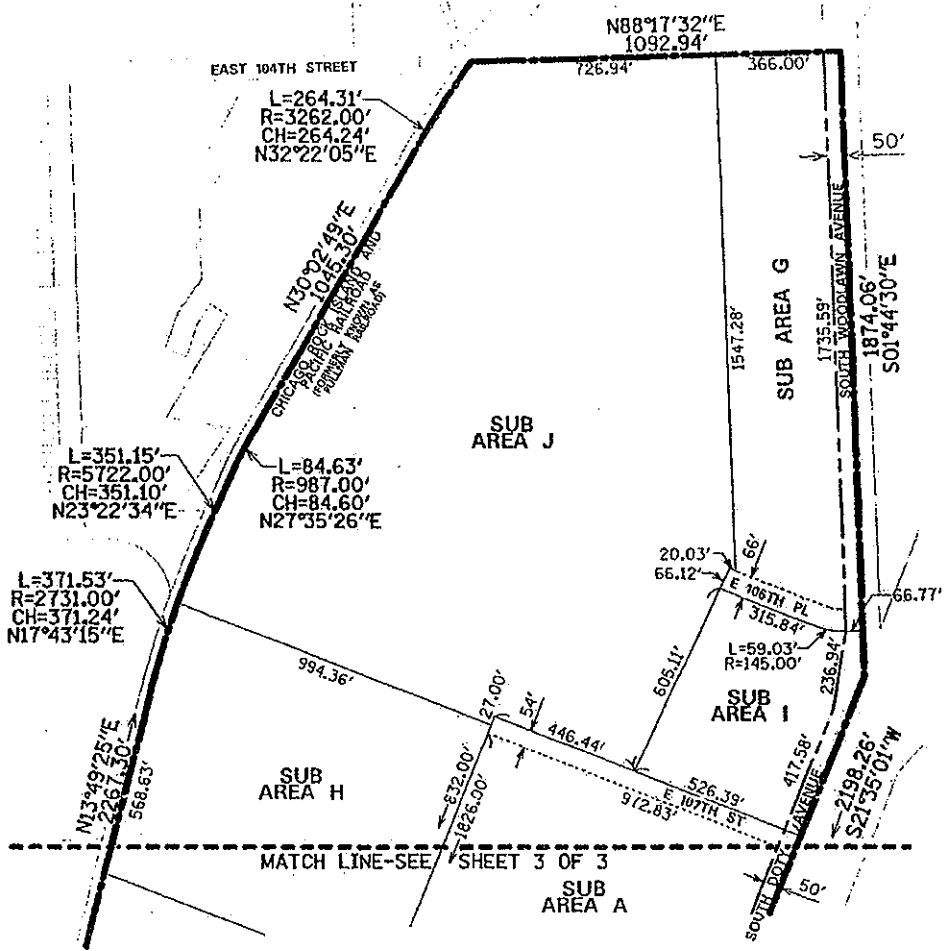
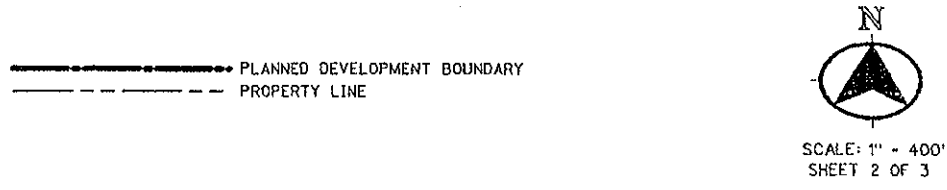
APPLICANT:
 CHICAGO NEIGHBORHOOD INITIATIVES, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: FEBRUARY 20, 2018
 CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018



CONTAINED HEREIN IS
 CITY COUNCIL REPORT
 NUMBER 78842

5072 W. Maple Street, Suite 2100
 Chicago, Illinois 60641
 Tel: (773) 442-3100



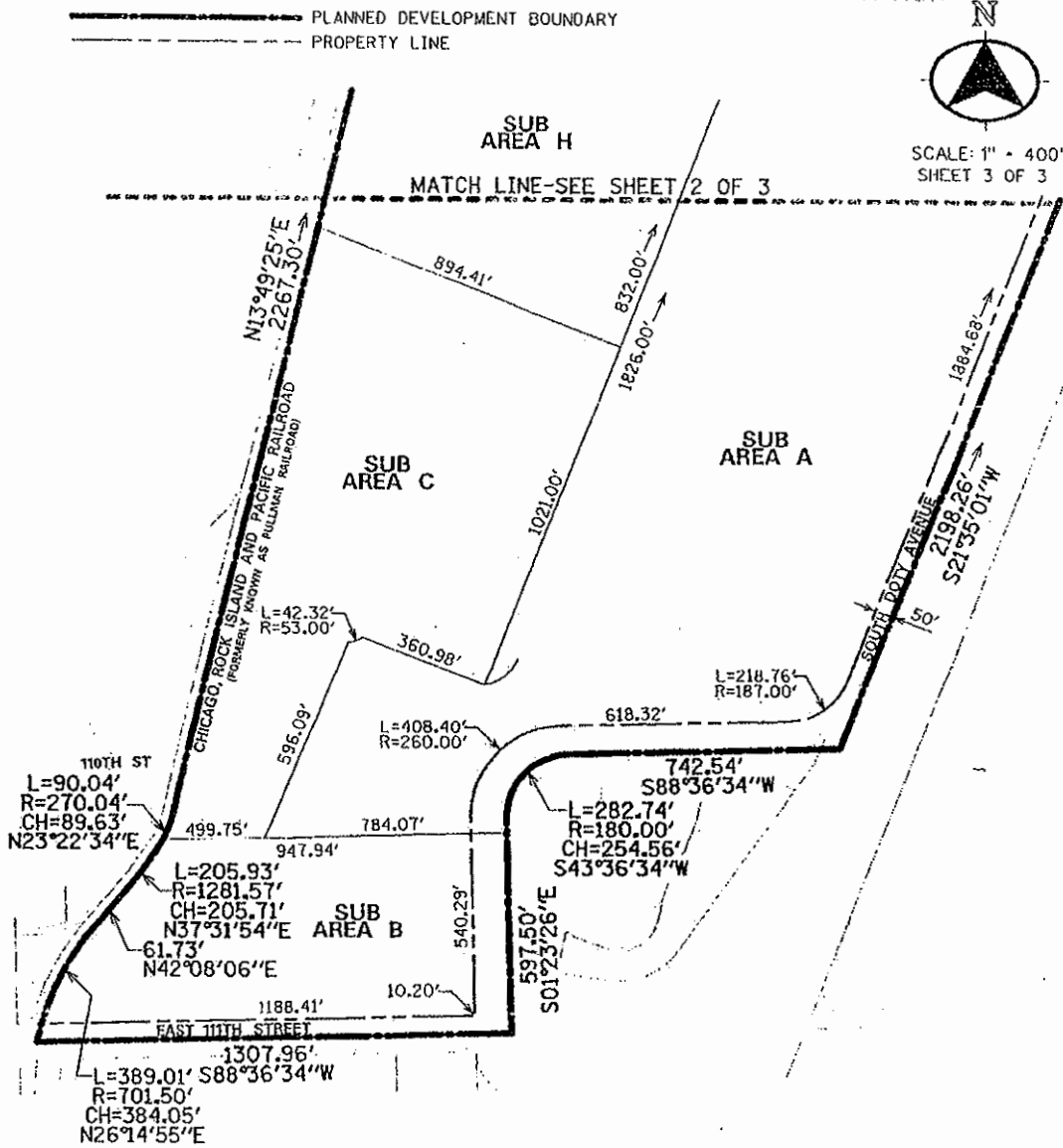
PLANNED DEVELOPMENT BOUNDARY AND PROPERTY LINE MAP

APPLICANT:
 CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: FEBRUARY 28, 2018
 CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018



CONSULTING ENGINEER
 CITY DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 1875 W. FULLERTON STREET, SUITE 200
 CHICAGO, ILLINOIS 60642
 TEL: 312.963.8800 FAX: 312.963.8801

FINAL FOR PUBLICATION



PLANNED DEVELOPMENT BOUNDARY AND PROPERTY LINE MAP

APPLICANT: CHICAGO NEIGHBORHOOD INITIATIVES, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: FEBRUARY 28, 2018
CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018



CONSULTING ENGINEERS AND
SURVEYORS
LAND SURVEYORS

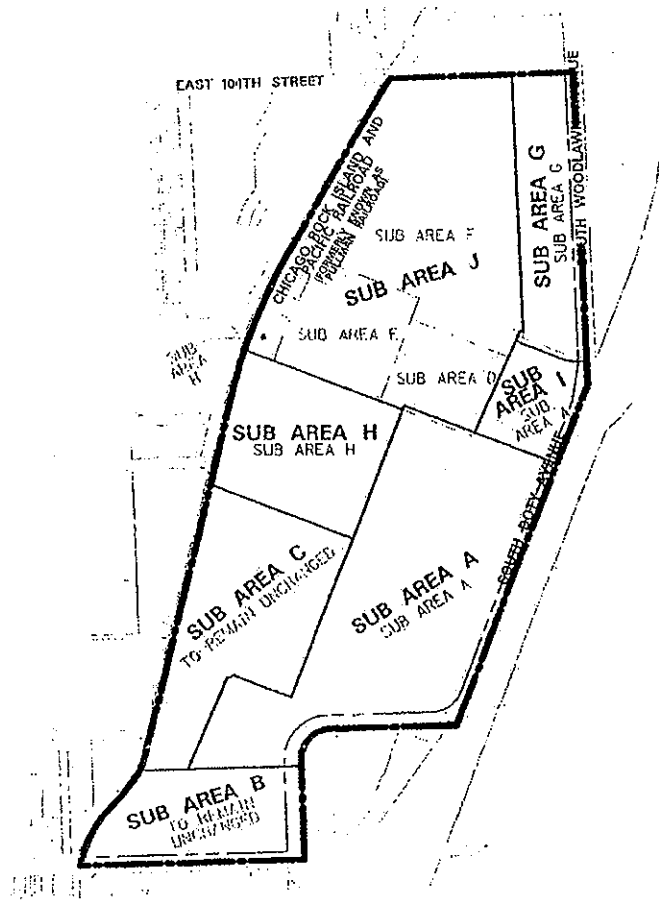
15549 N. Higgins Court, Suite 200,
Rosemont, IL 60018
TEL: 630.584.1100 FAX: 630.584.1101

CHICAGO PLAN COMMISSION

	PREVIOUS SUB AREA LIMITS
—	PREVIOUS SUB AREA
—	PLANNED SUB AREA LIMITS
—	PLANNED SUB AREA



SCALE: 1" = 800'
SHEET 1 OF 1



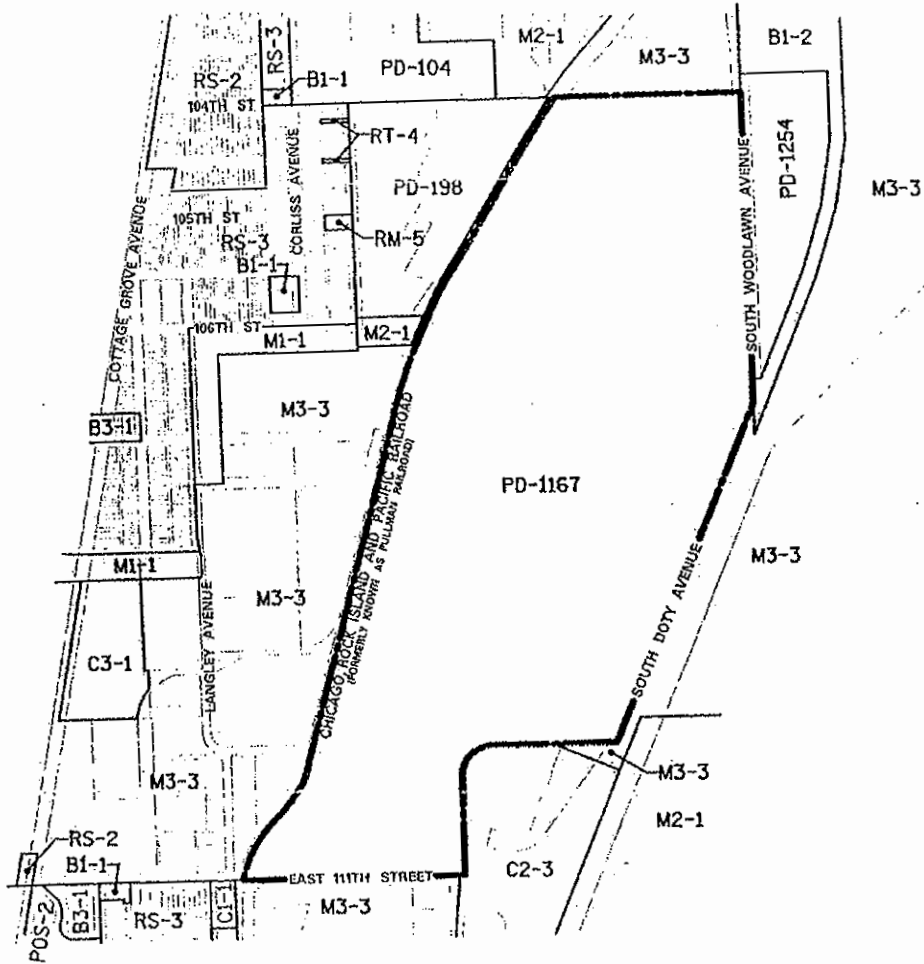
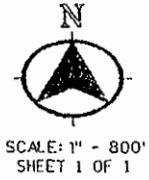
SUB AREA MAP

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: FEBRUARY 28, 2018
CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018



CHICAGO NEIGHBORHOOD INITIATIVES, INC.
111TH STREET AND DOTY AVENUE
CHICAGO, ILLINOIS 60643
TEL: 773.487.1111
WWW.CHICAGONEIGHBORHOODINITIATIVES.COM

DRAFT FOR PUBLICATION



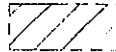
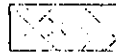
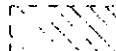
EXISTING ZONING MAP

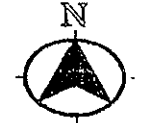
APPLICANT:
 CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ADDRESS: 1111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: FEBRUARY 28, 2018
 CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018

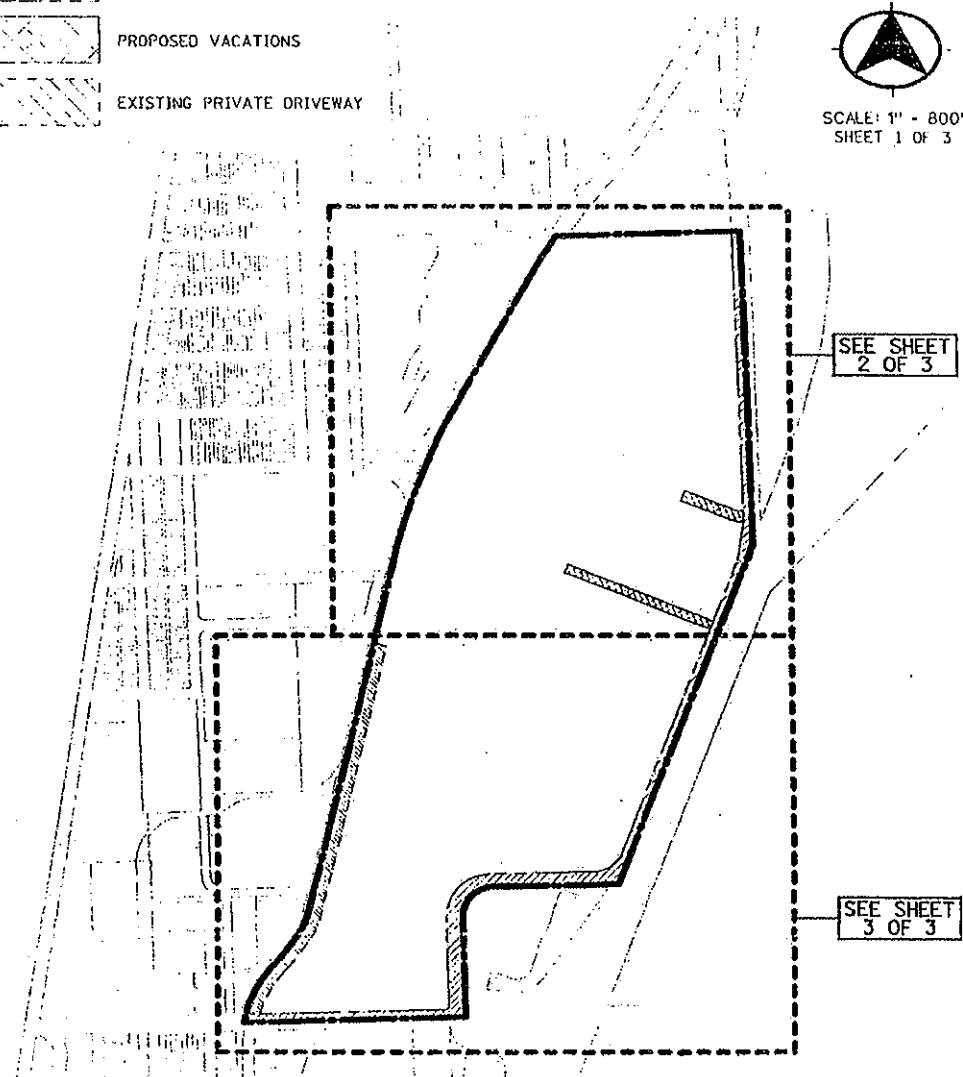


CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 1115 W. 111th Street, Suite 200
 Chicago, IL 60642
 (773) 486-1111

DATE FOR PUBLICATION

-  EXISTING R.O.W. TO REMAIN
-  PROPOSED VACATIONS
-  EXISTING PRIVATE DRIVEWAY

N

 SCALE: 1" = 800'
 SHEET 1 OF 3



RIGHTS-OF-WAY ADJUSTMENT MAP

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.

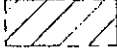

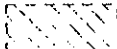
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INTRODUCTION DATE: FEBRUARY 28, 2018
CHICAGO PLAN COMMISSION DATE: APRIL 18, 2018

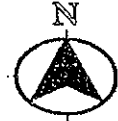


CONTRIBUTOR: CHICAGO NEIGHBORHOOD INITIATIVES, INC.
DATE: FEBRUARY 28, 2018
SCALE: 1" = 800'

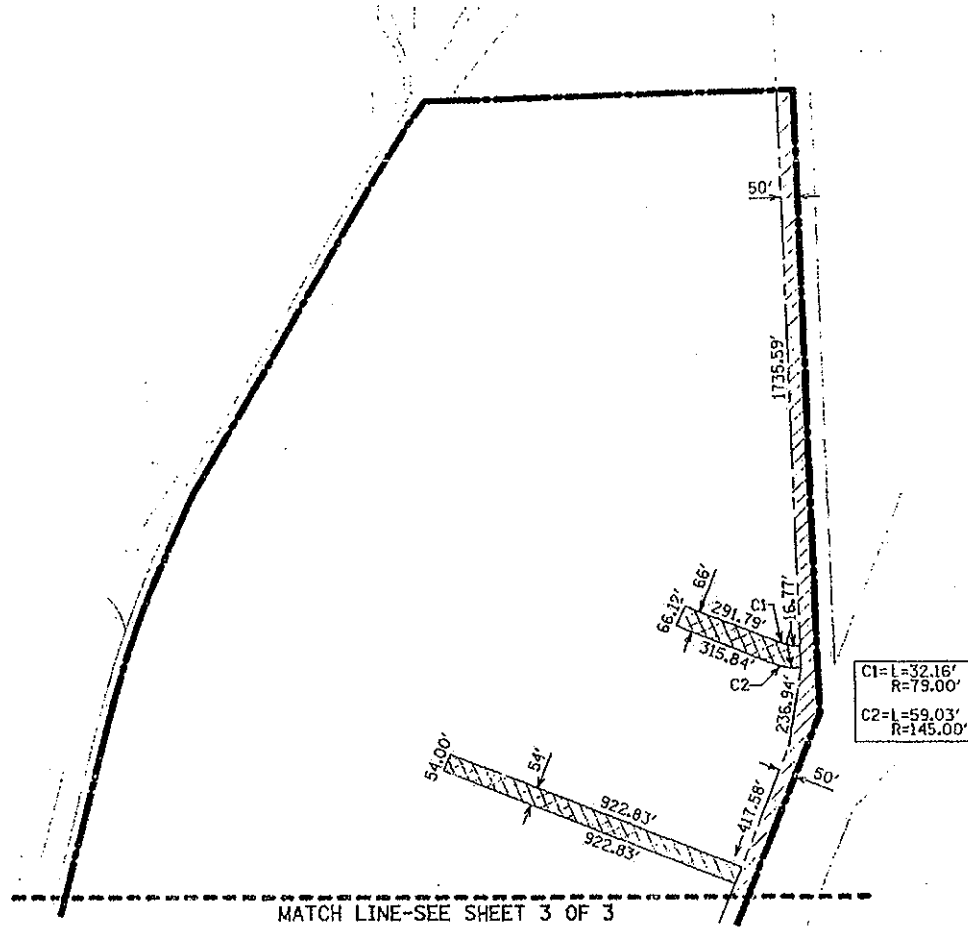
DATE OF PREPARATION: FEBRUARY 28, 2018
DRAWN BY: [Name]
CHECKED BY: [Name]

FINAL FOR PUBLICATION

-  EXISTING R.O.W. TO REMAIN
-  PROPOSED VACATIONS
-  EXISTING PRIVATE DRIVEWAY



SCALE: 1" = 400'
SHEET 2 OF 3



RIGHTS-OF-WAY ADJUSTMENT MAP


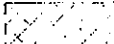
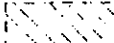
APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: FEBRUARY 26, 2018
CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018

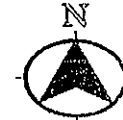


CONSULTING ENGINEER
SITE DEVELOPMENT ENGINEER
LAND SURVEYOR

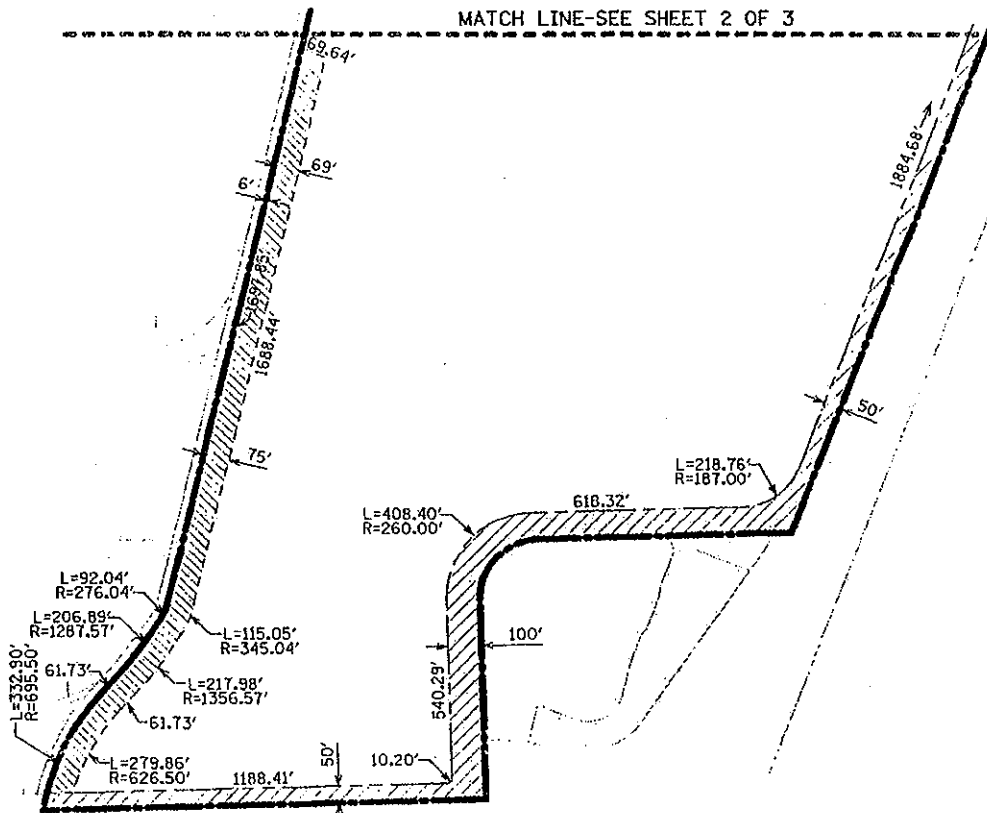
111TH STREET AND DOTY AVENUE
CHICAGO, ILLINOIS 60642
PHONE: 773.555.0722 FAX: 773.555.1100

FOR PURIFICATION

-  EXISTING R.O.W. TO REMAIN
-  PROPOSED VACATIONS
-  EXISTING PRIVATE DRIVEWAY



SCALE: 1" = 400'
SHEET 3 OF 3



RIGHTS-OF-WAY ADJUSTMENT MAP

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.

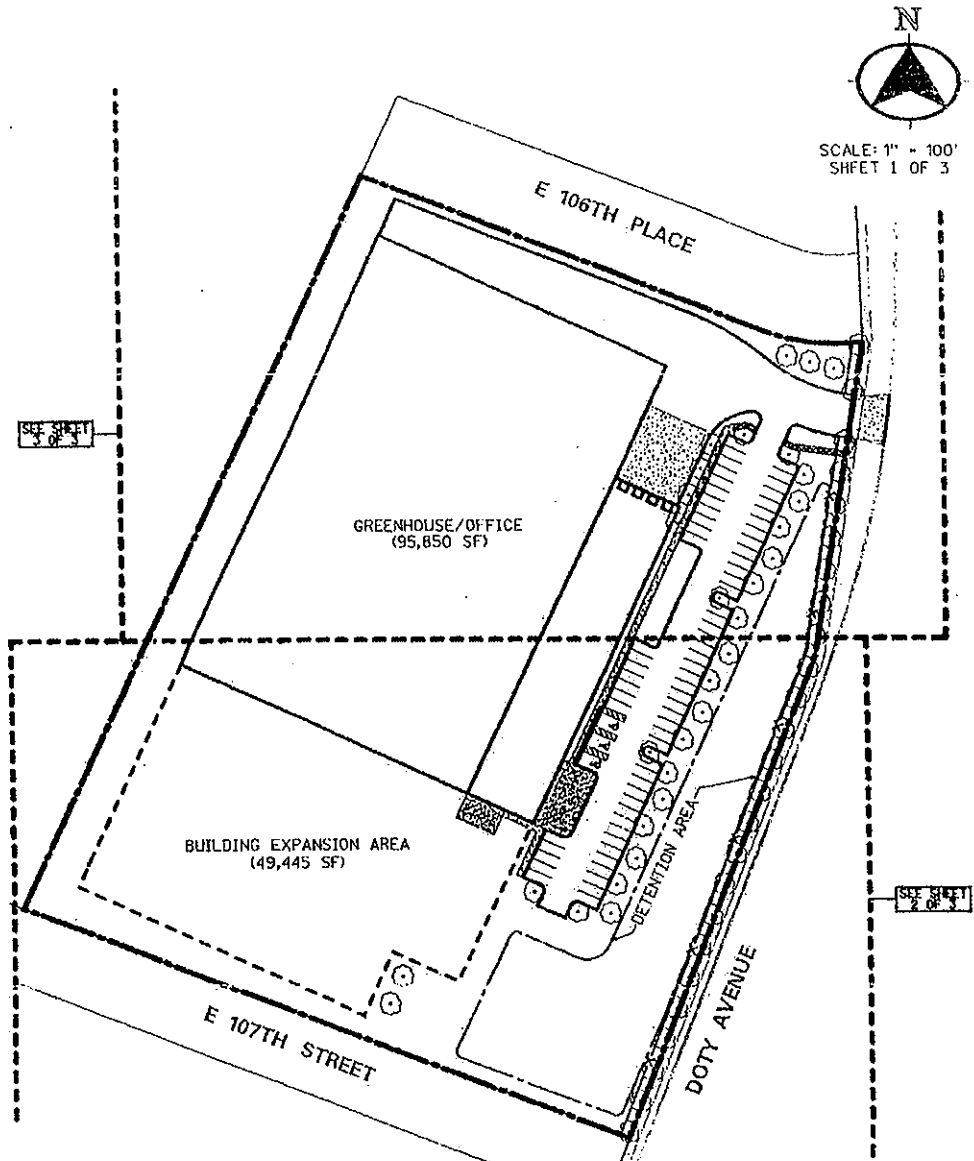
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: FEBRUARY 28, 2018
CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018



CONSULTING ENGINEERS
SITE DEVELOPMENT CONSULTANTS
LAND SURVEYORS

3025 W. Erie Street, Suite 200, Chicago, IL 60644
Tel: (773) 327-1111 Fax: (773) 327-1112
www.chicagoni.org

FOR PUBLIC VIEW



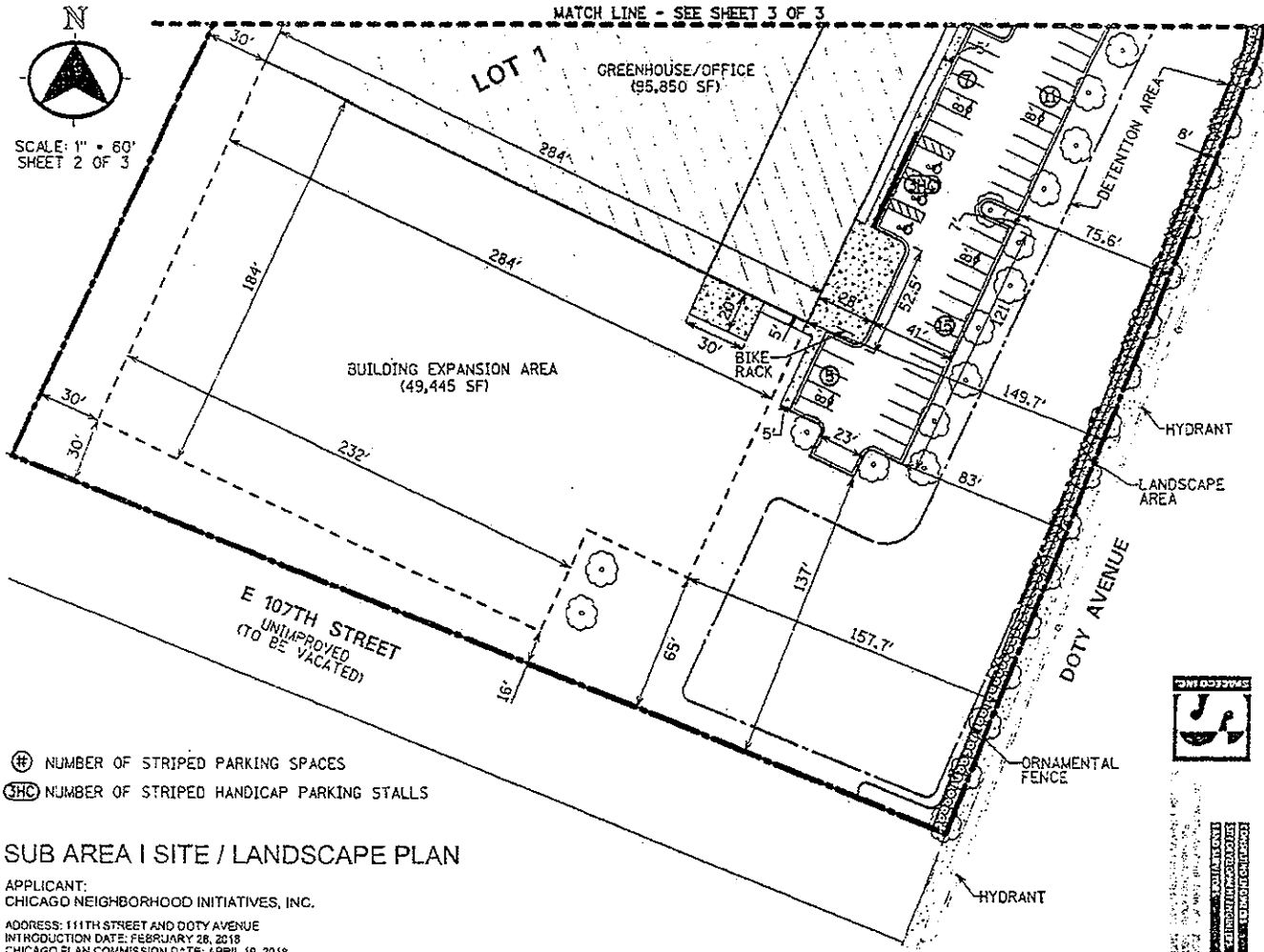
SUB AREA I SITE / LANDSCAPE PLAN

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.

ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: FEBRUARY 28, 2018
CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018



CONSULTING ENGINEERS - L.P. 001
 SITE DEVELOPMENT ENGINEER
 LAND SURVEYOR - L.P. 001
 111TH STREET PARTNERSHIP, L.P. 001
 CHICAGO, ILLINOIS 60642
 PHONE: 773.442.1111 FAX: 773.442.1112
 WWW: WWW.111THSTREETPARTNERSHIP.COM

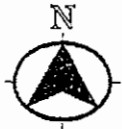


- ⊕ NUMBER OF STRIPED PARKING SPACES
- Ⓜ NUMBER OF STRIPED HANDICAP PARKING STALLS

SUB AREA I SITE / LANDSCAPE PLAN

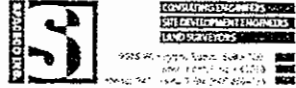
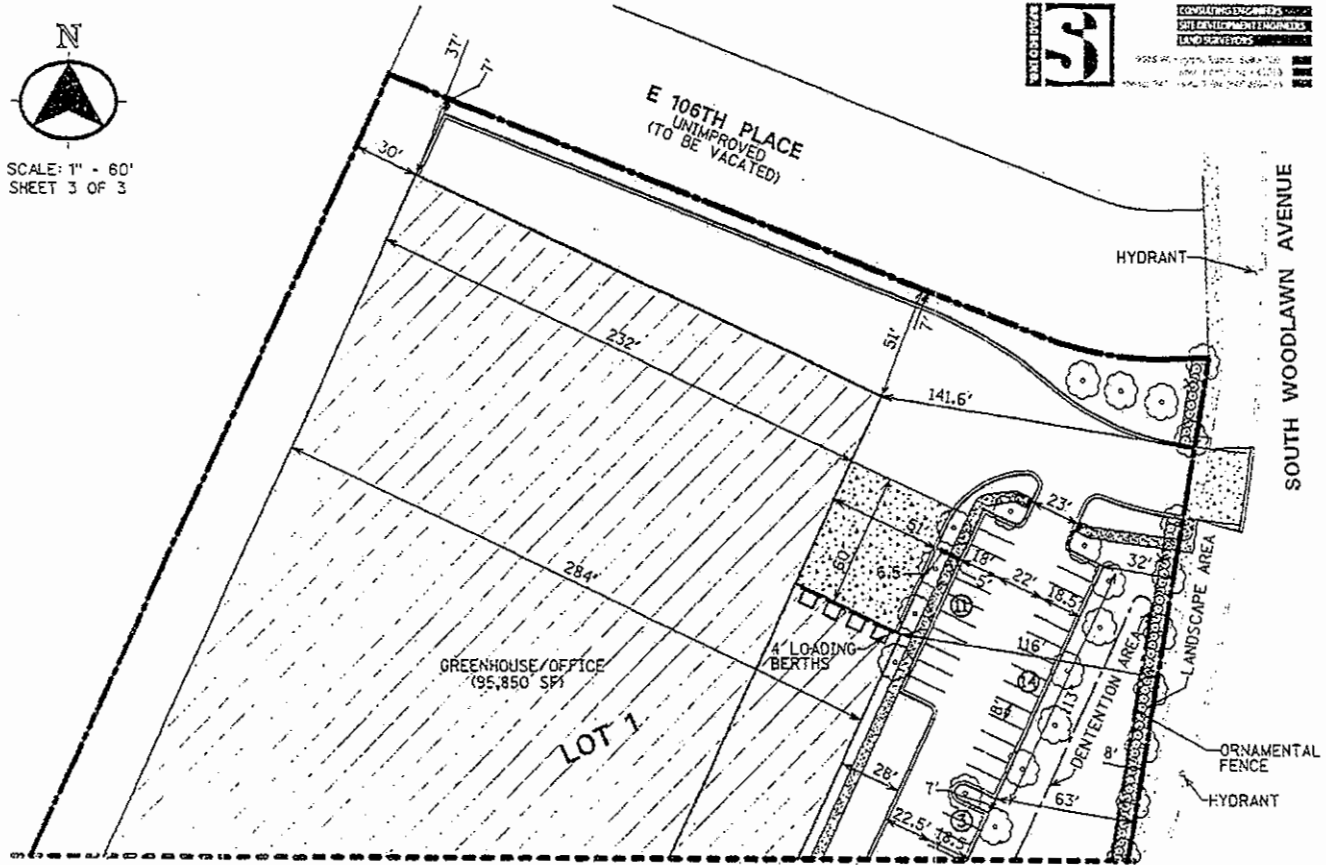
APPLICANT:
 CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 ADDRESS: 111TH STREET AND DOTY AVENUE
 INTRODUCTION DATE: FEBRUARY 28, 2018
 CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018

Professional seal and logo for the architect/engineer, including the name 'SPACED INC.' and a stylized logo.



SCALE: 1" = 60'
SHEET 3 OF 3

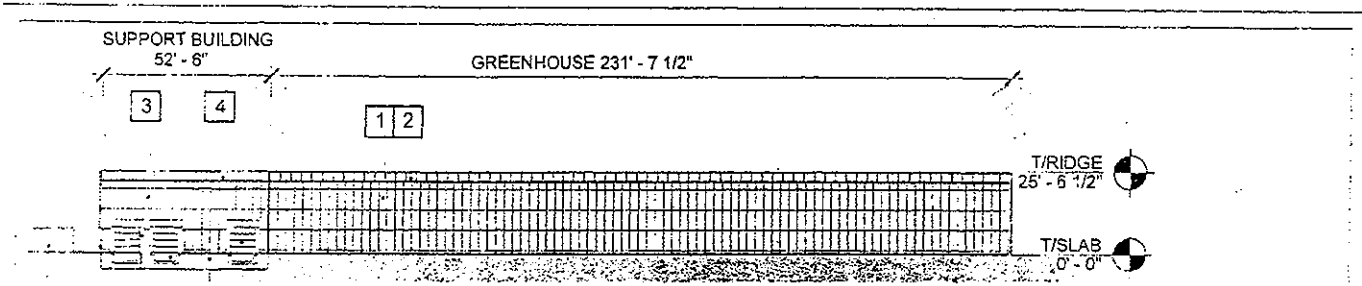
REVISIONS



SUB AREA | SITE / LANDSCAPE PLAN MATCH LINE - SEE SHEET 2 OF 3

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.
ADDRESS: 111TH STREET AND DOTY AVENUE
INTRODUCTION DATE: FEBRUARY 29, 2018
CHICAGO PLAN COMMISSION DATE: APRIL 19, 2018

- ⊕ NUMBER OF STRIPED PARKING SPACES
- ⊕H NUMBER OF STRIPED HANDICAP PARKING STALLS



9 9 7 8 5 6

NORTH ELEVATION

1 : 500

NOTATION FOR DISCUSSION

EXTERIOR MATERIAL LEGEND

- 1 TEMPERED GLASS WALL
- 2 TEMPERED DIFFUSE GLASS ROOF
- 3 INSULATED METAL PANEL WALLS
- 4 INSULATED METAL PANEL ROOF
- 5 CONCRETE FOUNDATION WALL
- 6 INSULATED STEEL OVERHEAD SECTIONAL DOOR
- 7 DOCK SEAL
- 8 DOCK LEVELER
- 9 DECORATIVE SCREEN WALL
- 10 ANODIZED ALUMINUM AND GLASS DOOR, PAIR
- 11 ANODIZED ALUMINUM AND GLASS DOOR, SINGLE, WITH GLASS SIDELITE
- 12 GUILLOTINE WINDOW, 4m [13'-1 1/2"] TALL, WITH INSECT SCREEN

GOTHAM GREENS

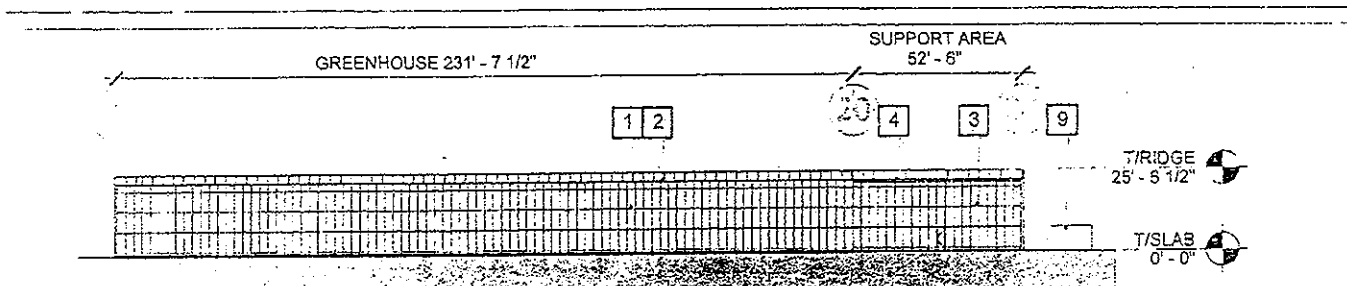
NORTH ELEVATION

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.

Address: 111th Street and Doy Avenue
Introduction Date: February 28, 2018
Chicago Plan Commission Date: April 19, 2018



HEITMAN ARCHITECTS INCORPORATED



SOUTH ELEVATION

1 : 500

EXTERIOR MATERIAL LEGEND

- 1 TEMPERED GLASS WALL
- 2 TEMPERED DIFFUSE GLASS ROOF
- 3 INSULATED METAL PANEL WALLS
- 4 INSULATED METAL PANEL ROOF
- 5 CONCRETE FOUNDATION WALL
- 6 INSULATED STEEL OVERHEAD SECTIONAL DOOR
- 7 DOCK SEAL
- 8 DOCK LEVELER
- 9 DECORATIVE SCREEN WALL
- 10 ANODIZED ALUMINUM AND GLASS DOOR, PAIR
- 11 ANODIZED ALUMINUM AND GLASS DOOR, SINGLE, WITH GLASS SIDELITE
- 12 GUILLOTINE WINDOW, 4m [13'-1 1/2"] TALL, WITH INSECT SCREEN

INTRODUCTION AND REVISIONS

GOTHAM GREENS

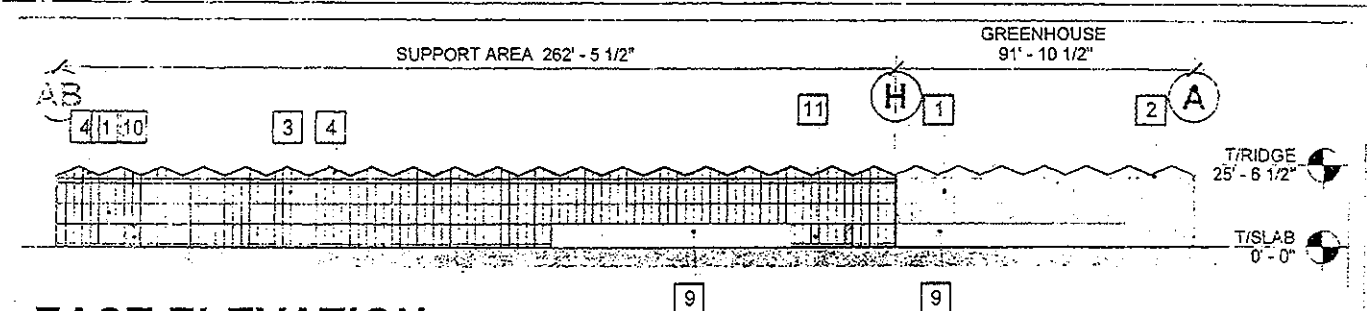
SOUTH ELEVATION

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.

Address: 111th Street and Dohy Avenue
Introduction Date: February 28, 2018
Chicago Plan Commission Date: April 19, 2018



HEITMAN ARCHITECTS INCORPORATED



EAST ELEVATION

1 : 500

FINAL FOR PUBLICATION

EXTERIOR MATERIAL LEGEND

- 1 TEMPERED GLASS WALL
- 2 TEMPERED DIFFUSE GLASS ROOF
- 3 INSULATED METAL PANEL WALLS
- 4 INSULATED METAL PANEL ROOF
- 5 CONCRETE FOUNDATION WALL
- 6 INSULATED STEEL OVERHEAD SECTIONAL DOOR
- 7 DOCK SEAL
- 8 DOCK LEVELER
- 9 DECORATIVE SCREEN WALL
- 10 ANODIZED ALUMINUM AND GLASS DOOR, PAIR
- 11 ANODIZED ALUMINUM AND GLASS DOOR, SINGLE, WITH GLASS SIDELITE
- 12 GUILLOTINE WINDOW, 4m [13'-1 1/2"] TALL, WITH INSECT SCREEN

GOTHAM GREENS

EAST ELEVATION

APPLICANT:
CHICAGO NEIGHBORHOOD INITIATIVES, INC.

Address: 111th Street and Doy Avenue
Introduction Date: February 28, 2018
Chicago Plan Commission Date: April 19, 2018



HEITMAN ARCHITECTS INCORPORATED

GREENHOUSE 354' - 4"

1 2 12



T/RIDGE
25' - 6 1/2"

T/SLAB
0' - 0"

WEST ELEVATION

1 : 500

FINAL FOR PUBLICATION

EXTERIOR MATERIAL LEGEND

- 1 TEMPERED GLASS WALL
- 2 TEMPERED DIFFUSE GLASS ROOF
- 3 INSULATED METAL PANEL WALLS
- 4 INSULATED METAL PANEL ROOF
- 5 CONCRETE FOUNDATION WALL
- 6 INSULATED STEEL OVERHEAD SECTIONAL DOOR
- 7 DOCK SEAL
- 8 DOCK LEVELER
- 9 DECORATIVE SCREEN WALL
- 10 ANODIZED ALUMINUM AND GLASS DOOR, PAIR
- 11 ANODIZED ALUMINUM AND GLASS DOOR, SINGLE, WITH GLASS SIDELITE
- 12 GUILLOTINE WINDOW, 4m [13'-1 1/2"] TALL, WITH INSECT SCREEN

GOTHAM GREENS

WEST ELEVATION

APPLICANT:
 CHICAGO NEIGHBORHOOD INITIATIVES, INC.
 Address: 111th Street and Doty Avenue
 Introduction Date: February 28, 2018
 Chicago Plan Commission Date: April 15, 2018



HEITMAN ARCHITECTS INCORPORATED

6/22/2016

REPORTS OF COMMITTEES

27219

*Reclassification Of Area Shown On Map No. 6-G.
(Application No. 18767)
(Common Address: 3025 -- 3027 S. Lloyd Ave.)*

[O2016-3913]

Be It Ordained by the Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 6-G in an area bounded by:

beginning at the northeast corner of the northeast line of the 16-foot public alley; thence northeasterly a distance of 48.00 feet to a point; thence southeasterly a distance of 100.00 feet to a point; thence southwesterly a distance of 45.00 feet to a point; thence northwesterly a distance of 4.26 feet to a point; and thence northwesterly a distance of 97.00 feet to the point of beginning,

to those of an RT3.5 Residential Single-Unit (Detached House) District which is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage in due publication.

*Reclassification Of Area Shown On Map No. 26-E.
(As Amended)
(Application No. 18606)
(Common Address: 720 E. 111th St.)*

BRIPD 1167,aa

[SO2015-8496]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business-Residential-Institutional Planned Development Number 1167, as amended, symbols and indications shown on Map Number 26-E in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of the 100-foot wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of a Business-Residential-Institutional Planned Development Number 1167, as amended, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business-Residential-Institutional Planned Development No. 1167, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development Number 1167 (the "Planned Development") consists of approximately 6,017,640 square feet of net site area (approximately 138 acres) of property (the "Property"), together with certain portions of existing adjacent rights-of-way, as depicted on the attached Planned Development Boundary and Property Line Map. The Planned Development is divided into Subareas (each, a "Subarea", and collectively, the "Subareas") as indicated on the attached Subarea Map North Pullman 111th, Inc. is the owner of and, for purposes of this amendment to the Planned Development, the "Applicant" with respect to Subareas B, D, E, F, G, and H.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. These Planned Development Statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II Approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Zoning Administrator as a minor change to this Planned Development, provided, such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as

applicable, that has been submitted by Applicant (or its successors, assigns or grantors) for approval by CDOT, the Department and by the City Council at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II Approval), and (c) shall not be deemed to confer any additional bulk, density or other development rights.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium or homeowners' association which may be formed). The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as North Pullman 111th, Inc. or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant (or Applicant's successor, assignee or grantee to such master developer ownership interest) or such affiliate. Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. The developer making application shall have the burden of establishing to the reasonable satisfaction of the Department that the Applicant's consent has been obtained or irrevocably waived. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof; provided, however, that North Pullman 111th, Inc.'s right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property or a covenant binding upon owners of the Property may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development and irrevocably waive the Applicant's consent right.
4. This Planned Development consists of these sixteen (16) statements; and the following "Design Exhibits" attached hereto: an Existing Zoning Map, a Planned Development Boundary and Property Line Map (three pages), a Subarea Map, an overall Site Plan, a final Subarea Plan and Site Plan (Phase 1) for Subarea B, Elevations -- Subarea B

(two pages), Plan of Development Bulk Regulations and Data Table -- Subarea B, and Design Guidelines -- Subarea B, all prepared by ZPD+A Architects and dated December 2, 2015; and a Landscape Plan (Subarea B -- Phase 1) prepared by Spaceco, Inc. and dated November 11, 2015.

The following Design Exhibits are incorporated by reference: Bulk Elevations -- North Woodlawn/Doty Avenues (Subarea G), Bulk Axonometrics (Subareas A, B, G), Plan of Development Bulk Regulation and Data Tables (including permitted uses) for each of Subareas A and C through H (seven pages), all prepared by PappageorgeHaymes Partners dated August 15, 2013; Design Guidelines for Subarea G, prepared by PappageorgeHaymes dated April 15, 2010; Plan of Development -- Bulk Regulations and Data Table Summary, prepared by PappageorgeHaymes dated August 15, 2013; Subarea C Site Plan, prepared by William McDonough Partners dated August 15, 2013; Project Legacy Landscape Plan (two pages), prepared by Norris Design dated August 15, 2013; and Building Elevations and Building Sections Sheet for Subarea C, both prepared by William McDonough Partners dated August 15, 2013.

Full-size copies of the Design Exhibits are on file with the Department.

The following administrative relief and site plan approval letters are hereby incorporated by reference and made part of this Planned Development (collectively, the "Administrative Approvals"): Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated February 25, 2011; Administrative Relief request for Subarea A, Phase 1A to Jesse Dodson dated May 2, 2011; Administrative Relief Request and Site Plan Approval for Subarea A, Phase 1B to David Doig dated January 25, 2013; and Site Plan Approval for Phase 1B of Subarea A (South Outlot -- 10834 South Doty Avenue) to David Reifman dated July 25, 2014.

References in these Statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits and Administrative Approvals. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development, and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these Statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The permitted uses, floor area ratio, building height, setback, parking, bicycle parking and off-street loading requirements for each Subarea are set forth in the applicable Plan of Development Bulk Regulations and Data Tables included in the Design Exhibits. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply.

6. Changes in the boundaries of Subareas shall require an amendment to these Statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premises signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. All ingress and egress shall be subject to the review and approval of CDOT and the Department. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach. Any dedication, opening, or vacation of public streets, alleys or easements or any adjustment of the public rights-of-way contained within a particular Part II submittal shall be approved by City Council prior to the issuance of any final Part II Approval. In connection with the Applicant's (or any developer's) submittal of any Site Plans in accordance with Statement 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). Applicant and its successors, assigns and grantees, at such parties' expense, agree to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third party construction inspection services to assist CDOT in its review and approval of Site Plan submissions (which approvals shall be a condition precedent to the Department's issuance of any applicable Part II Approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
10. Final Subarea Plans were previously approved for Subarea A, as part of establishment of the original Planned Development, and for Subarea C, as part of the amendment to the Planned Development approved on September 11, 2013. Final Subarea Plans shall not be required for Subareas B, D, E, F, G, or H, but development of such subareas shall be subject to Site Plan Review, as set forth in this Statement 10.

Prior to the Part II Approval (per Section 17-13-0610 of the Zoning Ordinance), Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and, as applicable, the Final Subarea Plan in accordance with Section 17-13-0800 of the Chicago Zoning Ordinance, excluding Site Plan review for (i) the project depicted in Subarea A, which was approved with the original Planned Development and by its related Administrative Approvals, (ii) the project depicted in Subarea C, which was approved as part of the amendment to the Planned Development approved on September 11, 2013, and (iii) the project depicted as Phase 1 of Subarea B, which is being approved as part of this amendment to the Planned Development. The future expansion of the industrial building in Subarea C shall require Site Plan Review and an Administrative Relief submission prior to a Part II Approval of the aforementioned expansion project. Review and approval by the Department of Planning and Development is intended to assure that specific development components substantially conform with the Planned Development, including the Plan of Development Bulk Regulations and Data Table and Design Guidelines applicable to such Subarea(s), and to assist the City in monitoring ongoing development. Subarea Site Plan Approval Submittals (per Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant.

If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's subarea (if applicable), or the final approved subdivision plat (if applicable), the Applicant or developer of the subject project shall provide an exhibit showing lot sizes and boundaries for such project. In addition to the submittal requirements of Section 17-13-0802-B, the Applicant or developer shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, included in such project:

- (1) the Gross Site Area;
- (2) the Net Site Area;
- (3) the square feet of floor area of each proposed building;
- (4) the amount of FAR utilized out of the maximum FAR permitted in such Subarea;
- (5) the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- (6) the number of dwelling units to be constructed and the maximum number of dwelling units permitted under the Design Exhibits applicable to such Subarea;
- (7) the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- (8) all Residential Open Space, if applicable;

- (9) the number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Bulk Regulation Data Table Summary and Design Exhibits, as applicable; and
- (10) final elevations; elevations must be provided for all of the proposed building facades and building specified.

The Site Data Table shall also incorporate a table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the Department and such other bureaus, departments or agencies as the Zoning Administrator deems appropriate before issuance of any Part II Approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable). If, after City departmental review, the Zoning Administrator determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance (as applicable to improvements in a C2-3 District, e.g., the Site Plans include 60 dwelling units or more, or buildings 75 feet or more in height), then the Site Plan must then be reviewed by the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda, publication in accordance with Section 17-13-0107-B of the Chicago Zoning Ordinance, and posting in accordance with Section 17-13-0107-C of the Chicago Zoning Ordinance shall be required, but for which written notice pursuant to Section 17-13-0107-A of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If such mandatory thresholds are not met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review, the Zoning Administrator determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Zoning Administrator. Without limiting the foregoing, the first development project within Subarea H may, in the Zoning Administrator's discretion, be presented to the Chicago Plan Commission during a public meeting (for which placement on a Chicago Plan Commission Agenda shall be required, but for which publication, posting and written notice pursuant to Sections 17-13-0107-A, -B, and -C of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If, after City departmental review, the Zoning Administrator shall determine that the Site Plan is not in substantial compliance with both the Planned Development and the approved Final Subarea Plan (if applicable), the Zoning Administrator shall advise the Applicant or developer in writing of why the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan (if applicable). In such case, the Applicant or developer shall be given an opportunity to submit revised Site Plans. If the Zoning Administrator finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan (if applicable), the Applicant or developer then shall be required to

amend this Planned Development and/or the Final Subarea Plan (if applicable) in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan (if applicable) and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Section 13 hereof, if applicable.

11. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's storm water management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) It is the Applicant's intention to adaptively reuse the Brite Line building identified as "Existing Building" in Subarea D on the Site Plan; however, the Applicant reserves the right to demolish such building and to otherwise redevelop Subarea D in conformance with the applicable terms of this Planned Development in the event the Applicant determines that such adaptive reuse is not feasible or desirable.
 - (d) Within Subarea A, a Chicago Transit Authority bus turnaround in a location and of such size and configuration as mutually agreed upon by the Applicant, the Chicago Transit Authority and CDOT has been previously completed.
 - (e) Porches shall be features which are allowed to encroach into any required front yard setback in Subarea F, subject to Site Plan approval.
 - (f) Applicant acknowledges that the City will not maintain or bear the cost of maintaining any landscape or streetscape improvements on any medians to be constructed within the Planned Development. Prior to CDOT approval of engineering drawings for any median street to be constructed by the Applicant within the Planned Development, the Applicant must demonstrate to the satisfaction of CDOT that sufficient sustainable resources have been committed, and written agreements exist (which provide reasonable protection to the City and, among other things, shall name the City as intended beneficiary, shall grant the City enforcement rights, and shall include or extend indemnification and insurance provisions for the benefit of the City) to provide for the satisfactory maintenance of such medians, which agreements may provide for maintenance costs to be funded through a special service area or

special service district, the establishment of which is subject to separate City Council approval.

- (g) Applicant, at the Applicant's expense, has previously reconstructed South Woodlawn Avenue from approximately East 107th Street to East 111th Street in accordance with the requirements of Statement 9.
 - (h) The Applicant and each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.
12. The Part II Review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.50 per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II Review. Such fee shall be determined and assessed by the Department at the time of each and every Part II Review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II Approval. Following Part II Review and approval by the Zoning Administrator, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. Any interim reviews associated with Site Plan review or Part II Reviews, are conditional until final Part II Approval.
13. Subject to the other terms and conditions of these Statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Zoning Administrator upon application and a determination by the Zoning Administrator in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Section 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the net site area of or dwelling units permitted in other subareas or the Planned Development as a whole) and that such modification, and the improvements contemplated thereby, are consistent with the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and

approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

14. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any Subarea shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the submittal of Site Plans pursuant to this Planned Development; provided, however, that the Zoning Administrator may approve alternative methods of satisfying the "Sustainable Development Policy Matrix". The Applicant has agreed to provide an infiltration trench/bioswale east of the proposed Phase 1 building within Subarea B to provide the equivalent storm water volume control as a 50 percent Green Roof for the proposed Phase 1 building and to exceed ASHRAE 90.1-2004 standards by 14 percent, in satisfaction of the City of Chicago's Sustainable Policy requirements.
15. Unless substantial construction of any new building, as proven by the issuance of building permits and the diligent completion of construction pursuant to such permits for Subarea B or Subarea H has commenced within six (6) years of this amendment to the Planned Development, this Planned Development shall expire upon the sixth anniversary date of the effective date of this amendment to the Planned Development. If this amendment to the Planned Development expires pursuant to the foregoing provision, this amendment to the Planned Development shall expire by separately introduced ordinance, if any, and in such event the zoning of the Property shall revert to Business-Residential-Institutional Planned Development Number 1167, as adopted by the Chicago City Council on September 11, 2013. Such reversion shall not render any building existing at the time to be nonconforming. The six-year period described above may be extended for up to one additional year if, before expiration, the Zoning Administrator determines that good cause for an extension is shown.
16. Any open space to be dedicated to the Chicago Park District ("CPD") must meet CPD standards and, where applicable, the park must be designed and constructed to those standards. Any conveyance of open space to the CPD shall be subject to the approval of the CPD and a resolution or ordinance issued by the CPD Board of Commissioners must be provided to the Department to evidence such dedication, conveyance and acceptance.

[Existing Zoning Map; Site Plan; Land Use Map; Boundary and Property Line Maps; Overall Site Plan; Subarea B; and North, South, East and West Building Elevations referred to in this Plan of Development Statements printed on pages 27229 through 27242 of this *Journal*.]

Bulk Regulation and Data Table and Design Guidelines referred to in these Plan of Development Statements read as follows:

FINAL FOR PUBLICATION

SUB AREA B
Phase 1



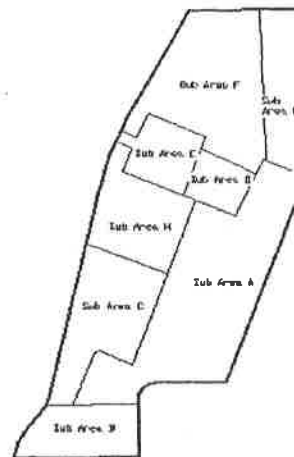
Uses

The following C2 Motor Vehicle-Related Commercial District uses shall be allowed: day care; postal service; public safety services; utilities and services, minor; Chicago Transit Authority bus turnaround; all animal services excluding stables; artist work or sales space; body art services; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports including outdoor patio located on a rooftop; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; medical service; office; high technology office; electronic data storage center; parking, non-accessory; personnel service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated Laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; hotels; elderly housing; wireless communication facilities excluding freestanding towers.

No adult uses are allowed.

Site Area

Gross 648,718 sf
Rights of Way 51,024 sf
Net Site Area 597,695 sf
Public Open Space 15,167 sf



Maximum F.A.R.		1.0	
Building Height		100 ft	
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	0 ft	
Parking	Group M e.g. retail	None for first 10,000 square feet then 2.5 spaces per 1,000 square feet	
	Group D e.g. elderly housing	0.33 spaces per a unit	
	Group S e.g. lodging	1 space per 3 lodging rooms	
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.		
	Group M e.g. retail	1 per 5 auto spaces	
	Group D e.g. elderly housing	1 per 4 auto spaces	
Off Street Loading	Group S e.g. lodging	1 per 10 auto spaces	
	Retail	100,000 to 249,999 sf = 4 berths (10 x 50) +250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf	
	Lodging	25,000-199,999=1 berth (10 x 50)	
	Multi-Unit	25,000-199,999=1 berth (10 x 25)	

Plan of Development – Bulk Regulations and Data
Sub Area B

Applicant: North Pullman 111th Inc.
Address: 111th Street and Doty Avenue
Submitted for Administrative Review - 11/11/15
Plan Commission: 05/19/16

zpd+a Architects
www.zpdarch.com
901 W Jackson, Suite 204
Chicago, IL 60607



P/H # 081901

FINAL FOR PUBLICATION

Design Guidelines
for PD 1167: Sub Area B
(111th Street Neighborhood Retail District)
Updated May 16, 2016

The Design Guidelines are development standards for buildings and public spaces to guide the design and development of any project within the 111th street neighborhood retail district of Pullman Park. The goal of the guidelines is to provide a framework to achieve a balance between individual expression of each structure and a harmonious connection to not only the community but the history of Pullman as well.

Orientation:

- Buildings located along 111th Street or within the general context of the site, will have their primary elevation oriented to face 111th Street. Buildings located on corners or parking entrances should have their primary elevations oriented to face both 111th Street and the adjacent street or entrance drive.

Massing:

- Buildings should be composed of simple volumes, primarily 1 to 2 story retail buildings, plus mid-rise (8 story) Senior Housing and/or Hotel buildings. 1 to 2 story retail occupancies will feature sloped roofs; Mid-rise buildings may be sloped and/or flat roofs.
- Retail buildings located along 111th street will be a minimum of 16' tall and a maximum of 30' tall measured from sidewalk grade to the midpoint of sloped roofs; excluding towers, cupolas and other decorative elements.

Roof massing:

- Sloped roofs with a minimum slope of 6:12
- Buildings may alternatively feature flat roofs with built up parapets.
- Roofs will be designed to screen and conceal all rooftop mounted mechanical equipment.

Lighting:

- Lighting will be designed to enhance the building design and storefront, compliment the architecture, and be sufficient for visibility and safety.
- Lighting should be stationary and non-animated.

Design Guidelines
Sub Area B

Applicant: North Pullman 111th Inc.
Address: 111th Street and Doty Avenue
Introduced: 12/09/15
Plan Commission: 05/19/16

zpd+a Architects
www.zpdarch.com
901 W Jackson, Suite 204
Chicago, IL 60607

P/H # 081901



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Masonry Openings:

- Window and door headers in masonry walls should be defined and articulated with stone, cast stone or special brick coursing such as soldier or double rowlock header bonds. Jack, segmental, semi-circular and multi-centered arches are encouraged. Window sills within walls should incorporate stone or precast sills.

Signage:

- All signage will be attached to the building or canopy, provided that up to three free-standing multi-tenant signs and up to three free-standing single-tenant signs may be established within Sub Area B. Types of permitted signs include:
 - Freestanding pin-mounted letterform
 - Freestanding internally illuminated signs (including so-called "lightbox" signs)
 - Projecting signs
 - Blade signs
 - Storefront signs
 - Window Signs
 - Canopy signs
 - Two sided or three-dimensional contextual signs
 - Backlit letter metal sign box signs
 - Internally illuminated, wall-mounted signs
 - Neon signs are permitted only when inset into a metal channel or open-face form with or without an acrylic cover.

Awnings & Canopies:

- Awnings and canopies will be compatible in material and construction to the style and character of the building. The color of the awning or canopy should be compatible with the overall color scheme of the façade.
- Where feasible, awnings and canopies should be generally aligned with others nearby in order to maintain a sense of visual continuity.
- Awnings and canopies should be tailored to the opening of the building and positioned so that distinctive architectural features remain visible.

Design Guidelines
Sub Area B

Applicant: North Pullman 111th Inc.
Address: 111th Street and Doly Avenue
Introduced: 12/09/15
Plan Commission: 05/19/16

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www.zpdarch.com
901 W Jackson, Suite 204
Chicago, IL 60607

P/H # 081901



FINAL FOR PUBLICATION

Material Transitions:

- Where possible, all transitions between dissimilar wall materials should occur at inside corners.

Storefronts:

- Storefronts will be designed using a rhythm created by pilasters, columns, and or piers with trim to frame display windows. Glazing will comprise 50-65% of the storefront wall area.
- Aluminum, steel, clad, or aluminum clad wood framed entrances with factory applied finishes in one of the accent colors listed elsewhere in this document. A minimum 12" durable storefront base should be incorporated as part of the design to withstand contact with maintenance and snow removal equipment.

Accent Colors:

- The colors that are recommended for awnings, aluminum storefronts, brackets, exposed structural elements are listed per the Pantone Matching Systems[®] and are as listed:
 - PMS Cool Grey 11
 - PMS 626
 - PMS Process Black C
 - PMS 1526

Materials:

- Brick-Red finish in an extruded wirecut or velour texture, handmade and/or molded finish. Brick exterior walls will be composed of a blend between modular sized units, 3 5/8" x 2 1/4" x 7 5/8"; and/or "Quick-Brick" 4" x 16" x 8" nominal sized units. Coursing will be a standard common or header bond. All mortar should be colored mortar to match the brick.
- Stone-Buffer colored limestone in rock-face, smooth and other textured surfaces.
- Precast stone- Fabricated to simulate natural limestone in rock-face, smooth and other textured surfaces.
- Roofing: slate, manufactured slate, metal standing seam; or shake type asphalt shingles
- Glass- clear insulated, energy efficient glass
- Trim-Decorative trim will be cellular PVC, prefinished aluminum and prefinished extruded aluminum panning in traditional brick-mold and casing profiles; accent banding and/or special accent shapes may also include a limited amount of fiber cement siding. EFIS will be allowed at decorative building cornices only.

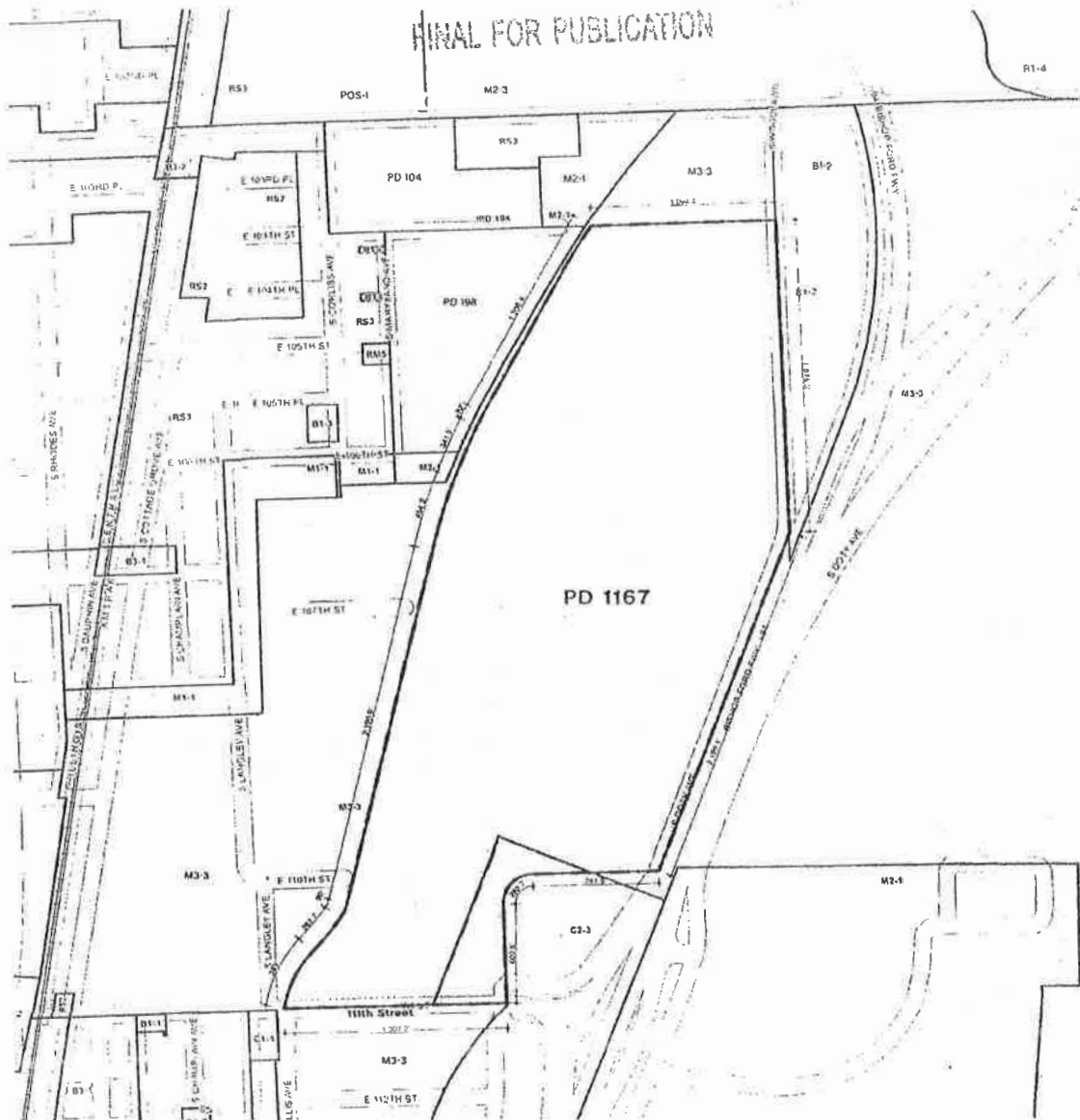
Design Guidelines
Sub Area B

Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doty Avenue
 Introduced: 12/09/15
 Plan Commission: 05/19/16

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 www.zpdarch.com
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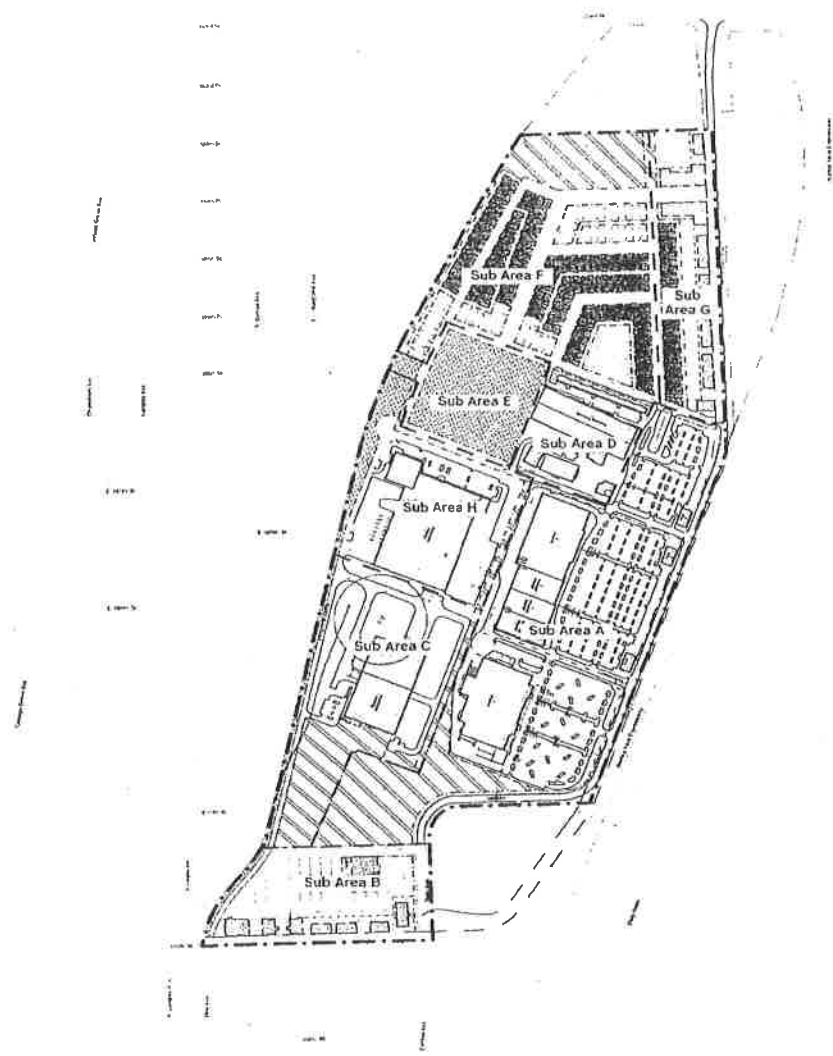
Zone	Area(sf)	Area (acres)
PD 1167	7,917,777 sf	181.77 acres

N

Existing Zoning Map
 Scale: 1" = 800'-0"

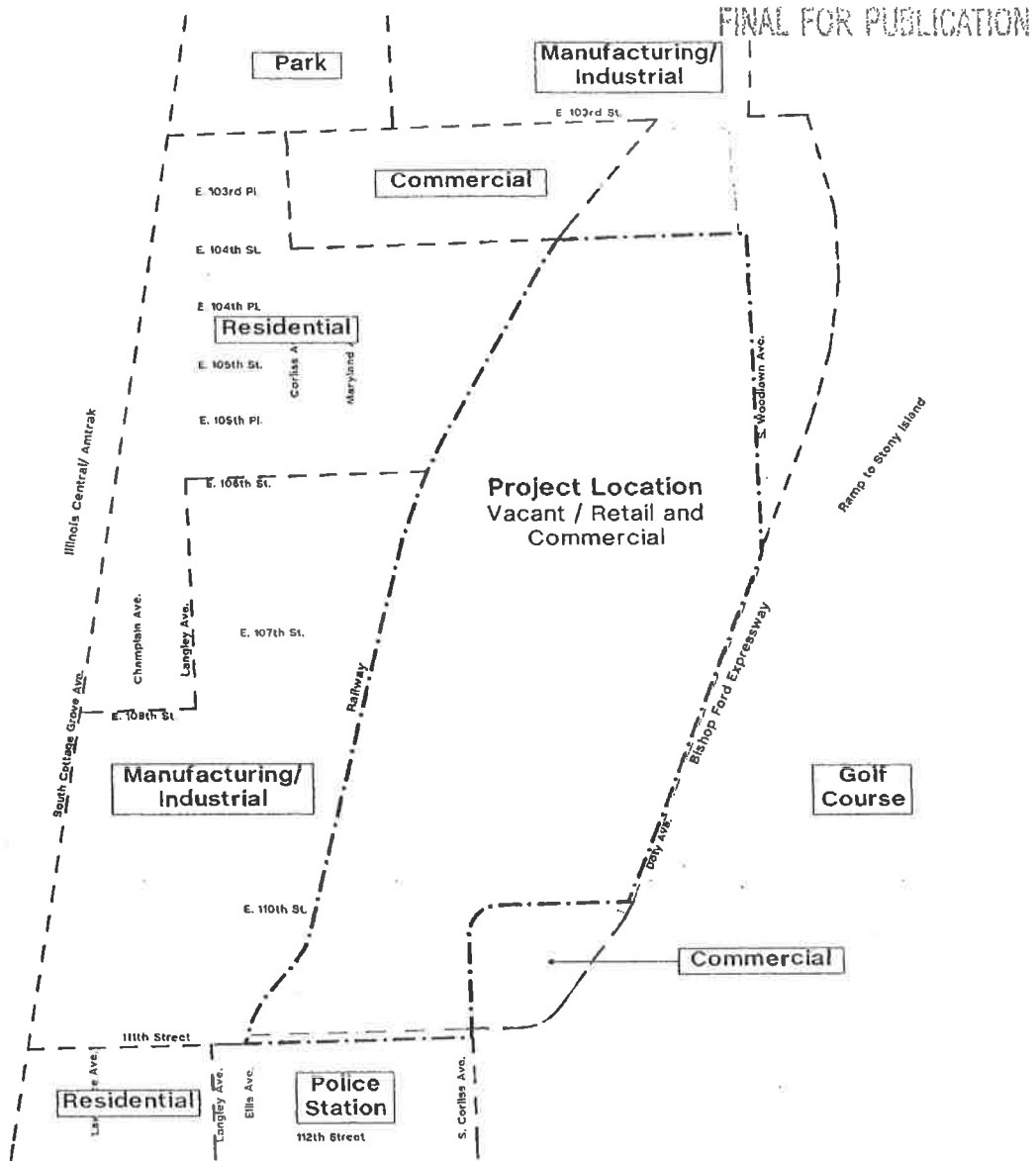
Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doly Avenue
 Introduction Date: December 9, 2015
 Chicago Plan Commission Date: May 19, 2016

FINAL FOR PUBLICATION



Site Plan
Scale: 1" = 600'-0" Note: Refer to Sub Area Detail Plans to Follow

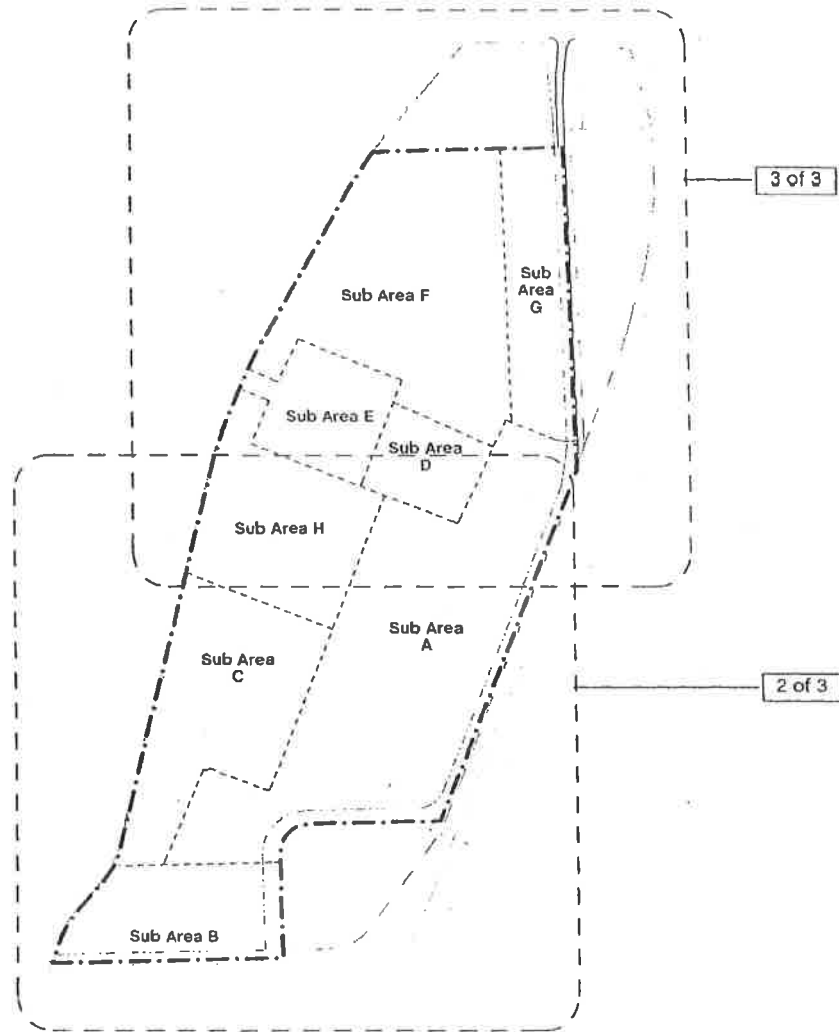
Applicant: North Pullman 111th Inc.
Address: 111th Street and Doty Avenue
Introduction Date: December 9, 2015
Chicago Plan Commission Date: May 19, 2016




Land Use Map
 Scale: 1" = 800'-0"

Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: December 9, 2015
 Chicago Plan Commission Date: May 19, 2016

FINAL FOR PUBLICATION

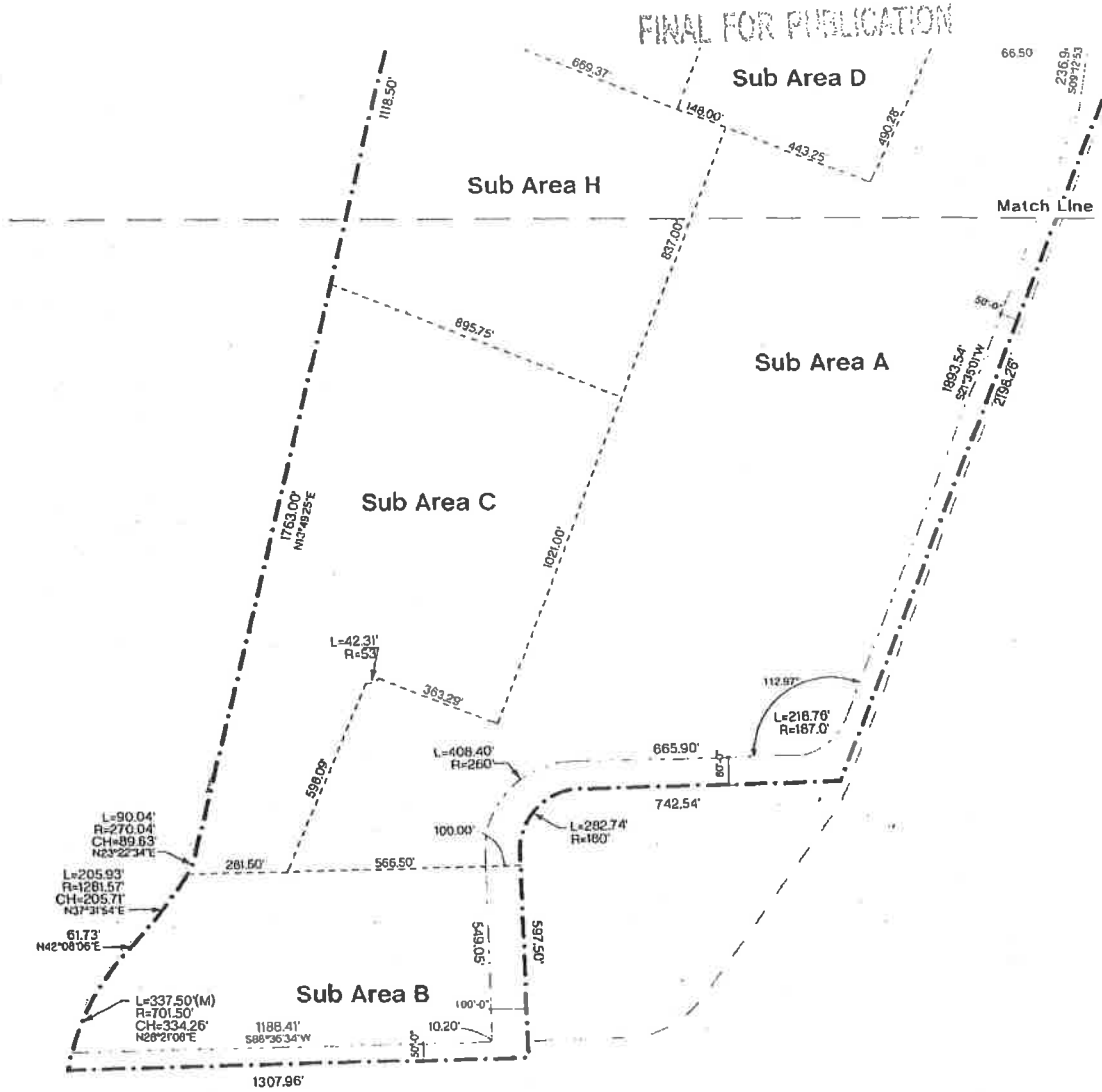


Note:
Refer to following detail plans for all boundary and property line dimensions.



Planned Development Boundary and Property Line Map - 1 of 3
Scale: 1" = 800'-0" Note: Refer to Detail Plans to Follow

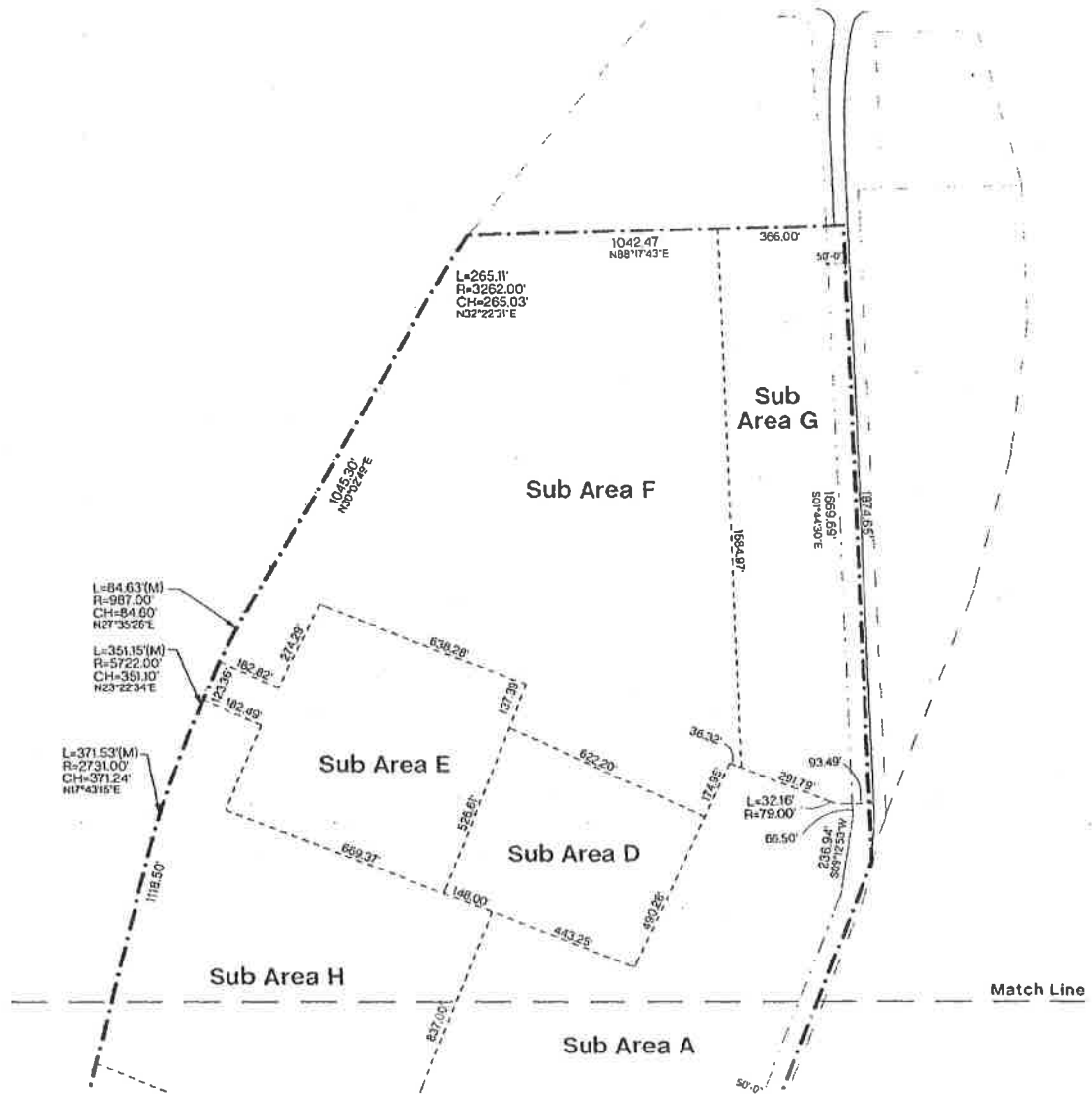
Applicant: North Pullman 111th Inc.
Address: 111th Street and Doty Avenue
Introduction Date: December 8, 2015
Chicago Plan Commission Date: May 19, 2016



Planned Development Boundary and Property Line Map - Detail - 2 of 3
 Scale: 1" = 400'-0"

Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: December 8, 2015
 Chicago Plan Commission Date: May 19, 2016

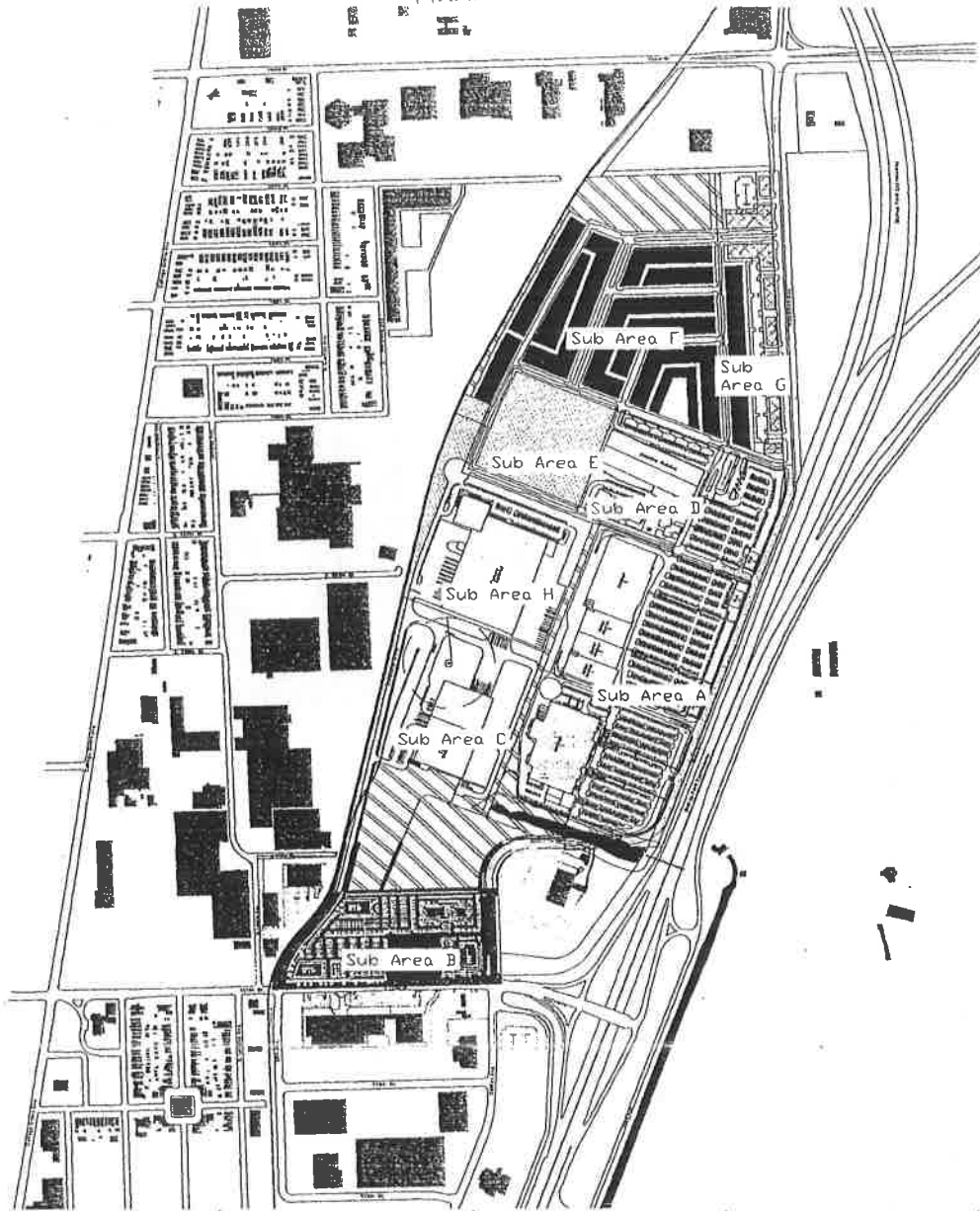
FINAL FOR PUBLICATION



Planned Development Boundary and Property Line Map - Detail - 3 of 3
 Scale: 1" = 400'-0"

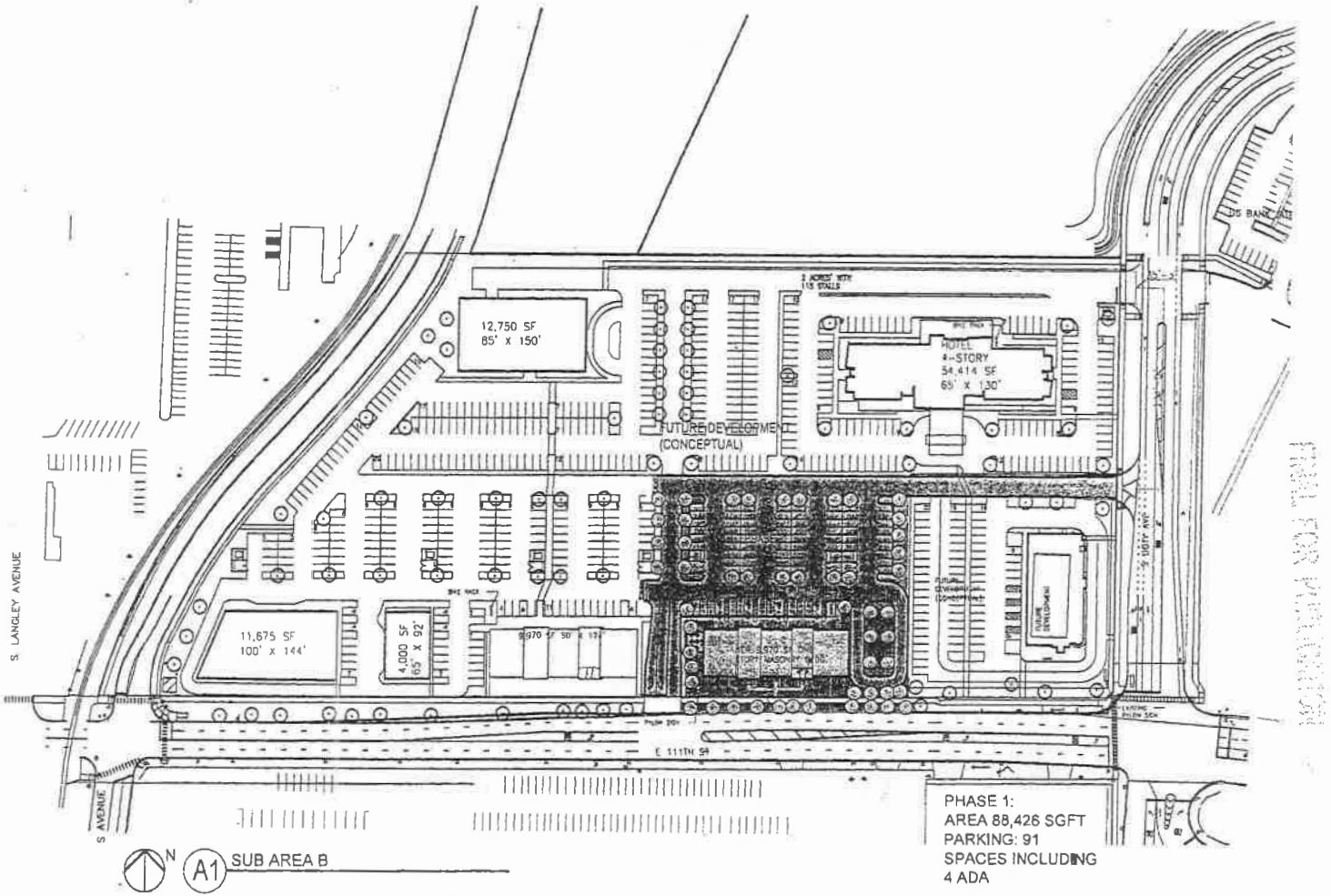
Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: December 8, 2015
 Chicago Plan Commission Date: May 18, 2016

FINAL FOR PUBLICATION



 **A1** OVERALL SITE PLAN
1"=800'-0"

Applicant: NORTH PULLMAN 111TH INC.
Address: 111th Street and Doty Avenue, Chicago IL
Introduced: 12 09 2015
Plan Commission: 05 19 2016

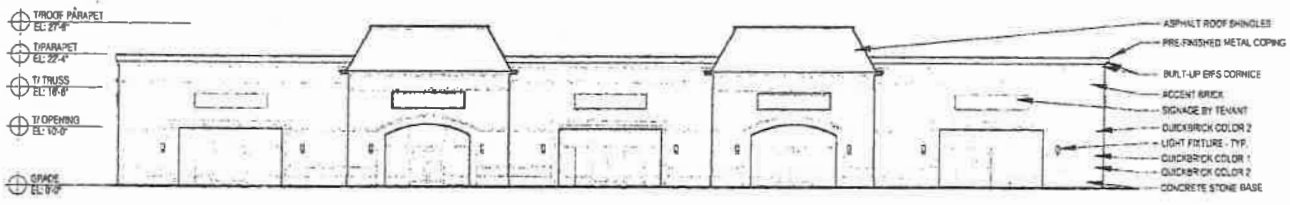


Applicant: PULLMAN PARK DEVELOPMENT, LLC
 Address: 111th Street and Doly Avenue, Chicago IL
 Introduced: 12.09.2015
 Plan Commission: 05.19.2016

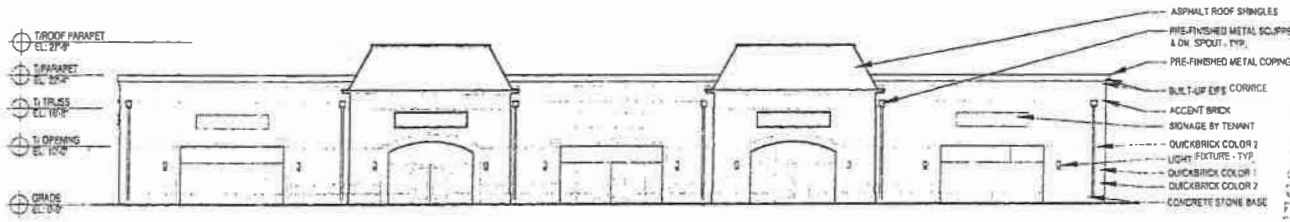
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01 SOUTH ELEVATION



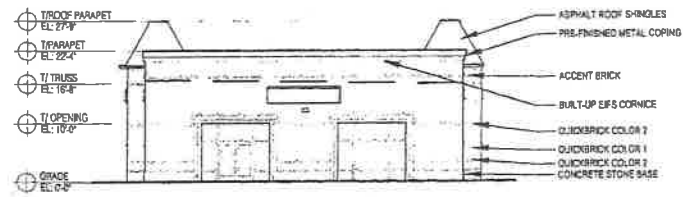
02 NORTH ELEVATION

FILED FOR PULLMAN
 6/22/2016

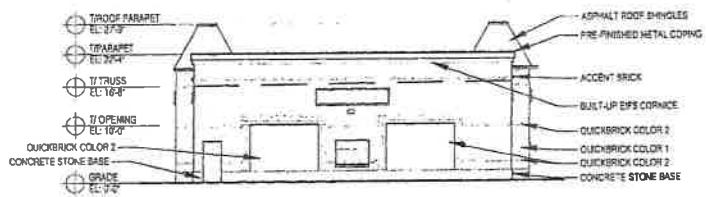
Applicant: NORTH PULLMAN 111TH INC.
 Address: 111th Street and Doty Avenue, Chicago IL
 Introduced: 04.15.2016
 Plan Commission: 05.18.2016

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 801 W. Jackson, Suite 204
 Chicago, IL 60607

FOR INFORMATION



01 WEST ELEVATION



02 EAST ELEVATION

Applicant: NORTH PULLMAN 111TH INC,
 Address: 111th Great and Doly Avenue, Chicago IL
 Introduced: 04.15.2016
 Plan Commission: 05.18.2016

zpd+a Architects
 www.zpd+a.com
 331 W. Jackson, Suite 204
 Chicago, IL 60607



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 23, 2015

David Reifman
DLA Piper US LLP
203 N. LaSalle Street
Suite 1900
Chicago, IL 60601-1293

RE: Signage for Planned Development Number 1167, Pullman Park


Dear Mr. Reifman:

We have reviewed the attached Draft Pullman Park sign proposal you recently submitted. It proposes a total of 17,757 square feet ("SF") of signage (15,905 SF of wall signage and 1,852 SF of monumental signage). This is based on if the entire site, consisting of parcels A-P, were developed in conformance with the Planned Development.

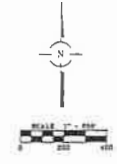
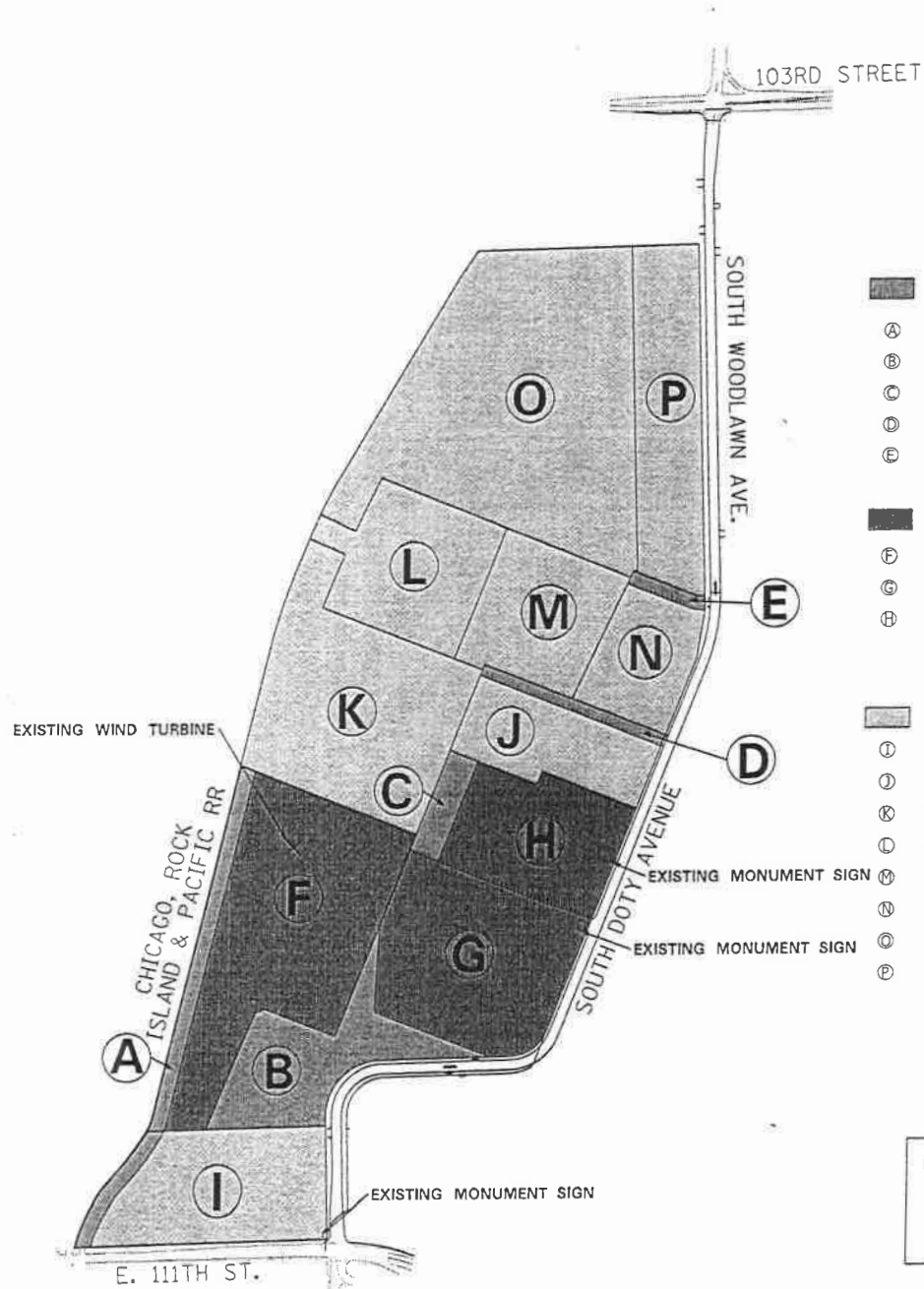
Recently, an increase in signage was approved for larger sites throughout the City of Chicago. Since Planned Development Number 1167 ("PD 1167") is greater than one acre in area and has multiple street frontages, it is allowed 5,400 square feet (1,800 x 3 for E. 111th St., S. Doty Ave., and S. Woodlawn Ave.) of total sign area. PD 1167 contains approximately 170 acres and the development known as Pullman Park permits retail and commercial uses, manufacturing and industrial uses and residential uses. Since PD 1167 was recently passed in 2013, only a small portion of the site has been developed as of yet. Based on the enormous size of the site, and the number and varying uses permitted, we understand that additional signage may be necessary if this site is fully developed.

Based on the Planned Development's approximately 6,000 square feet of street frontage, you are proposing approximately 3x the street frontage or 17,757 square feet of total sign area. We will allow additional signage as outlined on the attached, and as each parcel and sub area is developed. All signage must meet the requirements of the Zoning Ordinance and PD 1167, including the design guidelines. We also understand that further modifications may need to be made as development occurs and tenants are identified. We look forward to working with you on the continued construction and success of Pullman Park.

Sincerely,


Patricia A. Squidiero
Zoning Administrator

C: Mariah DiGrino, Heather Gleason, Teresa McLaughlin, Main file



PARCELS WITH NO SIGNAGE		AREA
Ⓐ	ENTRY DRIVEWAY	4.1 ACRES
Ⓑ	LOT 4 - STORMWATER/ WETLAND	8.7 ACRES
Ⓒ	PORTION OF LOT 2 - OPEN SPACE	1.6 ACRES
Ⓓ	107TH STREET R.O.W. (UNDEVELOPED)	1.1 ACRES
Ⓔ	106TH PLACE R.O.W. (UNDEVELOPED)	0.6 ACRES

DEVELOPED PARCELS WITH SIGNAGE		WALL SIGNS (S.E.)	BY-LINE MONUMENT SIGNS (S.E.)
Ⓕ	LOT 5 - METHOD (INDUSTRIAL)	2,331 *	107
Ⓖ	LOT 3 - WALMART (RETAIL)	544	95
Ⓗ	PORTION OF LOT 2 - (RETAIL)	1,760	300
SUB-TOTAL =		4,635	502

*INCLUDES 1,300 SF OF BANNERS AND AWNINGS

UNDEVELOPED PARCELS WITH SIGNAGE		WALL SIGNS (S.E.)	BY-LINE MONUMENT SIGNS (S.E.)
Ⓚ	SUBAREA B (RETAIL)	3,300	300
Ⓛ	PORTION OF LOT 2 (RETAIL)	1,400	0
Ⓚ	SUBAREA H (INDUSTRIAL)	320	200
Ⓛ	SUBAREA E (INDUSTRIAL)	175	100
Ⓜ	SUBAREA D (RETAIL)	1,200	0
Ⓝ	LOT 1 (RETAIL)	1,300	150
Ⓞ	SUBAREA F (INDUSTRIAL)	575	300
Ⓟ	SUBAREA G (RETAIL)	3,000	300
SUB-TOTAL =		11,270	1,350
TOTAL =		15,905	1,852

NOTE: PLANNED DEVELOPMENT NO. 1167, AS AMENDED, CONTEMPLATES DEVELOPMENT OF PARCELS L AND M FOR RECREATIONAL AND COMMUNITY CENTER USES, AND DEVELOPMENT OF PARCEL O WITH RESIDENTIAL USES. FOR DISCUSSION PURPOSES, AND BASED ON ONGOING PLANNING EXERCISES, THE SIGN PLAN CONTEMPLATES DEVELOPMENT OF PARCELS L AND O FOR INDUSTRIAL PURPOSES AND PARCEL M FOR RETAIL PURPOSES.

DRAFT - FOR DISCUSSION

OVERALL SIGNAGE EXHIBIT

PULLMAN PARK
CHICAGO, ILLINOIS

DATE: 10/15/2014

SCALE: 1" = 50'

PROJECT: PULLMAN PARK

EXH 1 OF 1

11/13/2014

Pullman Park (Project 5484)
DEVELOPED PARCELS WITH SIGNAGE

F. LOT 5 - METHOD (INDUSTRIAL)

QUANTITY AREA(S.F.) TOTAL (S.F.)

MONUMENT SIGNS

SIGN - 1	1	77	77
SIGN - 2	1	30	30
		TOTAL =	107

WALL SIGNS

GOTHAM GREENS	3	48	144
WIND TURBINE	1	261.5	261.5
BANNERS/ AWNINGS	1	1300	1925.3
		TOTAL =	2330.8

G. LOT 3 - WALMART (RETAIL)

PYLON SIGN

SIGN - 1	1	95	95
		TOTAL =	95

WALL SIGNS

WALMART	1	298	298
MARKET	1	26.17	26.17
HOME & PHARMACY	1	97.66	97.66
OUTDOOR LIVING	1	77.17	77.17
PHARMACY DRIVE-THRU	1	39.9	39.9
EXIT	1	2.34	2.34
ENTER	1	3.24	3.24
		TOTAL =	544

H. LOT 2 (RETAIL)

PYLON SIGNS

PYLON	2	150	<u>300</u>
		TOTAL =	300

WALL SIGNS

ROSS	1	470.75	470.75
CITY SPORT	1	30	30
DOLLAR TREE	1	161.25	161.25
PLANET FITNESS	1	550	550
SNEAKER VILLA	1	68	68
OUTLOT (2 Tenants, 2 sides)	4	60	240
OUTLOT (2 Tenants, 2 sides)	4	60	240
		TOTAL =	<u>1760</u>

MONUMENT SIGNS TOTAL = 502 S.F.

WALL SIGNS TOTAL = 4,635 S.F.

DRAFT FOR DISCUSSION

11/13/2014

Pullman Park (Project 5484)

UNDEVELOPED PARCELS WITH SIGNAGE

72,300 sf of building area

I. SUBAREA B (RETAIL)

	QUANTITY	AREA(S.F.)	TOTAL (S.F)		
<u>MONUMENT/ PYLON SIGN</u>					
SIGN - 1	2	150	<u>300</u>		
		TOTAL =	300		
<u>WALL SIGNS</u>					
SIGNS	1	3,255	<u>3,255</u>		
		TOTAL =	3,255	Say	3,300

J. PORTION OF LOT 2 (RETAIL)

60,000 sf of building area with extension into lot (approximate area)

<u>MONUMENT/ PYLON SIGN</u>					
SIGN - 1	0	150	<u>0</u>		
		TOTAL =	0		
<u>WALL SIGNS</u>					
SIGNS	1	1,157	<u>1,157</u>		
OUTLOT (2 Tenants, 2 Sides)	4	60	<u>240</u>		
		TOTAL =	1,397	Say	1,400

Calculation: 60,000 sf * 0.02 sf of sign = 1,157 sf of sign

K. SUBAREA H (INDUSTRIAL)

19.3 acres

<u>MONUMENT/ PYLON SIGN</u>					
SIGN-1	4	50	<u>200</u>		
		TOTAL =	200		
<u>WALL SIGNS</u>					
SIGNS	1	319	<u>319</u>		
		TOTAL =	319	Say	320

Calculation: 19.3 ac * 12,000 sf/ac * 0.0014 sf of sign/sf = 319 sf of sign

L. SUBAREA E (INDUSTRIAL)

10.6 acres

<u>MONUMENT/ PYLON SIGN</u>					
SIGN-1	2	50	<u>100</u>		
		TOTAL =	100		
<u>WALL SIGNS</u>					
SIGNS	1	175	<u>175</u>		
		TOTAL =	175	Say	175

Calculation: 10.6 ac * 12,000 sf/ac * 0.0014 sf of sign/sf = 175 sf of sign

M.	<u>SUBAREA D (RETAIL)</u>					
	9.0 acres					
	<u>MONUMENT/ PYLON SIGN</u>					
	SIGN - 1	0	150	<u>0</u>		
			TOTAL =	<u>0</u>		
	<u>WALL SIGNS</u>					
	SIGNS	1	1,188	<u>1,188</u>		
			TOTAL =	<u>1,188</u>	Say	1,200
	Calculation: 9.0 ac * 6,842 sf/ac * 0.02 sf of sign/sf = 1,188 sf of sign					
N.	<u>LOT 1 RETAIL</u>					
	6.2 acres					
	<u>MONUMENT/ PYLON SIGN</u>					
	SIGN - 1	1	150	<u>150</u>		
			TOTAL =	<u>150</u>		
	<u>WALL SIGNS</u>					
	SIGNS	1	818	<u>818</u>		
	OUTLOT (2 Tenants, 2 Sides)	4	60	<u>240</u>		
	OUTLOT (2 Tenants, 2 Sides)	4	60	<u>240</u>		
			TOTAL =	<u>1,298</u>	Say	1,300
	Calculation: 6.2 ac * 6,842 sf/ac * 0.02 sf of sign/sf = 818 sf of sign					
O.	<u>SUBAREA F (INDUSTRIAL)</u>					
	34.2 acres					
	<u>MONUMENT/ PYLON SIGN</u>					
	SIGN-1	6	50	<u>300</u>		
			TOTAL =	<u>300</u>		
	<u>WALL SIGNS</u>					
	SIGNS	1	566	<u>566</u>		
			TOTAL =	<u>566</u>	Say	575
	Calculation: 34.2 ac * 12,000 sf/ac * 0.0014 sf of sign/sf = 566 sf of sign					
P.	<u>SUBAREA G (RETAIL)</u>					
	65,500 sf of building					
	<u>MONUMENT/ PYLON SIGN</u>					
	SIGN-1	2	150	<u>300</u>		
			TOTAL =	<u>300</u>		
	<u>WALL SIGNS</u>					
	SIGNS	1	2,949	<u>2,949</u>		
			TOTAL =	<u>2,949</u>	Say	3,000
	Calculation: 65,500 sf/ac * 0.05 sf of sign/sf = 2,949 sf of sign					
	MONUMENT SIGNS TOTAL (sf)=					1,350
	WALL SIGNS TOTAL (sf)=					11,270

Industrial: 12,000 sf/ac for building
200 sf of building signage per 145,000 sf of building
0.0014 sf of building signage per building
50 sf/per Monument Sign with 2 monument
signs per lot (consider ~10-12 acres a lot)

Area I: 72,300 sf/11.10 ac gives you:

6,513.51 sf/ac of building area

3,255 sf of sign area/72,300 sf of building area gives you:
0.05 sf of wall signage per sf of building space

300 sf of monument signage for Subarea I for two signs gives you:
150 sf/monument sign

Use this Area I ratio for Area G

Area H: 66,370 building area
9.7 total acres in Area H

This gives you:
6,842 sf/acre of building

1,760-480 (Wall Signs-Outlots) for Area H Building Signage
1,280 sf

1,280 sf of building signage/48,351 building area

0.02 sf of wall signage per sf of building space

Use this Area H ratio for Area M and N

Assume 60 sf for outlot sign, 2 tenants, 2 sides

17777

60202

JOURNAL--CITY COUNCIL--CHICAGO

9/11/2013

Reclassification Of Area Shown On Map No. 26-E.

(As Amended)

(Application No. 17777)

(Common Address: 720 E. 111th St. And Portions Of Adjacent Property)

BRIPO 1167.00

[SO2013-5507]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business-Residential-Institutional Planned Development Number 1167 symbols and indications as shown on Map Number 26-E in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of the 100-foot wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of Business-Residential-Institutional Planned Development Number 1167, as amended, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development statements referred to in this ordinance read as follows:

*Business-Residential-Institutional Planned Development No. 1167,
As Amended.*

Plan Of Development Statements.

1. The area delineated herein as Business-Residential-Institutional Planned Development Number 1167 (the "Planned Development") consists of approximately 6,017,640 square feet of net site area (approximately 138 acres) of property (the "Property"), together with certain portions of existing adjacent rights-of-way, as depicted on the attached Planned Development Boundary and Property Line Map. The Planned Development is divided into subareas (each, a "Subarea", and collectively, the "Subareas") as indicated on the attached Subarea Map. North Pullman 111th, Inc. is the owner of and, for purposes of this amendment to the Planned Development, the "Applicant" with respect to Subareas B, C and H.

2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. These Planned Development statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or re-subdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Commissioner of the Department of Transportation ("CDOT") and the City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II Approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Commissioner (the "Commissioner") of the Department of Housing and Economic Development (the "Department") as a minor change to this Planned Development, provided such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant (or its successors, assigns or grantors) for approval by CDOT, the Department and by the City Council at the time of request for such adjustments (and approved by CDOT and the City Council prior to the issuance of any Part II Approval), and (c) shall not be deemed to confer any additional bulk, density or other development rights.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium or homeowners' association which may be formed). The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon), shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as North Pullman 111th, Inc. or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant (or Applicant's successor, assignee or grantee to such master developer ownership interest) or such affiliate. Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. The developer making application shall have the burden of establishing to the reasonable satisfaction of the Department that the Applicant's consent has been obtained or irrevocably waived. Upon any alienation, sale

or any other transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof; provided, however, that North Pullman 111th, Inc.'s right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property or a covenant binding upon owners of the Property may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development and irrevocably waive the Applicant's consent right.

4. This Planned Development consists of these sixteen (16) statements, and the following "Design-Exhibits": an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map (three pages); a Subarea Map; a final Subarea Plan for Subareas A and C; a Rights-of-Way Adjustment Map (four pages); a Public Open Space Plan (three pages); a Site Buffer/Detention Plan (three pages); a Site Plan; a Site Plan -- Subarea B; a Site Plan -- Subarea C; a Site Plan -- Subarea D; a Site Plan -- Subarea E; a Site Plan -- Subarea F; a Site Plan -- Subarea G; a Site Plan -- Subarea H; Bulk Elevations -- 111th Street (Subarea B); Bulk Elevations -- North Woodlawn/Doty Avenues (Subarea G); Bulk Axonometrics (Subareas A, B and G); Plan of Development Bulk Regulations and Data Tables (including permitted uses) for each of Subareas A through H (eight pages), all prepared by PappageorgeHaymes Partners dated August 15, 2013; Design Guidelines for Subareas B and G (four pages), prepared by PappageorgeHaymes dated April 15, 2010; Plan of Development -- Bulk Regulations and Data Table Summary, prepared by PappageorgeHaymes dated August 15, 2013; Subarea C Site Plan, prepared by William McDonough Partners dated August 15, 2013; Project Legacy Landscape Plan (two pages), prepared by Norris Design dated August 15, 2013; and Building Elevations and Building Sections Sheet for Subarea C, both prepared by William McDonough Partners dated August 15, 2013. Full size copies of the Design Exhibits are on file with the Department.

The following administrative relief and site plan approval letters are hereby incorporated by reference and made part of this Planned Development (collectively, the "Administrative Approvals"): Administrative Relief Request for Subarea A, Phase 1A to Jesse Dodson dated February 25, 2011; Administrative Relief Request for Subarea A, Phase 1A to Jesse Dodson dated May 2, 2011; Administrative Relief Request and Site Plan Approval for Subarea A, Phase IB to David Doig dated January 25, 2013.

References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits and Administrative Approvals. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a Planned Development. In the case of any express conflict between the terms of this Planned Development, and

the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The permitted uses, floor area ratio, building height, setback, parking, bicycle parking and off-street loading requirements for each Subarea are set forth in the applicable Plan of Development Bulk Regulations and Data Tables included in the Design Exhibits. For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply.
6. Changes in the boundaries of Subareas shall require an amendment to these statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance. In accordance with the foregoing, the change in boundary between Subarea B and Subarea C and the creation of new Subarea H depicted in the Design Exhibits are hereby approved.
7. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premises signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. All ingress and egress shall be subject to the review and approval of CDOT and the Department. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the CDOT Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach. Any dedication, opening, or vacation of public streets, alleys or easements or any adjustment of the public rights-of-way contained within a particular Part II submittal shall be approved by City Council prior to the issuance of any final Part II Approval. In connection with the Applicant's (or any developer's) submittal of any plats, Final Subarea Plans and Site Plans in accordance with Statement 10 below, CDOT shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). Applicant and its successors, assigns and grantees, at such parties' expense, agree to provide traffic impact studies, pay for the services of professional engineering services, and pay for

the cost of third party construction inspection services to assist CDOT in its review and approval of any plats, Final Subarea Plans, and Site Plan submissions (which approvals shall be a condition precedent to the Department's issuance of any applicable Part II Approval). CDOT must approve the applicable consultant, which shall report to CDOT. Recommended traffic and engineering measures shall be included in the design review process and implemented. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.

10. This statement 10 describes the procedures and approvals that shall govern the review and approval by the Department and, when applicable, the review and approval of the Chicago Plan Commission or the City Council, or both the Chicago Plan Commission and the City Council, whenever the Applicant, or any developer that is a successor, assignee or grantee with respect to any portion of the Property, undertakes any development project on the Property.
 - a. Final Subarea Plan. At the time the first development project in one or more Subareas is undertaken, the Applicant, or the applicable developer, shall file with the Department a preliminary plat of subdivision for the subject Subarea (and such additional Subarea(s) as the Applicant or developer may elect to include in such plat) and a Final Subarea Plan (the "Final Subarea Plan") along with an application for Site Plan Review pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance. Subarea A was approved as part of the original Planned Development. Subarea C is being approved as part of this Planned Development. The Final Subarea Plan shall govern such first development project and (unless amended pursuant to this statement 10.a) all subsequent development projects thereafter constructed in such Subarea. The preliminary plat of subdivision shall include, without limitation, proposed lot dimensions. After incorporating any City comments received during the review process described in these statements, and prior to any Part II Approvals, the Applicant or applicable developer shall thereafter submit to the City Council for approval a final plat of subdivision for the subject Subarea (and such additional Subarea(s) as the Applicant or developer may elect to include in such plat) which conforms with the Final Subarea Plan for the Subarea so subdivided. The City Council's approval of such plat of subdivision, and the recording of such plat, shall be a condition precedent to the Applicant's (or any developer's) conveyance of any property within such Subarea. Upon such recording, the Applicant (or applicable developer) shall promptly deliver a copy of the recorded plat to the Department for filing with this Planned Development. The Applicant's failure to comply with such approval and recording requirements shall be the basis for the Department to withhold any further Part II Approvals until such requirements are satisfied. The Final Subarea Plan filing shall include the following:
 - (1) A dimensioned Subarea Plan including the following with respect to such Subarea (and any subparcels designated therein, if any):

- (i) all public rights-of-way that are proposed to be dedicated or opened, and all private rights-of-way,
 - (ii) dimensioned setback lines,
 - (iii) all off-street parking and service areas, both accessory and non-accessory;
 - (iv) all open space, site buffer, detention and recreational facilities;
 - (v) sites for any schools, libraries, police stations or other public facilities, if any; and
 - (vi) dimensioned green roof plans, as set forth in statement 14.
- (2) A detailed, dimensioned Subarea site plan including:
- (i) all sidewalks (including the width of paved surfaces);
 - (ii) all roads, streets, alleys (all identified as public or private), including the right-of-way width, the width of paved surfaces, street intersection details and all curb cuts;
 - (iii) dimensioned building sites, dimensioned setback lines, the proposed use of each building site, and indication of the maximum building height, FAR and residential unit count for each building site;
 - (iv) all off-street parking and service areas, both accessory and non-accessory; and
 - (v) fully dimensioned parking plans, loading areas, and landscape plans (which landscaping may be planned and constructed in phases).
- (3) Preliminary engineering plans including the following:
- (i) sanitary and storm sewer lines and systems (identified as public or private);
 - (ii) water lines and water supply systems (identified as public or private); and

- (iii) street lighting (identified as public or private) and lighting systems.
- (4) Illustrative Subarea building elevations and locations for all of the buildings to be constructed in such Subarea including the following:
- (i) illustrative elevations for all buildings to be located within the applicable Subarea (including axonometric or 3-D exhibits), consistent with the maximum floor area ratio, building height, dwelling unit, setback and parking space requirements permitted or required in the applicable Subarea;
 - (ii) although final elevations for the buildings to be constructed shall not be required at the Final Subarea Plan approval stage except for the building requesting site plan approval, the massing, the entrances, and maximum building heights and window design should be addressed, and depictions and explanations provided describing how the buildings to be constructed incorporate the pedestrian-orientation, urban design, building design and green design standards and guidelines set forth in Sections 17-8-0905, 17-8-0906, 17-8-0907 and 17-8-0908 of the Chicago Zoning Ordinance, respectively; and
 - (iii) if the Final Subarea Plan submitted is for Subarea B or Subarea G, depictions and explanations describing how buildings to be constructed incorporate the Subarea B and Subarea G Design Guidelines included in the Design Exhibits.

The Final Subarea Plan shall be submitted and processed as an amendment to the Planned Development pursuant to Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance. As such, the Final Subarea Plan shall be subject to the review and approval of the Department and such other bureaus, departments or agencies as the Commissioner deems appropriate (which may include, but are not limited to, CDOT, the Department of Water Management ("DWM"), the Fire Department and the Mayor's Office for Persons with Disabilities ("MOPD") (as applicable, the "Affected City Departments"), the Chicago Plan Commission, the Zoning Committee and the City Council, as described in such Section 17-13-0602 through Section 17-13-0610. A Final Subarea Plan must be approved prior to, or concurrently with, the approval of any Site Plans submitted and processed pursuant to statement 10.b below.

- b. Site Plans. Site Plan Review shall be required for all projects undertaken in furtherance of the Planned Development and the Final Subarea Plan in

accordance with Section 17-13-0800 of the Chicago Zoning Ordinance, excluding Site Plan review for (i) the project depicted in Subarea A, which was approved with the original Planned Development approval and by its related Administrative Approvals, and (ii) the project depicted in Subarea C, which is being approved as part of this Planned Development. The future expansion of the industrial building in Subarea C shall require a Site Plan Review and an Administrative Relief submission prior to a Part II Approval of the aforementioned expansion project. If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's subarea, the Applicant or developer of the subject project shall provide an exhibit showing lot sizes and boundaries for such project. In addition to the submittal requirements of Section 17-13-0802-B, the Applicant or developer shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, included in such project:

- (1) the Gross Site Area;
- (2) the Net Site Area;
- (3) the square feet of floor area of each proposed building;
- (4) the amount of FAR utilized out of the maximum FAR permitted in such Subarea;
- (5) the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- (6) the number of dwelling units to be constructed and the maximum number of dwelling units permitted under the Design Exhibits applicable to such Subarea;
- (7) the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- (8) all Residential Open Space, if applicable;
- (9) the number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Bulk Regulation Data Table Summary and Design Exhibits, as applicable; and
- (10) final elevations.

The Site Data Table shall also incorporate a Chicago Builds Green Form/ Sustainable Features table showing the "green" features to be included in the

proposed buildings. The Site Plan shall be subject to review and approval of the Department and such Affected City Departments as the Commissioner deems appropriate before issuance of any Part II Approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the applicable Final Subarea Plan. If, after City departmental review, the Commissioner determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance (as applicable to improvements in a C2-3 District, e.g., the Site Plans include 60 dwelling units or more, or buildings 75 feet or more in height), then the Site Plan must be reviewed by the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda, publication in accordance with Section 17-13-0107-B of the Chicago Zoning Ordinance, and posting in accordance with Section 17-13-0107-C of the Chicago Zoning Ordinance shall be required, but for which written notice pursuant to Section 17-13-0107-A of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If such mandatory thresholds are not met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review, the Commissioner determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Commissioner. If, after City departmental review, the Commissioner shall determine that the Site Plan is not in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Commissioner shall advise the Applicant or developer in writing of why the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan. In such case, the Applicant or developer shall be given an opportunity to submit revised Site Plans. If the Commissioner finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan, the Applicant or developer then shall be required to amend the Final Subarea Plan in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of statement 12 hereof, if applicable.

11. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.

- (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approval Final Subarea Plan.
- (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's storm water management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
- (c) It is the Applicant's intention to adaptively reuse the Brite Line building identified as "Existing Building" in Subarea D on the Site Plan; however, the Applicant reserves the right to demolish such building and to otherwise redevelop Subarea D in conformance with the applicable terms of this Planned Development in the event the Applicant determines that such adaptive reuse is not feasible or desirable.
- (d) Within Subarea A, a Chicago Transit Authority bus turnaround in a location and of such size and configuration as mutually agreed upon by the Applicant, the Chicago Transit Authority and CDOT has been previously completed.
- (e) Porches shall be features which are allowed to encroach into any required front yard setback in Subarea F, subject to Site Plan approval.
- (f) Applicant acknowledges that the City will not maintain or bear the cost of maintaining any landscape or streetscape improvements on any medians to be constructed within the Planned Development. Prior to CDOT approval of engineering drawings for any median street to be constructed by the Applicant within the Planned Development, the Applicant must demonstrate to the satisfaction of CDOT that sufficient sustainable resources have been committed, and written agreements exist (which provide reasonable protection to the City and, among other things, shall name the City as intended beneficiary, shall grant the City enforcement rights, and shall include or extend indemnification and insurance provisions for the benefit of the City) to provide for the satisfactory maintenance of such medians, which agreements may provide for maintenance costs to be funded through a special service area or special service district, the establishment of which is subject to separate City Council approval.
- (g) Applicant, at the Applicant's expense, has previously reconstructed South Woodlawn Avenue from approximately East 107th Street to East 111th Street in accordance with the requirements of statement 9.

- (h) The Applicant and each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.
12. The Part II Review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of \$0.25 per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II Review. Such fee shall be determined and assessed by the Department at the time of each and every Part II Review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II Approval. Following Part II Review and approval by the Commissioner, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. Any interim reviews associated with Site Plan review or Part II reviews, are conditional until final Part II Approval.
13. Subject to the other terms and conditions of these statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner upon application and a determination by the Commissioner in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Sections 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the net site area of or dwelling units permitted in other Subareas or the Planned Development as a whole) and that such modification, and the improvements contemplated thereby, are consistent with the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any Subarea

shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the submittal of Site Plans pursuant to this Planned Development.

15. Unless substantial construction of any new building, as proven by the issuance of building permits and the diligent completion of construction pursuant to such permits for Subarea C has commenced within six years, and of this Planned Development Subarea A, nine years for all other Subareas of the effective date of this Planned Development, this Planned Development shall expire upon such ninth anniversary date of the effective date hereof. If this Planned Development expires pursuant to the foregoing provision, this Planned Development shall expire by separately introduced ordinance, if any, and in such event the zoning of the Property shall revert to Business-Residential-Institutional Planned Development Number 1167, as adopted by the Chicago City Council on June 30, 2010. Such reversion shall not render any building existing at the time to be nonconforming. The nine year period described above may be extended for up to one additional year if, before expiration, the Commissioner determines that good cause for an extension is shown.
16. Any open space to be dedicated to the Chicago Park District ("CPD") must meet CPD standards and, where applicable, the park must be designed and constructed to those standards. Any conveyance of open space to the CPD shall be subject to the approval of the CPD and a resolution or ordinance issued by the CPD Board of Commissioners must be provided to the Department to evidence such dedication, conveyance and acceptance.

[Administrative Approvals and Chicago Builds Green
Form referred to in these Plan of Development
Statements unavailable at time
of printing.]

[Bulk Regulations and Data Tables for Subareas A -- H and Design Guidelines for Subareas B and G; Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Subarea Map and final Subarea Plan for Subareas A and C; Rights-of-Way Adjustment Map; Public Open Space Plan; Site Buffer/Detention Plan; Site Plans for Subareas A -- H; Bulk Elevations for Subareas B and G; Bulk Axonometrics for Subareas A, B, and G; and Subarea C North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 60214 through 60257 of this *Journal*.]

SUB AREA A

Uses

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: day care; postal service; public safety services; utilities and services, minor; Chicago Transit Authority bus turnaround; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; medical service; office; high technology office; electronic data storage center; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

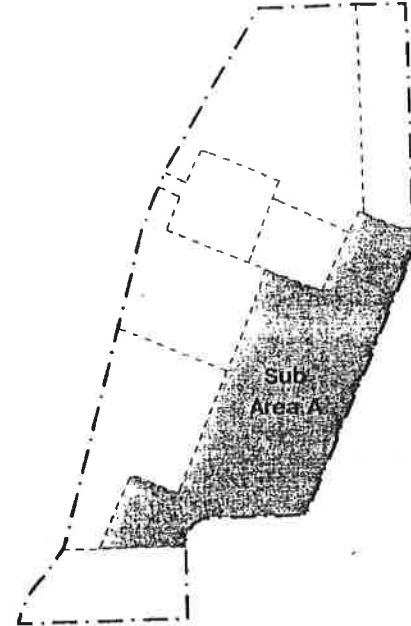
No adult uses are allowed.

Site Area

Gross	2,402,287 sf (55.15 acres)
Rights of Way	268,118 sf (6.16 acres)
Net Site Area	2,134,169 sf (48.99 acres)
Detention/ Buffer Zone percent of net	464,904.39 sf (10.67 acres) 21.7%

Building Area

Retail	405,000 sf
Net Building Area	405,000 sf



Key Plan

Maximum F.A.R.	0.75	
Building Height	50 ft	
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	None for first 10,000 square feet then 2.5 spaces per 1,000 square feet	
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.	
	1 per 5 auto spaces	
Off Street Loading	100,000-249,999 sf = 4 berths (10 x 50) +250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf	



**Plan of Development - Bulk Regulations and Data Table
Sub Area A**

Applicant: North Pullman 111th Inc.

Address : 111th Street and Doty Avenue
Introduction Date : July 24, 2013
Chicago Plan Commission Date : August 15, 2013

pappageorgehaymes partners
www.pappageorgehaymes.com

640 north lasalle suite 400
chicago illinois 60654



SUB AREA B

Uses

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: cultural exhibits and libraries; day care; postal service; public safety services; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; all lodging including hotel/motel; medical service; office; high technology office; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

No adult uses are allowed.

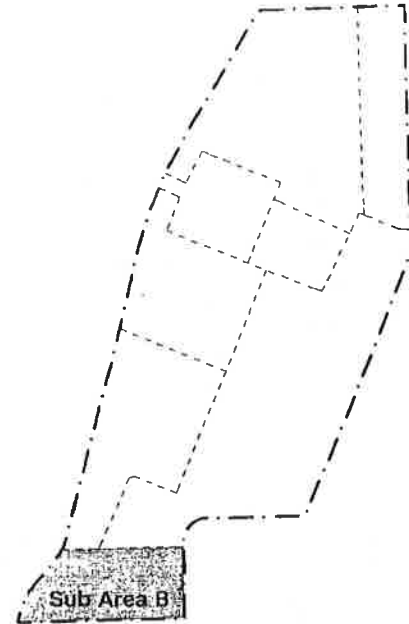
Site Area

Gross **648,719 sf (14.89 acres)**
 Rights of Way **51,024 sf (1.17 acres)**
 Net Site Area **597,695 sf (13.72 acres)**

Public Open Space **15,167 sf (0.35 acres)**
 percent of net **2.0%**

Building Area/ Coverage

Retail Net Building Area **74,000 sf**
 Building Zone **120,000 sf**
 Building Coverage **96,000 sf**
 Percent Coverage/ Building Zone **80.0%**



Key Plan

Maximum F.A.R.		1.0	
Building Height		100 ft	
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	0 ft	
Parking	Group M e.g. retail	None for first 10,000 sf then 2.5 spaces per 1,000 sf 0.33 spaces per unit 1 space per 3 lodging rooms	
	Group D e.g. elderly housing		
	Group S e.g. lodging		
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.		
	Group M e.g. retail	1 per 5 auto spaces	
	Group D e.g. elderly housing	1 per 4 auto	
	Group S e.g. lodging	1 per 10 auto spaces	
Off Street Loading	Retail	25,000-49,999 = 2 berths (10 x 50)	
	Lodging	25,000-199,999 = 1 berth (10 x 50)	
	Multi-Unit	25,000-199,999 = 1 berth (10 x 25)	



**Plan of Development - Bulk Regulations and Data Table
 Sub Area B**

Applicant: North Pullman 111th Inc.

Address : **111th Street and Doty Avenue**
 Introduction Date : **July 24, 2013**
 Chicago Plan Commission Date : **August 15, 2013**

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4.15.2010

Design Guidelines for Sub Area B (111th Street Neighborhood Retail District)

The Design Guidelines are development standards for buildings and public spaces to guide the design and development of any project within the 111th Street Neighborhood Retail District of Pullman Park. The goal of the guidelines is to provide a framework to achieve a balance between individual expression of each structure and a harmonious connection to not only the community but to the history of Pullman as well.

Orientation:

- All buildings will have their front entry facing 111th Street. Buildings located on corners or parking entrances should have their front entries facing both 111th Street and the adjacent street or entrance drive.

Massing:

- Buildings should be composed of simple volumes, primarily 1 to 2 stories in height with sloped roofs.

Height:

- Buildings will be a minimum of 16' and a maximum of 30' tall measured from sidewalk grade to the midpoint of sloped roofs and excluding towers, cupolas and other decorative elements.

Roof Massing:

- Sloped roofs with a minimum slope of 6:12
- Roofs will be designed to screen and conceal all rooftop mounted mechanical equipment.

Lighting:

- Lighting will be designed to enhance the building design and storefront, compliment the architecture, and be sufficient for visibility and safety.
- Lighting should be stationary and non-animated.

Masonry Openings:

- Window and door headers in masonry walls should be defined and articulated with stone, cast stone or special brick coursing such as soldier or double rowlock header bonds. Jack, segmental, semi-circular and multicentered arches are encouraged. Window sills within walls should incorporate stone or precast sills.

Signage:

- All signage will be attached to the building or canopy. Types of permitted signs include:
 - Freestanding pin-mounted letterform
 - Projecting signs
 - Blade signs
 - Storefront signs
 - Window Signs

- Canopy signs
- Two sided or three-dimensional contextual signs.
- Backlit letter metal sign box signs.
- Neon signs are permitted only when inset into a metal channel or open-face form with or without an acrylic cover.

Awnings & Canopies:

- Awnings and canopies will be compatible in material and construction to the style and character of the building. The color of the awning or canopy should be compatible with the overall color scheme of the façade.
- Where feasible, awnings and canopies should be generally aligned with others nearby in order to maintain a sense of visual continuity.
- Awnings and canopies should be tailored to the opening of the building and positioned so that distinctive architectural features remain visible.

Material Transitions:

- Where possible, all transitions between dissimilar wall materials should occur at inside corners.

Storefronts:

- Storefronts will be designed using a rhythm created by pilasters, columns, and or piers with trim to frame display windows. Glazing will comprise 40-65% of the storefront wall area.
- Aluminum, steel, clad or aluminum clad wood framed entrances with factory applied finishes in one of the accent colors listed elsewhere in this document. A minimum 12" durable storefront base should be incorporated as part of the design to withstand contact with maintenance and snow removal equipment. Base must be composed of stone, masonry, prefinished aluminum or other highly durable material.

Accent Colors:

- The colors that are recommended for awnings, aluminum storefronts, brackets, exposed structural elements are listed per the Pantone Matching System® and are as listed:
 - PMS Cool Grey 11
 - PMS 626
 - PMS Process Black C

Materials:

- Brick – Red brick in an extruded wirecut or velour texture, handmade and /or molded finish. Brick will be modular size; 3 5/8" x 2 1/4" x 7 5/8". Coursing will be a standard common or header bond. All mortar should be colored mortar to match the brick.
- Stone – Buff colored limestone in rock-face, smooth and other textured surfaces.
- Precast stone – Fabricated to simulate natural limestone in rock-face, smooth and other textured surfaces
- Roofing – Slate, manufactured slate, metal standing seam
- Glass – Clear glass
- Trim – Decorative trim will be cellular PVC, prefinished aluminum and prefinished extruded aluminum panning in traditional brickmold and casing profiles.

Uses

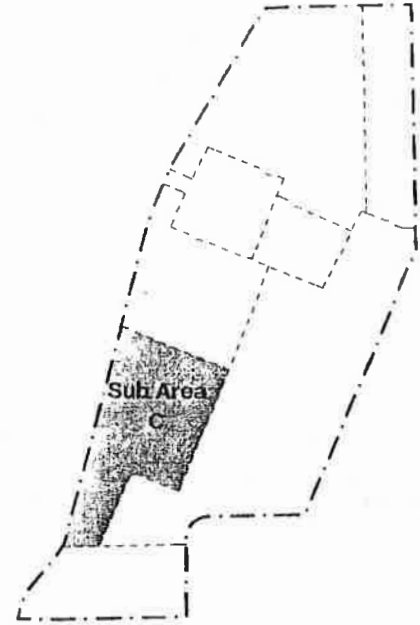
SUB AREA C

The following C2, Motor Vehicle-Related Commercial District and other related and similar uses shall be allowed: Artisan, Limited and General Manufacturing, Production and Industrial Services, including without limitation manufacturing of soap, detergents and cleaning products; Warehousing, Wholesaling and Freight Movement; Retail Sales, General; Office, including without limitation High Technology Office and Electronic Data Storage Center; Urban Farm, including without limitation outdoor operation and rooftop operation.

No other uses shall be allowed.

Site Area

Gross / Net Site Area	1,050,347 sf (24.11 acres)
Public Open Space percent of net	42,261 sf (0.97 acres) 4%
Detention/ Buffer Zone percent of net	282,620 sf (6.49 acres) 2.7%



Key Plan

Maximum F.A.R.		1.2
Building Height		60 ft
Setbacks	Front	30 ft
	Side	20 ft
	Rear	20 ft
Parking		57 Spaces
Bicycle Parking		N/A
Off Street Loading		5



**Plan of Development - Bulk Regulations and Data Table
Sub Area C**

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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SUB AREA D

Uses

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: day care; parks and recreation; community centers, recreation buildings and similar assembly use; school; all sports and recreation, participant excluding entertainment cabaret. In addition, the following uses shall be allowed to the extent they are incidental to the foregoing allowed uses: retail sales (general), eating and drinking establishments (including outdoor patio located on a rooftop), and automated teller machine facility.

Site Area

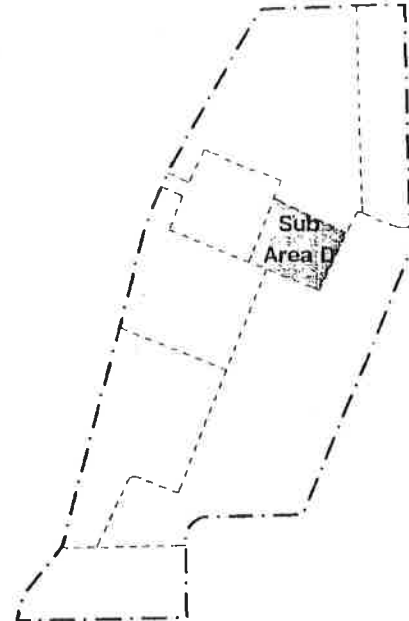
Gross **318,211 sf (7.08 acres)**
 Rights of Way **16,840 sf (0.39 acres)**
 Net Site Area **301,371 sf (6.92 acres)**

Building Area/ Coverage

Briteline 125,000 sf
 Educational 45,000 sf (an 2 stories)
 Retail 15,000 sf

Net Building Area **185,000 sf**

Not including Briteline
 Building Zone **95,000 sf**
 Building Coverage (max.) **52,250 sf**
 Percent Coverage/ Building Zone **55.0%**



Key Plan

Maximum F.A.R.		1.2	
Building Height		50 ft	
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	0 ft	
Parking	Group E e.g. school	1 per 3 employees + additional parking and drop-off spaces as determined by DZLUP Participant Sports and Recreation: 1 per 10 persons capacity All other: None for first 4,000 square feet then 2.5 spaces per 1,000 square feet	
	Group M e.g. retail		
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.		
	Group E e.g. school	1 per 10 auto spaces; Min. 4 spaces	
	Group M e.g. retail	1 per 5 auto spaces	
OFF Street Loading	Retail	10,000-25,000 = 1 berths (10 x 25)	



**Plan of Development - Bulk Regulations and Data Table
 Sub Area D**

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
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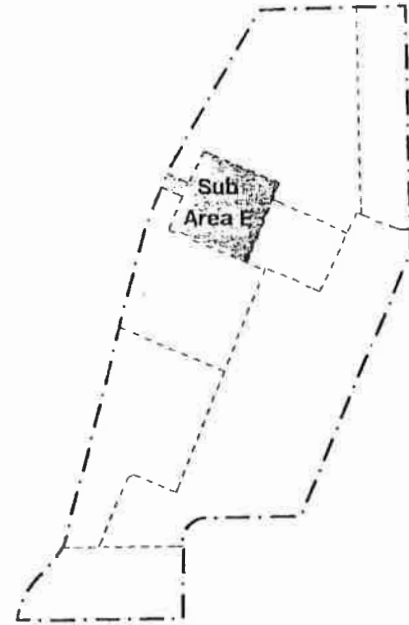
Uses

SUB AREA E

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: parks and recreation; day care.

Site Area

Gross	460,379 sf (10.57 acres)
Rights of Way	66,394 sf (1.52 acres)
Net Site Area	393,985 sf (9.04 acres)
Public Open Space	393,985 sf (9.04 acres)
percent of net	100.0%



Key Plan

Maximum F.A.R.		0
Building Height		N/A
Setbacks	Front	N/A
	Side	N/A
	Rear	N/A
Parking		N/A
Bicycle Parking		N/A
Off Street Loading		N/A



**Plan of Development - Bulk Regulations and Data Table
Sub Area E**

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
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Uses

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: dwelling units located on and above the ground floor as follows: Detached houses; elderly housing; multi-unit (3+ units) residential; townhouses.

No other uses shall be allowed.

Site Area

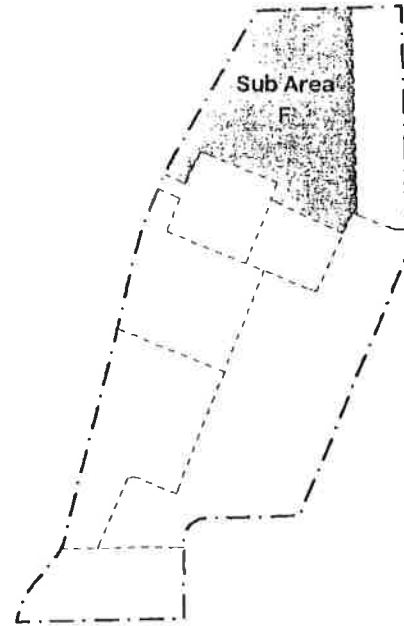
Gross 1,591,972 sf (36.55 acres)
 Rights of Way 479,766 sf (11.01 acres)
 Net 1,112,206 sf (25.53 acres)

Buffer/ Detention Zone 273,977 sf (6.92 acres)
 percent of net 24.6%

Dwelling Units

Minimum Lot Area 1000 sf/ dwelling unit
 Total Units 400 dwelling units

SUB AREA F



Key Plan

Maximum F.A.R.		1.2
Building Height		38 ft
Setbacks <small>* Required setbacks for single family detached houses</small>	Front	15 ft or 12% of lot depth
	Side	Combined equals 20% of lot width, neither less than 2 feet or 8% of lot width: no side setback is required to exceed 5 feet in width
	Rear	50 ft or 28% of lot depth*
Parking		1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats
Bicycle Parking		N/A
Off Street Loading		N/A



**Plan of Development - Bulk Regulations and Data Table
 Sub Area F**

Applicant: North Pullman 111th Inc.

Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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SUB AREA G

Uses

The following C2, Motor Vehicle-Related Commercial District uses shall be allowed: colleges and universities; cultural exhibits and libraries; day care; hospitals; parks and recreation; community centers, recreation buildings and similar assembly use; postal service; public safety services; religious assembly; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; all lodging including hotel/motel; medical service; office; high technology office; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

No adult uses are allowed.

Site Area

Gross **607,500 sf (13.95 acres)**
 Rights of Way **188,730 sf (4.33 acres)**
 Net Site Area **418,770 sf (9.61 acres)**

Buffer/ Detention Zone **10,746 sf (0.25 acres)**
 percent of net **2.6%**

Building Area/ Coverage

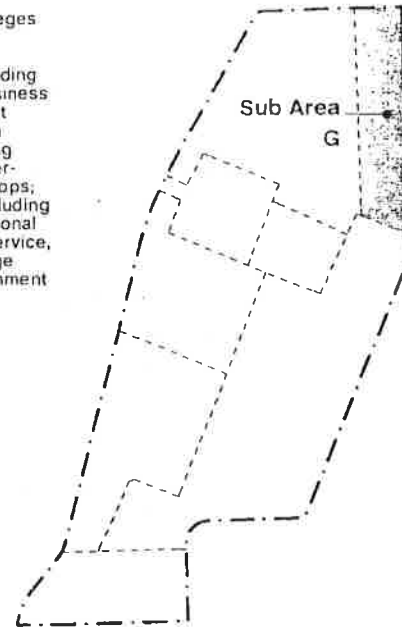
Retail **100,000 sf (includes ground floor retail in mixed use buildings)**
 Multi Family Residential **150,000 sf**
 Single Family Residential **50,000 sf**

Net Building Area **300,000 sf**

Building Zone **175,000 sf**
 Building Coverage **131,250 sf**
 Percent Coverage/ Building Zone **70.0%**

Dwelling Units

Minimum Lot Area **400 sf/ dwelling unit**
 Total Units **max. 300 dwelling units**



Key Plan

Maximum F.A.R.		1.0
Building Height		100 ft
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	Group A e.g. s.f. housing	1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats
	Group C e.g. multi unit	1 space per unit
	Group M e.g. retail	None for first 10,000 sf then 2.5 spaces per 1,000 sf
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.	
	Group C e.g. multi unit	1 per 2 auto spaces
	Group M e.g. retail	1 per 5 auto spaces
Off Street Loading	Retail	50,000-99,999 = 3 berths (10 x 50)
	Multi-Unit	25,000-199,999 = 1 berth (10 x 25)



Plan of Development - Bulk Regulations and Data Table Sub Area G

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
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 Chicago Plan Commission Date : August 15, 2013

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Design Guidelines for Sub Area G
(South Woodlawn Ave. Neighborhood Retail District)

The Design Guidelines are development standards for buildings and public spaces to guide the design and development of any project within the South Woodlawn Ave. Neighborhood Retail District of Pullman Park. The goal of the guidelines is to provide a framework to achieve a balance between individual expression of each structure and a harmonious connection to not only the community but to the architectural context of the neighborhood as well. Contemporary interpretations of Pullman's historic vernacular will be encouraged.

Orientation:

- All buildings will have their front entry facing Woodlawn Ave. Buildings located on corners or parking entrances should have their front entries facing both 111th Street and the adjacent street or entrance drive.

Massing:

- Buildings should be composed of simple volumes, primarily 1 to 2 stories in height with sloped or flat roofs.

Height:

- Buildings will be a minimum of 16' and a maximum of 30' tall measured from sidewalk grade to the midpoint of sloped roofs and excluding towers, cupolas and other decorative elements.

Roof Massing:

- Sloped roofs with a minimum slope of 6:12
- Flat roofs with surrounding masonry parapets.
- Parapet heights may vary to create visual interest to the façade.
- Roofs will be designed to screen and conceal all rooftop mounted mechanical equipment.

Lighting:

- Lighting will be designed to enhance the building design and storefront, compliment the architecture, and be sufficient for visibility and safety.
- Lighting should be stationary and non-animated.

Masonry Openings:

- Window and door headers in masonry walls should be defined and articulated with stone, cast stone or special brick coursing such as soldier or double rowlock header bonds. Window sills within walls should incorporate stone or precast sills.

Signage:

- All signage will be attached to the building or canopy. Types of permitted signs include:
 - Freestanding pin-mounted letterform
 - Projecting signs
 - Blade signs

- Storefront signs
- Window Signs
- Canopy signs
- Two sided or three-dimensional contextual signs.
- Backlit letter metal sign box signs.
- Neon signs are permitted only when inset into a metal channel or open-face form with or without an acrylic cover.

Awnings & Canopies:

- Awnings and canopies will be compatible in material and construction to the style and character of the building. The color of the awning or canopy should be compatible with the overall color scheme of the façade.
- Where feasible, awnings and canopies should be generally aligned with others nearby in order to maintain a sense of visual continuity.
- Awnings and canopies should be tailored to the opening of the building and positioned so that distinctive architectural features remain visible.

Material Transitions:

- Where possible, all transitions between dissimilar wall materials should occur at inside corners.

Storefronts:

- Storefronts will be designed using a rhythm created by pilasters, columns, and or piers with trim to frame display windows. Glazing will comprise 40-65% of the storefront wall area.
- Aluminum, steel, clad or aluminum clad wood framed entrances with factory applied finishes in one of the accent colors listed elsewhere in this document. A minimum 12" durable storefront base should be incorporated as part of the design to withstand contact with maintenance and snow removal equipment. Base must be composed of stone, masonry, prefinished aluminum or other highly durable material.

Accent Colors:

- The colors that are recommended for awnings, aluminum storefronts, brackets, exposed structural elements are listed per the Pantone Matching System® and are as listed:
 - PMS Cool Grey II
 - PMS 626
 - PMS Process Black C

Materials:

- Brick – Red brick in an extruded wirecut or velour texture, handmade and /or molded finish. Brick will be modular size; 3 5/8" x 2 1/4" x 7 5/8". Coursing will be a standard common or header bond. All mortar should be colored mortar to match the brick.
- Stone – Buff colored limestone in rock-face, smooth and other textured surfaces.
- Precast stone – Fabricated to simulate natural limestone in rock-face, smooth and other textured surfaces
- Roofing – Slate, manufactured slate, metal standing seam
- Glass – Clear glass
- Trim – Decorative trim will be cellular PVC, prefinished aluminum and prefinished extruded aluminum panning in traditional brickmold and casing profiles.

SUB AREA H

Uses

The following C2, Motor Vehicle-Related Commercial District and other related and similar uses shall be allowed: Artisan, Limited and General Manufacturing, Production and Industrial Services, including without limitation manufacturing of soap, detergents and cleaning products; Warehousing, Wholesaling and Freight Movement; Vehicle Sales and Service; Sports and Recreation, Participant; Retail Sales, General; Residential Storage Warehouse; Office, including without limitation High Technology Office and Electronic Data Storage Center; Urban Farm, including without limitation indoor operation, outdoor operation and rooftop operation; and Colleges and Universities.

No other uses shall be allowed.

Site Area

Gross **845,626 sf (19.41 acres)**
 Rights of Way **34,872 sf (0.8 acres)**
Net Site Area 810,754 sf (18.61 acres)

Public Open Space **88,038 sf (2.02 acres)**
 percent of net **10%**

Detention/ Buffer Zone **29,000 sf (0.67 acres)**
 percent of net **0.03%**



Key Plan

Maximum F.A.R.		3.0	
Building Height		65 ft	
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	16 ft	
Parking		1 Space per 4 Employees	
Bicycle Parking		1 Per Every 10 Auto Spaces	
Off Street Loading	0-9,999	0	
	10,000-49,000	1	
	50,000-99,999	2	
	100,000 +	2 + 1 per 10,000 sq.ft. or portion thereof above 100,000 sq.ft.	
		10 x 25; 10 x 50 for buildings over 20,000 sq.ft.	



**Plan of Development - Bulk Regulations and Data Table
 Sub Area H**

Applicant: North Pullman 111th Inc.

Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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SUMMARY

Site Area

Gross 7,917,497 sf (181.76 acres)
 Rights of Way 1,908,735 sf (43.82 acres)
 Net Site Area 6,008,762 sf (137.94 acres)

Detention/ Buffer Zone 701,774 sf (16.11 acres)
 percent of net 11.7%

Public Open Space 614,537 sf (14.11 acres)
 percent of net 10.2%

Building Area (other than Residential)

Retail 670,000 sf
 Lodging 100,000 sf
 Elderly Housing 100,000 sf
 Educational 45,000 sf
 Industrial 512,500 sf
 Net Building Area 1,427,500 sf

Residential

700 Dwelling Units



Key Plan

F.A.R.	Per Sub Area	
Maximum Building Height	100 ft	
Parking	Group A e.g. s.f. housing	1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats
	Group C e.g. multi unit	1 space per unit
	Group D e.g. elderly	0.33 spaces per unit
	Group E e.g. school	1 per 3 employees + additional parking and drop-off spaces as determined by DZLUP
	Group M e.g. retail	None for first 10,000 sf then 2.5 spaces per 1,000 sf
	Group S e.g. lodging	1 space per 3 lodging rooms
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.	
	Group C e.g. multi unit	1 per 2 auto spaces
	Group D e.g. elderly	1 per 4 auto
	Group E e.g. school	1 per 10 auto spaces; Min. 4 spaces
	Group M e.g. retail	1 per 5 auto spaces
	Group S e.g. lodging	1 per 10 auto spaces
Off Street Loading	Retail	10,000-25,000 = 1 berths (10 x 25) 25,000-49,999 = 2 berths (10 x 50) 50,000-99,999 = 3 berths (10 x 50) 100,000-249,999 sf = 4 berths (10 x 50) +250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf
	Multi-Unit Lodging	25,000-199,999 = 1 berth (10 x 25) 25,000-199,999 = 1 berth (10 x 50)



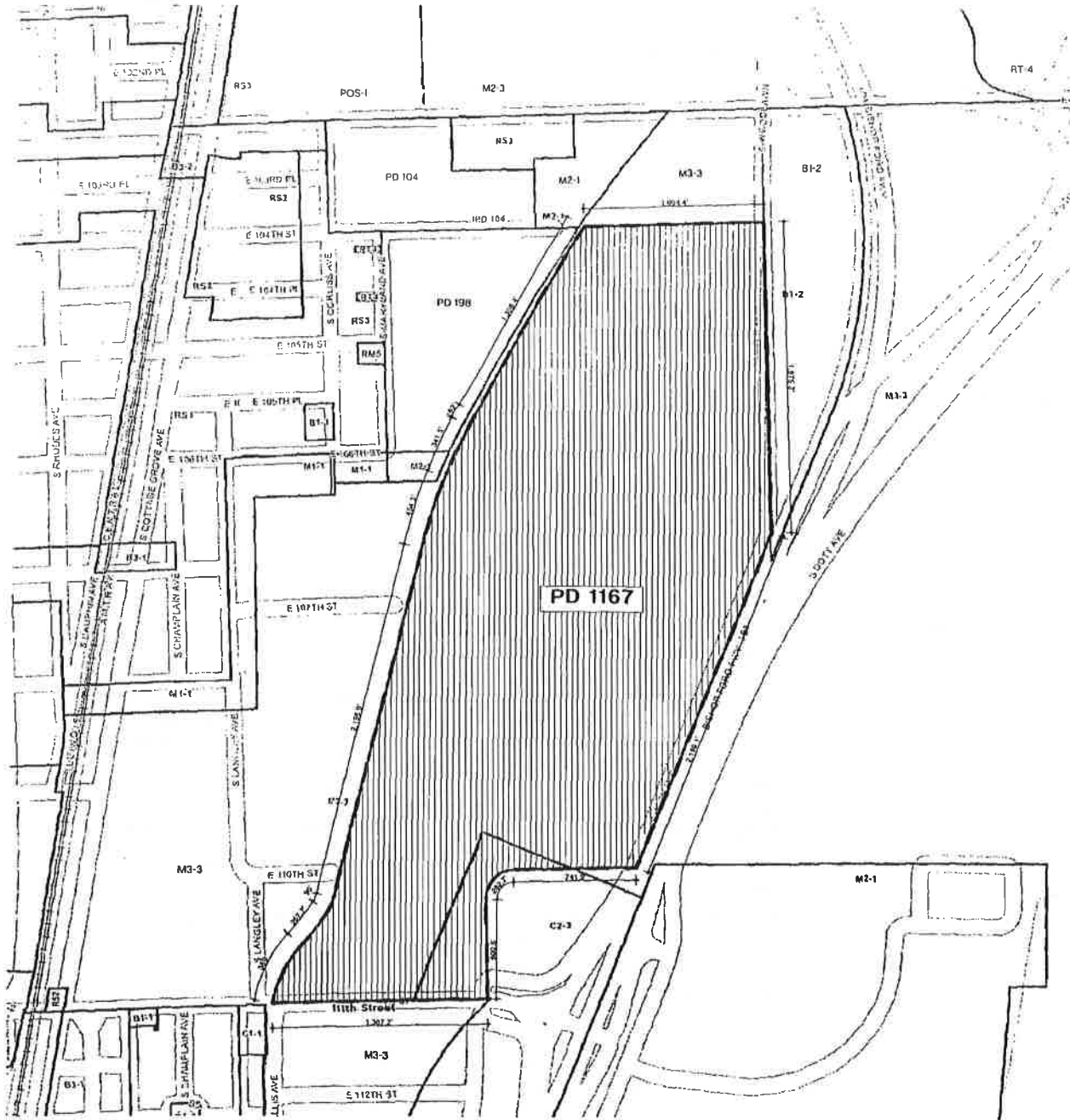
Plan of Development - Bulk Regulations and Data Table Summary

Applicant: North Pullman 111th Inc.
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Zone	Area(sf)	Area (acres)
PD 1167	7,917,777 sf	181.77 acres



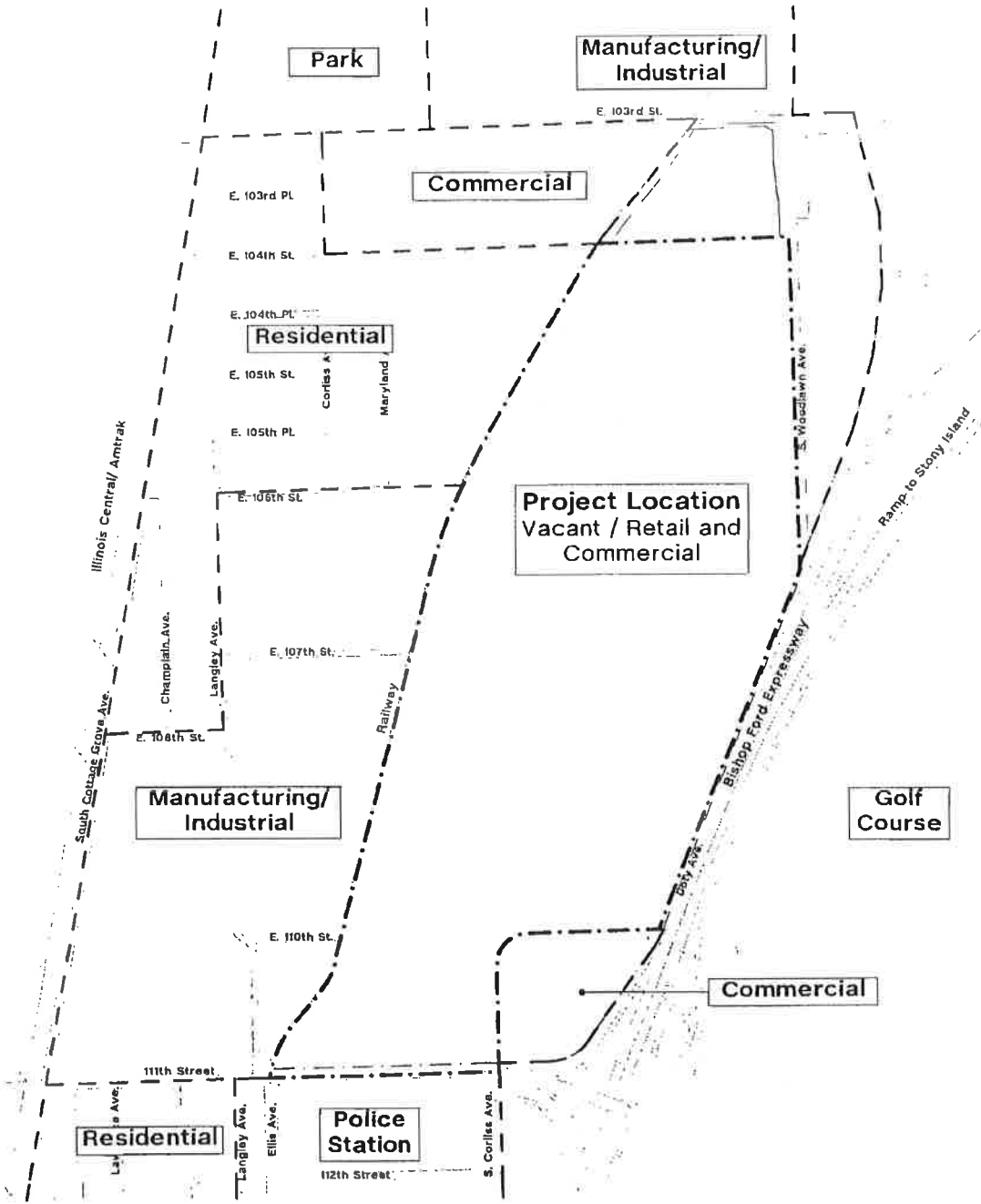
Existing Zoning Map
Scale: 1" = 800'-0"

Applicant: North Pullman 11th Inc.
Address : 11th Street and Doty Avenue
Introduction Date : July 24, 2013
Chicago Plan Commission Date : August 15, 2013

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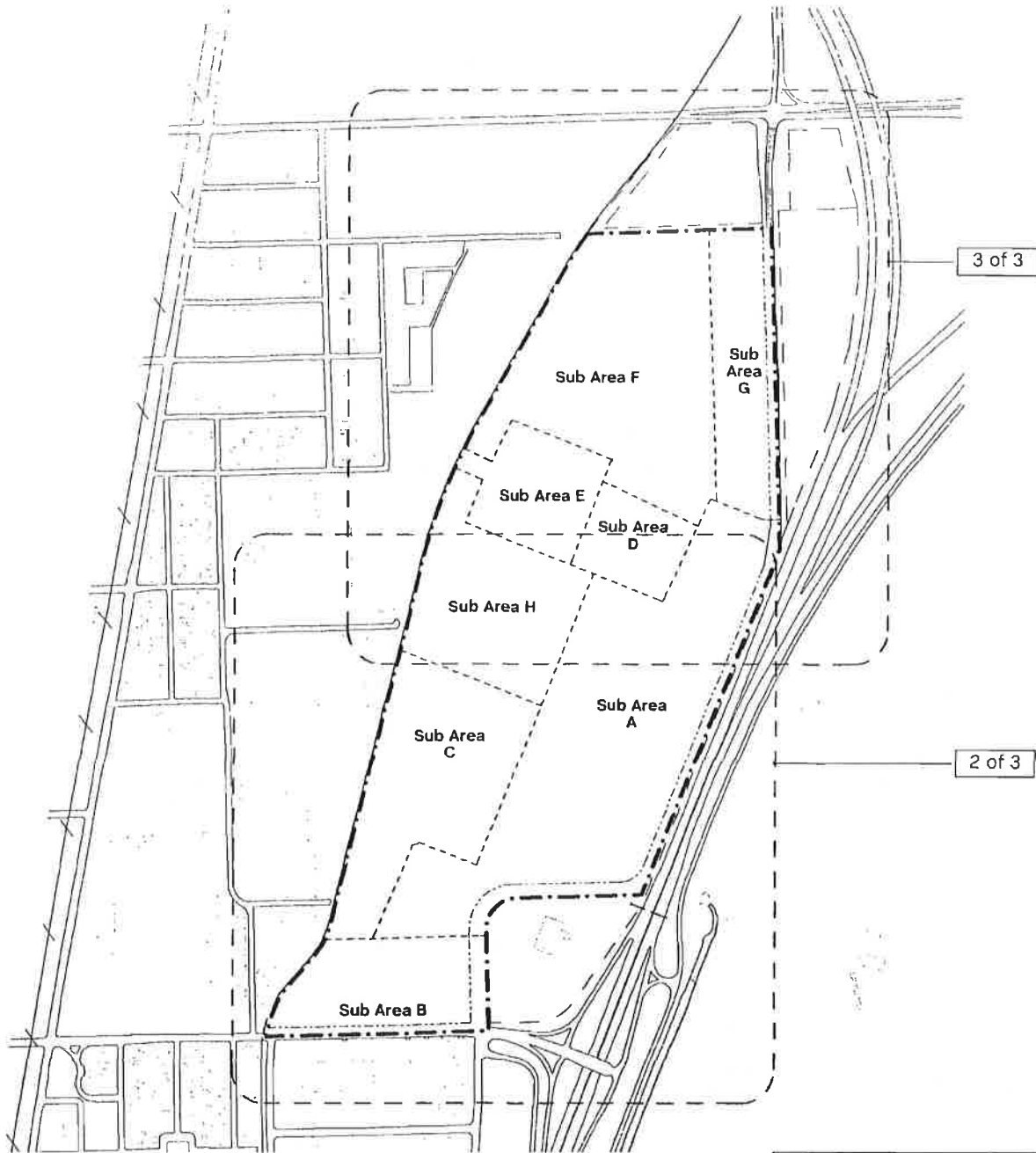
Existing Land Use Map
Scale: 1" = 800'-0"

Applicant: North Pullman 111th Inc.
Address: 111th Street and Doty Avenue
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Chicago Plan Commission Date: August 15, 2013

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Note:
 Refer to following detail plans for all boundary and property line dimensions.



Planned Development Boundary and Property Line Map - 1 of 3
 Scale: 1" = 800'-0" Note: Refer to Detail Plans to Follow

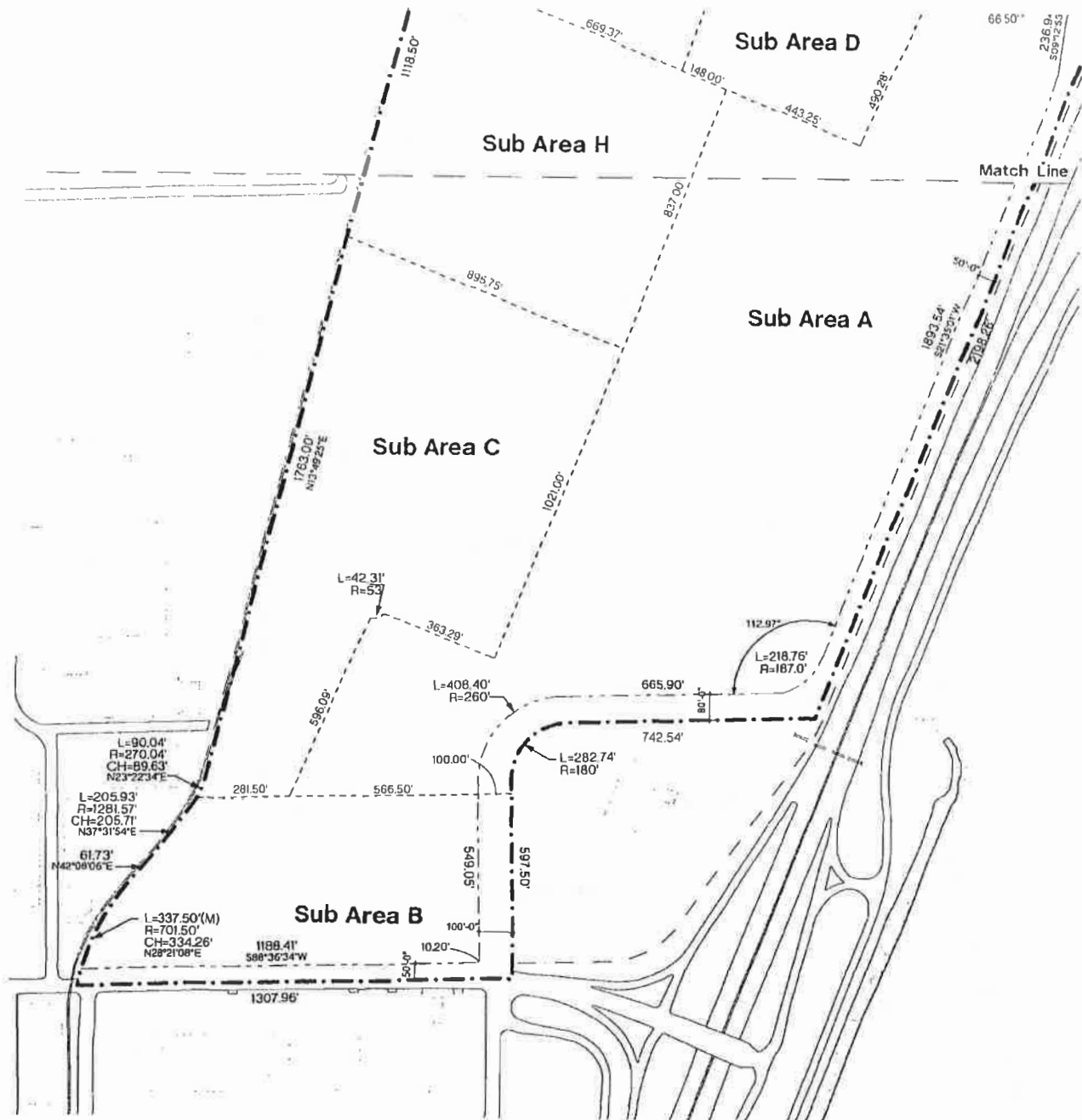
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P/H # 122092



Planned Development Boundary and Property Line Map - Detail - 2 of 3
 Scale: 1" = 400'-0"

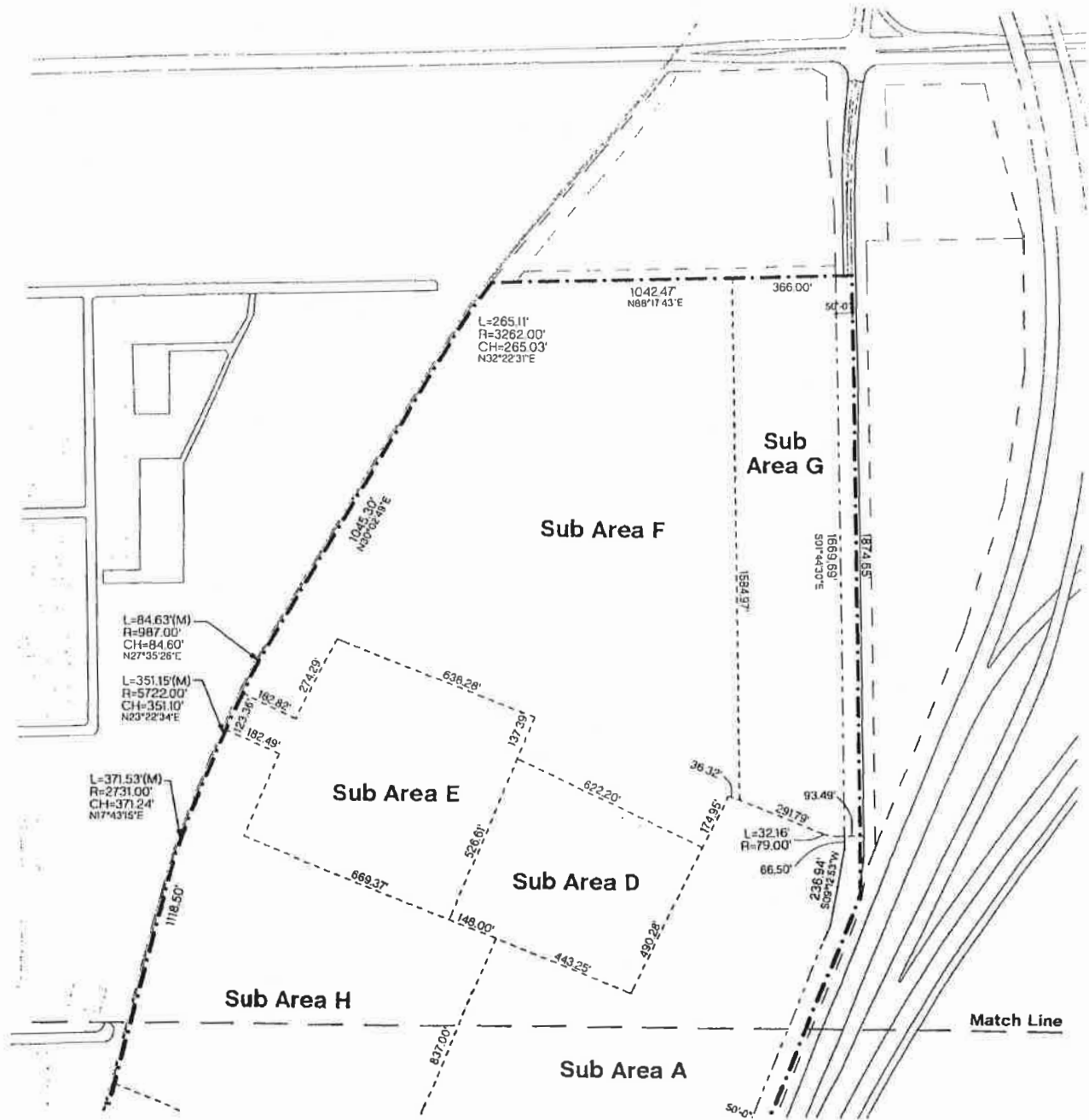
Applicant: North Pullman 111th Inc.
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P/H # 122092



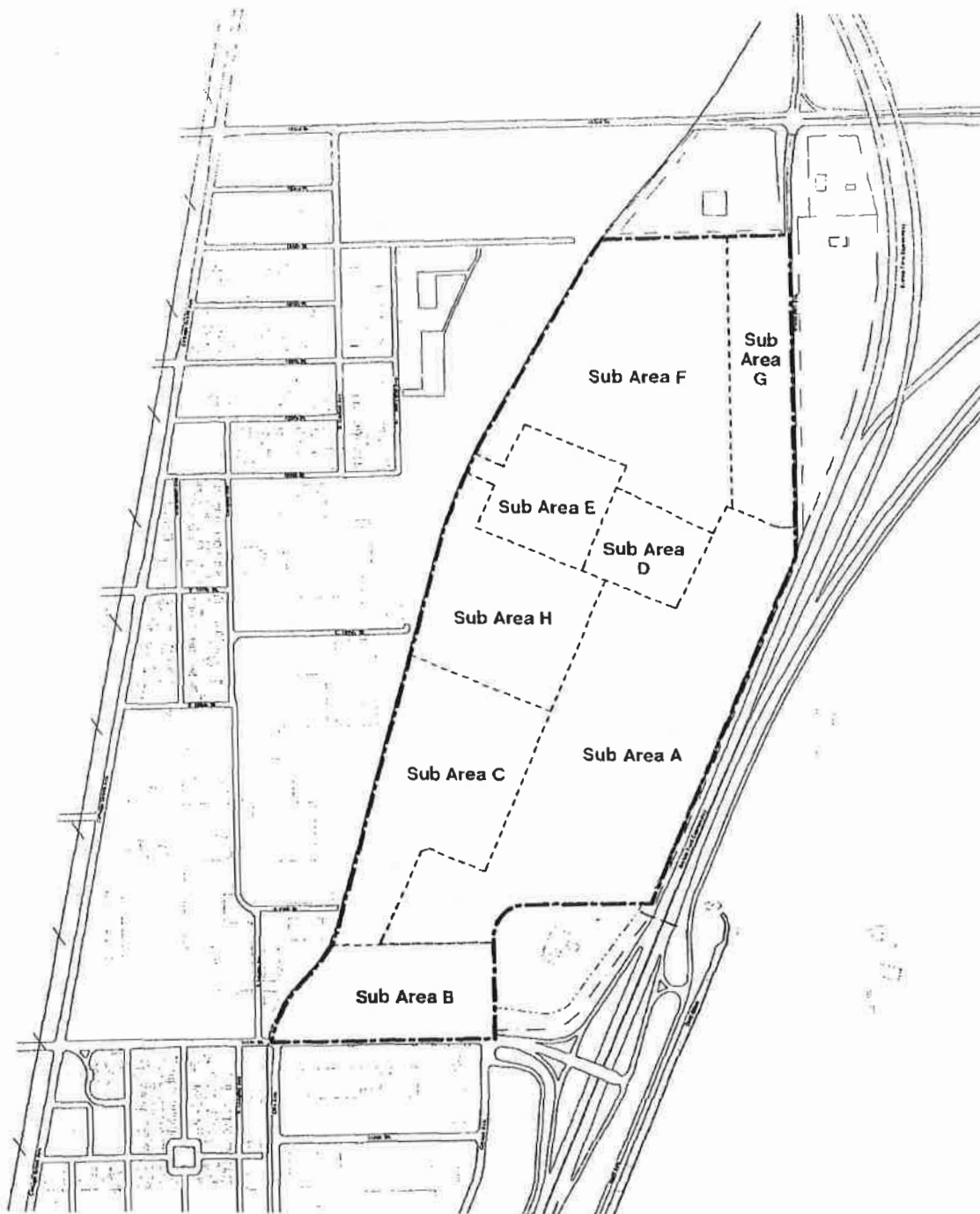
Planned Development Boundary and Property Line Map - Detail - 3 of 3
 Scale: 1" = 400'-0"

Applicant: North Pullman 111th Inc.
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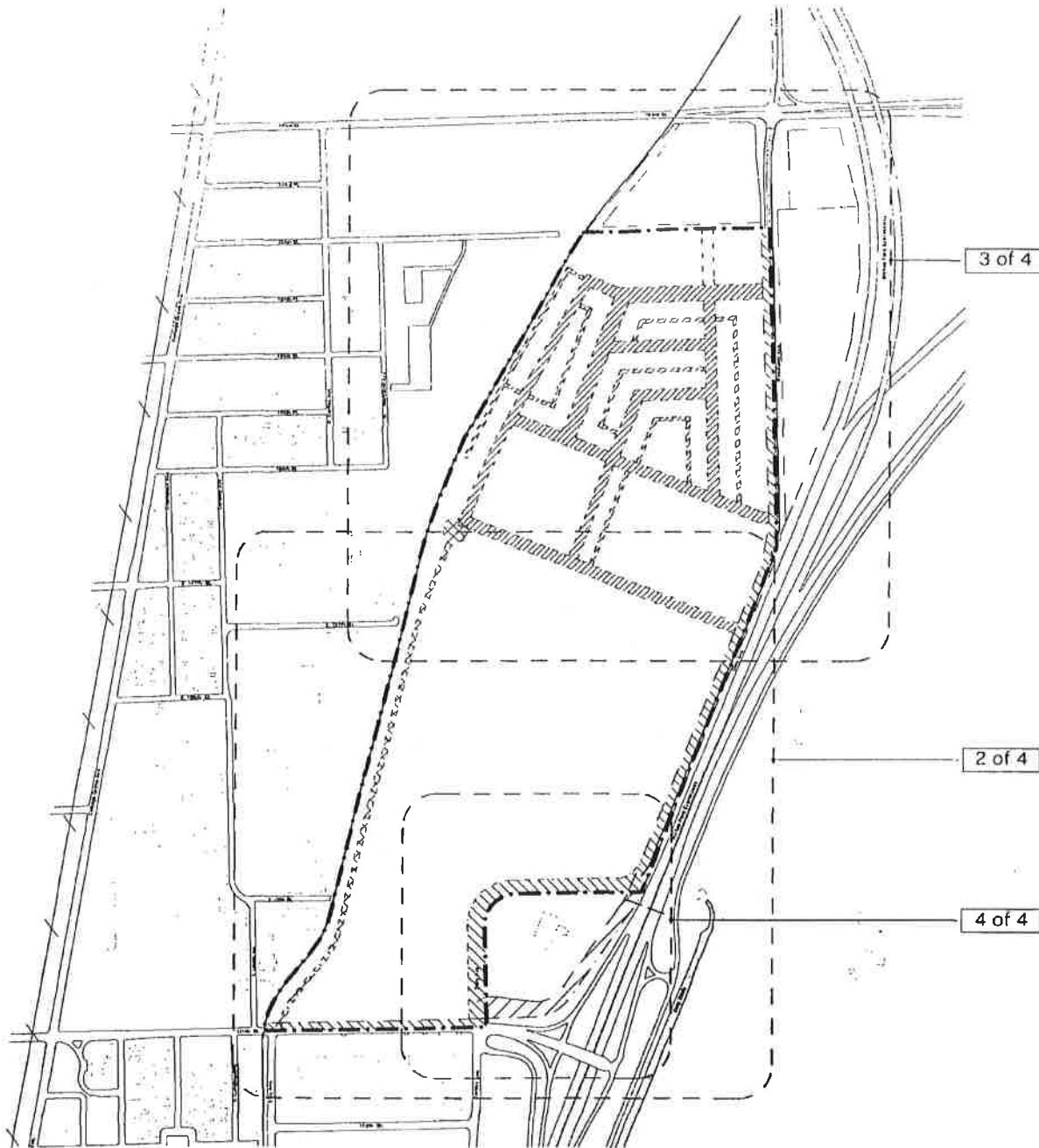
Sub Area Map
Scale: 1" = 800'-0"

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
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



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Legend

-  Off Premise R.O.W. Previously Vacated
-  Existing R.O.W. to Remain
-  Proposed Dedicated R.O.W.
-  Private Driveway



Rights-of-Way Adjustment Map - 1 of 4

Scale: 1" = 800'-0"

Note: Refer to Detail Plans to Follow

Applicant: North Pullman 111th Inc.

Address : 111th Street and Doty Avenue

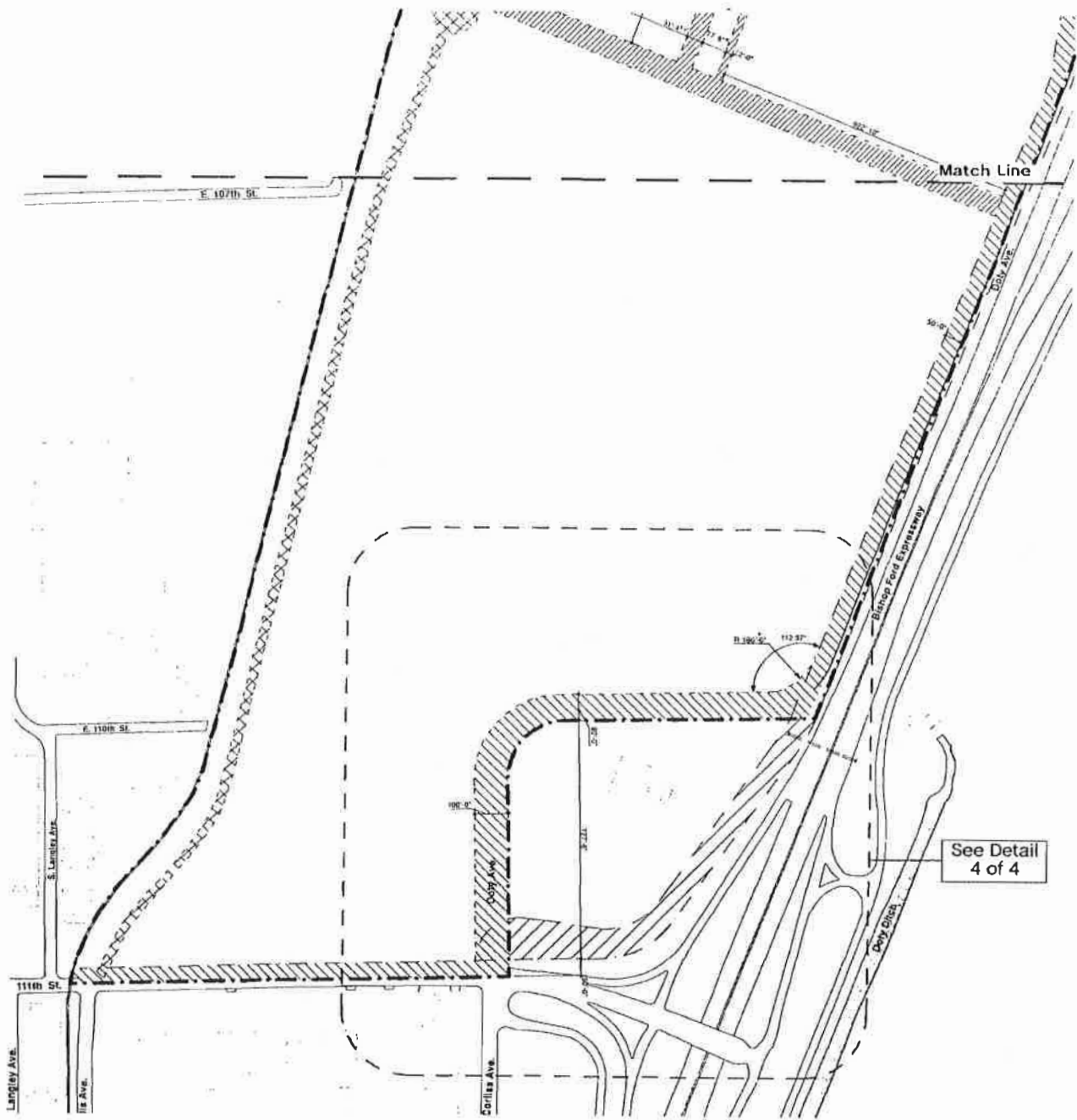
Introduction Date : July 24, 2013

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Legend

-  Off Premise R.O.W. Previously Vacated
-  Existing R.O.W. to Remain
-  Proposed Dedicated R.O.W.
-  Private Driveway



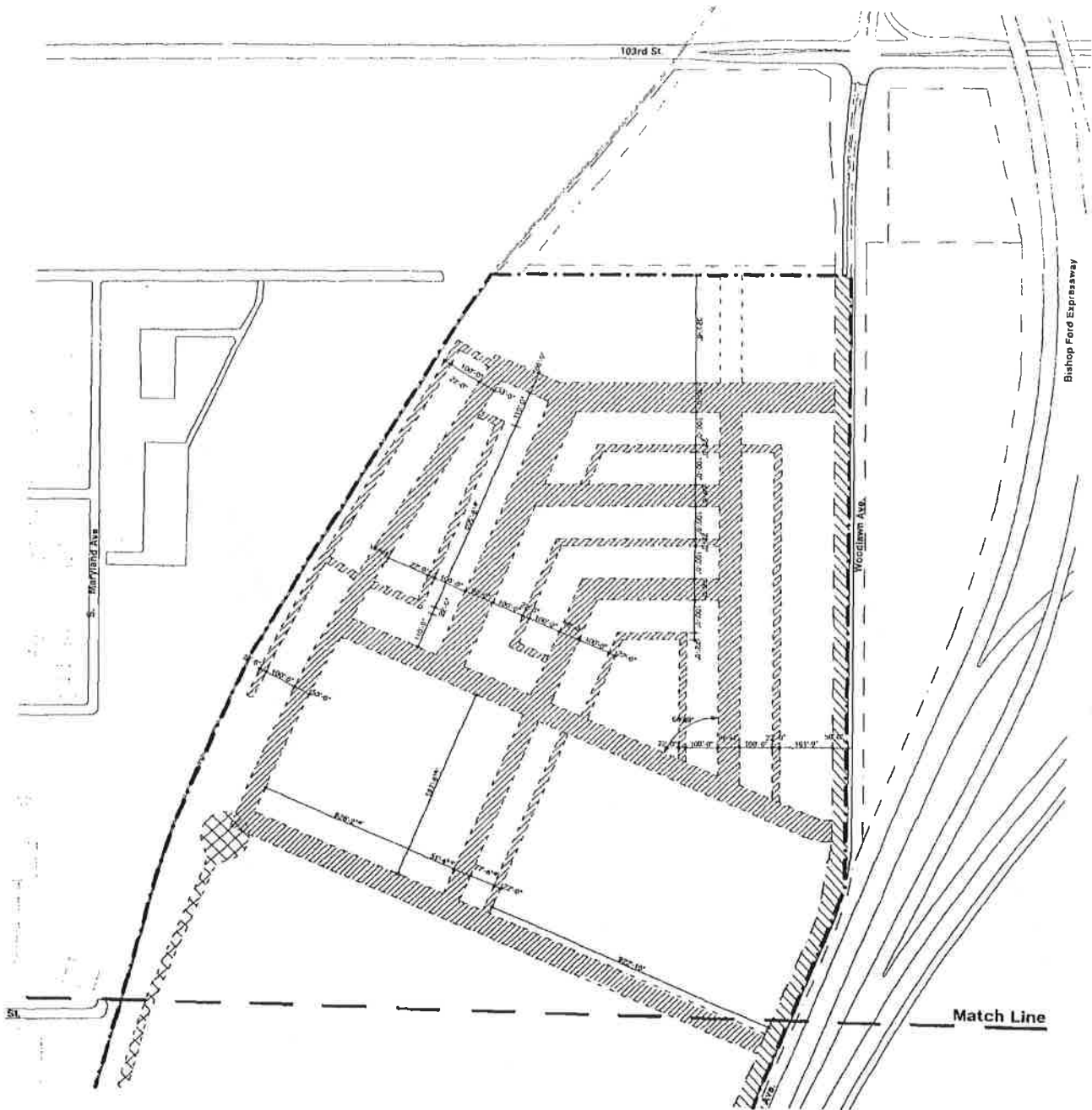
Rights-of-Way Adjustment Map - Detail - 2 of 4
Scale: 1" = 400'-0"

Applicant: North Pullman 111th Inc.
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


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Legend

-  Existing R.O.W. to Remain
-  Proposed Dedicated R.O.W.
-  Private Driveway



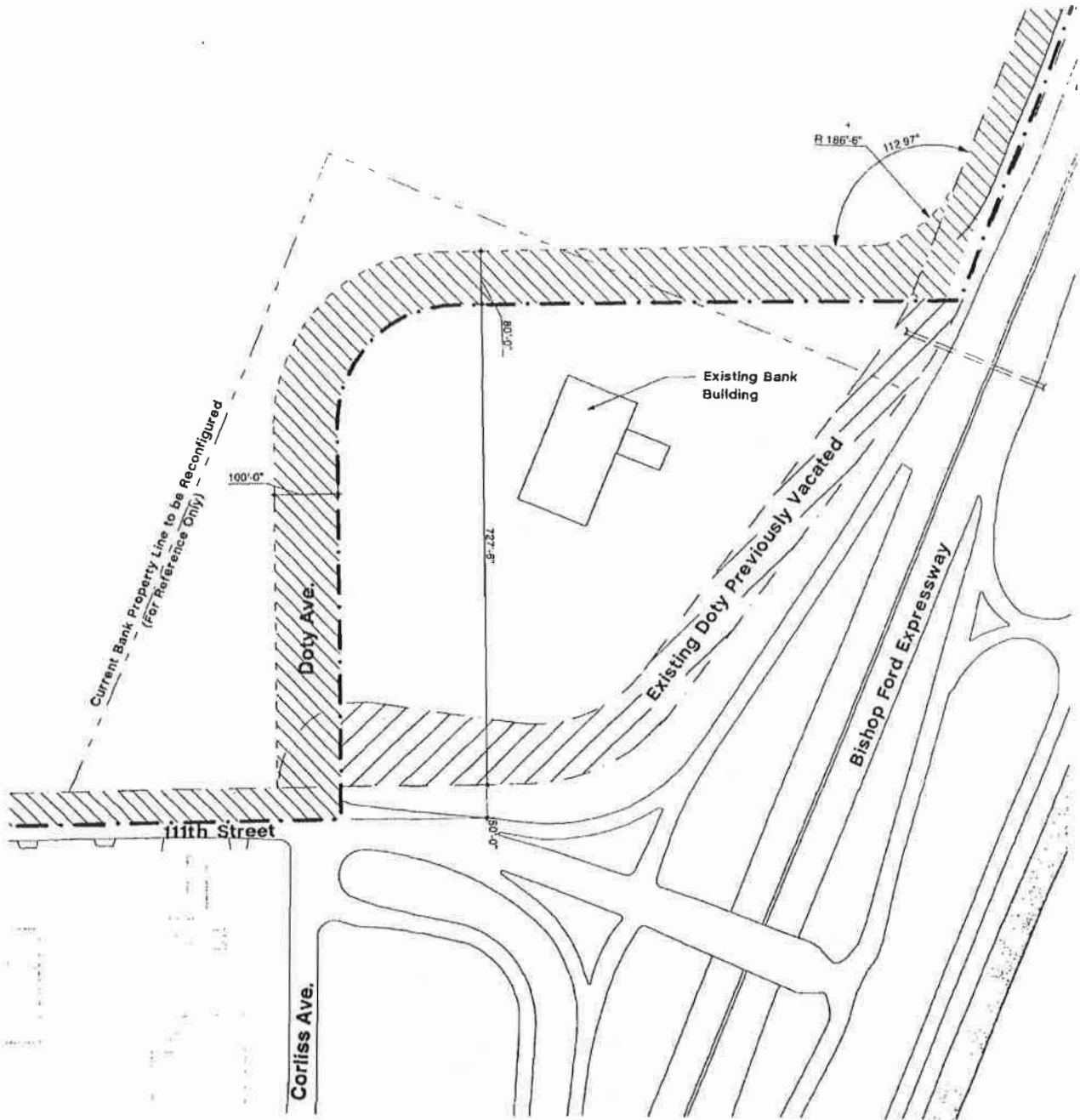
Rights-of-Way Adjustment Map - Detail - 3 of 4
 Scale: 1" = 400'-0"

Applicant: North Pullman 111th Inc.
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 Chicago Plan Commission Date : August 15, 2013




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Legend

-  Off Premise R.O.W. Previously Vacated
-  Existing R.O.W. to Remain
-  Proposed Dedicated R.O.W.



Rights-of-Way Adjustment Map - Detail - 4 of 4
 Scale: 1" = 200'-0"
 Vacated Off Premises R.O.W.

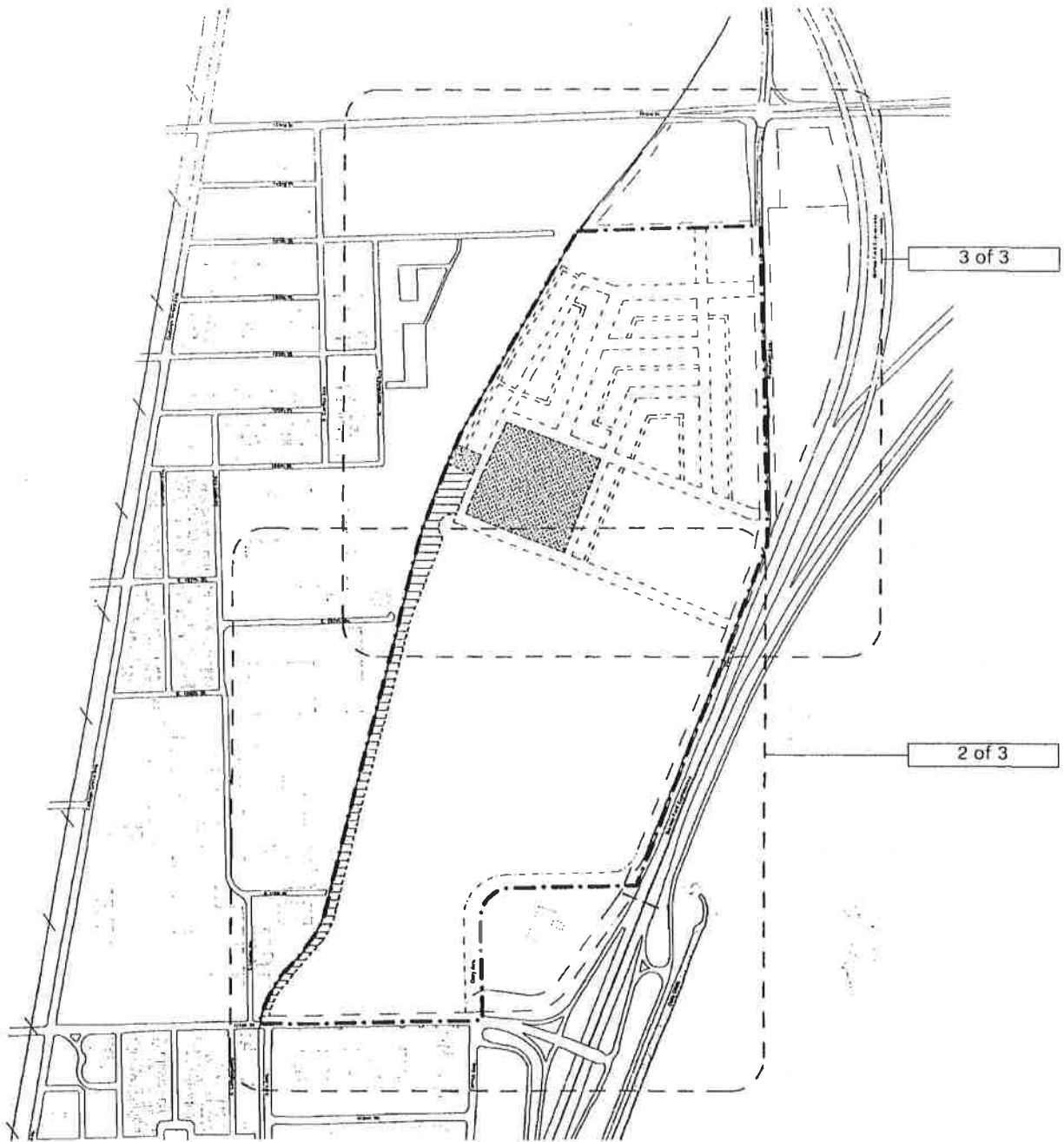
Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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P/H # 122092



Legend

-  Public Open Space
-  Landscape Buffer



Public Open Space Plan - 1 of 3

Scale: 1" = 800'-0" Note: Refer to Detail Plans to Follow

Applicant: North Pullman 111th Inc.

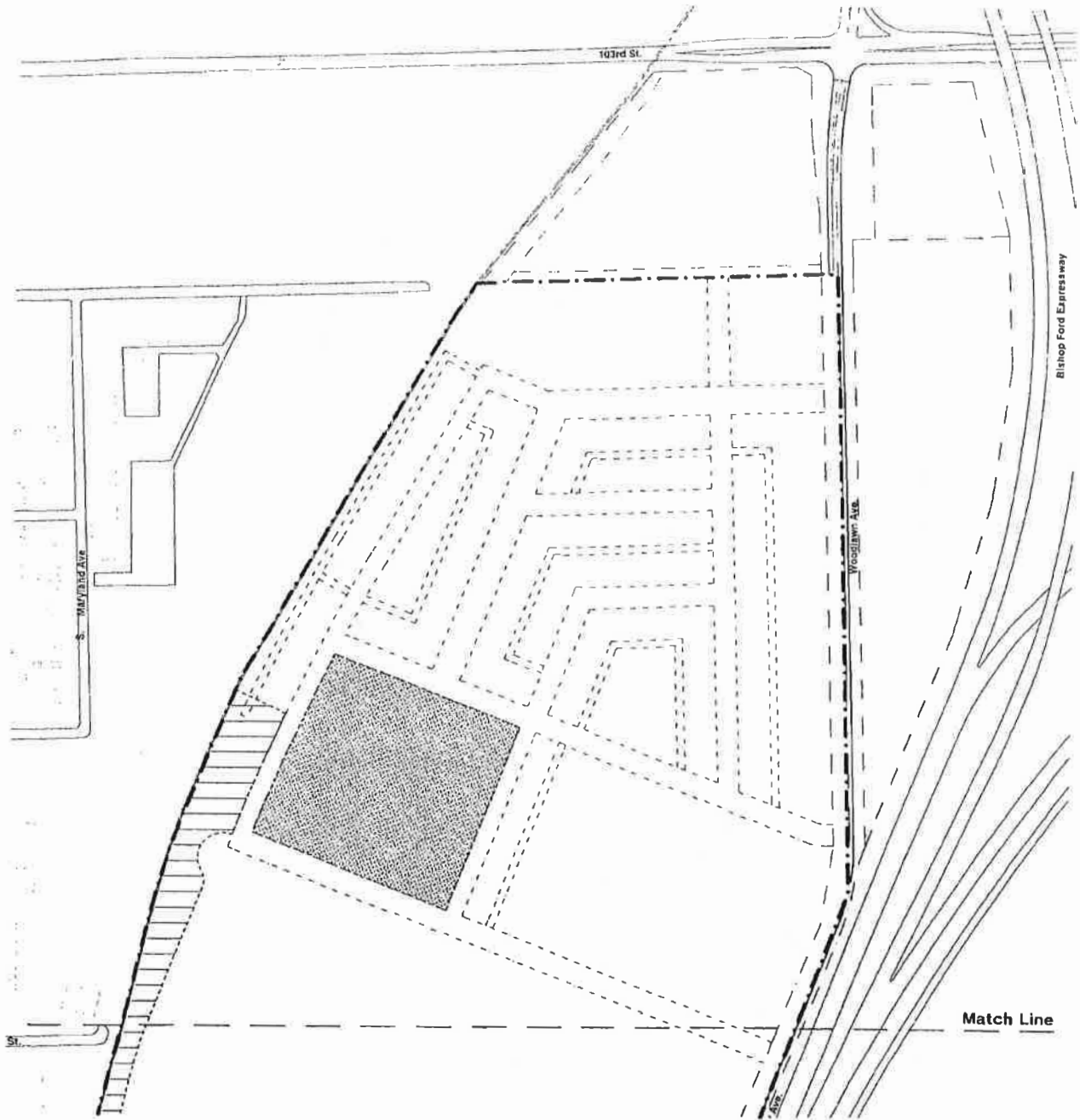
Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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P/H # 122092



Legend

-  Public Open Space
-  Landscape Buffer



Public Open Space Plan - Detail - 3 of 3
 Scale: 1" = 400'-0"

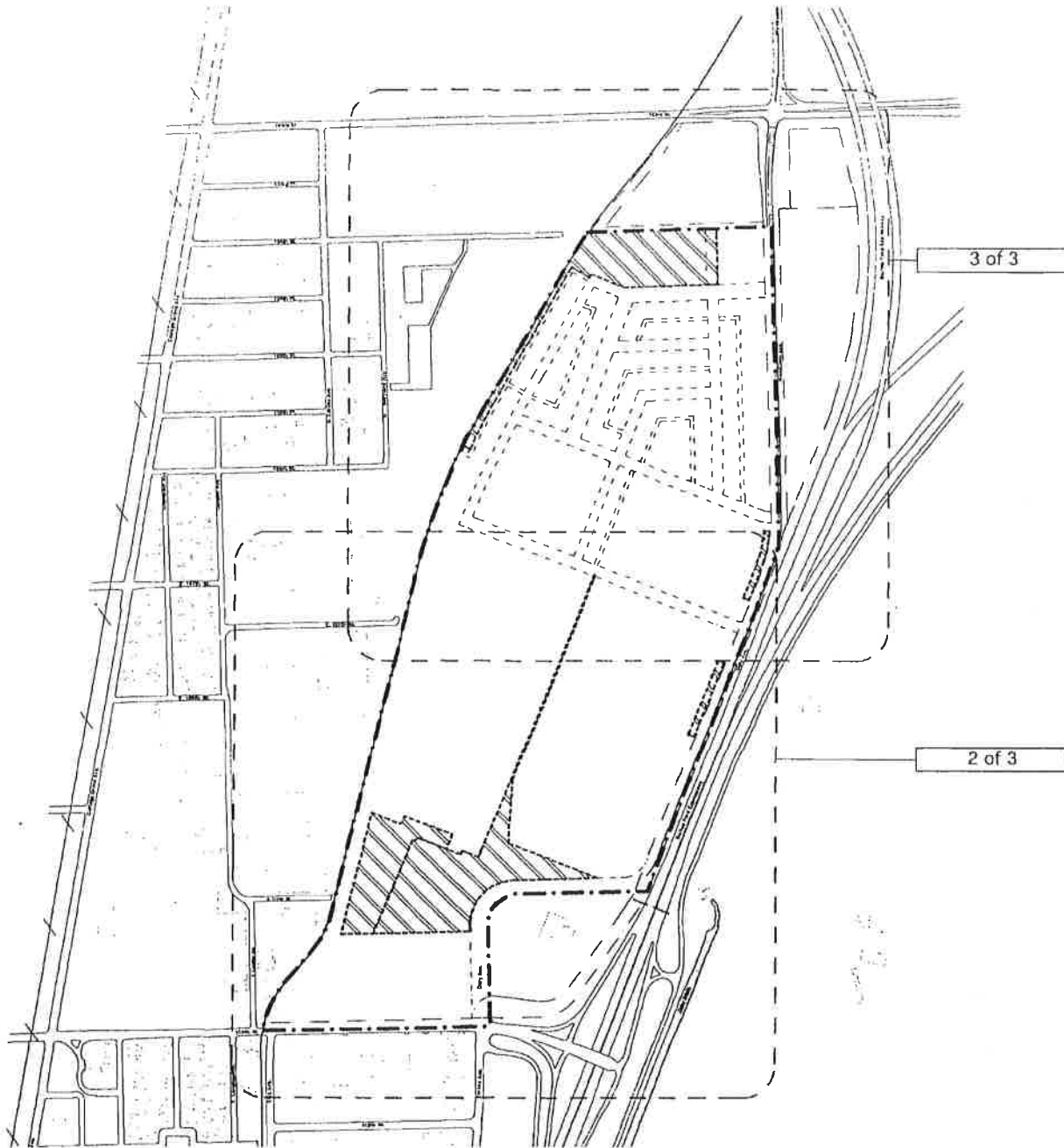
Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: July 24, 2013
 Chicago Plan Commission Date: August 15, 2013

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P/H # 122092



Legend

 Site Buffer and/or Detention



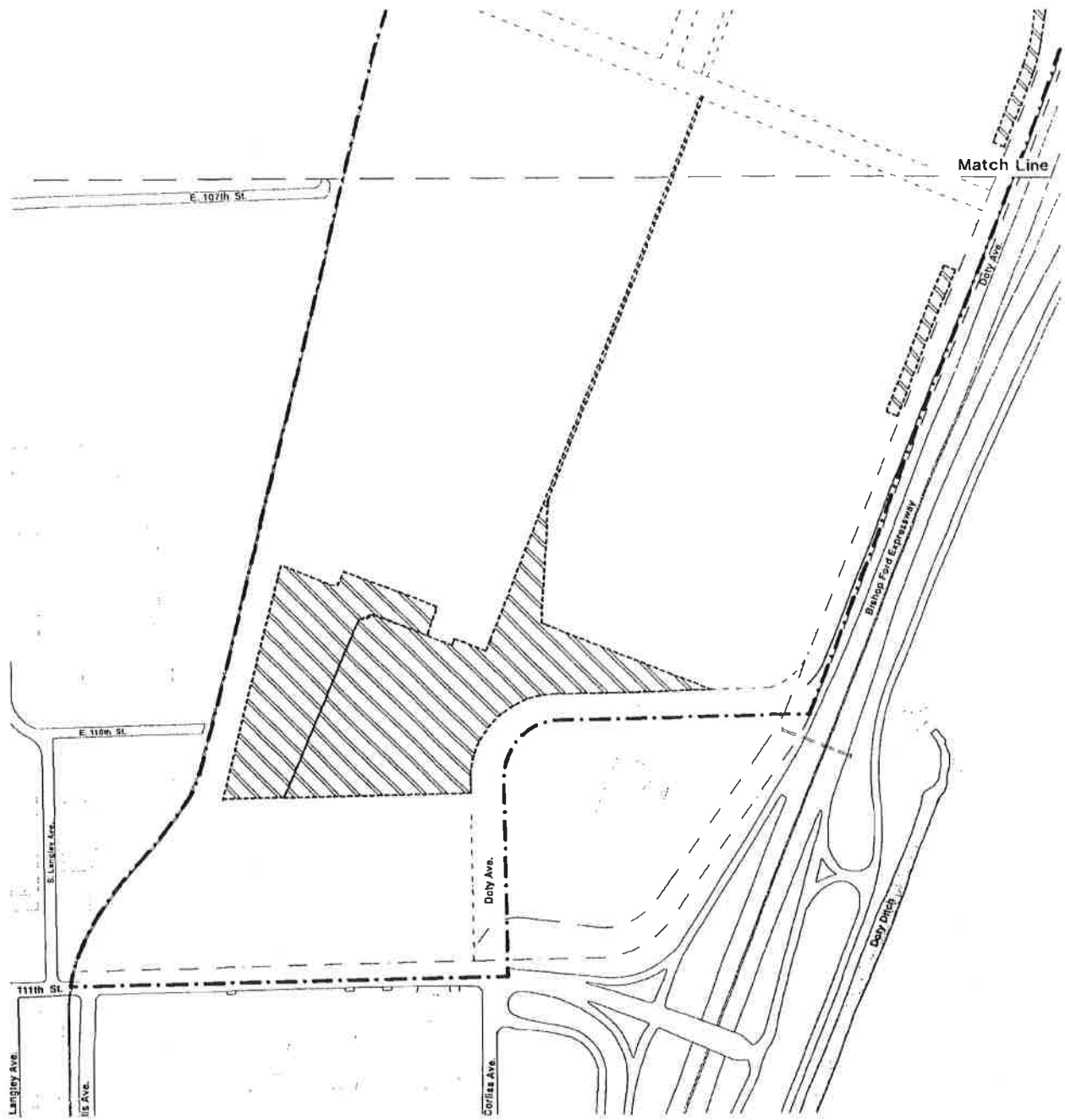
Site Buffer/ Detention Plan - 1 of 3
Scale: 1" = 400'-0"

Applicant: North Pullman 111th Inc.
Address : 111th Street and Doty Avenue
Introduction Date : July 24, 2013
Chicago Plan Commission Date : August 15, 2013

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Legend
 Site Buffer and/or Detention



Site Buffer/ Detention Plan - Detail - 2 of 3
 Scale: 1" = 400'-0"

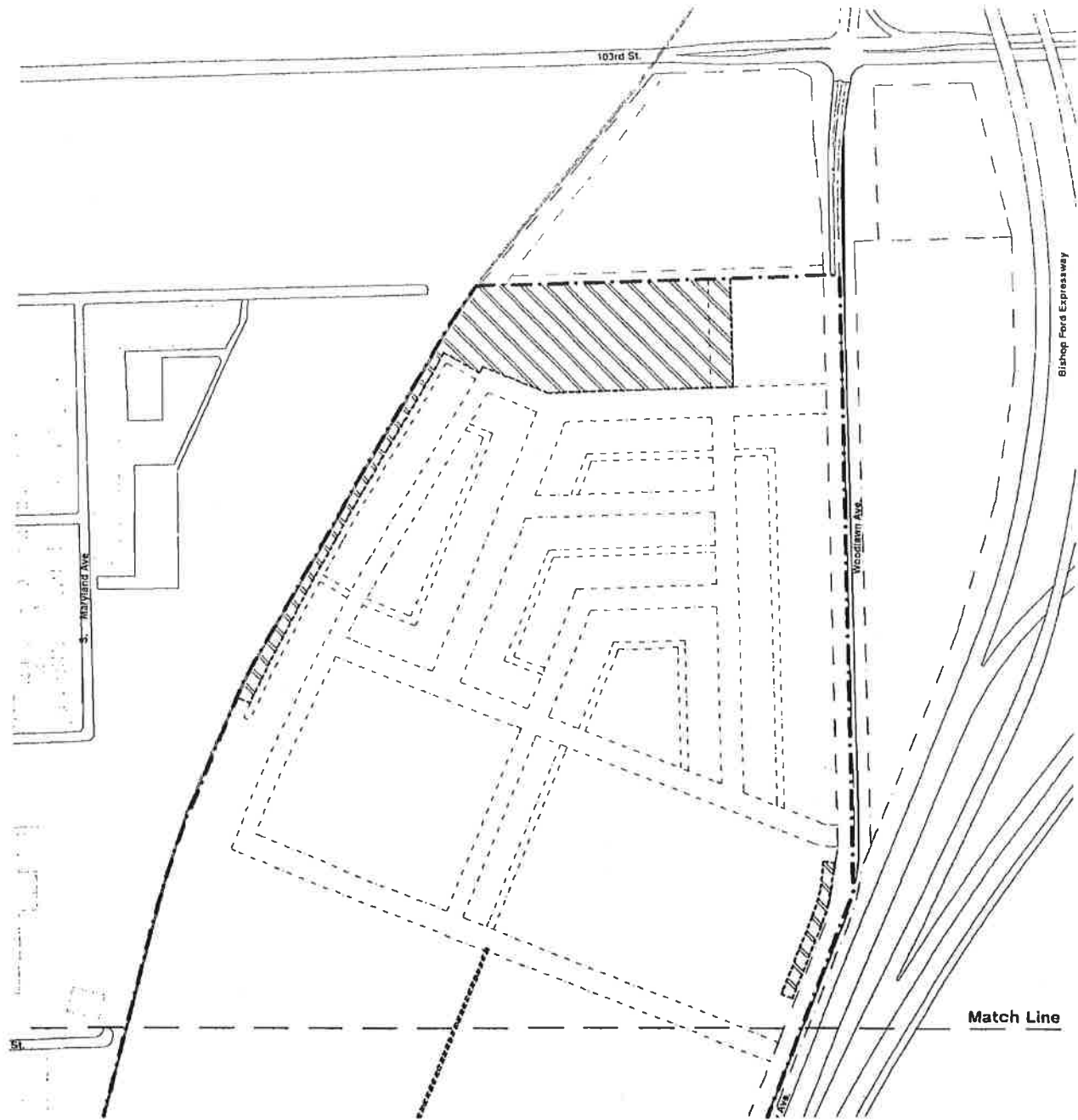
Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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P/H # 122092



Legend

 Site Buffer and/or Detention



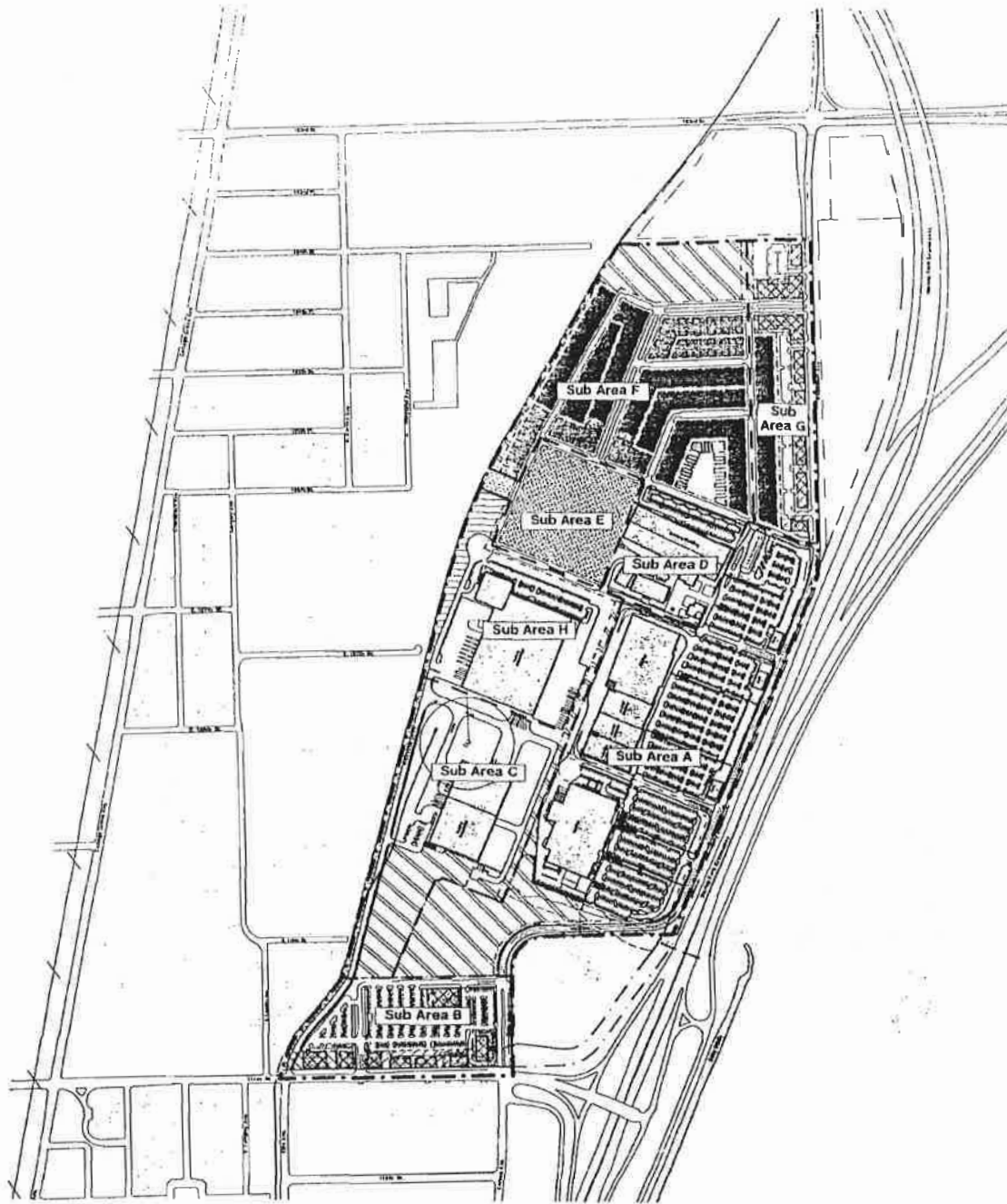
Site Buffer/ Detention Plan - Detail - 3 of 3
Scale: 1" = 400'-0"

Applicant: North Pullman 111th Inc.
Address : 111th Street and Doty Avenue
Introduction Date : July 24, 2013
Chicago Plan Commission Date : August 15, 2013

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Site Plan

Scale: 1" = 800'-0" Note: Refer to Sub Area Detail Plans to Follow

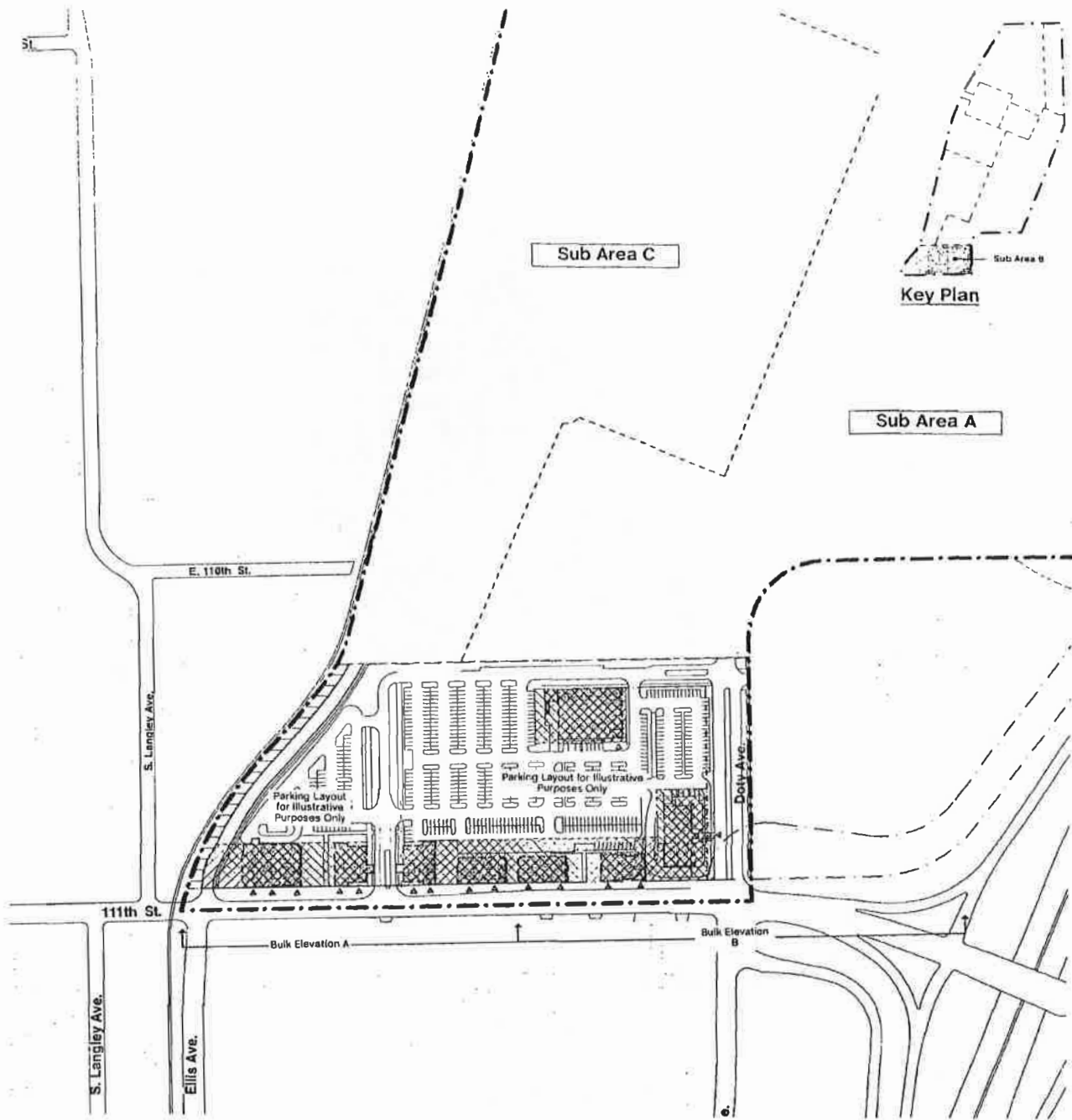
Applicant: North Pullman 111th Inc.

Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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Site Plan - Sub Area B
Scale: 1" = 300'-0"

Applicant: North Pullman 111th Inc.
Address : 111th Street and Doty Avenue
Introduction Date : July 24, 2013
Chicago Plan Commission Date : August 15, 2013

Legend

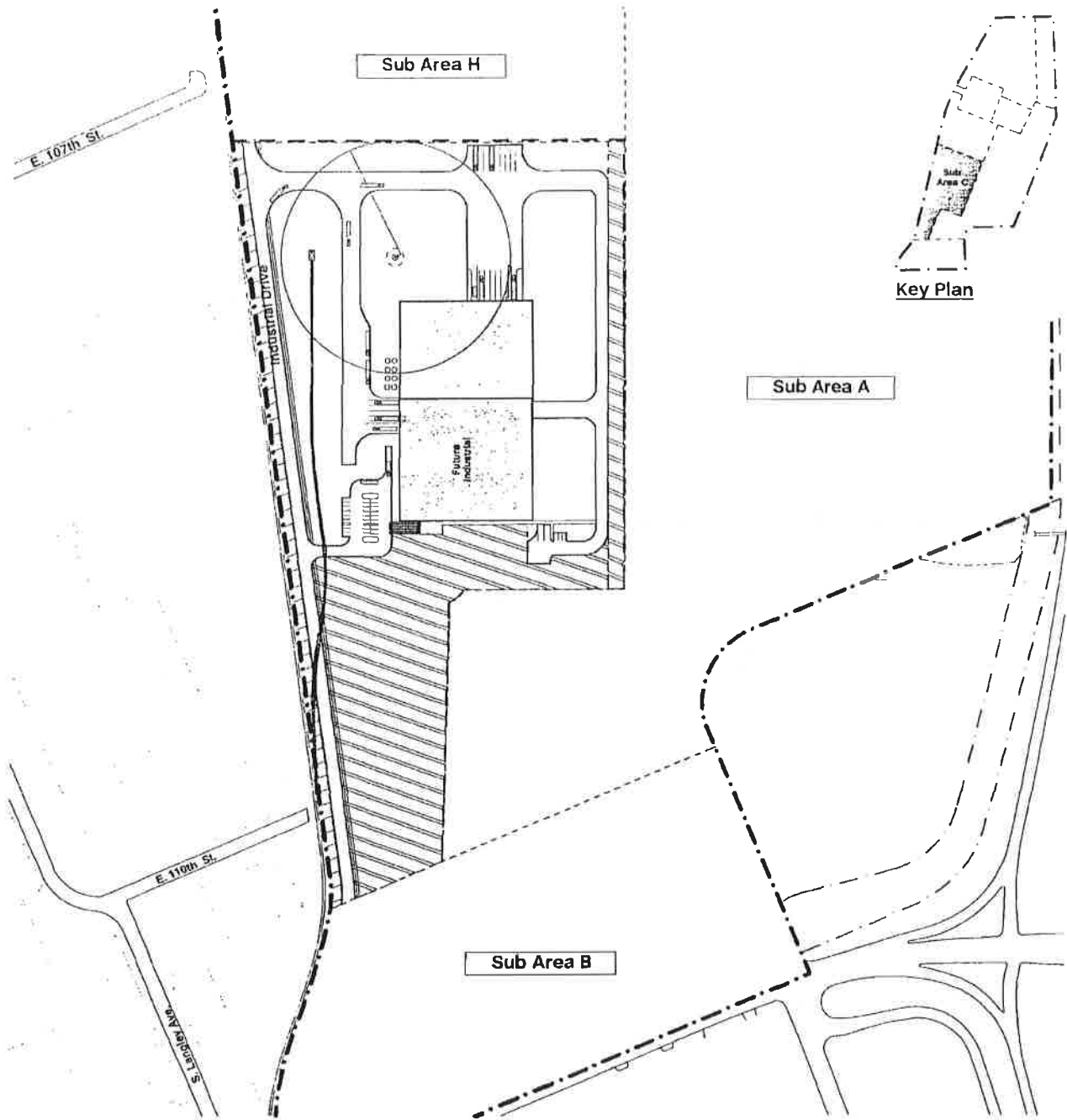
- Building Zones
- Example Building Footprints Only
- Public Open Space
- Landscape Buffer
- Approx. Retail Entry Locations




* Streets and parking are shown for illustrative purposes only

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- Legend**
-  Public Open Space
 -  Buffer/ Detention Area
 -  Landscape Buffer



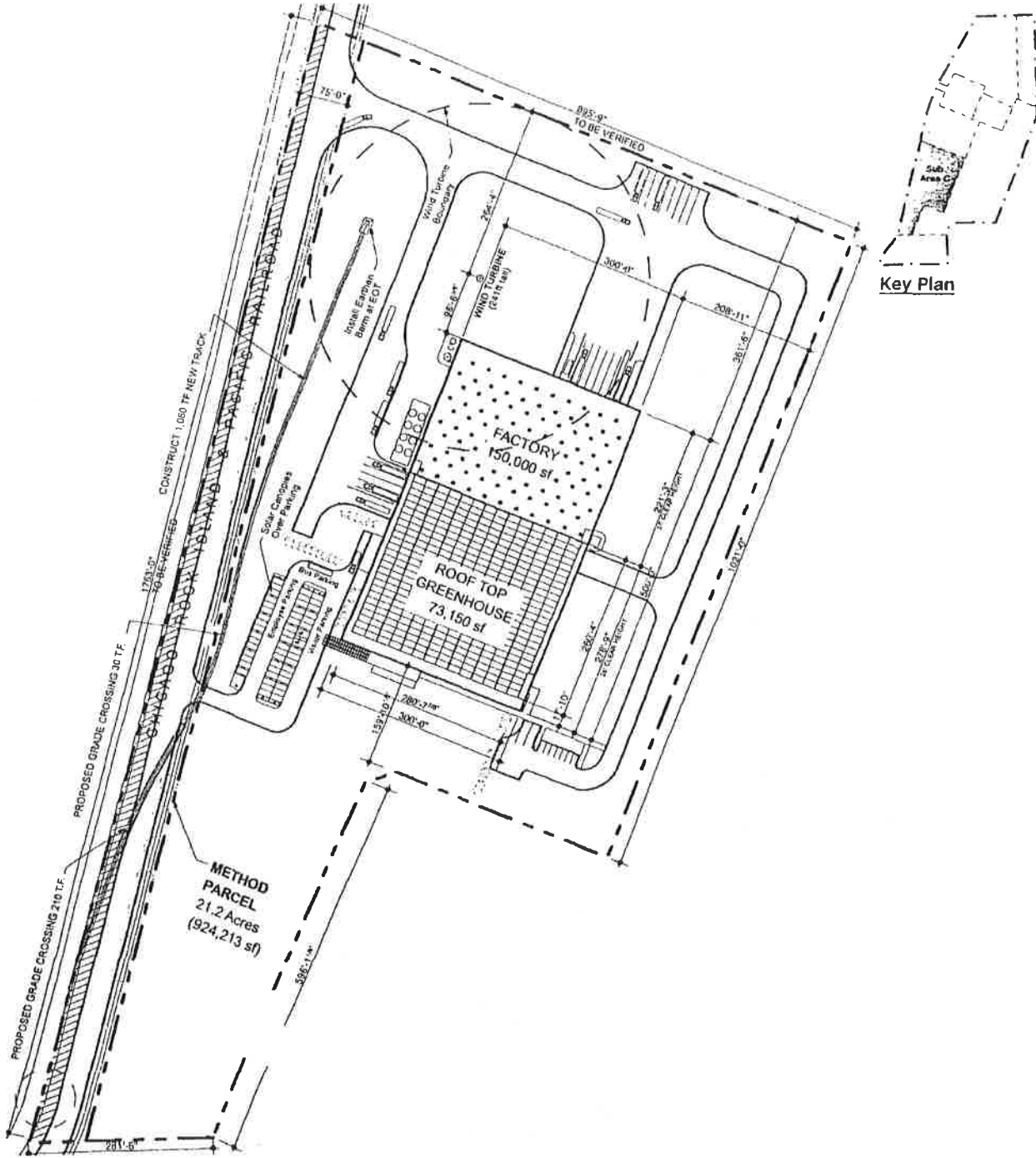
Site Plan - Sub Area C
 Scale: 1" = 300'-0"

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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Legend
 Landscape Buffer

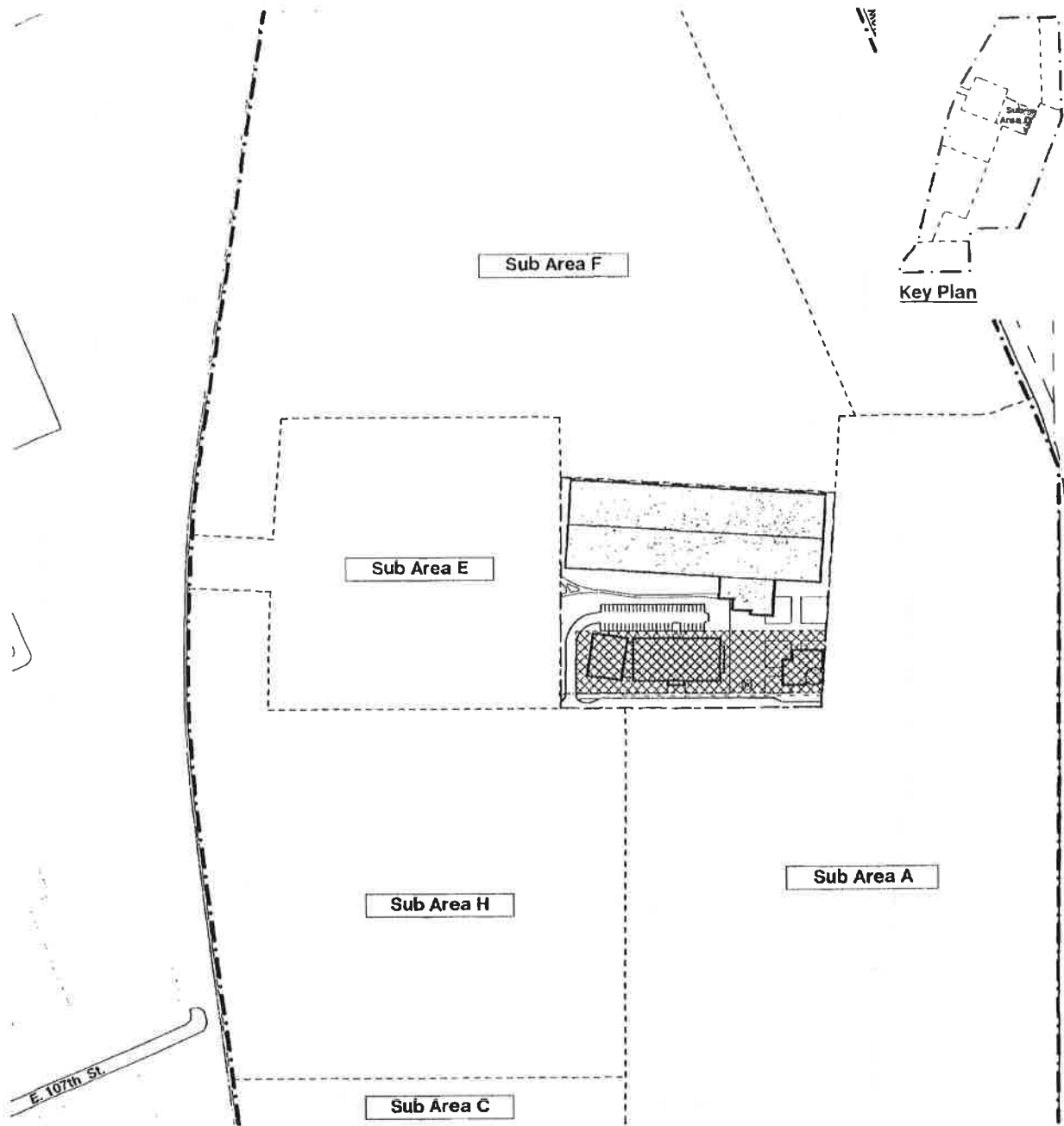
Enlarged Site Plan/ Final Sub Area Plan - Sub Area C
 Scale: 1" = 200'-0"

Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: July 24, 2013
 Chicago Plan Commission Date: August 15, 2013



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Legend

-  Building Zones
-  Example Building Footprints Only

* Streets and parking are shown for illustrative purposes only



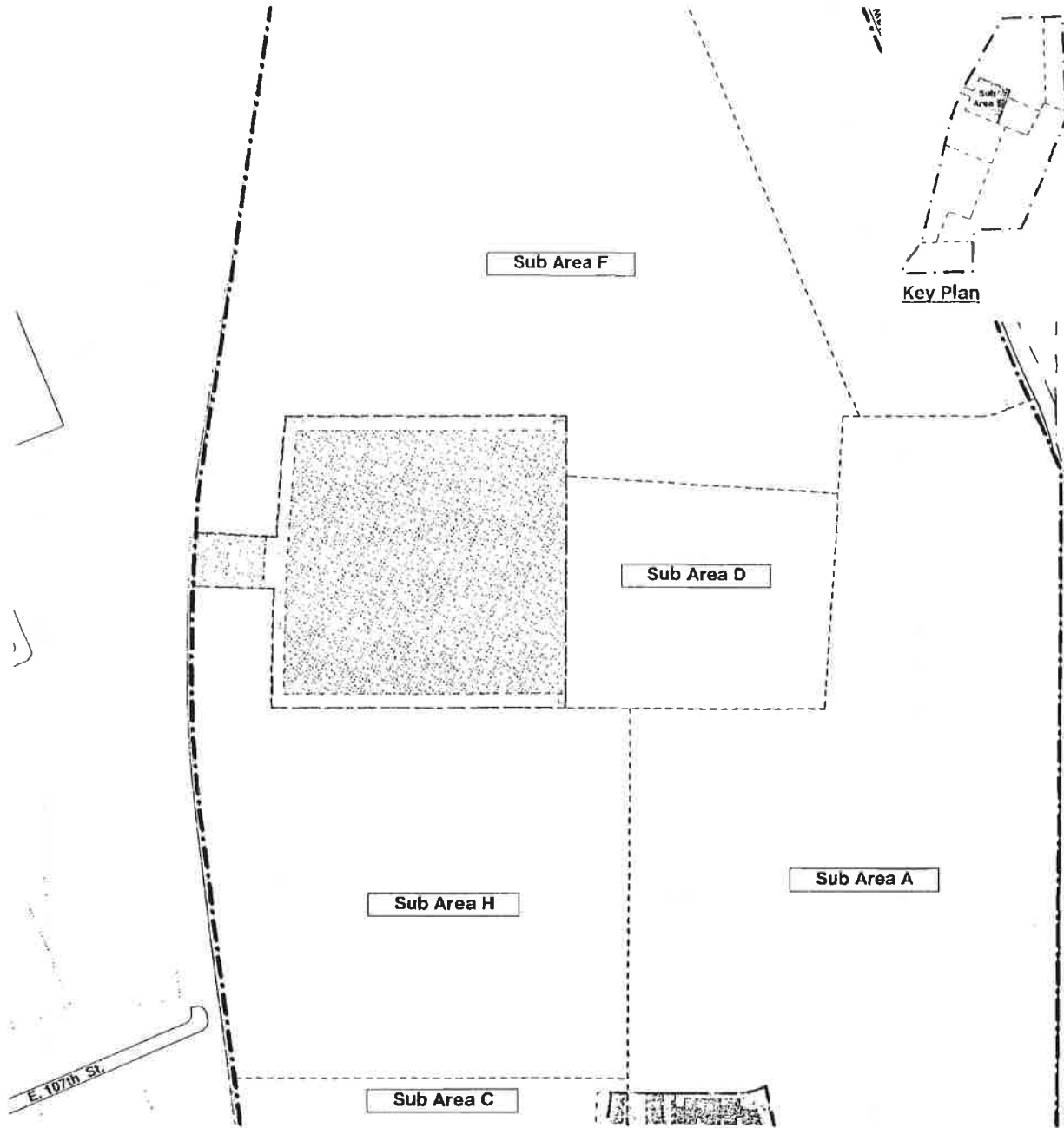
Site Plan - Sub Area D
Scale: 1" = 300'-0"

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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Legend

 Public Open Space

* Streets and parking are shown for illustrative purposes only



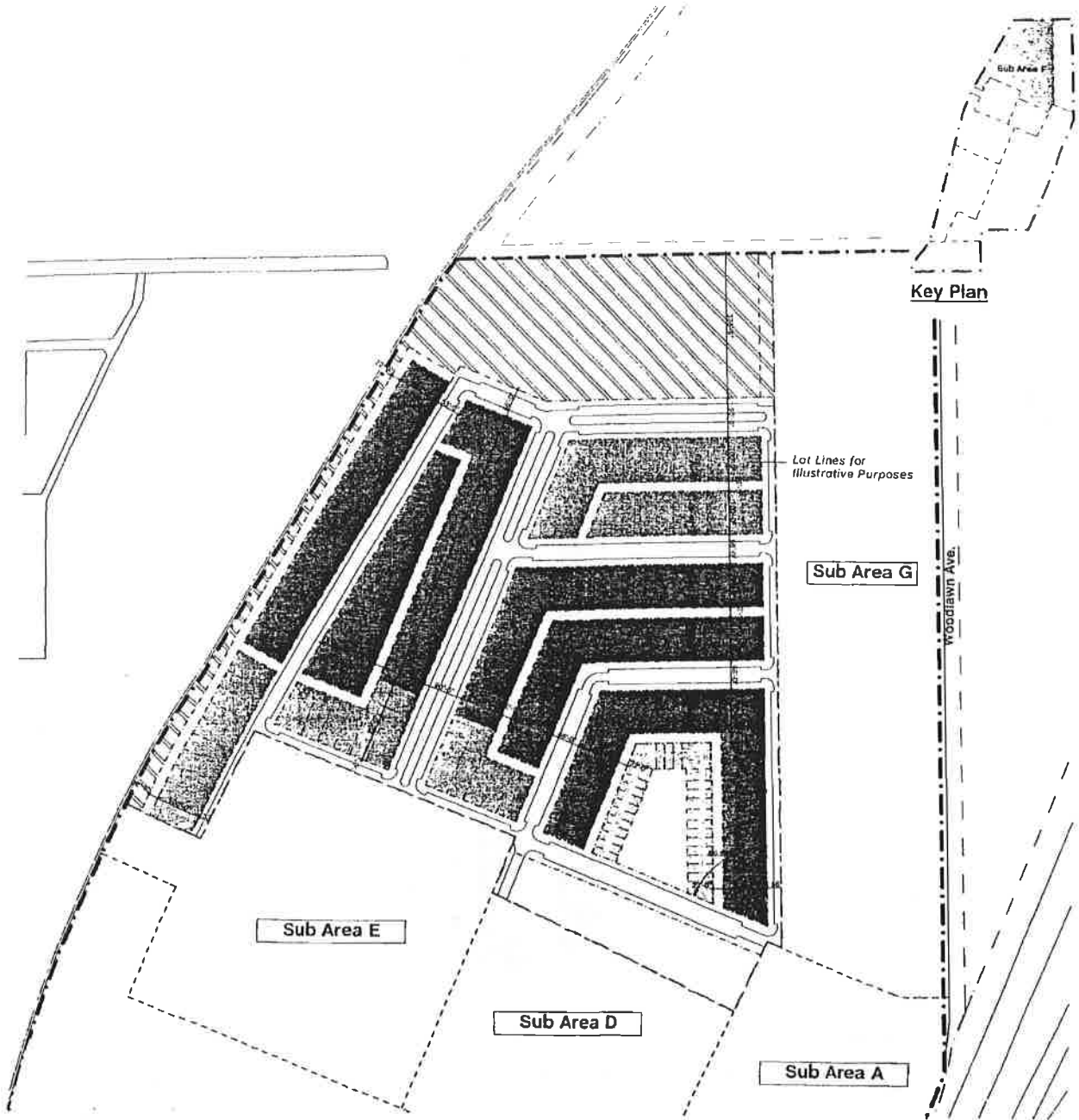
Site Plan - Sub Area E
Scale: 1" = 300'-0"

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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Legend

- Townhouse Zone
- Residential Zone (1-2 units)
- Residential Zone (1-4 units)
- Multi Family Residential
- Buffer/ Detention Area

** Streets and parking are shown for illustrative purposes only*



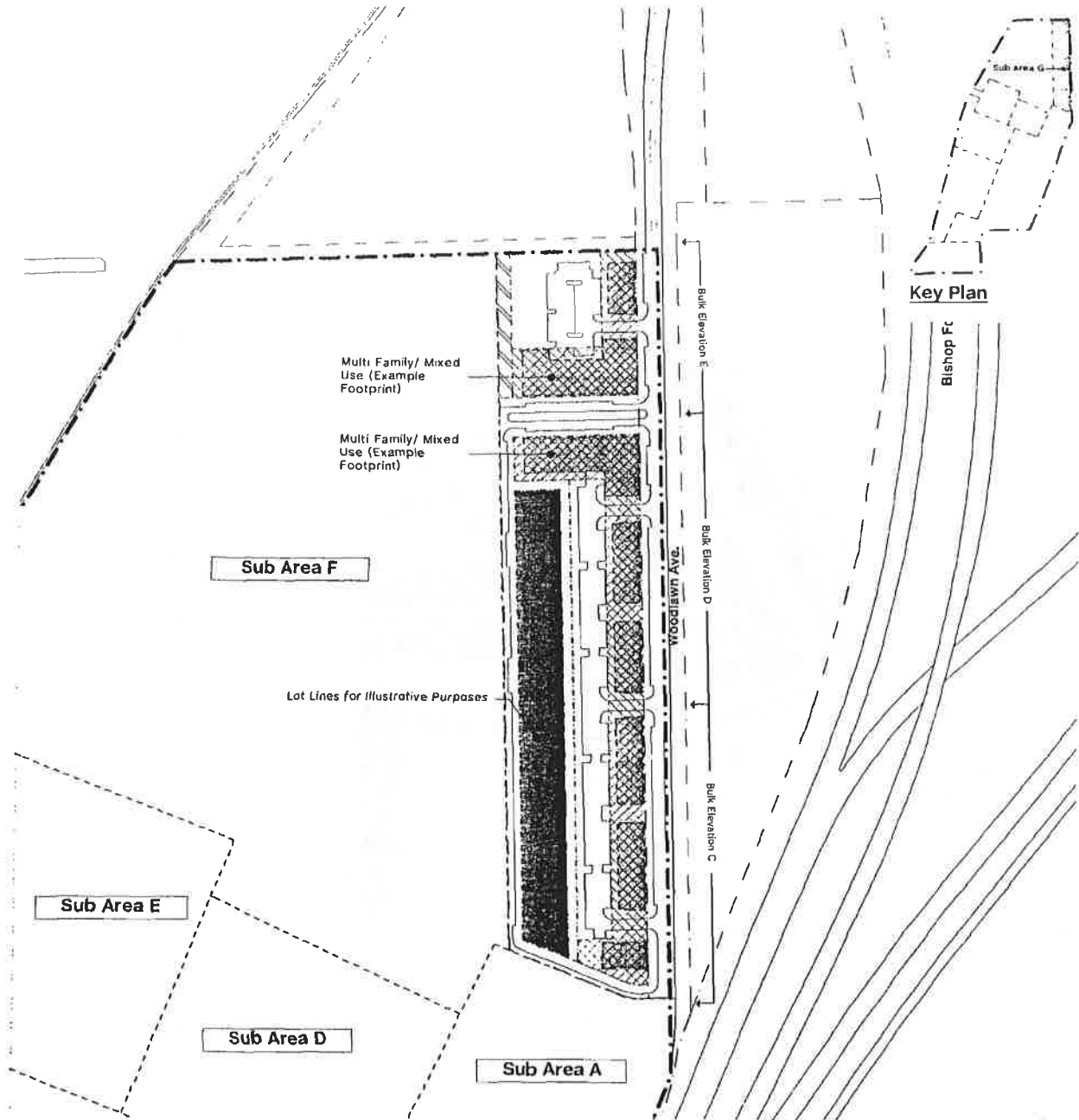
Site Plan - Sub Area F
Scale: 1" = 300'-0"

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013





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Legend

-  Building Zones
-  Example Building Footprints Only
-  Buffer/ Detention Area
-  Residential Zone (1-2 units)

  Approx. Retail Entry Locations

* Streets and parking are shown for illustrative purposes only



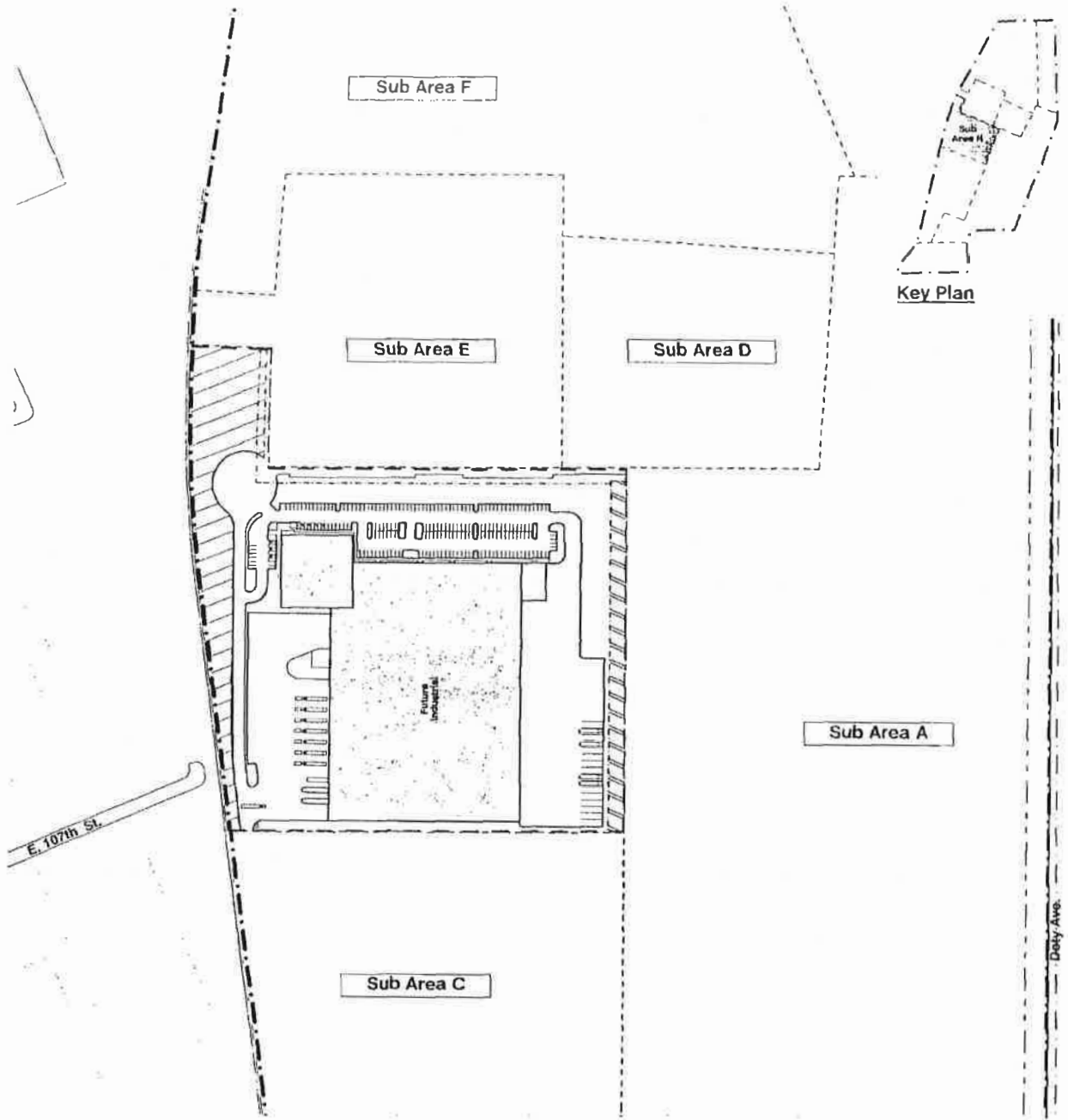
Site Plan - Sub Area G
Scale: 1" = 300'-0"

Applicant: North Pullman 111th Inc.
 Address: 111th Street and Doty Avenue
 Introduction Date: July 24, 2013
 Chicago Plan Commission Date: August 15, 2013

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Legend

- Public Open Space
- Buffer/ Detention Area
- Landscape Buffer

* Streets and parking are shown for illustrative purposes only



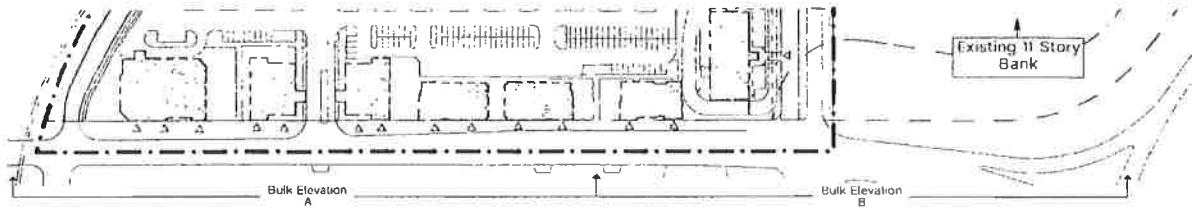
Site Plan - Sub Area H
Scale: 1" = 300'-0"

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

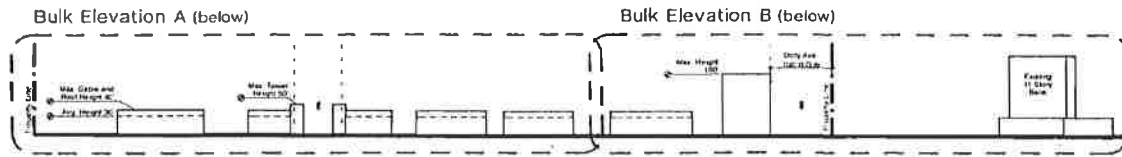
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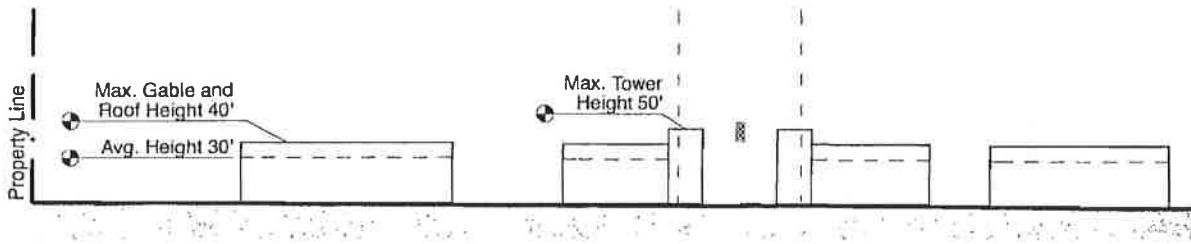




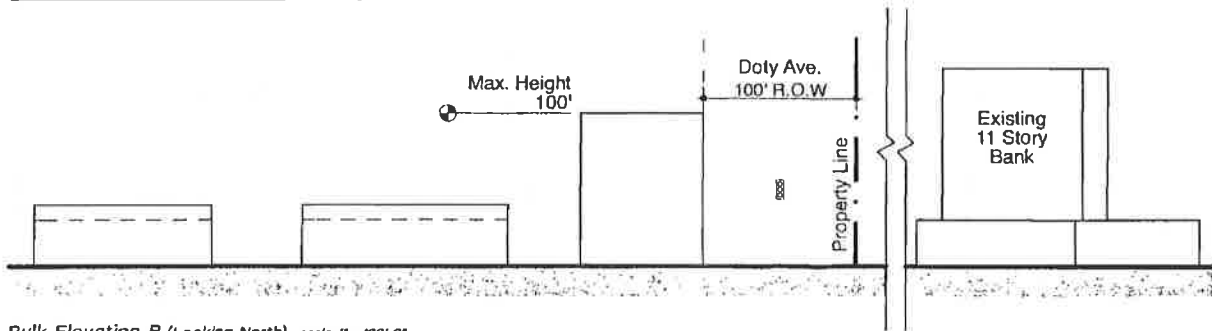
Bulk Elevation - 111th Street Key Plan scale: 1" = 250' 0"



Bulk Elevation - 111th Street (Looking North) scale: 1" = 250' 0"



Bulk Elevation A - 111th Street (Looking North) scale: 1" = 100' 0"



Bulk Elevation B (Looking North) scale: 1" = 100' 0"

Bulk Elevations - 111th Street (Sub Area B)

Scale: As Noted

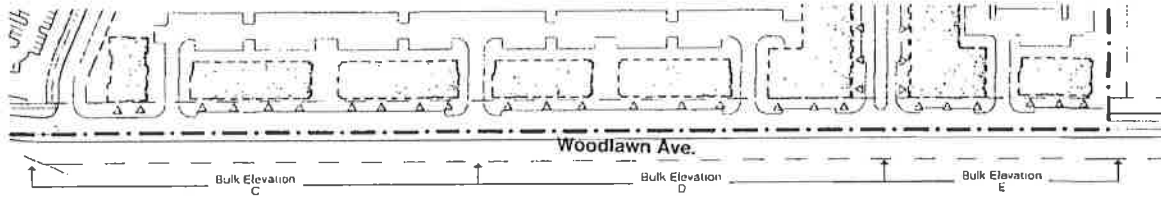
Applicant: North Pullman 111th Inc.

Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

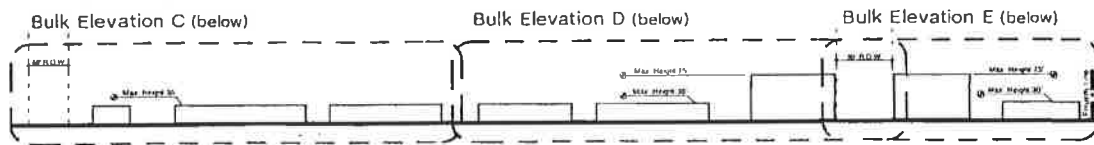
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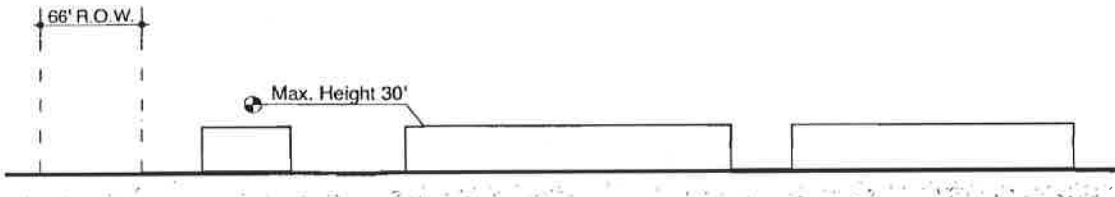




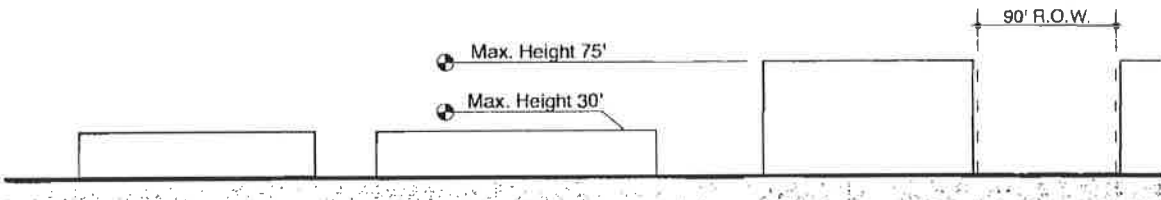
Bulk Elevation - South Woodlawn/Doty Key Plan scale: 1" = 250'-0"



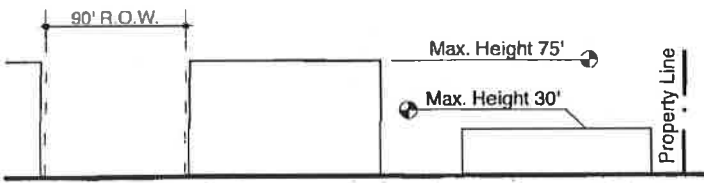
Bulk Elevation - South Woodlawn/ Doty (Looking West) scale: 1" = 250'-0"



Bulk Elevation C - South Woodlawn/ Doty (Looking West) scale: 1" = 100'-0"



Bulk Elevation D - South Woodlawn/ Doty (Looking West) scale: 1" = 100'-0"



Bulk Elevation E - South Woodlawn/ Doty scale: 1" = 100'-0"

Bulk Elevations - North Woodlawn/ Doty Ave. (Sub Area G)

Scale: As Noted

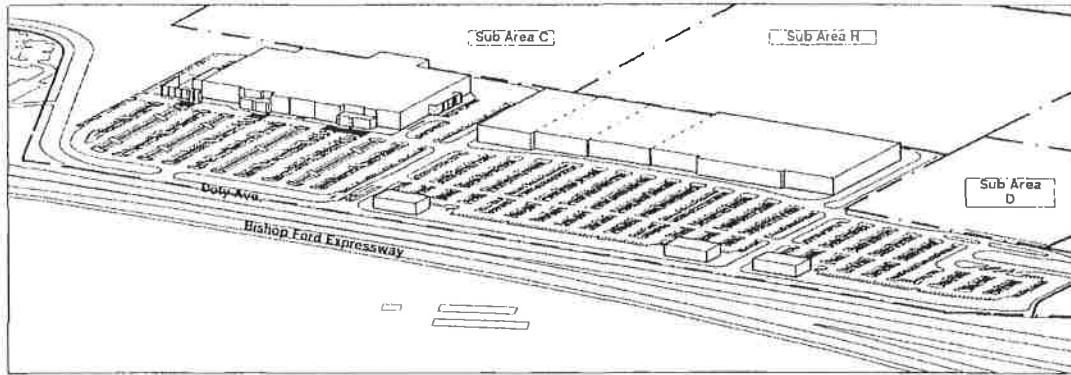
Applicant: North Pullman 111th Inc.

Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

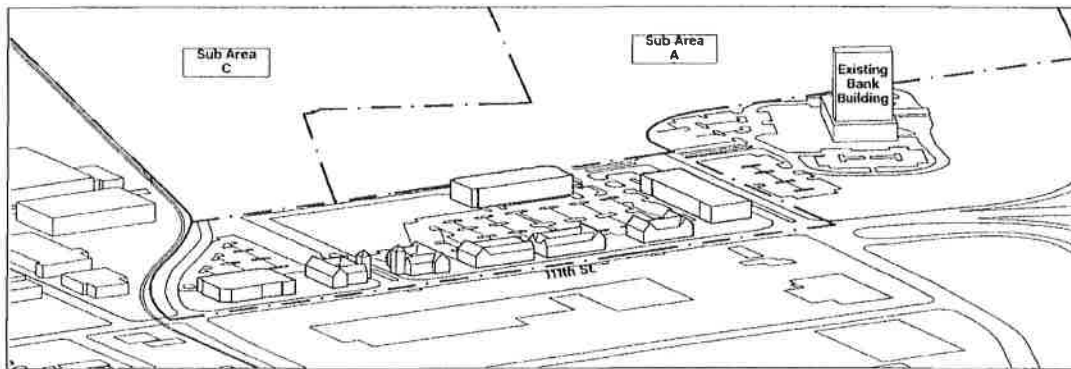
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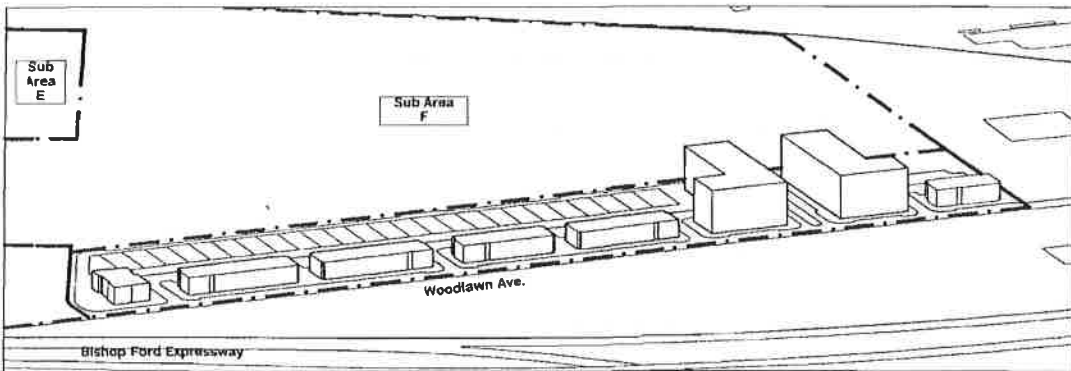




N Bulk Axonometric Sub Area A scale: not to scale



N Bulk Axonometric Sub Area B scale: not to scale



N Bulk Axonometric Sub Area G scale: not to scale

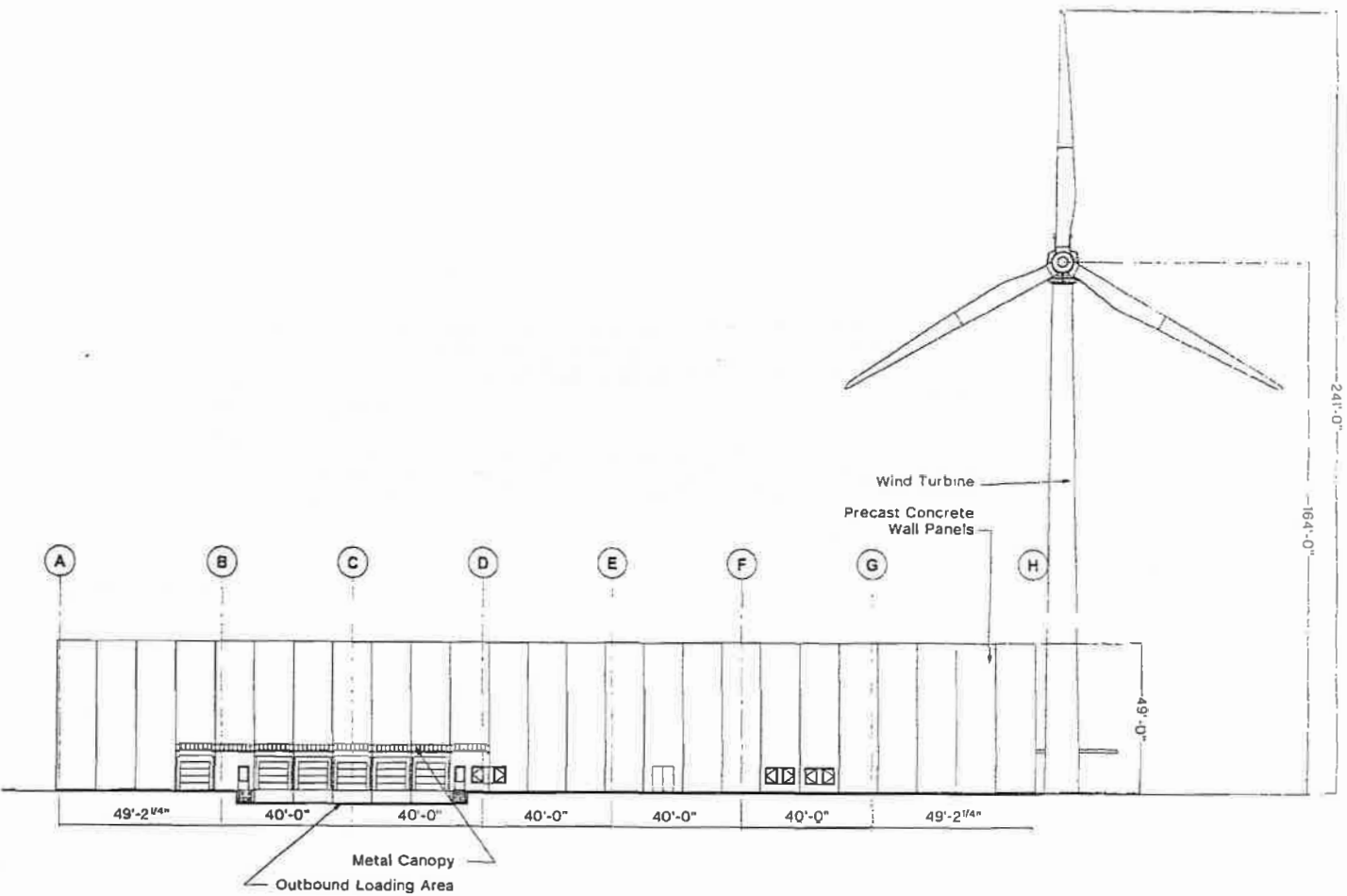
Bulk Axonometrics
Scale: Not to Scale

Applicant: North Pullman 111th Inc.
 Address : 111th Street and Doty Avenue
 Introduction Date : July 24, 2013
 Chicago Plan Commission Date : August 15, 2013

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Sub Area C - North Building Elevation

Scale: no scale

Applicant: North Pullman 11th Inc.

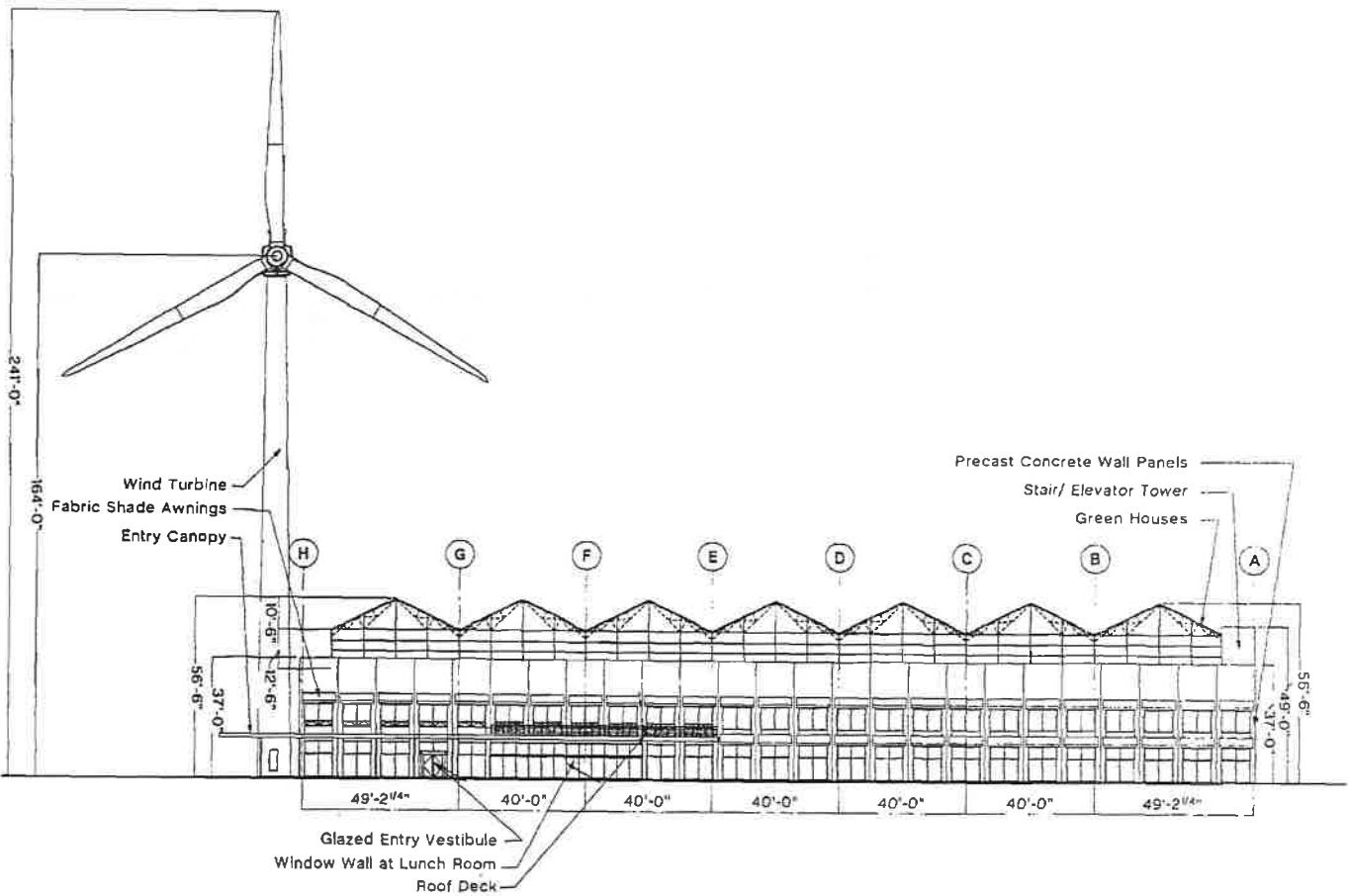
Address : 11th Street and Doty Avenue
Introduction Date : July 24, 2013
Chicago Plan Commission Date : August 15, 2013

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P/H # 122092



Sub Area C - South Building Elevation

Scale: no scale

Applicant: North Pullman 11th Inc.

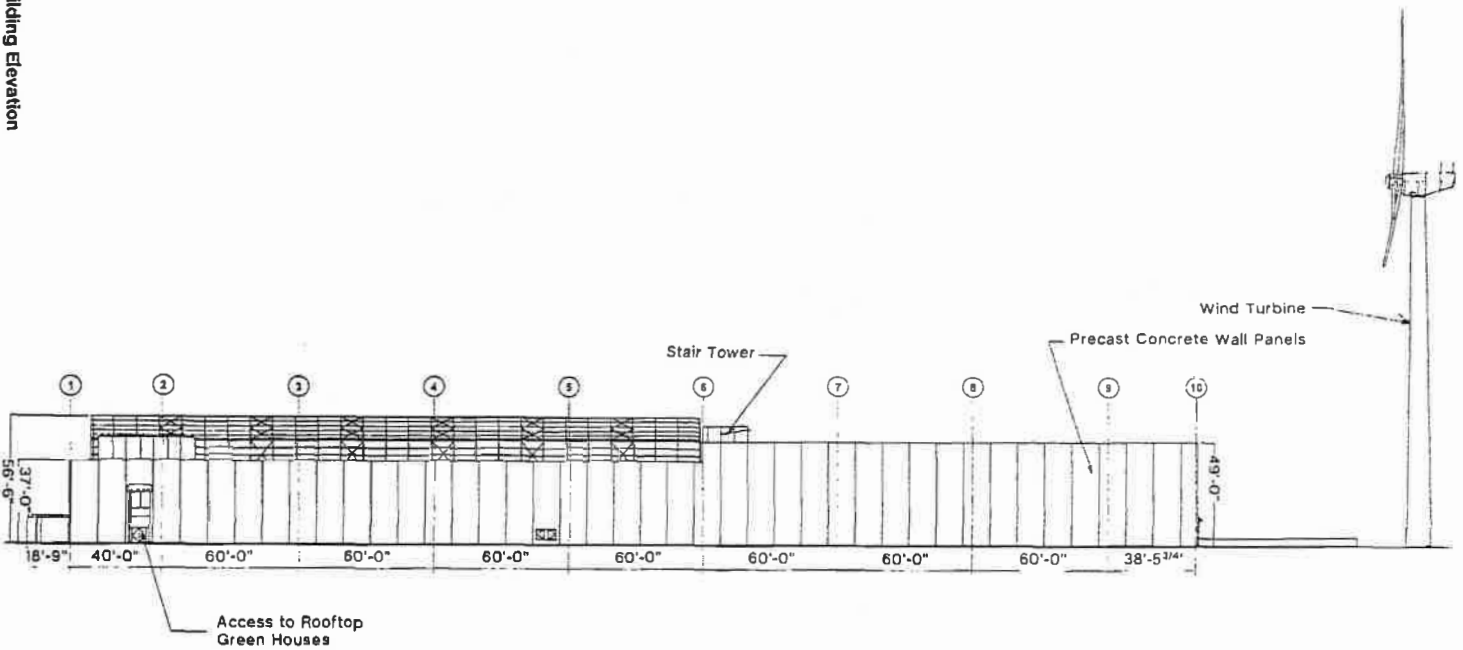
Address: 11th Street and Dooly Avenue
Introduction Date: July 24, 2013
Chicago Plan Commission Date: August 15, 2013

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P/H # 122092



Sub Area C - East Building Elevation

Scale: no scale

Applicant: North Pullman 11th Inc.

Address : 11th Street and Doy Avenue

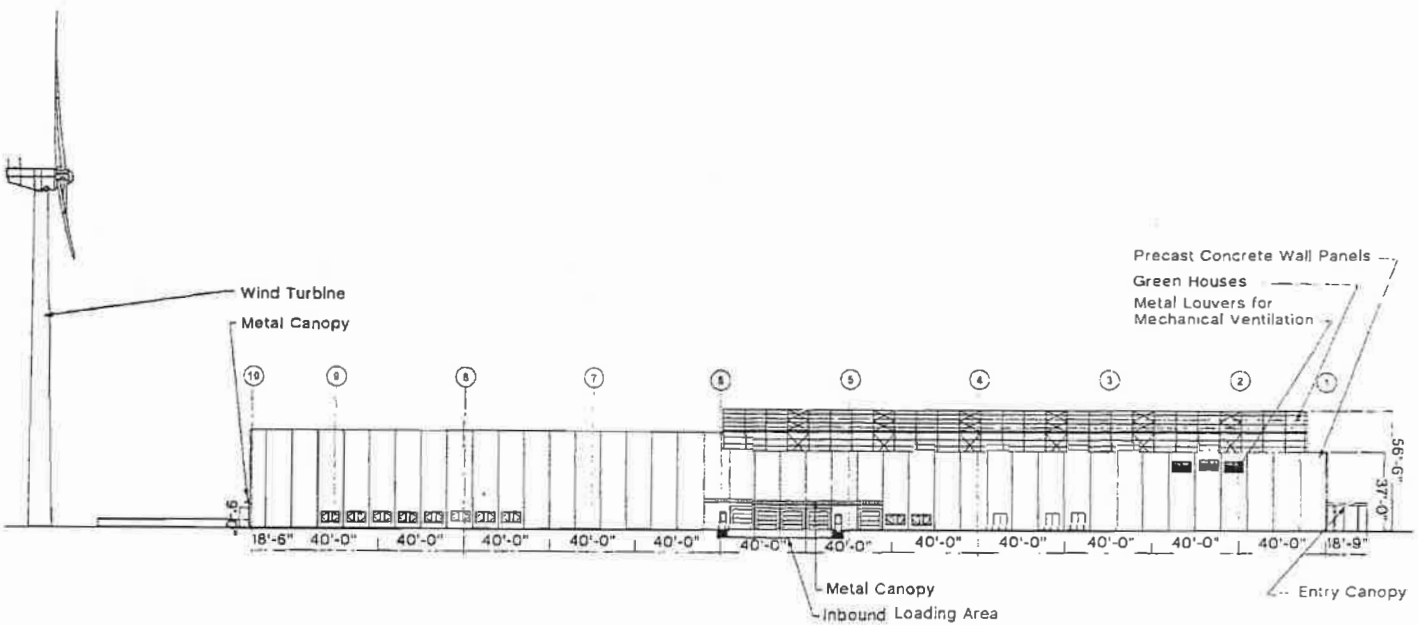
Introduction Date : July 24, 2013

Chicago Plan Commission Date : August 15, 2013

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Sub Area C - West Building Elevation

Scale: no scale

Applicant: North Pullman 11th Inc.

Address: 11th Street and Doy Avenue

Introduction Date: July 24, 2013

Chicago Plan Commission Date: August 15, 2013

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P/H # 122092



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

January 25, 2013

David Doig
President
Pullman Park Development LLC
1000 E. 111th Street-10th Floor
Chicago, IL 60628

Re: Administrative Relief Request and Site Plan Approval for Business Residential Institutional Planned Development No. 1167, Pullman Park, Sub Area A, Phase 1B Consisting of 79,000 SF of retail space (67,000 SF building and two 6,000 SF out lots) and parking for 493 automobiles

Dear Mr. Doig:

Please be advised that your request for a minor change and site plan approval for Business Residential Institutional Planned Development No. 1167 ("PD") has been considered by the Department of Housing and Economic Development pursuant to Sections 17-13-0611 and 17-13-0800 of the Chicago Zoning Ordinance and Statement Numbers 10 and 13 of the Planned Development.

You are requesting, on behalf of the property owner, to:

- Relocate the CTA bus turnaround from the northern portion of Sub Area A to a location off of Doty Ave. as shown on the revised Site Plan, dated January 7, 2013. There will be no drop-off or pick-up of passengers within the parking lot, only at the designated stops along Doty Ave. The proposed reconfiguration has been approved by both the CTA and CDOT.
- Modify the Phase 1B retail elevations, except for the out lot elevations, as shown on the revised North, South, East and West Elevation drawings, dated December 20, 2012. Since out lot tenants have not been identified as of yet, out lot elevations are not included with this approval. However, once out lot tenants are identified and building elevations are complete, please submit these for site plan approval.
- Add a second out lot, measuring approximately 6,000 SF, and reconfigure the out lot parking stalls as shown on the revised Site Plan.
- Remove the site buffer/detention area proposed for the northeast portion of Sub Area A as shown on the revised Site Buffer/Detention Plan dated December 19, 2012.


- Modify the landscaping and include a landscaped berm area as shown on the revised Landscape Plan, dated January 18, 2013. A revised Green Roof Plan, dated December 20, 2012 shall also be inserted into the main file.

With regard to your request, the Department of Housing and Economic Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Residential Institutional Planned Development No. 1167, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

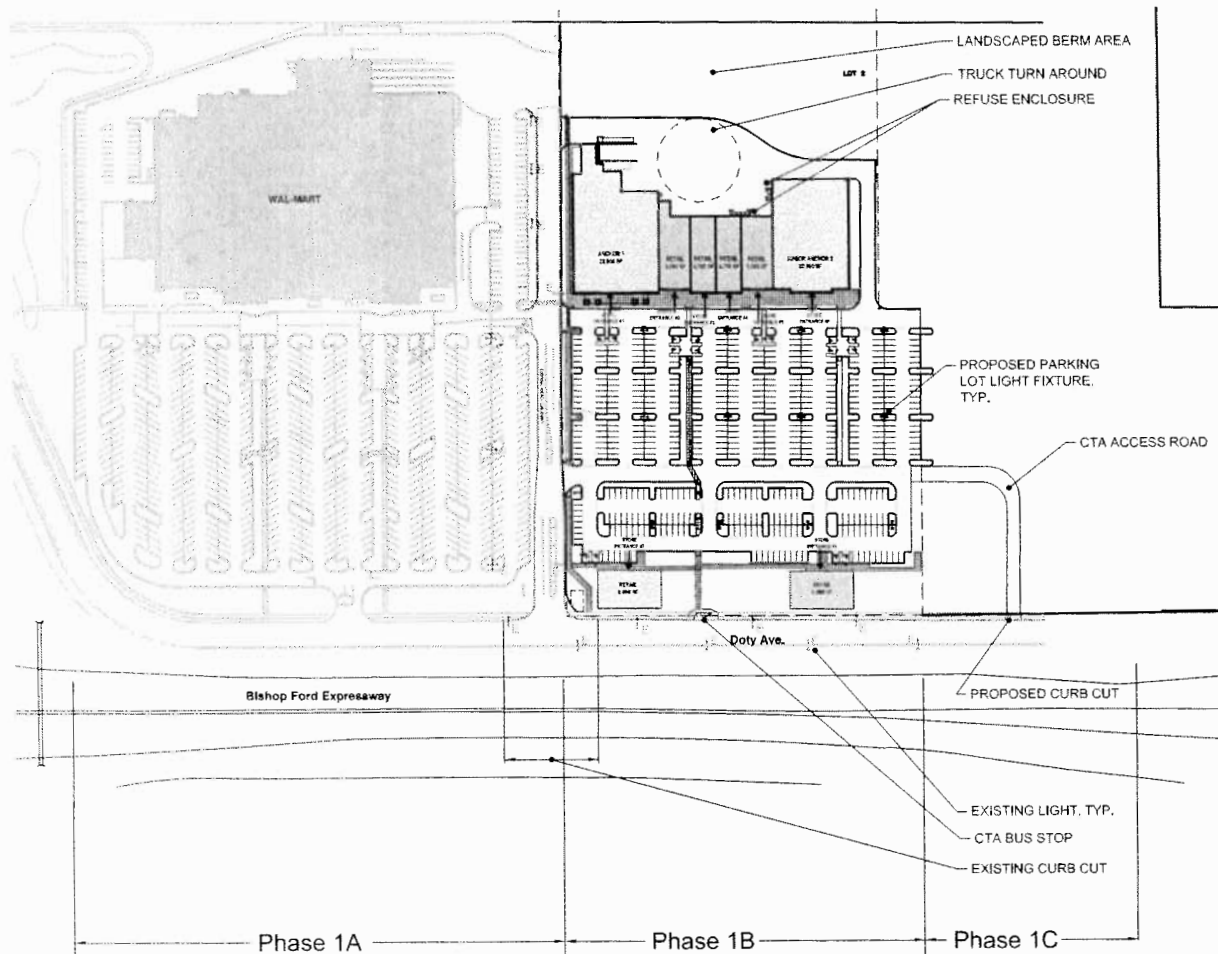
Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Fernando Espinoza, Ron Daye, Benet Haller, Main file



Phase 1B	
GLA - Attached Retail:	
Junior Anchor 1 -	25,000 sf
Retail -	10,000 sf
Retail -	12,000 sf
Junior Anchor 2 -	20,000 sf
Total:	67,000 sf
GLA - Outlots	
Outlot 1	
Retail	6,000 sf
Outlot 2	
Retail	6,000 sf
Total:	12,000 sf
Outlots measure 1.02 Acres	
Total Parking:	
Parking Provided: 493 (6.2 Ratio)	



SITE PLAN - SUB AREA A, PHASE 1B
Scale: 1" = 300'



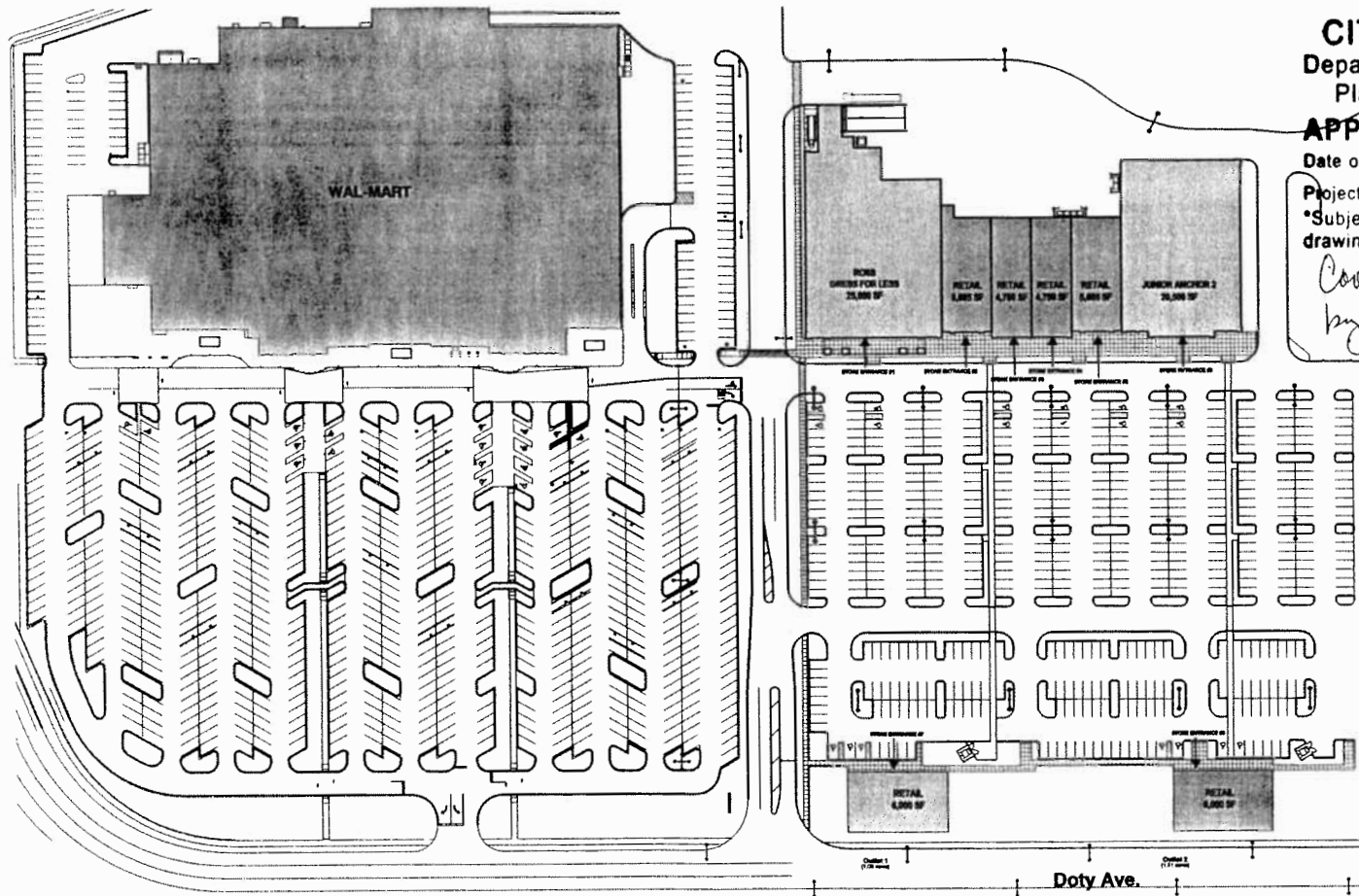
Applicant: PULLMAN PARK DEVELOPMENT, LLC
Address: 111th Street and Doty Avenue, Chicago IL

zpd+a Architects
www.zpdarch.com



Submitted for Administrative Review
1/07/13

542 South Dearborn, Suite 560
Chicago, IL 60605



CITY OF CHICAGO
 Department of Transportation
 Plan Review Committee

APPROVED *[Signature]* 1-9-13

Date on Plans *Not Set*

Project Title *Pullman Park*

Subject to acceptable construction drawings and required CDOT permits.

Coordinated and approved by CTA for service and stops

 **SITE PLAN**
 Scale: Not To Scale



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 www.zpdarch.com

542 South Dearborn, Suite 560
 Chicago, IL 60605





EAST ELEVATION DETAIL

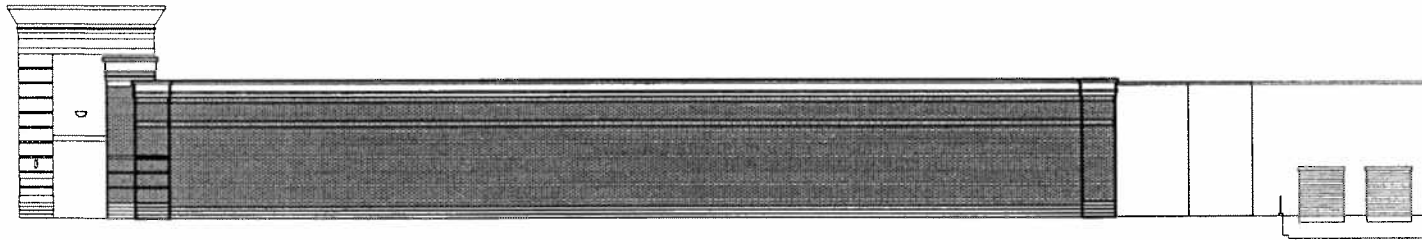


OVERALL EAST ELEVATION

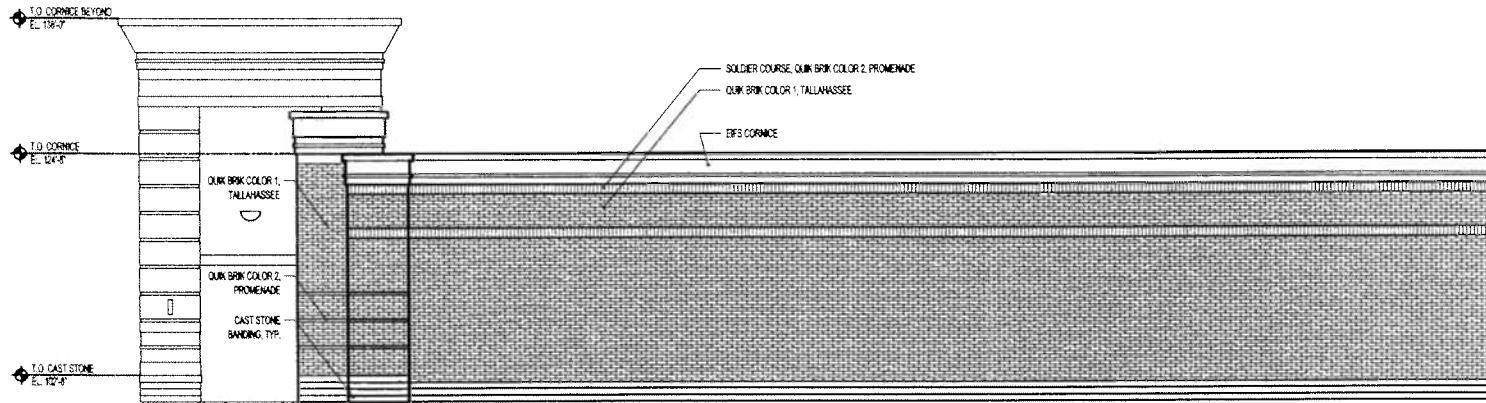
COLOR ELEVATION - SUB AREA A, PHASE 1B Scale AS NOTED
Applicant: PULLMAN PARK DEVELOPMENT, LLC
Address: 111th Street and Doty Avenue, Chicago IL
Submitted for Administrative Review - 12/20/12

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www.zpdarch.com
542 South Dearborn, Suite 560
Chicago, IL 60605

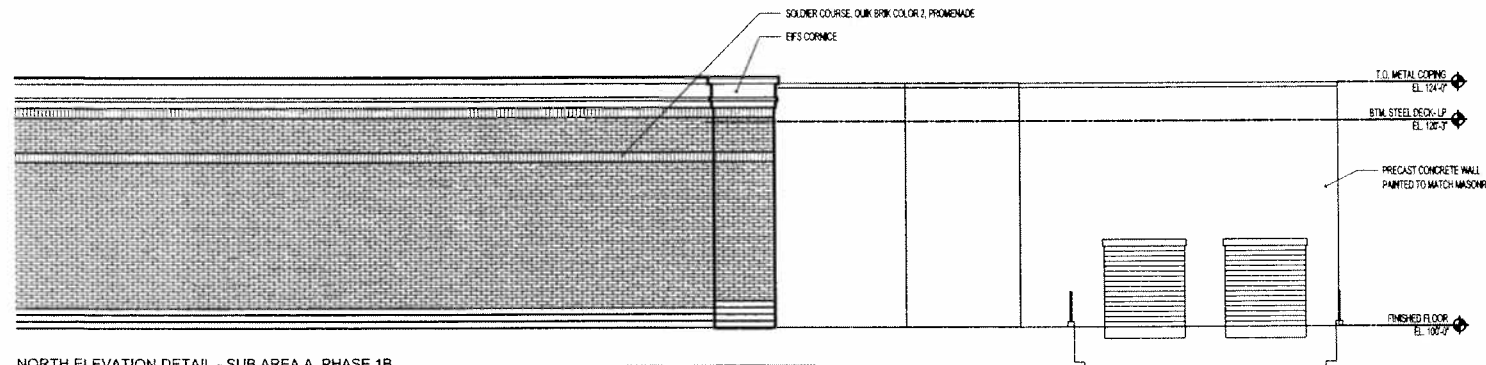
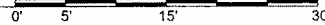




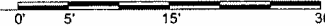
NORTH ELEVATION - SUB AREA A, PHASE 1B Scale: NOT TO SCALE



NORTH ELEVATION DETAIL - SUB AREA A, PHASE 1B



NORTH ELEVATION DETAIL - SUB AREA A, PHASE 1B



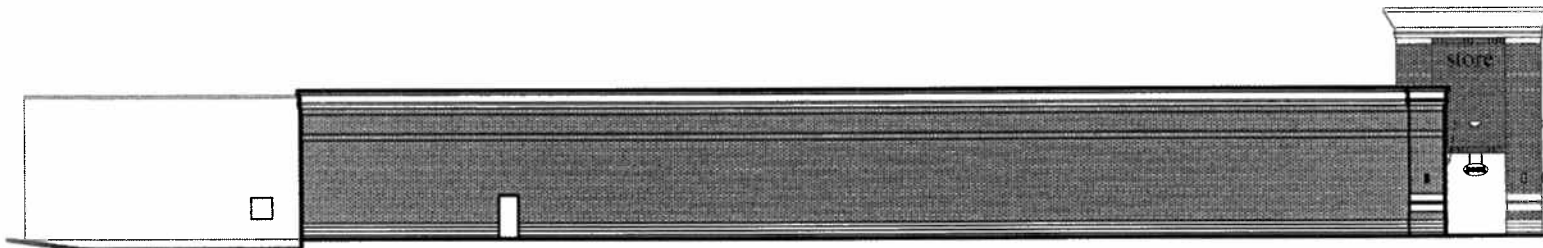
NORTH ELEVATION - SUB AREA A, PHASE 1B Scale: AS NOTED

Applicant: PULLMAN PARK DEVELOPMENT, LLC
 Address: 111th Street and Doty Avenue, Chicago IL
 Submitted for Administrative Review - 12/20/12

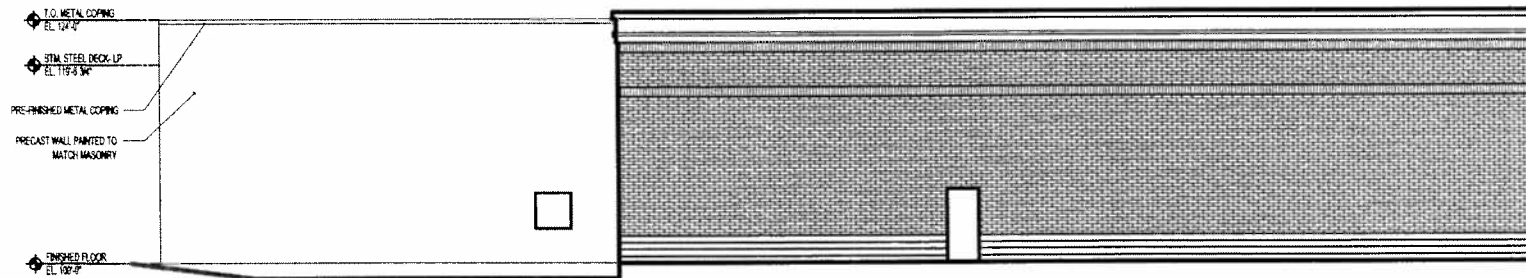
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 www.zpdarch.com

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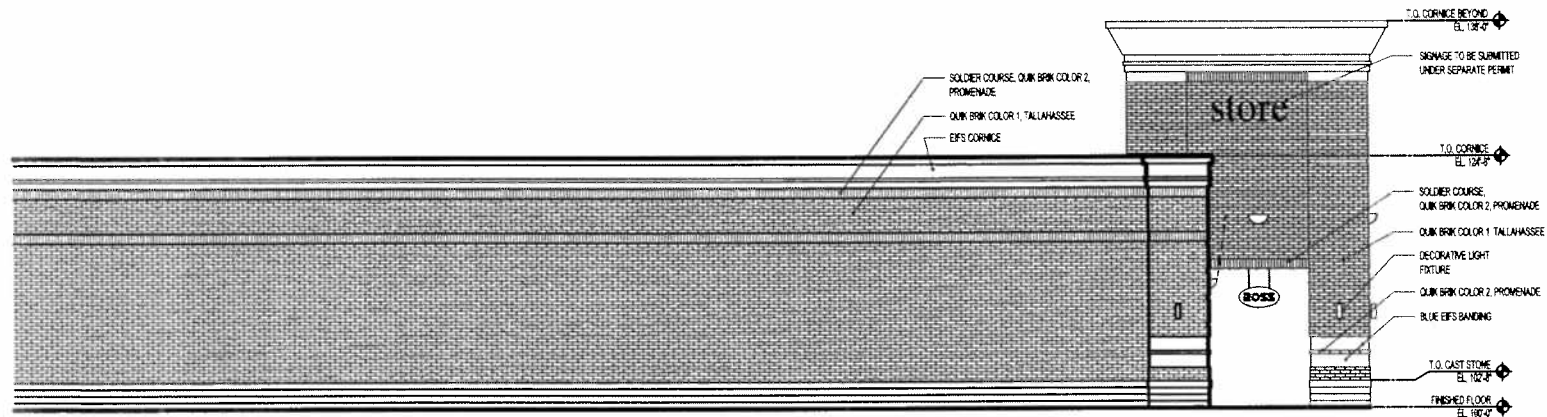




SOUTH ELEVATION - SUB AREA A, PHASE 1B Scale: NOT TO SCALE



SOUTH ELEVATION DETAIL - SUB AREA A, PHASE 1B Scale: 1/16" = 1'-0"



SOUTH ELEVATION DETAIL - SUB AREA A, PHASE 1B Scale: 1/16" = 1'-0"

SOUTH ELEVATION - SUB AREA A, PHASE 1B Scale: AS NOTED

Applicant: PULLMAN PARK DEVELOPMENT, LLC
 Address: 111th Street and Doty Avenue, Chicago IL
 Submitted for Administrative Review - 12/20/12

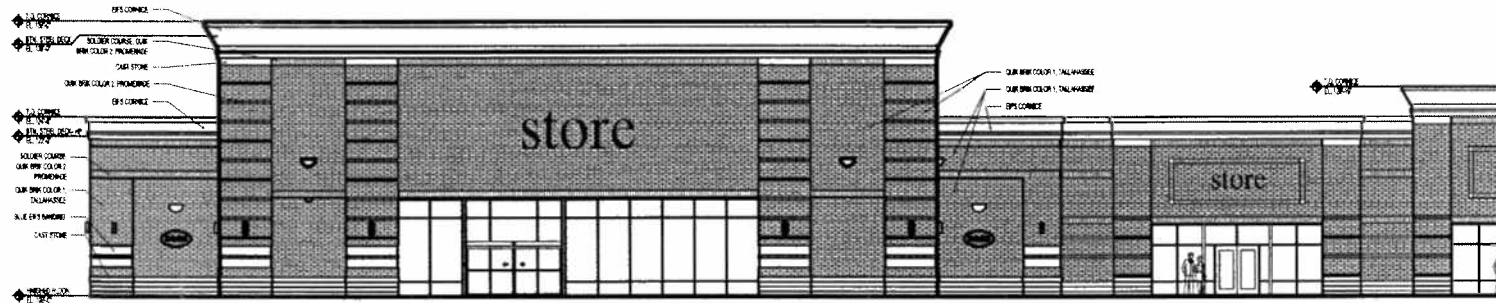
zpd+a Architects
 www.zpdarch.com

542 South Dearborn, Suite 560
 Chicago, IL 60605

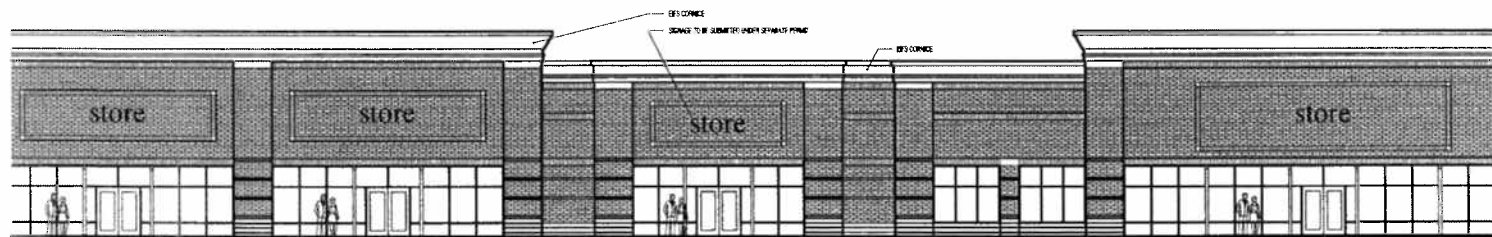




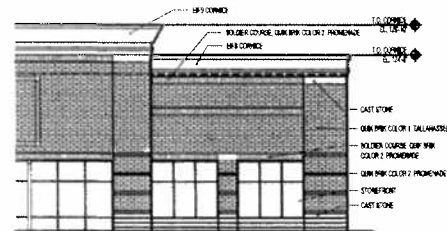
EAST ELEVATION - SUB AREA A, PHASE 1B Scale: NOT TO SCALE



EAST ELEVATION DETAIL - SUB AREA A, PHASE 1B
0' 5' 15' 30'



EAST ELEVATION DETAIL - SUB AREA A, PHASE 1B
0' 5' 15' 30'



EAST ELEVATION DETAIL - SUB AREA A, PHASE 1B
0' 5' 15' 30'

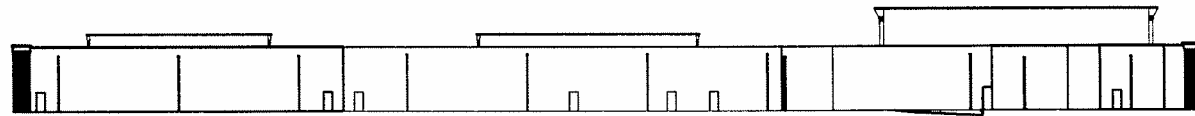
EAST ELEVATION - SUB AREA A, PHASE 1B Scale: AS NOTED

Applicant: PULLMAN PARK DEVELOPMENT, LLC
Address: 11118 Street and Doty Avenue, Chicago IL
Submitted for Administrative Review - 12/20/12

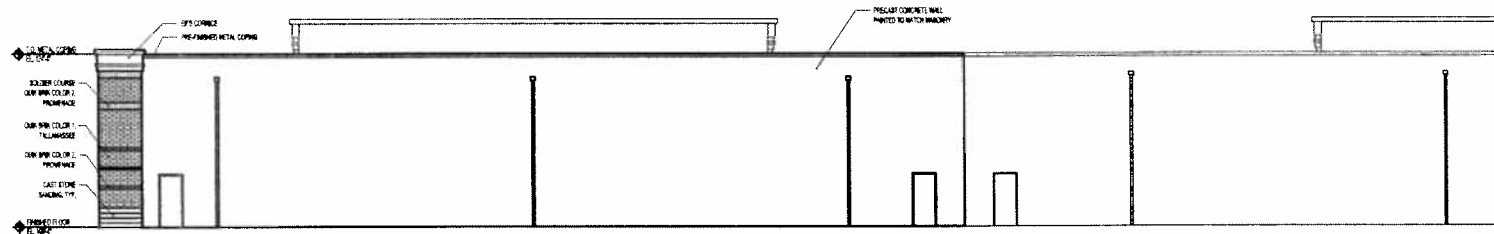
zpd+a Architects
www.zpdarch.com

542 South Dearborn, Suite 560
Chicago, IL 60605

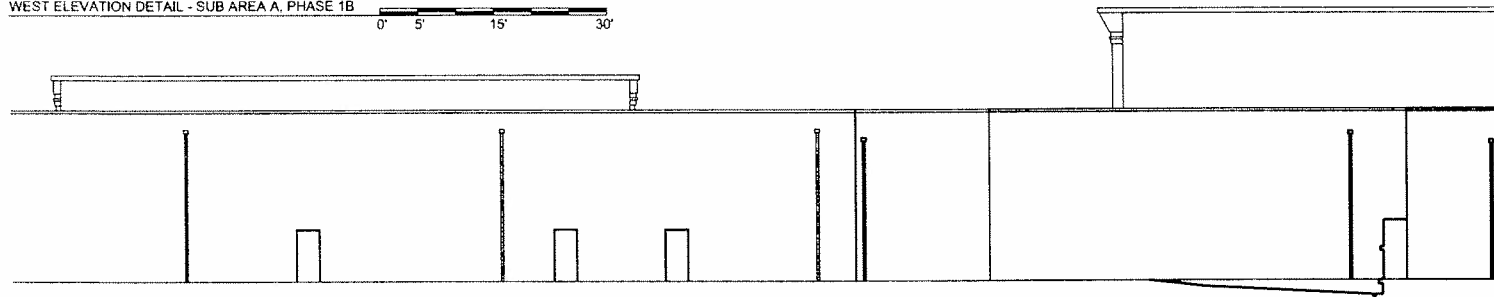




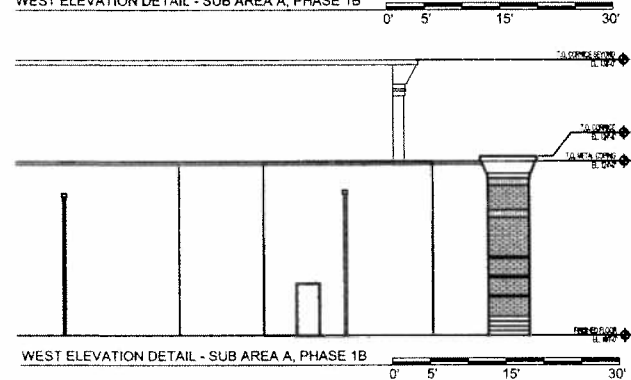
WEST ELEVATION - SUB AREA A, PHASE 1B Scale: NOT TO SCALE



WEST ELEVATION DETAIL - SUB AREA A, PHASE 1B



WEST ELEVATION DETAIL - SUB AREA A, PHASE 1B



WEST ELEVATION DETAIL - SUB AREA A, PHASE 1B

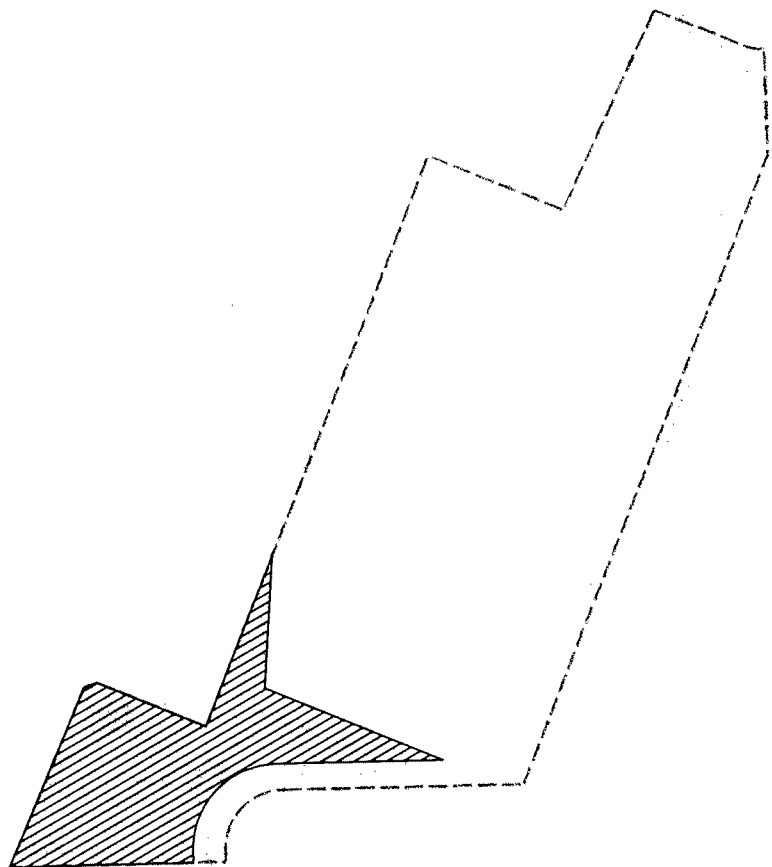
WEST ELEVATION - SUB AREA A, PHASE 1B Scale: AS NOTED

Applicant: PULLMAN PARK DEVELOPMENT, LLC
 Address: 111th Street and Doy Avenue, Chicago IL
 Submitted for Administrative Review - 12/29/12

zpd+a Architects
 www.zpdarch.com

542 South Dearborn, Suite 960
 Chicago, IL 60605





LEGEND
 [Hatched Box] SITE BUFFER AND/OR DETENTION
 [Dashed Line Box] SITE AREA BOUNDARY

NO.	DATE	REVISIONS

NO.	DATE	REVISIONS

SITE BUFFER / DETENTION PLAN
PULLMAN PARK REDEVELOPMENT
PHASE 1B
 CHICAGO, ILLINOIS

CONSULTING ENGINEER
INTERSTATE ENGINEERS
 1100 N. LA SALLE ST. SUITE 200
 CHICAGO, IL 60610
 PHONE: 312.467.1000
 FAX: 312.467.1001
 WWW: WWW.INTERSTATEENR.COM



PROJECT: PULLMAN PARK PHASE 1B
 DATE: 12/15/10
 DRAW NO: 228400

SHEET
EXHB1
 1 OF 1

PLANT LIST

Item	Botanical Name	Common Name	Qty	Size	Code
1001	Red Maple	Aquilegia	20	12" x 12"	1001
1002	Red Maple	Aquilegia	20	12" x 12"	1002
1003	Red Maple	Aquilegia	20	12" x 12"	1003
1004	Red Maple	Aquilegia	20	12" x 12"	1004
1005	Red Maple	Aquilegia	20	12" x 12"	1005
1006	Red Maple	Aquilegia	20	12" x 12"	1006
1007	Red Maple	Aquilegia	20	12" x 12"	1007
1008	Red Maple	Aquilegia	20	12" x 12"	1008
1009	Red Maple	Aquilegia	20	12" x 12"	1009
1010	Red Maple	Aquilegia	20	12" x 12"	1010
1011	Red Maple	Aquilegia	20	12" x 12"	1011
1012	Red Maple	Aquilegia	20	12" x 12"	1012
1013	Red Maple	Aquilegia	20	12" x 12"	1013
1014	Red Maple	Aquilegia	20	12" x 12"	1014
1015	Red Maple	Aquilegia	20	12" x 12"	1015
1016	Red Maple	Aquilegia	20	12" x 12"	1016
1017	Red Maple	Aquilegia	20	12" x 12"	1017
1018	Red Maple	Aquilegia	20	12" x 12"	1018
1019	Red Maple	Aquilegia	20	12" x 12"	1019
1020	Red Maple	Aquilegia	20	12" x 12"	1020
1021	Red Maple	Aquilegia	20	12" x 12"	1021
1022	Red Maple	Aquilegia	20	12" x 12"	1022
1023	Red Maple	Aquilegia	20	12" x 12"	1023
1024	Red Maple	Aquilegia	20	12" x 12"	1024
1025	Red Maple	Aquilegia	20	12" x 12"	1025
1026	Red Maple	Aquilegia	20	12" x 12"	1026
1027	Red Maple	Aquilegia	20	12" x 12"	1027
1028	Red Maple	Aquilegia	20	12" x 12"	1028
1029	Red Maple	Aquilegia	20	12" x 12"	1029
1030	Red Maple	Aquilegia	20	12" x 12"	1030
1031	Red Maple	Aquilegia	20	12" x 12"	1031
1032	Red Maple	Aquilegia	20	12" x 12"	1032
1033	Red Maple	Aquilegia	20	12" x 12"	1033
1034	Red Maple	Aquilegia	20	12" x 12"	1034
1035	Red Maple	Aquilegia	20	12" x 12"	1035
1036	Red Maple	Aquilegia	20	12" x 12"	1036
1037	Red Maple	Aquilegia	20	12" x 12"	1037
1038	Red Maple	Aquilegia	20	12" x 12"	1038
1039	Red Maple	Aquilegia	20	12" x 12"	1039
1040	Red Maple	Aquilegia	20	12" x 12"	1040
1041	Red Maple	Aquilegia	20	12" x 12"	1041
1042	Red Maple	Aquilegia	20	12" x 12"	1042
1043	Red Maple	Aquilegia	20	12" x 12"	1043
1044	Red Maple	Aquilegia	20	12" x 12"	1044
1045	Red Maple	Aquilegia	20	12" x 12"	1045
1046	Red Maple	Aquilegia	20	12" x 12"	1046
1047	Red Maple	Aquilegia	20	12" x 12"	1047
1048	Red Maple	Aquilegia	20	12" x 12"	1048
1049	Red Maple	Aquilegia	20	12" x 12"	1049
1050	Red Maple	Aquilegia	20	12" x 12"	1050
1051	Red Maple	Aquilegia	20	12" x 12"	1051
1052	Red Maple	Aquilegia	20	12" x 12"	1052
1053	Red Maple	Aquilegia	20	12" x 12"	1053
1054	Red Maple	Aquilegia	20	12" x 12"	1054
1055	Red Maple	Aquilegia	20	12" x 12"	1055
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1057	Red Maple	Aquilegia	20	12" x 12"	1057
1058	Red Maple	Aquilegia	20	12" x 12"	1058
1059	Red Maple	Aquilegia	20	12" x 12"	1059
1060	Red Maple	Aquilegia	20	12" x 12"	1060
1061	Red Maple	Aquilegia	20	12" x 12"	1061
1062	Red Maple	Aquilegia	20	12" x 12"	1062 </tr

PROCESS AND STATEMENT

THE LANDSCAPE ARCHITECT HAS PREPARED THIS PLAN FOR THE CLIENT'S USE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE LANDSCAPE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED AND DOES NOT INCLUDE CONSTRUCTION OR MAINTENANCE OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE LANDSCAPE AFTER COMPLETION OF THE PROJECT.

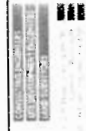
LANDSCAPE ARCHITECT'S OWN STATEMENT

I, the undersigned, a duly licensed Landscape Architect, have prepared this plan for the client's use. I am not responsible for the construction or maintenance of the project. My liability is limited to the professional services rendered and does not include construction or maintenance of the project. The client shall be responsible for the protection and maintenance of the landscape after completion of the project.

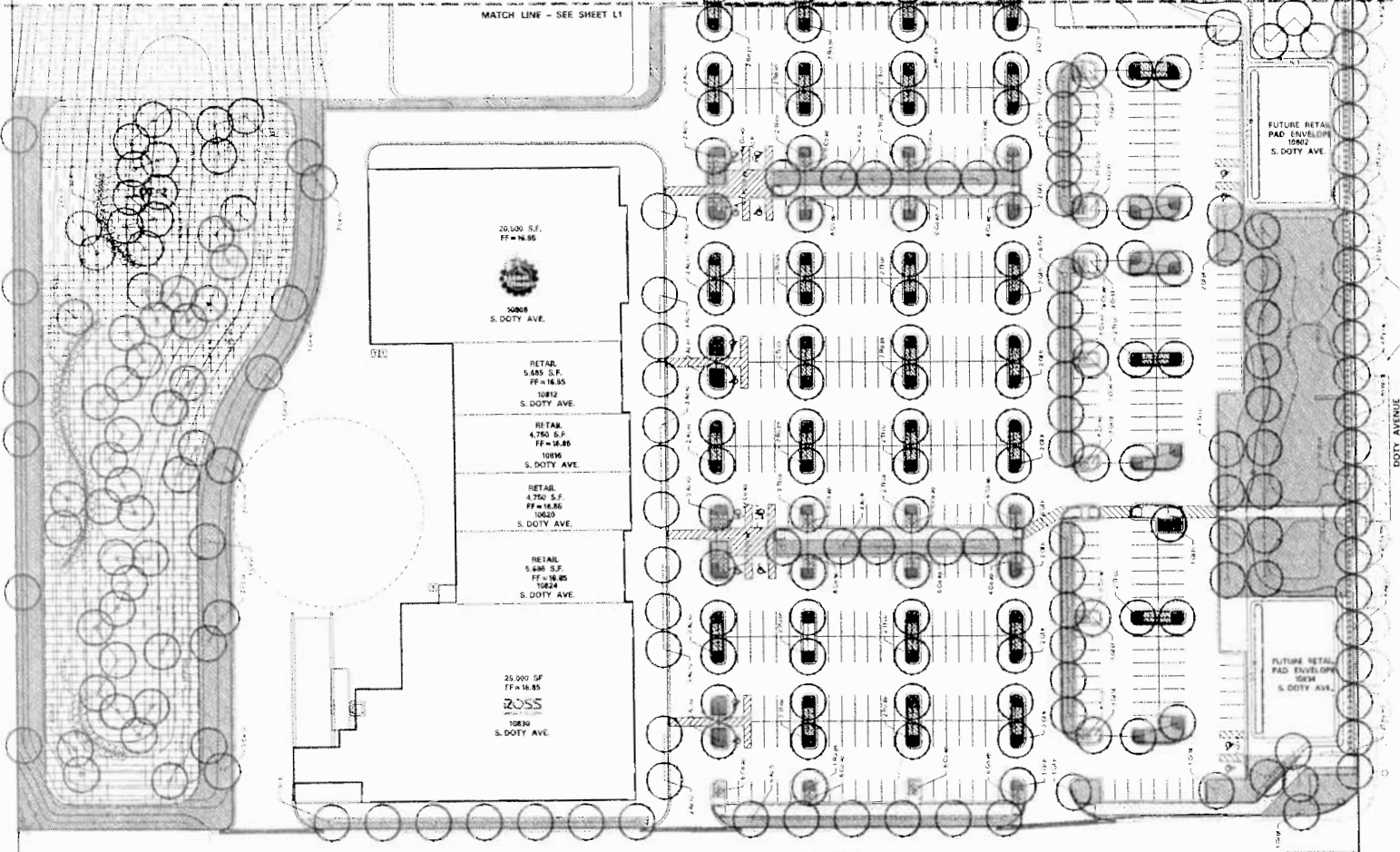


DATE	
SCALE	
PROJECT NO.	
CLIENT	
LOCATION	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT SOCIAL MEDIA	
PROJECT CONTACT	
PROJECT NOTES	

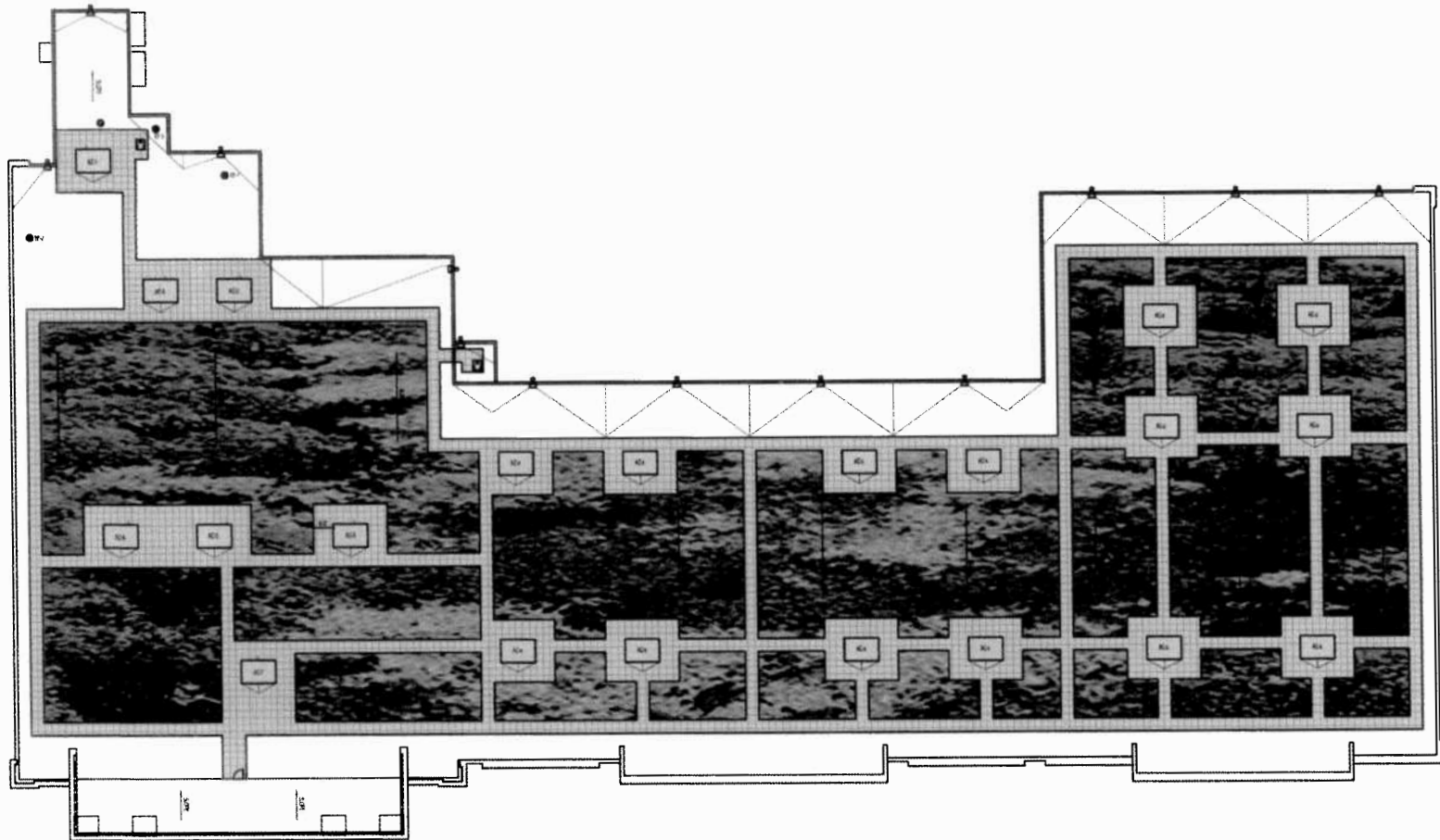
LANDSCAPE PLAN - 1
 PULLMAN PARK REDEVELOPMENT
 PHASE 1B
 CHICAGO, ILLINOIS



DATE	
SCALE	
PROJECT NO.	
CLIENT	
LOCATION	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT CONTACT	
PROJECT NOTES	




LOT 3 (WALMART)



TOTAL ROOF AREA = 67,800 SF
 TOTAL GREEN ROOF AREA (NOT INCLUDING ROOF PAVERS OR ROOF TOP UNITS SERVICE PATHS) = 34,200 SF

TOTAL ROOF AREA = 68,150 SF
 GREEN ROOF AREA = 34,200 SF
 PATHS AND RTU'S = 16,575 SF
 EXPOSED ROOF AREA = 17,375 SF



 GREEN ROOF PLAN - SUB AREA A, PHASE 1B
 Scale: NOT TO SCALE

Applicant: PULLMAN PARK DEVELOPMENT, LLC
 Address: 111th Street and Doty Avenue, Chicago IL

Submitted for Administrative Review
 12/20/12

zpd+a Architects
 www.zpdarch.com

542 South Dearborn, Suite 560
 Chicago, IL 60605





City of Chicago
Richard M. Daley, Mayor

Department of Housing
and Economic Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190 (Voice)
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

May 2, 2011

Jesse W. Dodson
DLA Piper LLP (US)
203 North LaSalle Street
Suite 1900
Chicago, IL 60601-1293

**Re: Administrative Relief request for Business Residential Institutional
Planned Development No. 1167, Pullman Park, Subarea A, Phase 1A**

Dear Mr. Dodson:

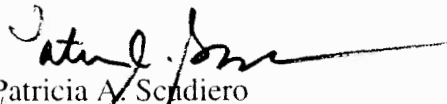
Please be advised that your request for a minor change to Business Residential Institutional Planned Development No. 1167 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

You are requesting to replace the existing Rights-Of-Way Adjustment Map Details with a revised Rights-Of-Way Adjustment Map Details, prepared by Pappageorge Haymes Architects and dated January 17, 2011. The minor adjustments to the right-of-way dimensions have been reviewed and approved by the Department of Transportation and are depicted on a plat of subdivision that was approved by the City Council on February 9, 2011.

With regard to your request, the Department of Housing and Economic Development has determined that allowing this modification will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Residential Institutional Planned Development No. 1167, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Main file





City of Chicago
Richard M. Daley, Mayor

Department of Housing
and Economic Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190 (Voice)
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

February 25, 2011

Jesse W. Dodson
DLA Piper LLP (US)
203 North LaSalle Street
Suite 1900
Chicago, IL 60601-1293

**Re: Administrative Relief request for Business Residential Institutional
Planned Development No. 1167, Pullman Park, Sub area A, Phase 1A**

Dear Mr. Dodson:

Please be advised that your request for a minor change to Business Residential Institutional Planned Development No. 1167 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

You are requesting to:

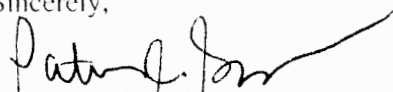
Reduce the number of trees within the Sub area A detention area from 167 to 129. The proposed reduction to the vehicular use area requirements for the Walmart site is required to preserve part of a federally protected wetland within the detention area, which was unanticipated at the time of the Planned Development approval. The number of trees to be provided (129) still exceeds the number that would be required by the Chicago Municipal Code (112). Revised Sub area A Phase I Landscape Plans, Sheets L4 and L4A, dated February 8, 2011, shall be inserted into the main file.

You also requested to replace the existing Rights-of-Way Adjustment Map Details however, the final revisions are still being discussed by the Department of Transportation (CDOT) and the Chicago Transit Authority. Once you receive CDOT approval, please submit a revised administrative relief request along with the revised CDOT-stamped Rights-of-Way Adjustment Map Details.

With regard to your landscape request, the Department of Housing and Economic Development has determined that allowing a reduction in the number of trees will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Residential Institutional Planned Development No. 1167, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm
C: Mike Marmo, Erik Glass, Ron Daye, Main file



16962

~~Reclassification Of Area Shown On Map No. 15-N.
(Application No. 17066)
(Common Address: 5911 N. Northwest Hwy.)~~

[O2010-3074]

~~Be It Ordained by the City Council of the City of Chicago:~~

~~SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RT4A Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 15-N in the area bounded by:~~

~~North Northwest Highway; a line 200 feet northwest of and parallel to North Nashotah Avenue; the public alley next northeast of and parallel to North Northwest Highway; and North Nashotah Avenue,~~

~~to those of a C1-1 Neighborhood Commercial District.~~

~~SECTION 2. This ordinance takes effect after its passage and approval.~~

Reclassification Of Area Shown On Map No. 26-D.
(As Amended)
(Application No. 16962)
(Common Address: 720 E. 111th St.)

BRIPD 1167

[SO2010-3048]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the M3-3 Heavy Industry District symbols and indications as shown on Map Number 26-D in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of 100-foot wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of a C2-3 Motor Vehicle-Related Commercial District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the C2-3 Motor Vehicle-Related Commercial District symbols and indications as shown on Map Number 26-D in the area bounded by:

the centerline of East 111th Street; the east line of the 30-foot wide Chicago, Rock Island and Pacific Railroad right-of-way; a line that is 666.93 feet southerly of the centerline of East 103rd Street; the centerline of South Woodlawn Avenue; the centerline of the 100-foot wide South Doty Avenue right-of-way (as occupied); a line that is parallel to and 777.50 feet northerly of the centerline of East 111th Street; an arc with a length of 282.74 feet and a radius of 180 feet; and a line that is perpendicular to the centerline of East 111th Street and approximately 1,388.35 feet east of the centerline of South Langley Avenue (as measured along the centerline of East 111th Street),

to those of a Business-Residential-Institutional Planned Development.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business-Residential-Institutional Planned Development No. 1167.

Plan Of Development Statements.

1. The area delineated herein as a Business-Residential-Institutional Planned Development Number 1167 (the "Planned Development") consists of approximately six million seventeen thousand six hundred forty (6,017,640) square feet of net site area (approximately one hundred thirty-eight (138) acres) of property (the "Property"), together with certain portions of existing adjacent rights-of-way, as depicted on the attached Planned Development Boundary and Property Line Map. The Property is owned or controlled by the applicant, North Pullman 111th, Inc. (the "Applicant"). The Planned Development is divided into subareas (each, a "Subarea", and collectively, the "Subareas") as indicated on the attached Subarea Map.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. These Planned Development Statements do not obligate the City of Chicago ("City") to establish any public rights-of-way, accept or maintain any open space, detention or site buffer areas, construct any public improvements, or finance the construction of any improvements. Any dedication, opening or vacation of streets, alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Commissioner of the Department of Transportation ("C.D.O.T.") and the

City Council of the City of Chicago (the "City Council"). Any required City Council approvals must be obtained prior to issuance of any Part II approval. Applicant shall have the right to seek approval in phases for any or all of the foregoing approvals. In connection with planning for any Subarea, adjustments in the location, width and configuration of the rights-of-way illustrated on the Rights-of-Way Adjustment Map may be approved by the Commissioner (the "Commissioner") of the Department of Zoning and Land Use Planning (the "Department") as a minor change to this Planned Development, provided such adjustments (a) do not result in a change in the character of this Planned Development in accordance with the requirements of Section 17-13-0611 of the Chicago Zoning Ordinance, (b) are set forth in a plat of subdivision, dedication, opening or vacation, or comparable plat or instrument, as applicable, that has been submitted by Applicant (or its successors, assigns or grantors) for approval by C.D.O.T., the Department and by the City Council at the time of request for such adjustments (and approved by C.D.O.T. and the City Council prior to the issuance of any Part II approval), and (c) shall not be deemed to confer any additional bulk, density or other development rights.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium or homeowners' association which may be formed). The requirements of Section 17-8-0400 of the Chicago Zoning Ordinance shall apply to the Property. The Subareas (and, if subsequently designated on any Final Subarea Plan, any subparcels designated thereon) shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400 of the Chicago Zoning Ordinance, provided, however, that for so long as North Pullman 111th, Inc. or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant (or Applicant's successor, assignee or grantee to such master developer ownership interest) or such affiliate. Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. The developer making application shall have the burden of establishing to the reasonable satisfaction of the Department that the Applicant's consent has been obtained or irrevocably waived. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than a mortgage lien or security interest) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply solely to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof; provided, however, that North Pullman 111th, Inc.'s right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly

assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property or a covenant binding upon owners of the Property may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development and irrevocably waive the Applicant's consent right.

4. This Planned Development consists of sixteen (16) statements, and the following exhibits prepared by PappageorgeHaymes Partners and Hitchcock Design Group dated April 15, 2010 and attached hereto (collectively, the "Design Exhibits"): an Existing Zoning Map; an Existing Land Use Map; a Planned Development Boundary and Property Line Map (three pages); a Subarea Map; a Rights-of-way Adjustment Map (four pages); a Public Open Space Plan (three pages); a Site Buffer/Detention Plan (four pages); a Site Plan; a Site Plan -- Subarea A (two pages); a Site Plan -- Subarea B; a Site Plan -- Subarea C (two pages); a Site Plan -- Subarea D; a Site Plan -- Subarea E; a Site Plan -- Subarea F; a Site Plan -- Subarea G; Bulk Elevations -- 111th Street (Subarea B); Bulk Elevations -- North Woodlawn/Doty Avenues (Subarea G); Bulk Axonometrics (Subareas A, B and G); Subarea A North Parcel Retail -- East Elevation; Subarea A North Parcel Retail -- West Elevation; Subarea A North Parcel Retail -- North and South Elevations; Subarea A North Parcel Retail -- Outlot Elevations; Subarea A South Parcel Retail -- Elevations; Subarea A South Parcel Retail -- Front Elevation Detail; Subarea A South Parcel Retail -- Rear Elevation Detail; Subarea A South Parcel Retail -- Side Elevation Details; Subarea A Green Roof Plans; Phasing Plan -- Subarea A; Subarea A Landscape Master Plan; Overall Subarea A Phase 1 Landscape Plan; Landscape Ordinance Analysis Calculations; Subarea A Phase 1 Landscape Plan (two pages); Subarea A Future Phase Landscape Plan (two pages); Landscape Details; and Plan of Development Bulk Regulation and Data Tables (including Permitted Uses) for each of Subareas A through G (seven pages); Subarea B And Subarea G Design Guidelines (two pages each); Bulk Regulations and Data Table Summary; Chicago Builds Green Form (five pages). Full size copies of the design exhibits are on file with the Department. References in these statements to the "Planned Development" shall be deemed to include the aforementioned Design Exhibits. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance and satisfies the established criteria for approval as a planned development. In the case of any express conflict between the terms of this Planned Development, and the Chicago Zoning Ordinance, this Planned Development shall apply. Absent an express conflict, the terms of the Chicago Zoning Ordinance shall apply to reviews, determinations and approvals under these statements and to improvements to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.
5. The permitted uses, floor area ratio, building height, setback, parking, bicycle parking and off-street loading requirements for each Subarea are set forth in the applicable Plan of Development Bulk Regulations and Data Tables included in the Design Exhibits (seven pages). For the purposes of calculations or measurements pertaining to the foregoing, the applicable definitions in the Chicago Zoning Ordinance shall apply.

6. Changes in the boundaries of Subareas shall require an amendment to these statements in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance.
7. On-premise signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department. Off-premise signs are prohibited within the boundary of the Planned Development.
8. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building or improvement shall also be subject to height limitations established by the Federal Aviation Administration.
9. All ingress and egress shall be subject to the review and approval of C.D.O.T. and the Department. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of C.D.O.T.. All work proposed in the public way must be designed and constructed in accordance with the C.D.O.T. Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago, and must be designed in accordance with the C.D.O.T. Street and Site Plan Design Standards and follow the principles and practices of a Complete Streets design approach. Any dedication, opening, or vacation of public streets, alleys or easements or any adjustment of the public rights-of-way contained within a particular Part II submittal shall be approved by City Council prior to the issuance of any final Part II approval. In connection with the Applicant's (or any developer's) submittal of any plats, Final Subarea Plans and Site Plans in accordance with Statement 10 below, C.D.O.T. shall finally determine what means of ingress and egress are required, what public rights-of-way are required, and what public way improvements must be constructed as part of any project in any given Subarea (including any improvements required outside of such Subarea, but impacted or integrally related to such Subarea's project and the public improvements associated therewith). Applicant and its successors, assigns and grantees, at such parties' expense, agree to provide traffic impact studies, pay for the services of professional engineering services, and pay for the cost of third party construction inspection services to assist C.D.O.T. in its review and approval of any plats, Final Subarea Plans, and Site Plan submissions (which approvals shall be a condition precedent to the Department's issuance of any applicable Part II approval). C.D.O.T. must approve the applicable consultant, which shall report to C.D.O.T.. Recommended traffic and engineering measures shall be included in the design review process and implemented. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
10. This Statement 10 describes the procedures and approvals that shall govern the review and approval by the Department and, when applicable, the review and approval of the Chicago Plan Commission or the City Council, or both the Chicago Plan Commission and the City Council, whenever the Applicant, or any developer that is a successor, assignee or grantee with respect to any portion of the Property, undertakes any development project on the Property.

- a. Final Subarea Plan. At the time the first development project in one or more Subareas is undertaken, the Applicant, or the applicable developer, shall file with the Department a preliminary plat of subdivision for the subject Subarea (and such additional Subarea(s) as the Applicant or developer may elect to include in such plat) and a Final Subarea Plan (the "Final Subarea Plan") along with an application for Site Plan Review pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance. Such filing requirement shall not apply to Subarea A, which is being approved as part of this Planned Development, provided, however, that no Part II approval shall be issued with respect to any project in Subarea A until C.D.O.T. has determined that the issues relating to access to Subarea A from East 111th Street, such as spacing between the southbound Bishop Ford Expressway exit ramp and South Doty Avenue, have been satisfactorily resolved. The Final Subarea Plan shall govern such first development project and (unless amended pursuant to this Statement 10.a) all subsequent development projects thereafter construction in such Subarea. The preliminary plat of subdivision shall include, without limitation, proposed lot dimensions. After incorporating any City comments received during the review process described in these statements, and prior to any Part II approvals, the Applicant or applicable developer shall thereafter submit to the City Council for approval a final plat of subdivision for the subject Subarea (and such additional Subarea(s) as the Applicant or developer may elect to include in such plat) which conforms with the Final Subarea Plan for the Subarea so subdivided. The City Council's approval of such plat of subdivision, and the recording of such plat, shall be a condition precedent to the Applicant's (or any developer's) conveyance of any property within such Subarea. Upon such recording, the Applicant (or applicable developer) shall promptly deliver a copy of the recorded plat to the Department for filing with this Planned Development. The Applicant's failure to comply with such approval and recording requirements shall be the basis for the Department to withhold any further Part II approvals until such requirements are satisfied. The Final Subarea Plan filing shall include the following:
- (1) A dimensioned Subarea Plan including the following with respect to such Subarea (and any subparcels designated therein, if any):
 - (i) all public rights-of-way that are proposed to be dedicated or opened, and all private rights-of-way,
 - (ii) dimensioned setback lines,
 - (iii) all off-street parking and service areas, both accessory and nonaccessory;
 - (iv) all open space, site buffer, detention and recreational facilities; and

- (v) sites for any schools, libraries, police stations or other public facilities, if any; and
 - (vi) dimensioned green roof plans, as set forth in Statement 14;
- (2) A detailed, dimensioned Subarea site plan including:
- (i) all sidewalks (including the width of paved surfaces);
 - (ii) all roads, streets, alleys (all identified as public or private), including the right-of-way width, the width of paved surfaces, street intersection details, and all curb cuts;
 - (iii) dimensioned building sites, dimensioned setback lines, the proposed use of each building site, and indication of the maximum building height, F.A.R. and residential unit count for each building site;
 - (iv) all off-street parking and service areas, both accessory and nonaccessory; and
 - (v) fully dimensioned parking plans, loading areas, and landscape plans (which landscaping may be planned and constructed in phases).
- (3) Preliminary engineering plans including the following:
- (i) sanitary and storm sewer lines and systems (identified as public or private);
 - (ii) water lines and water supply systems (identified as public or private);
 - (iii) street lighting (identified as public or private) and lighting systems.
- (4) Illustrative Subarea building elevations and locations for all of the buildings to be constructed in such Subarea including the following:
- (i) illustrative elevations for all buildings to be located within the applicable Subarea (including axonometric or 3-D exhibits), consistent with the maximum floor area ratio, building height, dwelling unit, setback and parking space requirements permitted or required in the applicable Subarea;

- (ii) although final elevations for the buildings to be constructed shall not be required at the Final Subarea Plan approval stage except for the building requesting site plan approval, the massing, the entrances, and maximum building heights and window design should be addressed, and depictions and explanations provided describing how the buildings to be constructed incorporate the pedestrian-orientation, urban design, building design and green design standards and guidelines set forth in Sections 17-8-0905, 17-8-0906, 17-8-0907 and 17-8-0908 of the Chicago Zoning Ordinance, respectively;
 - (iii) if the Final Subarea Plan submitted is for Subarea B or Subarea G, depictions and explanations describing how buildings to be constructed incorporate the Subarea B and Subarea G Design Guidelines included in the Design Exhibits. The Final Subarea Plan shall be submitted and processed as an amendment to the Planned Development pursuant to Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance. As such, the Final Subarea Plan shall be subject to the review and approval of the Department and such other bureaus, departments or agencies as the Commissioner deems appropriate; (which may include, but are not limited to, C.D.O.T., the Department of Water Management ("D.W.M."), the Fire Department and the Mayor's Office for People with Disabilities ("M.O.P.D.") (as applicable, the "Affected City Departments"), the Chicago Plan Commission, the Zoning Committee and the City Council, as described in such Section 17-13-0602 through Section 17-13-0610. A Final Subarea Plan must be approved prior to, or concurrently with, the approval of any Site Plans submitted and processed pursuant to Statement 10.b below.
- b. **Site Plans.** Site Plan review shall be required for all projects undertaken in furtherance of the Planned Development and the Final Subarea Plan in accordance with Section 17-13-0800 of the Chicago Zoning Ordinance, excluding Site Plan review for the project depicted in the Subarea A South Parcel Retail Elevations and the Subarea A Phase I Landscape Plan, which are being approved as part of this Planned Development. If not evidenced on the preliminary plat of subdivision submitted as part of the Final Subarea Plan for the project's subarea, the Applicant or developer of the subject project shall provide an exhibit showing lot sizes and boundaries for such project. In addition to the submittal requirements of Section 17-13-0802-B, the Applicant or developer shall also provide a Site Data Table for such project containing, for each Subarea and subparcel, if any, included in such project:

- (1) the Gross Site Area;
- (2) the Net Site Area;
- (3) the square feet of floor area of each proposed building;
- (4) the amount of F.A.R. utilized out of the maximum F.A.R. permitted in such Subarea;
- (5) the height of each building to be constructed and the maximum allowable height permitted under the Design Exhibits applicable to such Subarea;
- (6) the number of dwelling units to be constructed and the maximum number of dwelling units permitted under the Design Exhibits applicable to such Subarea;
- (7) the front, rear and side setbacks for each building and the setbacks required under the Design Exhibits applicable to such Subarea;
- (8) all Residential Open Space, if applicable;
- (9) the number of parking spaces to be provided and the minimum and maximum number of parking spaces required under the Bulk Regulation Data Table Summary and Design Exhibits, as applicable; and
- (10) final elevations.

The Site Data Table shall also incorporate a Chicago Builds Green Form/Sustainable Features table showing the "green" features to be included in the proposed buildings. The Site Plan shall be subject to review and approval of the Department and such Affected City Departments as the Commissioner deems appropriate before issuance of any Part II approval for the subject project. The Site Plan must be in substantial compliance with both the Planned Development and the applicable Final Subarea Plan. If, after City departmental review, the Commissioner determines that the Site Plan is in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, and if any improvements contemplated by the Site Plan exceed any of the mandatory Planned Development thresholds set forth in Section 17-8-0500 of the Chicago Zoning Ordinance (as applicable to improvements in a C2-3 District, e.g., the Site Plans include sixty (60) dwelling units or more, or buildings 75 feet or more in height), then the Site Plan must then be reviewed by the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda, publication in accordance with Section 17-13-0107-B of the Chicago Zoning Ordinance,

and posting in accordance with Section 17-13-0107-C of the Chicago Zoning Ordinance shall be required, but for which written notice pursuant to Section 17-13-0107-A of the Chicago Zoning Ordinance shall not be required) but shall not require review and approval by the City Council. If such mandatory thresholds are not met or exceeded, then no Chicago Plan Commission review shall be required, and if, after City departmental review, the Commissioner determines that the Site Plan is otherwise in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Site Plan shall then be approved by the Commissioner. If, after City departmental review, the Commissioner shall determine that the Site Plan is not in substantial compliance with both the Planned Development and the applicable Final Subarea Plan, the Commissioner shall advise the Applicant or developer in writing of why the Site Plan does not substantially comply with the Planned Development and/or the Final Subarea Plan. In such case, the Applicant or developer shall be given an opportunity to submit revised Site Plans. If the Commissioner finally determines that the Site Plans, as the same may be revised, are not in substantial compliance with the Planned Development and/or the Final Subarea Plan, the Applicant or developer then shall be required to amend the Final Subarea Plan in accordance with the review and approval procedures in Section 17-13-0602 through Section 17-13-0610 of the Chicago Zoning Ordinance in order to obtain approval of such Site Plans. After approval of a Final Subarea Plan and/or Site Plan, such Final Subarea Plans and Site Plans may be changed or modified pursuant to the requirements of Section 12 hereof, if applicable.

11. The improvements on the Property shall be designed, constructed and maintained in substantial compliance with the Design Exhibits attached hereto.
 - (a) Parkway and parking lot landscaping shall comply with the landscaping provisions of the Chicago Zoning Ordinance and Chicago Landscape Ordinance, unless specified otherwise in an approved Final Subarea Plan.
 - (b) The Property shall be designed and constructed in accordance with the City of Chicago Regulations for Sewer Construction and Stormwater Management and Stormwater Management Ordinance Manual, latest editions. Any amendment to the City's storm water management requirements which the City adopts thereafter shall apply to the Property or the development thereof.
 - (c) It is the Applicant's intention to adaptively reuse the Brite Line building identified as "Existing Building" in Subarea D on the Site Plan; however, the Applicant reserves the right to demolish such building and to otherwise redevelop Subarea D in conformance with the applicable terms of this Planned Development in the event the Applicant determines that such adaptive reuse is not feasible or desirable.
 - (d) Within Subarea A, there shall be a Chicago Transit Authority bus turnaround in a location and of such size and configuration as mutually agreed upon by the Applicant, the Chicago Transit Authority and C.D.O.T.

- (e) Porches shall be features which are allowed to encroach into any required front yard setback in Subarea C and in Subarea F, subject to Site Plan approval.
 - (f) Applicant acknowledges that the City will not maintain or bear the cost of maintaining any landscape or streetscape improvements on any medians to be constructed within the Planned Development. Prior to C.D.O.T. approval of engineering drawings for any median street to be constructed by the Applicant within the Planned Development, the Applicant must demonstrate to the satisfaction of C.D.O.T. that sufficient sustainable resources have been committed, and written agreements exist (which provide reasonable protection to the City and, among other things, shall name the City as intended beneficiary, shall grant the City enforcement rights, and shall include or extend indemnification and insurance provisions for the benefit of the City) to provide for the satisfactory maintenance of such medians, which agreements may provide for maintenance costs to be funded through a special service area or special service district, the establishment of which is subject to separate City Council approval.
 - (g) Prior to the issuance of a certificate of occupancy for any improvements constructed in Subarea A, the Applicant shall, at the Applicant's expense, reconstruct South Woodlawn Avenue, from approximately East 107th Street to East 111th Street in accordance with the requirements of Statement 9.
 - (h) The Applicant and each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.
12. The Part II review fee for permits and licenses to be issued for projects in the Planned Development shall be the greater of Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable floor area (i.e., the current rate under Section 17-13-0610 of the Chicago Zoning Ordinance) or the then applicable per square foot charge (or other then applicable charge) at the time of such Part II review. Such fee shall be determined and assessed by the Department at the time of each and every Part II review, shall be applicable to all projects, whether undertaken by the Applicant or another developer, shall be final and binding and must be paid to the Department prior to issuance of any Part II approval. Following Part II review and approval by the Commissioner, the Department shall keep such approved plans and elevations on permanent file and they shall be deemed to be an integral part of this Planned Development. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. Any interim reviews associated with Site Plan review or Part II reviews, are conditional until final Part II approval.

13. Subject to the other terms and conditions of these statements, including specifically, but without limitation, Statement 10's filing, review and approval requirements, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner upon application and a determination by the Commissioner in accordance with the minor change provisions and standards of Section 17-13-0611 of the Chicago Zoning Ordinance (provided, however, that Section 17-13-0611-A.2 and A.3 shall be separately tested on a Subarea basis, without taking into account the net site area of or dwelling units permitted in other Subareas or the Planned Development as a whole) and that such modification, and the improvements contemplated thereby, are consistent with the Planned Development and the applicable Final Subarea Plan. Any such modification shall be reviewed and approved through the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner which provides healthier environments, reduces operating costs and conserves energy and resources. All development in any Subarea shall conform to the City of Chicago's "Sustainable Development Policy Matrix" in effect on the submittal of Site Plans pursuant to this Planned Development.
15. Unless substantial construction of any new building, as proven by the issuance of building permits and the diligent completion of construction pursuant to such permits, has commenced within six (6) years of the effective date of this Planned Development as to Subarea A, and within nine (9) years of the effective date of this Planned Development as to any other given Subarea, this Planned Development shall, as to such Subarea, expire upon such sixth (6th) or ninth (9th) anniversary date of the effective date hereof, as applicable. If this Planned Development expires pursuant to the foregoing provision, the zoning of the Property shall automatically revert to the C2-3 classification. Such reversion shall not render any building existing at the time to be nonconforming. The six (6) year and nine (9) year periods described above may be extended for up to one (1) additional year if, before expiration, the Commissioner determines that good cause for an extension is shown.
16. Any open space to be dedicated to the Chicago Park District ("C.P.D.") must meet C.P.D. standards and, where applicable, the park must be designed and constructed to those standards. Any conveyance of open space to the C.P.D. shall be subject to the approval of the C.P.D. and a resolution or ordinance issued by the C.P.D. Board of Commissioners must be provided to the Department to evidence such dedication, conveyance and acceptance.

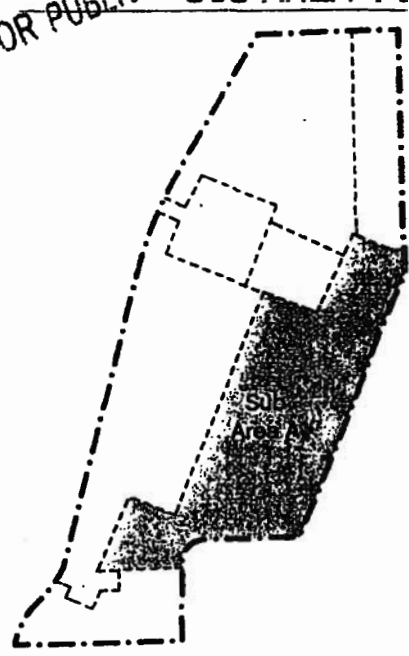
[Bulk Regulations and Data Tables; Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Subarea Map; Rights-of-Way Adjustment Maps; Public Open Space Plans; Site Buffer/Detention Plans; Site Plans; Phasing Plan -- Subarea A; Bulk Elevations and Detail; Green Roof Plans; Landscape Master Plans and Details; and Landscape Ordinance Analysis Calculations referred to in these Plan of Development Statements printed on pages 95705 through 95765 of this *Journal*.]

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Bulk Regulations And Data
Table – Subarea A.

allowed: day care; postal service; public safety services; utilities and services, minor; Chicago Transit Authority bus turnaround; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; medical service; office; high technology office; electronic data storage center; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

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No adult uses are allowed.

Site Area

Gross 2,402,287 sf (55.15 acres)
Rights of Way 268,118 sf (6.16 acres)
Net Site Area 2,134,169 sf (48.99 acres)

Detention/ Buffer Zone 399,896 sf (9.18 acres)
percent of net 18.7%

Building Area

Retail 405,000 sf
Net Building Area 405,000 sf

Key Plan

Maximum F.A.R.	0.75
Building Height	50 ft
Setbacks	Front 0 ft
	Side 0 ft
	Rear 0 ft
Parking	None for first 10,000 square feet then 2.5 spaces per 1,000 square feet
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.
	1 per 5 auto spaces
Off Street Loading	100,000-249,999 sf = 4 berths (10 x 50) +250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf

**Bulk Regulations And Data Table
Summary.**

Rights of Way	1,908,735 sf (43.82 acres)	Final
Net Site Area	6,008,762 sf (137.94 acres)	
Detention/ Buffer Zone percent of net	701,774 sf (16.11 acres) 11.7%	
Public Open Space percent of net	814,537 sf (14.11 acres) 10.2%	

Building Area (other than Residential)

Retail	670,000 sf
Lodging	100,000 sf
Elderly Housing	100,000 sf
Brite Line (Community Center)	125,000 sf
Educational	45,000 sf

Net Building Area 1,040,000 sf

Residential

1150 Dwelling Units



Key Plan

F.A.R.	Per Sub Area	
Maximum Building Height	100 ft	
Parking	<p>Group A e.g. s.f. housing</p> <p>Group C e.g. multi unit</p> <p>Group D e.g. elderly</p> <p>Group E e.g. school</p> <p>Group M e.g. retail</p> <p>Group S e.g. lodging</p>	<p>1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats</p> <p>1 space per unit</p> <p>0.33 spaces per unit</p> <p>1 per 3 employees + additional parking and drop-off spaces as determined by DZLUP</p> <p>None for first 10,000 sf then 2.5 spaces per 1,000 sf</p> <p>1 space per 3 lodging rooms</p>
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.	
	<p>Group C e.g. multi unit</p> <p>Group D e.g. elderly</p> <p>Group E e.g. school</p> <p>Group M e.g. retail</p> <p>Group S e.g. lodging</p>	<p>1 per 2 auto spaces</p> <p>1 per 4 auto</p> <p>1 per 10 auto spaces; Min. 4 spaces</p> <p>1 per 5 auto spaces</p> <p>1 per 10 auto spaces</p>
Off Street Loading	<p>Retail</p> <p>Multi-Unit Ordinary</p>	<p>10,000-25,000 = 1 berths (10 x 25)</p> <p>25,000-49,999 = 2 berths (10 x 50)</p> <p>50,000-99,999 = 3 berths (10 x 50)</p> <p>100,000-249,999 sf = 4 berths (10 x 50)</p> <p>+250,000 = 1 additional berth (10 x 50) per 200,000 sf above 250,000 sf</p> <p>25,000-199,999 = 1 berth (10 x 25)</p> <p>25,000-199,999 = 1 berth (10 x 50)</p>

Bulk Regulations And Data
Table -- Subarea B.

allowed: cultural exhibits and libraries; day care; postal service; public safety services; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; all lodging including hotel/motel; medical service; office; high technology office; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

No adult uses are allowed.

Site Area

Gross 581,457 sf (12.89 acres)
Rights of Way 164,746 sf (3.78 acres)
Net Site Area 396,711 sf (9.11 acres)

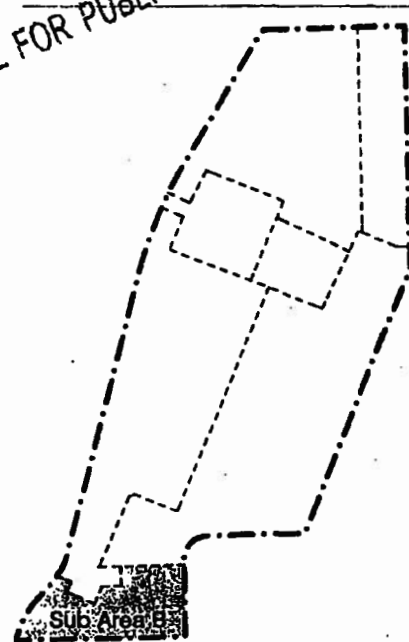
Public Open Space 23,783 sf (0.55 acres)
percent of net 6.0%

Building Area/ Coverage

Retail 50,000 sf
Lodging 100,000 sf
Elderly Housing 100,000 sf

Net Building Area 250,000 sf
Building Zone 175,000 sf
Building Coverage 140,000 sf
Percent Coverage/ Building Zone 80.0%

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Key Plan

Maximum F.A.R.	1.0	
Building Height	100 ft	
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	Group M e.g. retail Group D e.g. elderly housing Group S e.g. lodging	None for first 10,000 sf then 2.5 spaces per 1,000 sf 0.33 spaces per unit 1 space per 3 lodging rooms
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.	
	Group M e.g. retail Group D e.g. elderly housing Group S e.g. lodging	1 per 5 auto spaces 1 per 4 auto 1 per 10 auto spaces
Off Street Loading	Retail	25,000-49,999 = 2 berths (10 x 50)
	Lodging	25,000-199,999 = 1 berth (10 x 50)
	Multi-Unit	25,000-199,999 = 1 berth (10 x 25)

Design Guidelines For Subarea B.
(Page 1 of 2)

Design Guidelines for Sub Area B
(111th Street Neighborhood Retail District)

The Design Guidelines are development standards for buildings and public spaces to guide the design and development of any project within the 111th Street Neighborhood Retail District of Pullman Park. The goal of the guidelines is to provide a framework to achieve a balance between individual expression of each structure and a harmonious connection to not only the community but to the history of Pullman as well.

Orientation:

- All buildings will have their front entry facing 111th Street. Buildings located on corners or parking entrances should have their front entries facing both 111th Street and the adjacent street or entrance drive.

Massing:

- Buildings should be composed of simple volumes, primarily 1 to 2 stories in height with sloped roofs.

Height:

- Buildings will be a minimum of 16' and a maximum of 30' tall measured from sidewalk grade to the midpoint of sloped roofs and excluding towers, cupolas and other decorative elements.

Roof Massing:

- Sloped roofs with a minimum slope of 6:12
- Roofs will be designed to screen and conceal all rooftop mounted mechanical equipment.

Lighting:

- Lighting will be designed to enhance the building design and storefront, compliment the architecture, and be sufficient for visibility and safety.
- Lighting should be stationary and non-animated.

Masonry Openings:

- Window and door headers in masonry walls should be defined and articulated with stone, cast stone or special brick coursing such as soldier or double rowlock header bonds. Jack, segmental, semi-circular and multicentered arches are encouraged. Window sills within walls should incorporate stone or precast sills.

Signage:

- All signage will be attached to the building or canopy. Types of permitted signs include:
 - Freestanding pin-mounted letterform
 - Projecting signs
 - Blade signs
 - Storefront signs
 - Window Signs

Design Guidelines For Subarea B.
(Page 2 of 2)

- Canopy signs
- Two sided or three-dimensional contextual signs.
- Backlit letter metal sign box signs.
- Neon signs are permitted only when inset into a metal channel or open-face form with or without an acrylic cover.

Awnings & Canopies:

- Awnings and canopies will be compatible in material and construction to the style and character of the building. The color of the awning or canopy should be compatible with the overall color scheme of the façade.
- Where feasible, awnings and canopies should be generally aligned with others nearby in order to maintain a sense of visual continuity.
- Awnings and canopies should be tailored to the opening of the building and positioned so that distinctive architectural features remain visible.

Material Transitions:

- Where possible, all transitions between dissimilar wall materials should occur at inside corners.

Storefronts:

- Storefronts will be designed using a rhythm created by pilasters, columns, and or piers with trim to frame display windows. Glazing will comprise 40-65% of the storefront wall area.
- Aluminum, steel, clad or aluminum clad wood framed entrances with factory applied finishes in one of the accent colors listed elsewhere in this document. A minimum 12" durable storefront base should be incorporated as part of the design to withstand contact with maintenance and snow removal equipment. Base must be composed of stone, masonry, prefinished aluminum or other highly durable material.

Accent Colors:

- The colors that are recommended for awnings, aluminum storefronts, brackets, exposed structural elements are listed per the Pantone Matching System® and are as listed:
 - PMS Cool Grey 11
 - PMS 626
 - PMS Process Black C

Materials:

- Brick – Red brick in an extruded wirecut or velour texture, handmade and /or molded finish. Brick will be modular size; 3 5/8" x 2 1/4" x 7 5/8". Coursing will be a standard common or header bond. All mortar should be colored mortar to match the brick.
- Stone – Buff colored limestone in rock-face, smooth and other textured surfaces.
- Precast stone – Fabricated to simulate natural limestone in rock-face, smooth and other textured surfaces
- Roofing – Slate, manufactured slate, metal standing seam
- Glass – Clear glass
- Trim – Decorative trim will be cellular PVC, prefinished aluminum and prefinished extruded aluminum panning in traditional brickmold and casing profiles.

**Bulk Regulations And Data
Table -- Subarea C.**

be allowed: dwelling units located on and above the ground floor as follows: Detached houses; elderly housing; multi-unit (3+ units) residential; townhouses.

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No other uses shall be allowed.

Site Area

Gross 1,985,891 sf (45.58 acres)
Rights of Way 724,140 sf (16.62 acres)
Net Site Area 1,261,551 sf (28.96 acres)

Public Open Space 196,789 sf (4.52 acres)
percent of net 15.6%

Detention/ Buffer Zone 17,155 sf (0.39 acres)
percent of net 1.4%

Dwelling Units

Minimum Lot Area 1000 sf/ dwelling unit
Total Units max. 450 dwelling units



Key Plan

Maximum F.A.R.		12
Building Height		38 ft
Setbacks <small>* Required setbacks for single family detached houses</small>	Front	15 ft or 12% of lot depth
	Side	Combined equals 20% of lot width, neither less than 2 feet or 8% of lot width; no side setback is required to exceed 5 feet in width
	Rear	50 ft or 28% of lot depth*
Parking		1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats
Bicycle Parking		N/A
Off Street Loading		N/A

Bulk Regulations And Data
Table – Subarea D.

be allowed: day care; parks and recreation; community centers, recreation buildings and similar assembly use; school; all sports and recreation, participant excluding entertainment cabaret. In addition, the following uses shall be allowed to the extent they are incidental to the foregoing allowed uses: retail sales (general), eating and drinking establishments (including outdoor patio located on a rooftop), and automated teller machine facility.

FINAL FOR

Site Area

Gross	318,211 sf (7.08 acres)
Rights of Way	16,840 sf (0.39 acres)
Net Site Area	301,371 sf (6.92 acres)

Building Area/ Coverage

Briteline	125,000 sf
Educational	45,000 sf (on 2 stories)
Retail	15,000 sf

Net Building Area 185,000 sf

Not including Briteline

Building Zone	95,000 sf
Building Coverage (max.)	52,250 sf
Percent Coverage/ Building Zone	55.0%



Key Plan

Maximum F.A.R.		1.2	
Building Height		50 ft	
Setbacks	Front	0 ft	
	Side	0 ft	
	Rear	0 ft	
Parking	Group E e.g. school	1 per 3 employees + additional parking and drop-off spaces as determined by DZLUP Participant Sports and Recreation: 1 per 10 persons capacity All other: None for first 4,000 square feet then 2.5 spaces per 1,000 square feet	
	Group M e.g. retail		
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.		
	Group E e.g. school	1 per 10 auto spaces; Min. 4 spaces	
	Group M e.g. retail	1 per 5 auto spaces	
Off Street Loading	Retail	10,000-25,000 = 1 berths (10 x 25)	

**Bulk Regulations And Data
Table -- Subarea E.**

be allowed: parks and recreation; day care.

Site Area

Gross	460,379 sf (10.57 acres)
Rights of Way	66,394 sf (1.52 acres)
Net Site Area	393,985 sf (9.04 acres)
Public Open Space	393,985 sf (9.04 acres)
percent of net	100.0%

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Key Plan

Maximum F.A.R.		0
Building Height		N/A
Setbacks	Front	N/A
	Side	N/A
	Rear	N/A
Parking		N/A
Bicycle Parking		N/A
Off Street Loading		N/A

Bulk Regulations And Data
Table -- Subarea F.

be allowed: dwelling units located on and above the ground floor as follows: Detached houses; elderly housing; multi-unit (3+ units) residential; townhouses.

No other uses shall be allowed.

FINAL PLAN

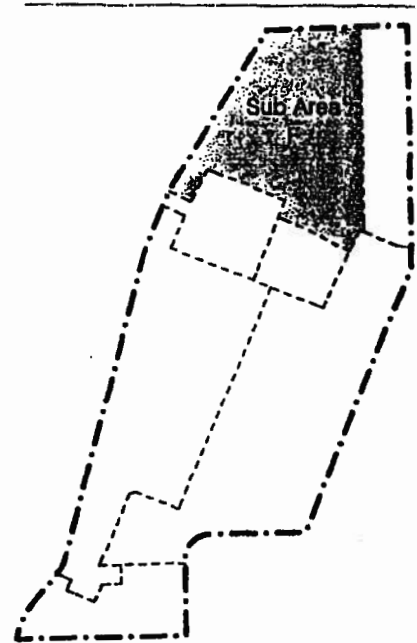
Site Area

Gross 1,591,972 sf (36.55 acres)
Rights of Way 479,766 sf (11.01 acres)
Net 1,112,206 sf (25.53 acres)

Buffer/ Detention Zone 273,977 sf (6.92 acres)
percent of net 24.6%

Dwelling Units

Minimum Lot Area 1000 sf/ dwelling unit
Total Units 400 dwelling units



Key Plan

Maximum F.A.R.		1.2
Building Height		38 ft
Setbacks	Front	15 ft or 12% of lot depth
	Side	Combined equals 20% of lot width, neither less than 2 feet or 8% of lot width; no side setback is required to exceed 5 feet in width
	Rear	50 ft or 28% of lot depth*
Parking		1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats
Bicycle Parking		N/A
Off Street Loading		N/A

* Required setbacks for single family detached houses

**Bulk Regulations And Data
Table -- Subarea G.**

allowed: colleges and universities; cultural exhibits and libraries; day care; hospitals; parks and recreation; community centers, recreation buildings and similar assembly use; postal service; public safety services; religious assembly; utilities and services, minor; all animal services excluding stables; artist work or sales space; body art services; building maintenance services; business equipment sales and service; business support services excluding day labor employment agencies; employment agencies; communication service establishments; all construction sales and service; drive-through facilities; all eating and drinking establishments including outdoor patio located on a rooftop; all entertainment and spectator sports excluding inter-track wagering facilities; all financial services excluding payday loan stores and pawn shops; all food and beverage retail sales; liquor stores; liquor sales; gas stations; all lodging including hotel/motel; medical service; office; high technology office; parking, non-accessory; personal service; hair salon, nail salon, massage establishment or barbershop; repair or laundry service, consumer; dry cleaning drop-off or pick-up; coin-operated laundromat; residential storage warehouse; retail sales, general; all sports and recreation, participant excluding entertainment cabaret; all vehicle sales and service excluding vehicle storage and towing with outdoor storage; wireless communication facilities excluding freestanding towers.

No adult uses are allowed.

Site Area

Gross	607,500 sf (13.95 acres)
Rights of Way	188,730 sf (4.33 acres)
Net Site Area	418,770 sf (9.61 acres)
Buffer/ Detention Zone percent of net	10,748 sf (0.25 acres) 2.6%

Building Area/ Coverage

Retail	100,000 sf (includes ground floor retail in mixed use buildings)
Multi Family Residential	150,000 sf
Single Family Residential	50,000 sf

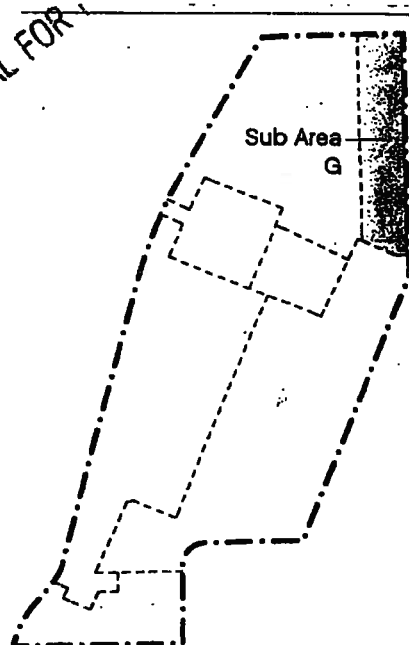
Net Building Area 300,000 sf

Building Zone	175,000 sf
Building Coverage	131,250 sf
Percent Coverage/ Building Zone	70.0%

Dwelling Units

Minimum Lot Area	400 sf/ dwelling unit
Total Units	max. 300 dwelling units

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Key Plan

Maximum F.A.R.		1.0
Building Height		100 ft
Setbacks	Front	0 ft
	Side	0 ft
	Rear	0 ft
Parking	Group A e.g. s.f. housing	1 space per unit, provided that off-street parking is not required for detached houses or two-flats on lots of records that are 33 feet or less in width if the subject-lot does not have access to an improved alley; 1 space per unit for government-subsidized detached houses and two-flats
	Group C e.g. multi unit	1 space per unit
	Group M e.g. retail	None for first 10,000 sf then 2.5 spaces per 1,000 sf
Bicycle Parking	No use is required to provide more than 50 bicycle parking spaces.	
	Group C e.g. multi unit	1 per 2 auto spaces
	Group M e.g. retail	1 per 5 auto spaces
Off Street Loading	Retail	50,000-99,999 = 3 berths (10 x 50)
	Multi-Unit	25,000-199,999 = 1 berth (10 x 25)

Design Guidelines For Subarea G.
(Page 1 of 2)

Design Guidelines for Sub Area G
(South Woodlawn Ave. Neighborhood Retail District)

The Design Guidelines are development standards for buildings and public spaces to guide the design and development of any project within the South Woodlawn Ave. Neighborhood Retail District of Pullman Park. The goal of the guidelines is to provide a framework to achieve a balance between individual expression of each structure and a harmonious connection to not only the community but to the architectural context of the neighborhood as well. Contemporary interpretations of Pullman's historic vernacular will be encouraged.

Orientation:

- All buildings will have their front entry facing Woodlawn Ave. Buildings located on corners or parking entrances should have their front entries facing both 111th Street and the adjacent street or entrance drive.

Massing:

- Buildings should be composed of simple volumes, primarily 1 to 2 stories in height with sloped or flat roofs.

Height:

- Buildings will be a minimum of 16' and a maximum of 30' tall measured from sidewalk grade to the midpoint of sloped roofs and excluding towers, cupolas and other decorative elements.

Roof Massing:

- Sloped roofs with a minimum slope of 6:12
- Flat roofs with surrounding masonry parapets.
- Parapet heights may vary to create visual interest to the façade.
- Roofs will be designed to screen and conceal all rooftop mounted mechanical equipment.

Lighting:

- Lighting will be designed to enhance the building design and storefront, compliment the architecture, and be sufficient for visibility and safety.
- Lighting should be stationary and non-animated.

Masonry Openings:

- Window and door headers in masonry walls should be defined and articulated with stone, cast stone or special brick coursing such as soldier or double rowlock header bonds. Window sills within walls should incorporate stone or precast sills.

Signage:

- All signage will be attached to the building or canopy. Types of permitted signs include:
 - Freestanding pin-mounted letterform
 - Projecting signs
 - Blade signs

Design Guidelines For Subarea G.
(Page 2 of 2)

- o Storefront signs
- o Window Signs
- o Canopy signs
- o Two sided or three-dimensional contextual signs.
- o Backlit letter metal sign box signs.
- o Neon signs are permitted only when inset into a metal channel or open-face form with or without an acrylic cover.

Awnings & Canopies:

- Awnings and canopies will be compatible in material and construction to the style and character of the building. The color of the awning or canopy should be compatible with the overall color scheme of the façade.
- Where feasible, awnings and canopies should be generally aligned with others nearby in order to maintain a sense of visual continuity.
- Awnings and canopies should be tailored to the opening of the building and positioned so that distinctive architectural features remain visible.

Material Transitions:

- Where possible, all transitions between dissimilar wall materials should occur at inside corners.

Storefronts:

- Storefronts will be designed using a rhythm created by pilasters, columns, and or piers with trim to frame display windows. Glazing will comprise 40-65% of the storefront wall area.
- Aluminum, steel, clad or aluminum clad wood framed entrances with factory applied finishes in one of the accent colors listed elsewhere in this document. A minimum 12" durable storefront base should be incorporated as part of the design to withstand contact with maintenance and snow removal equipment. Base must be composed of stone, masonry, prefinished aluminum or other highly durable material.

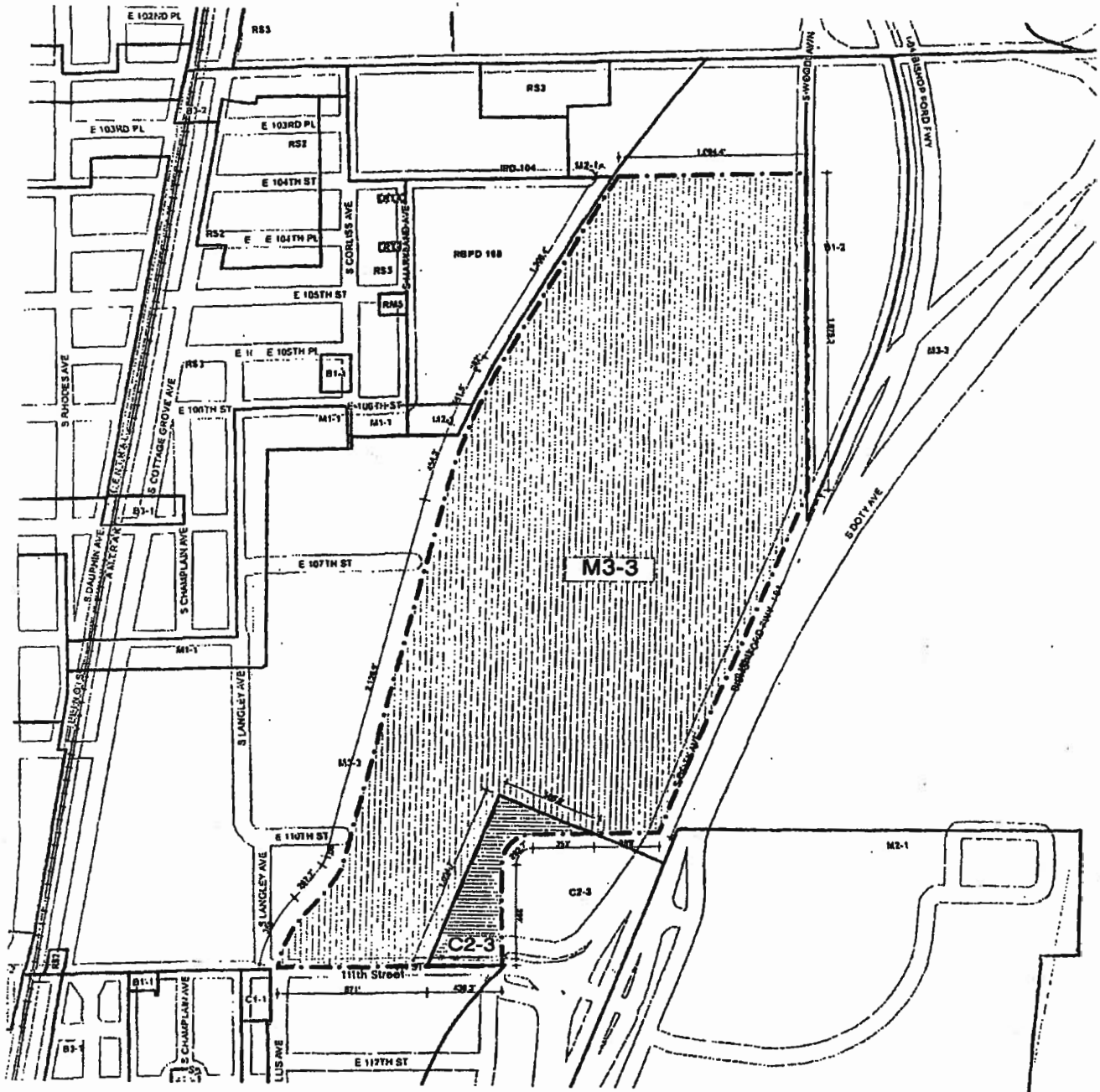
Accent Colors:

- The colors that are recommended for awnings, aluminum storefronts, brackets, exposed structural elements are listed per the Pantone Matching System® and are as listed:
 - o PMS Cool Grey 11
 - o PMS 626
 - o PMS Process Black C

Materials:

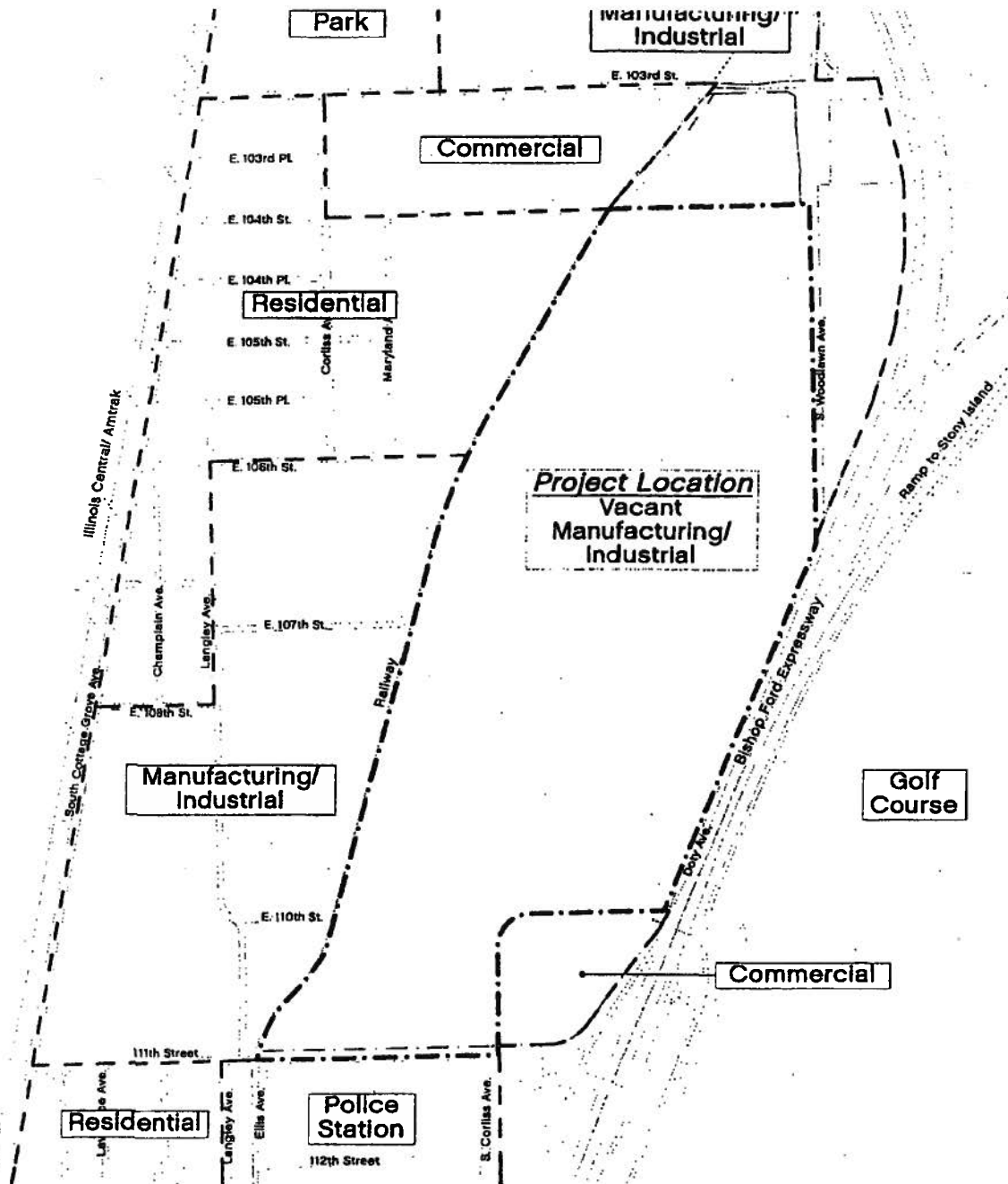
- Brick - Red brick in an extruded wirecut or velour texture, handmade and /or molded finish. Brick will be modular size; 3 5/8" x 2 1/4" x 7 5/8". Coursing will be a standard common or header bond. All mortar should be colored mortar to match the brick.
- Stone - Buff colored limestone in rock-face, smooth and other textured surfaces.
- Precast stone - Fabricated to simulate natural limestone in rock-face, smooth and other textured surfaces
- Roofing - Slate, manufactured slate, metal standing seam
- Glass - Clear glass
- Trim - Decorative trim will be cellular PVC, prefinished aluminum and prefinished extruded aluminum panning in traditional brickmold and casing profiles.

Existing Zoning Map.

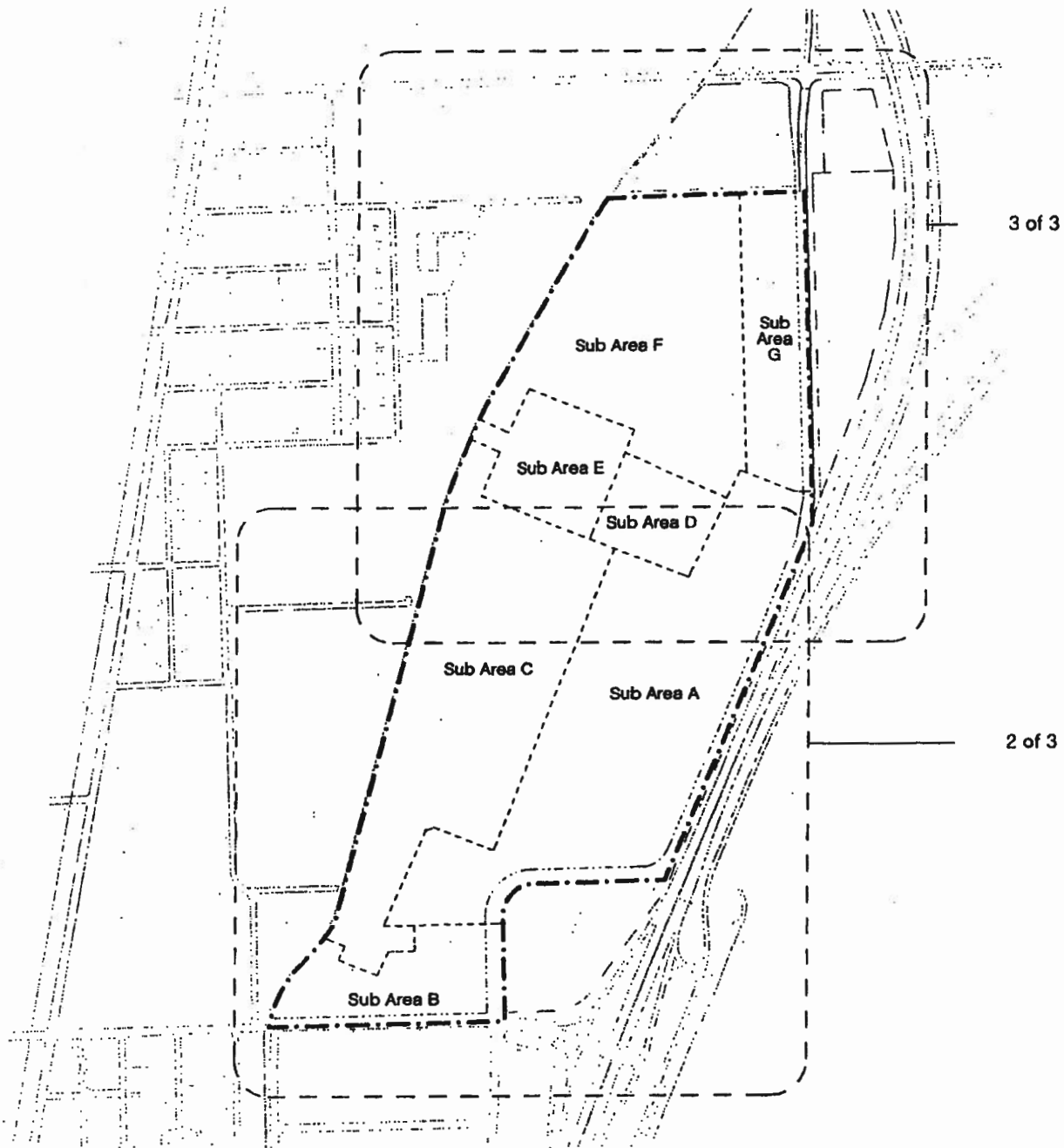


Zone	Area(sf)	Area (acres)
C2-3	291,834 sf	6.70 acres
M3-3	750,000 sf	17.07 acres

Existing Land-Use Map.

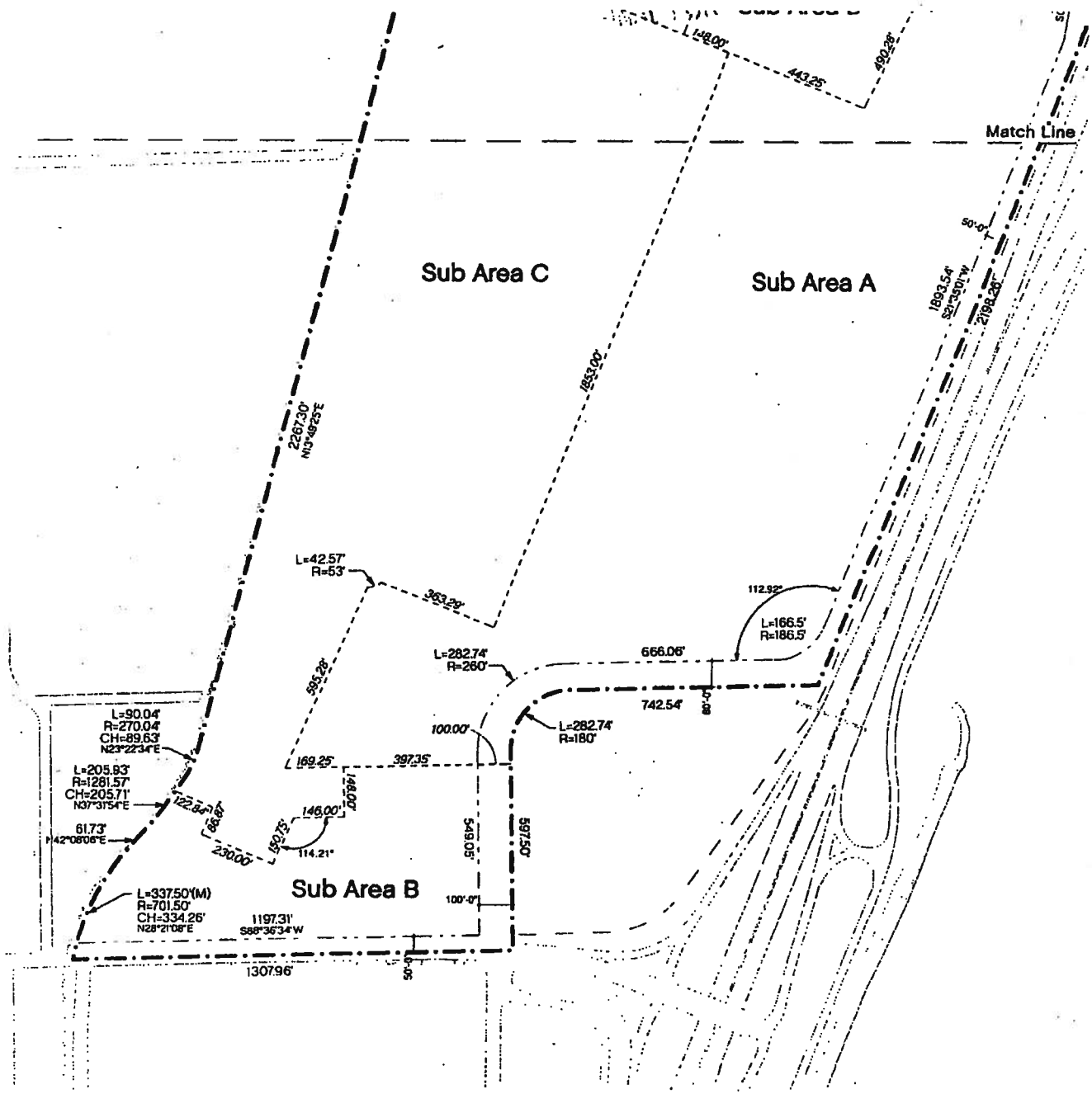


Planned Development Boundary
And Property Line Map.
(Page 1 of 3)

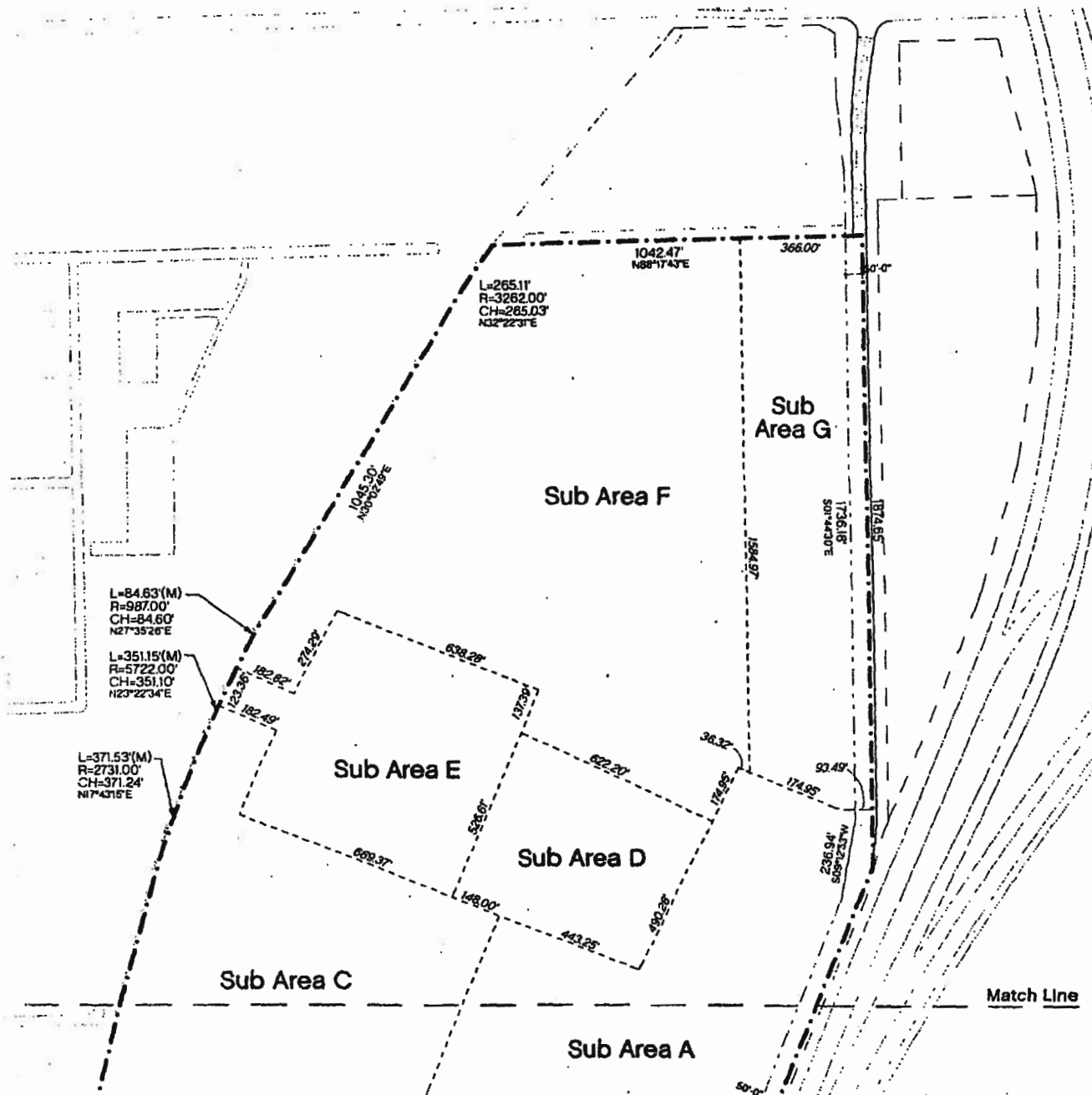


Note: Refer to following detail plans for all

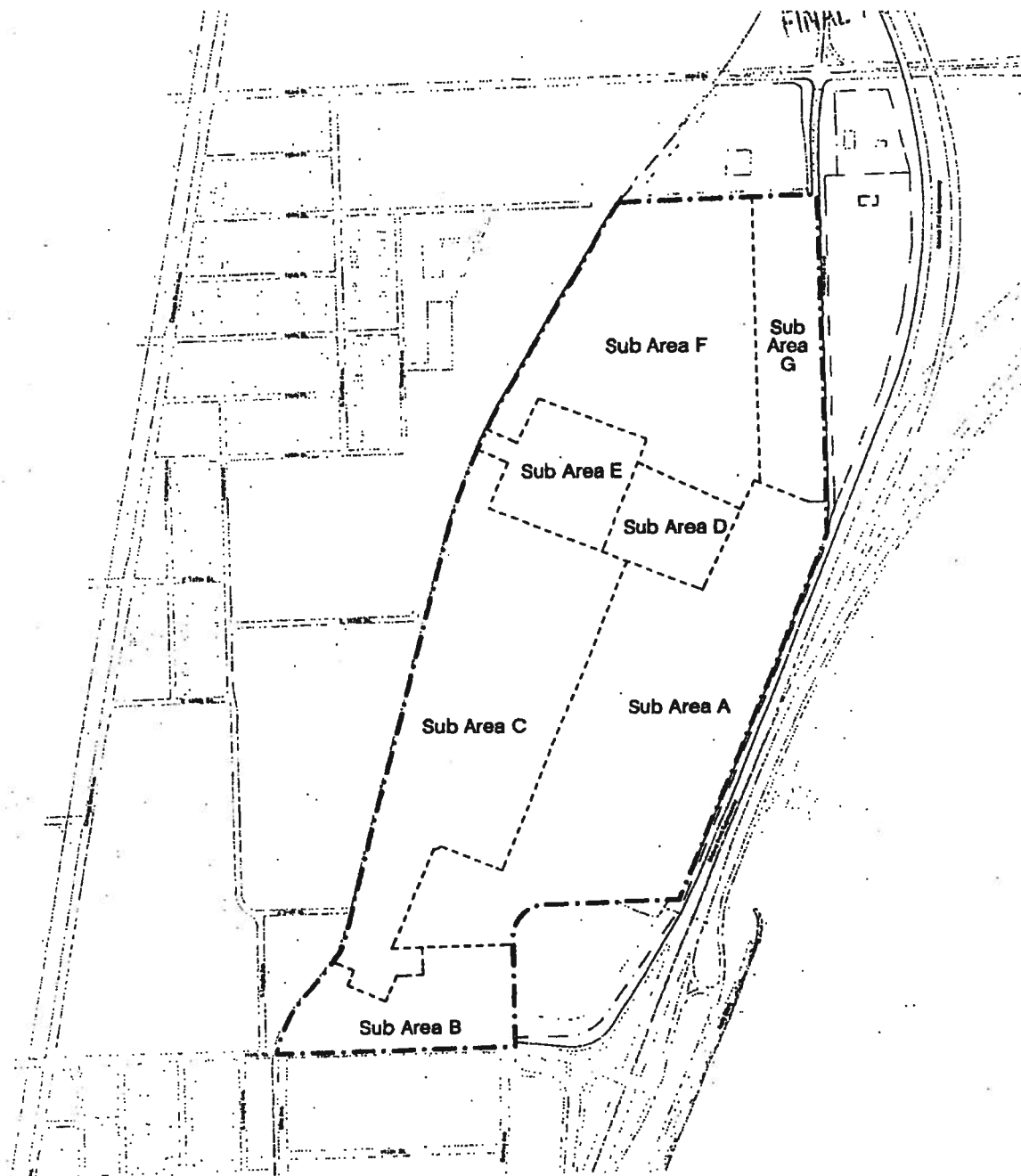
Planned Development Boundary
And Property Line Map -- Detail.
(Page 2 of 3)



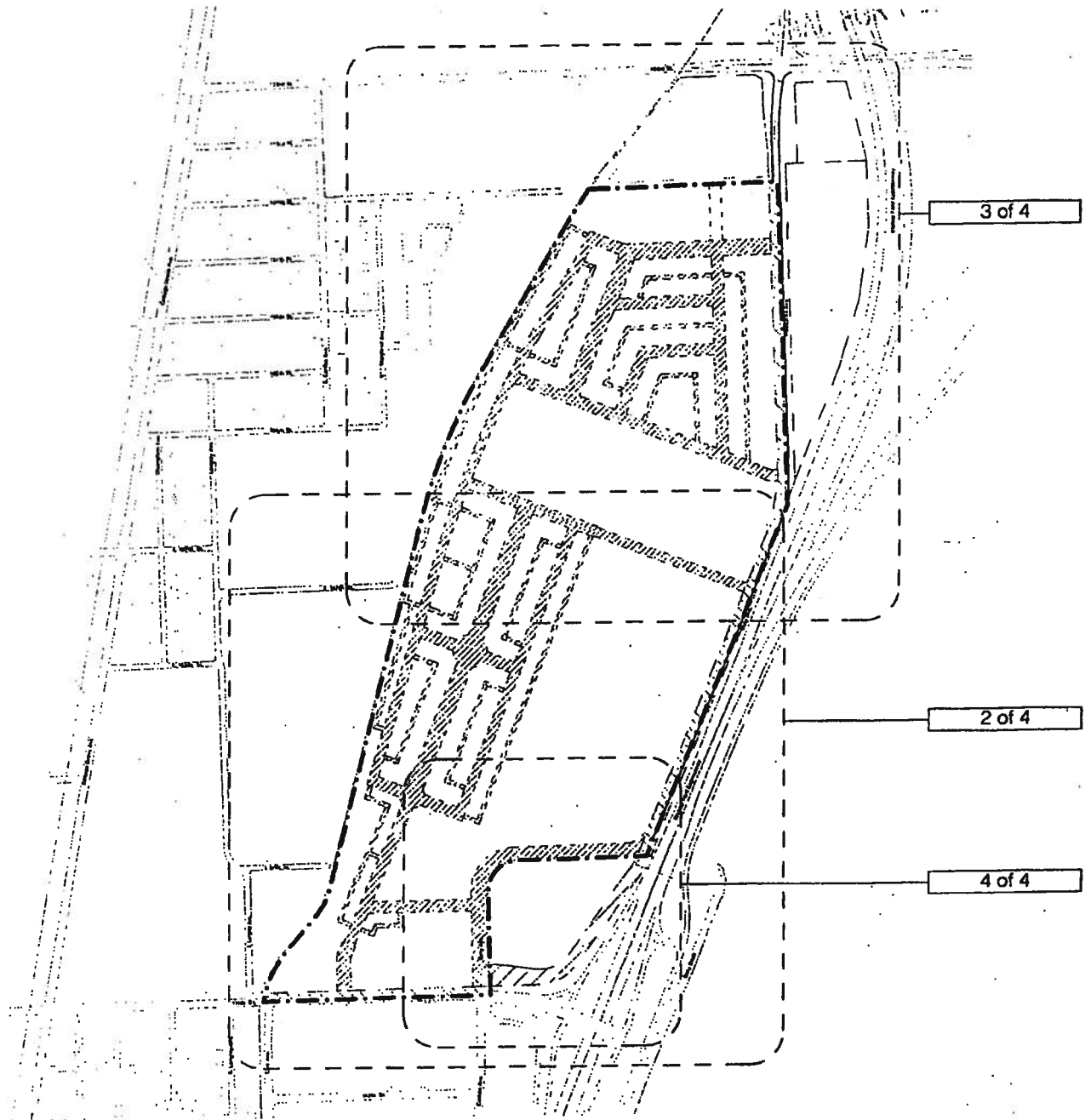
Planned Development Boundary
And Property Line Map -- Detail.
(Page 3 of 3)



Subarea Map.



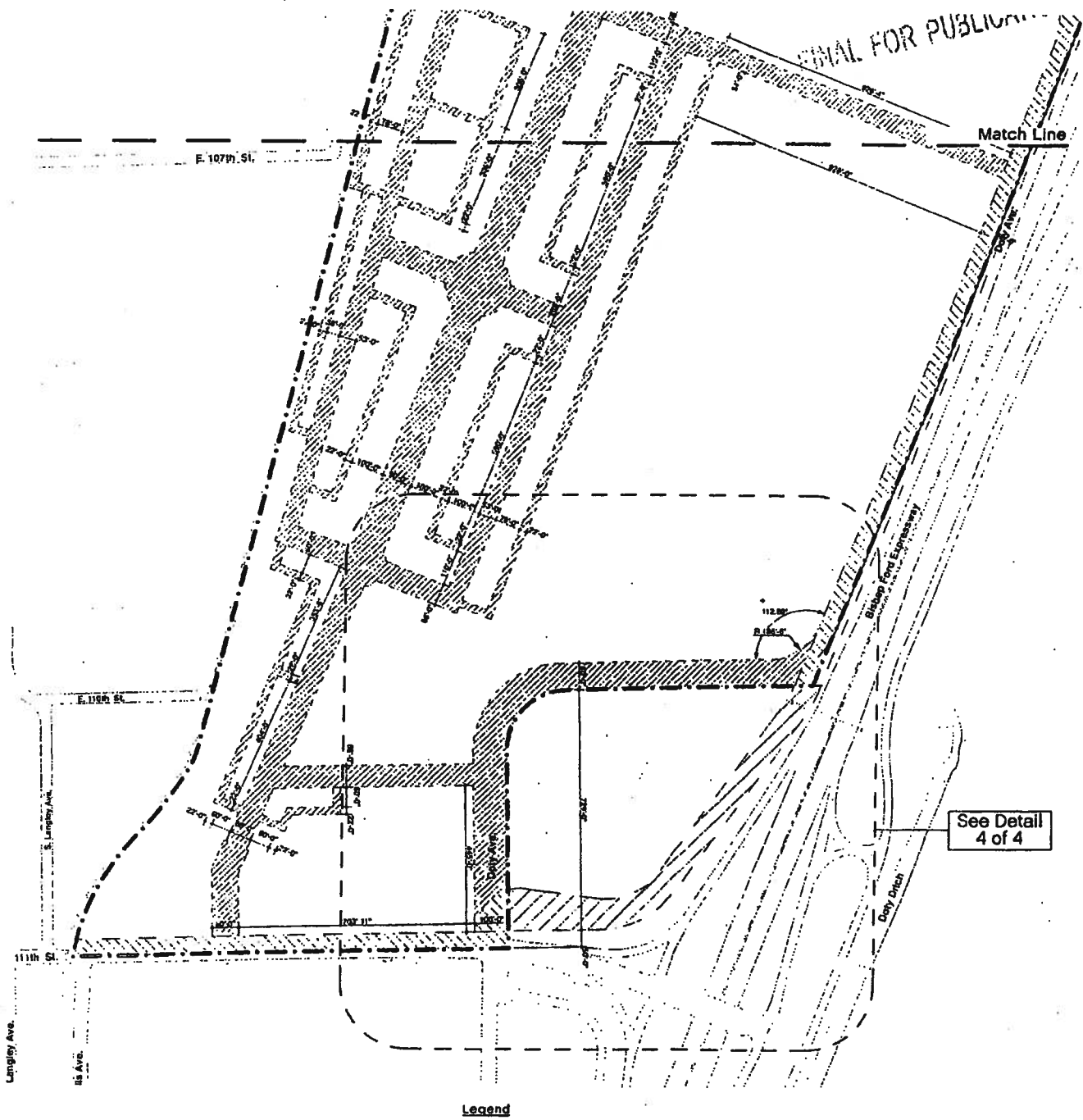
Rights-Of-Way Adjustment Map.
(Page 1 of 4)



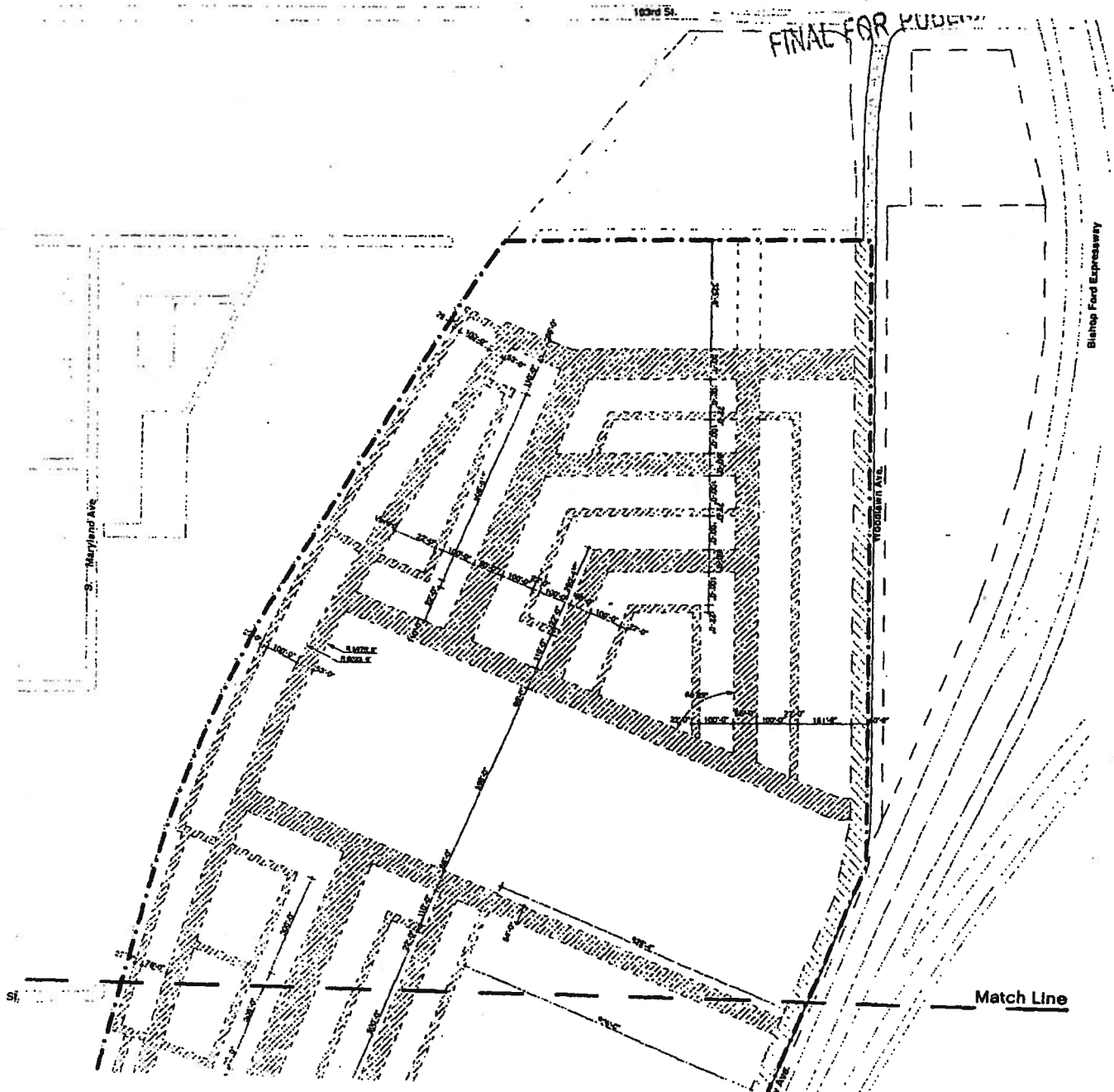
Legend

--- Off Premise R.O.W. to be Vacated

Rights-Of-Way Adjustment Map -- Detail.
(Page 2 of 4)



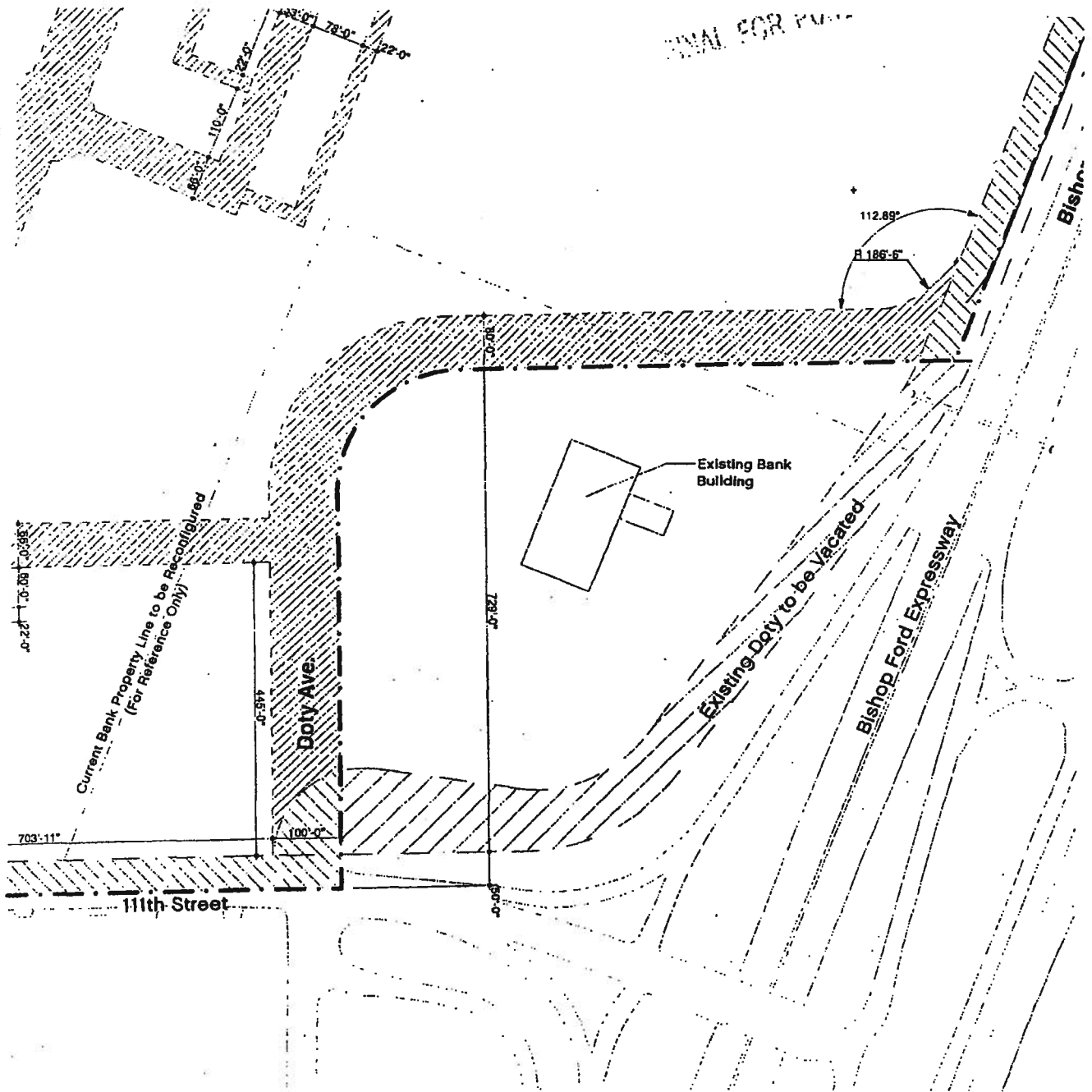
Rights-Of-Way Adjustment Map -- Detail.
(Page 3 of 4)



Legend

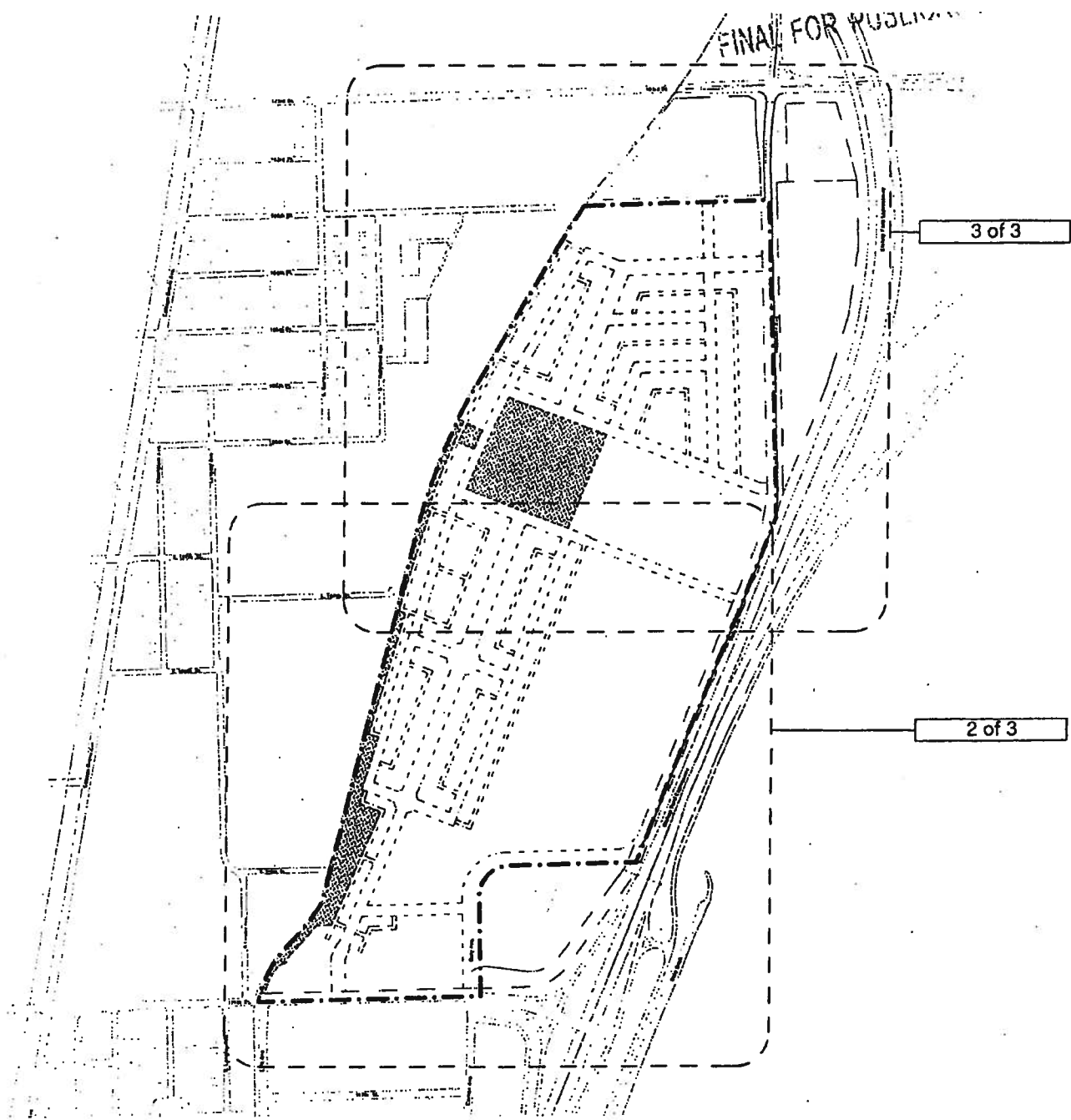
--- Off Premise ROW to be Vacated

Rights-Of-Way Adjustment Map -- Detail.
(Page 4 of 4)



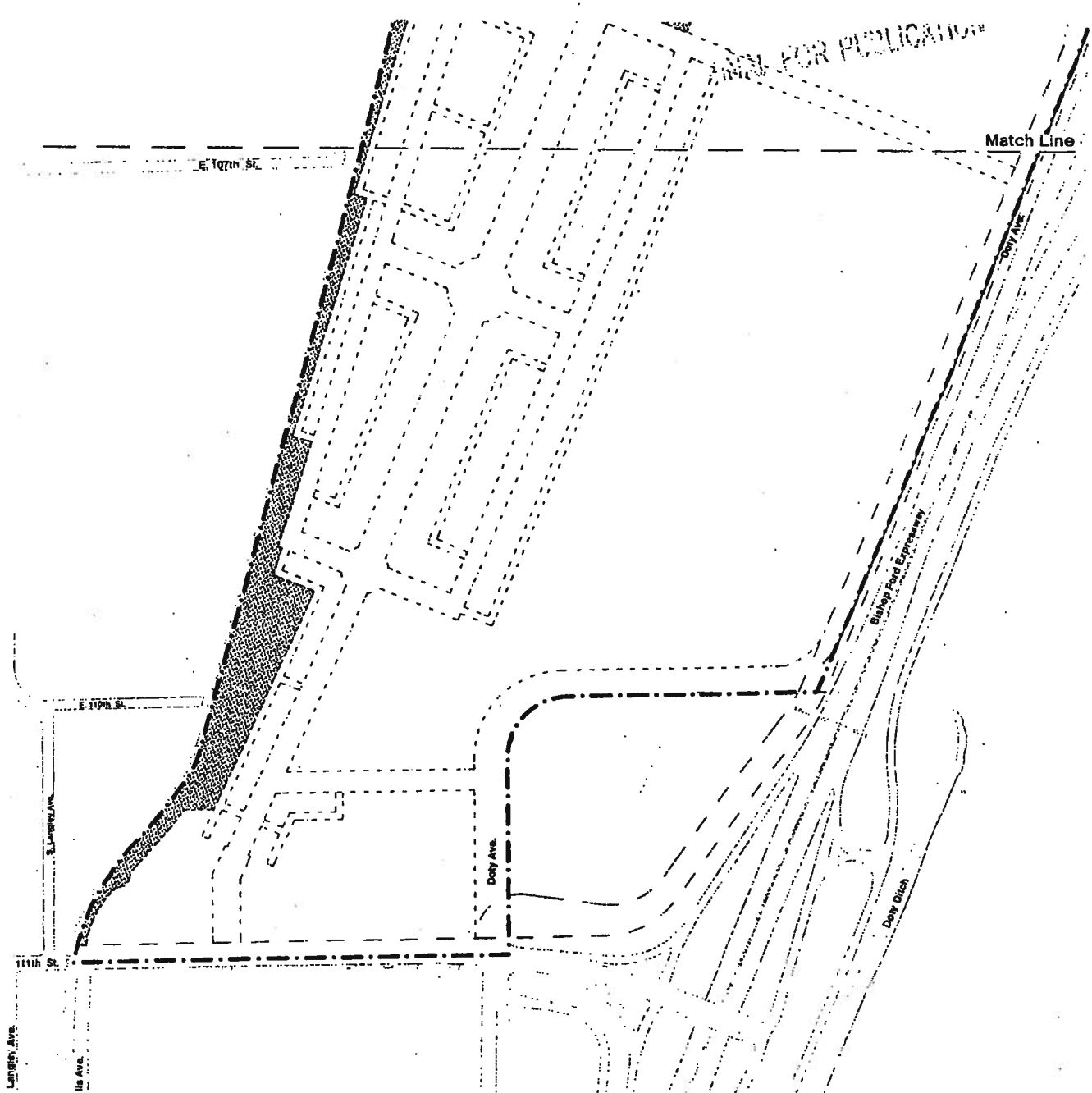
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Public Open Space Plan.
(Page 1 of 3)



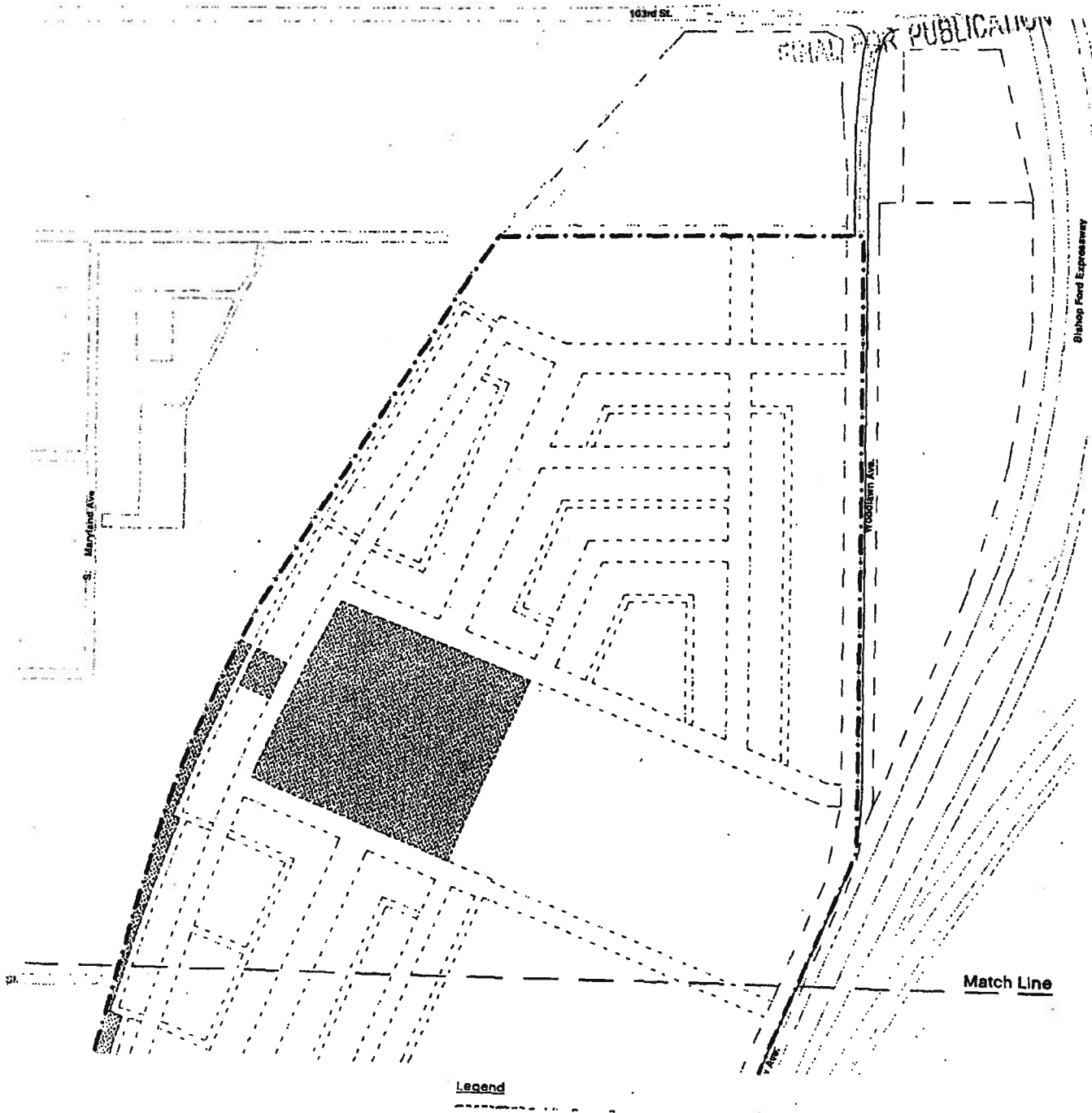
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Public Open Space Plan --Detail.
(Page 2 of 3)

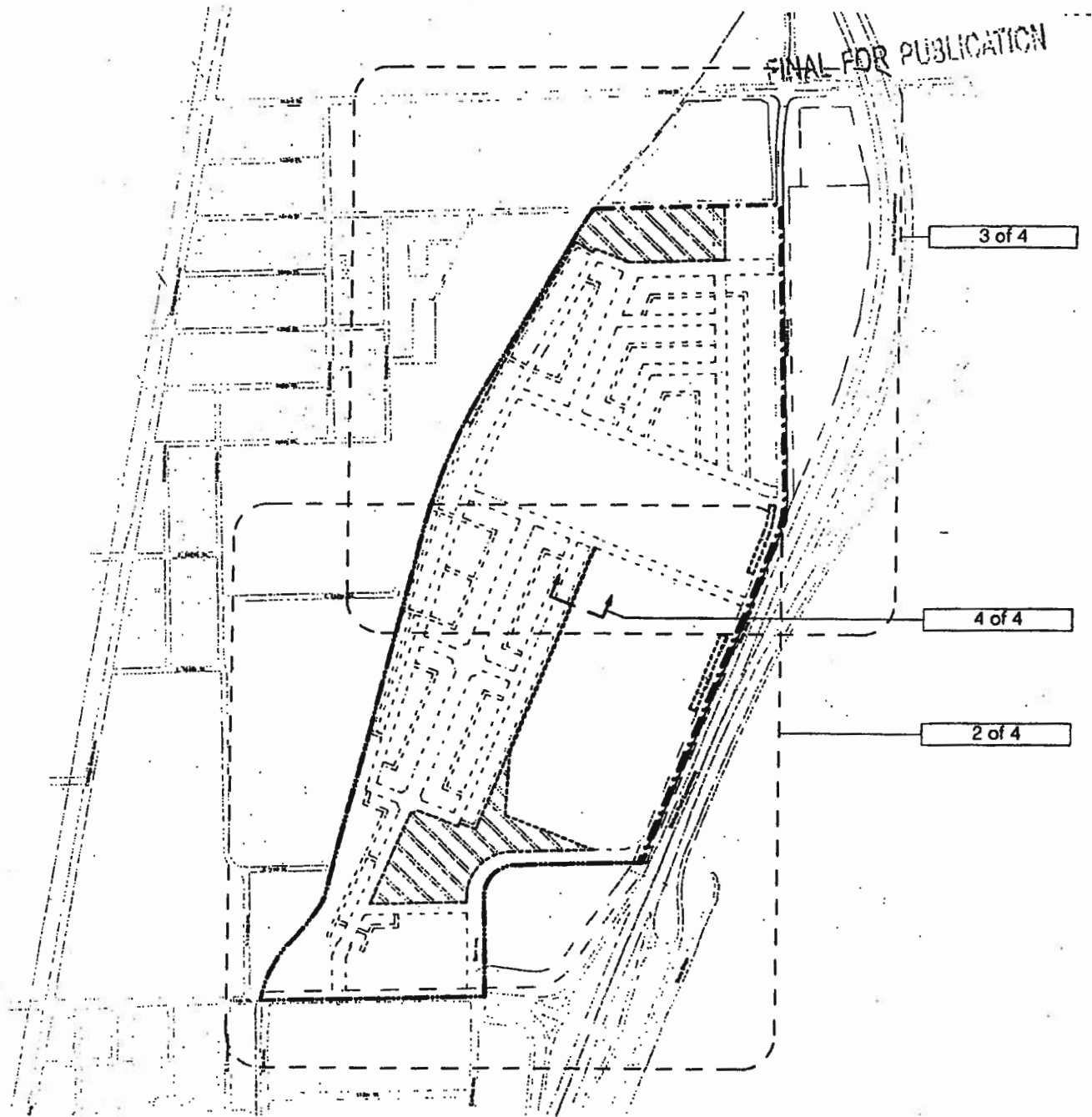


Legend
95728 Public Open Space

Public Open Space Plan -- Detail.
(Page 3 of 3)

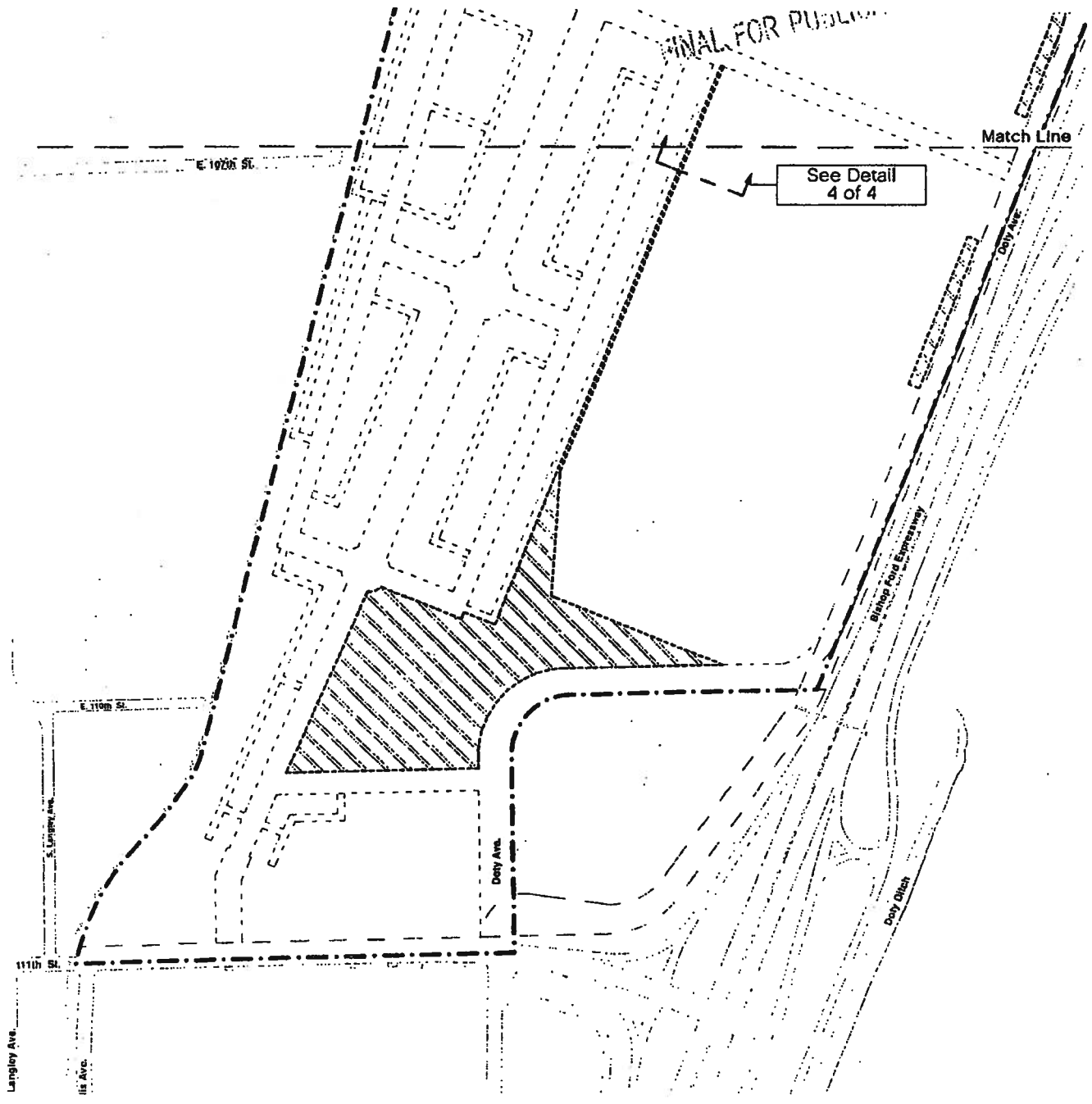


Site Buffer/Detention Plan.
(Page 1 of 4)



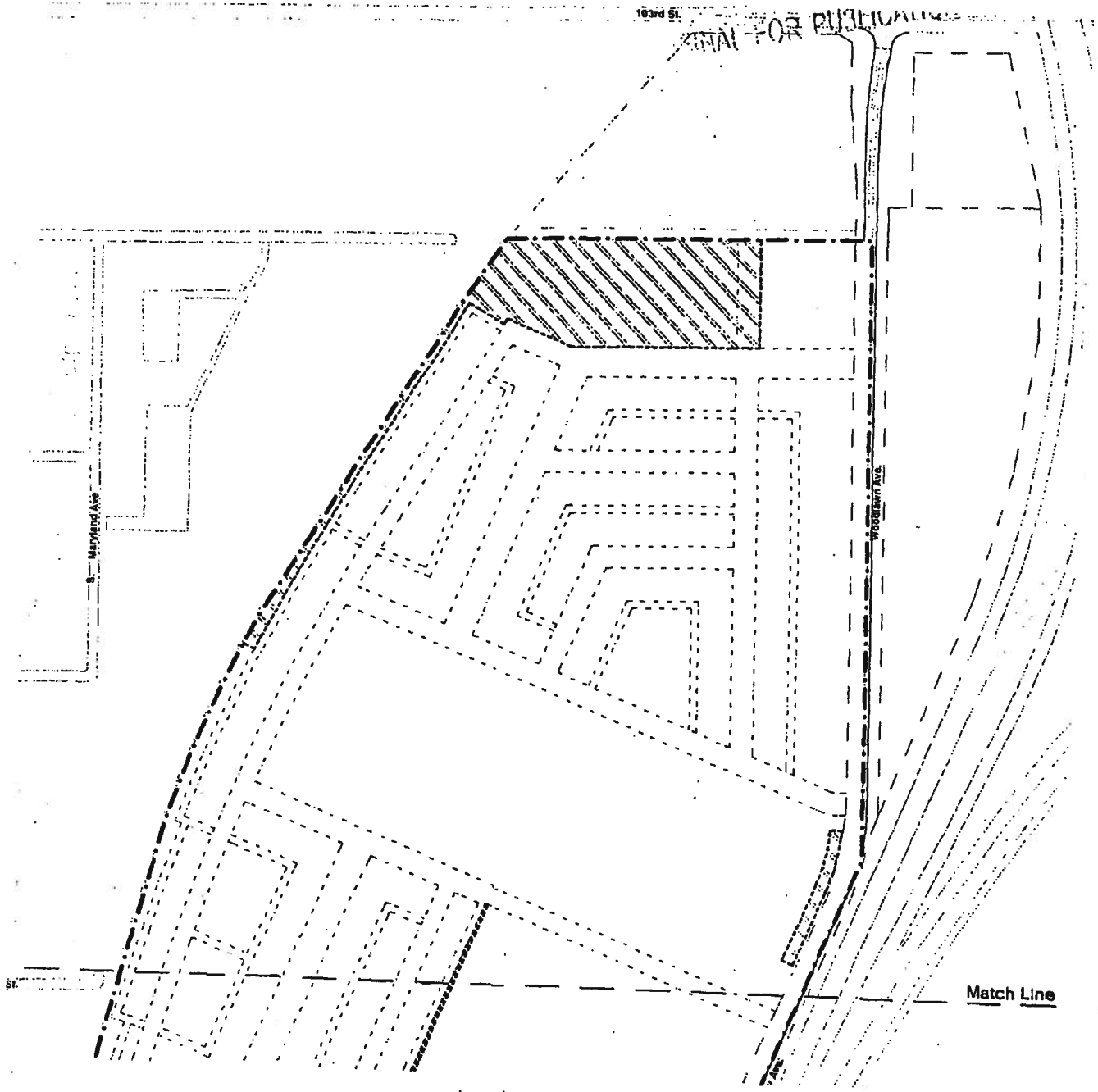
Legend

Site Buffer/Detention Plan – Detail.
(Page 2 of 4)



Legend

Site Buffer/Detention Plan -- Detail.
(Page 3 of 4)

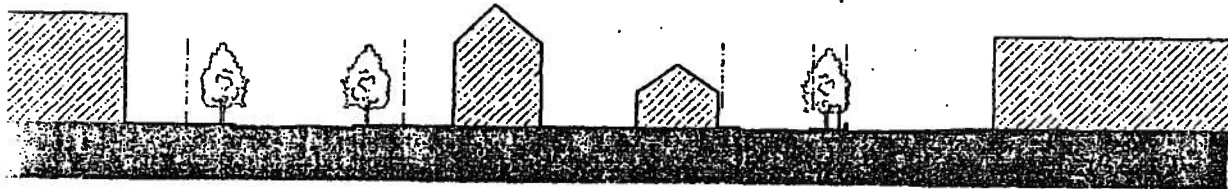


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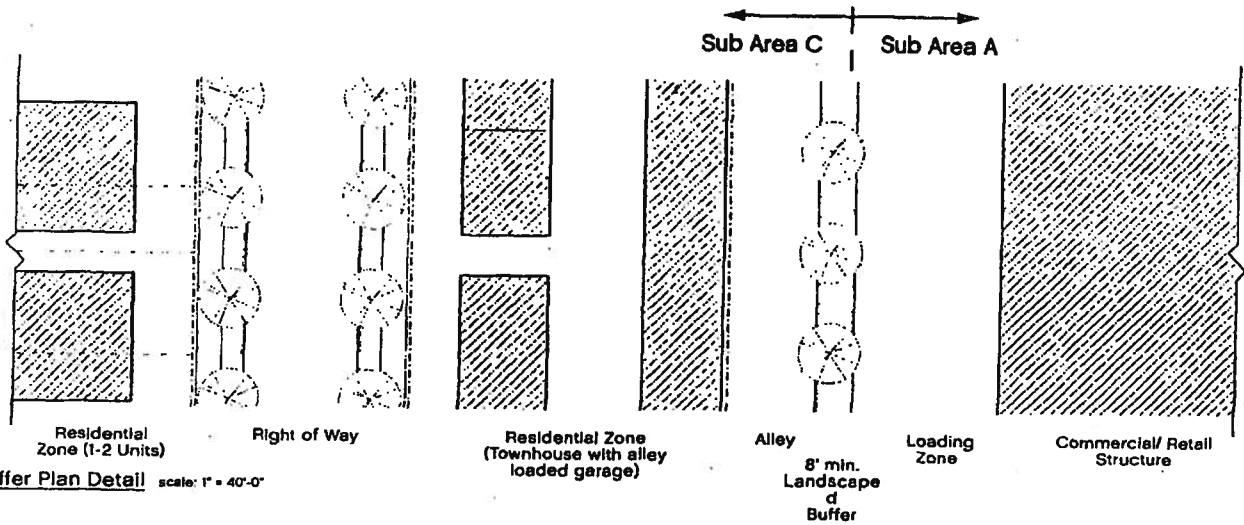
Match Line

Site Buffer/Detention Plan – Buffer Detail.
(Page 4 of 4)

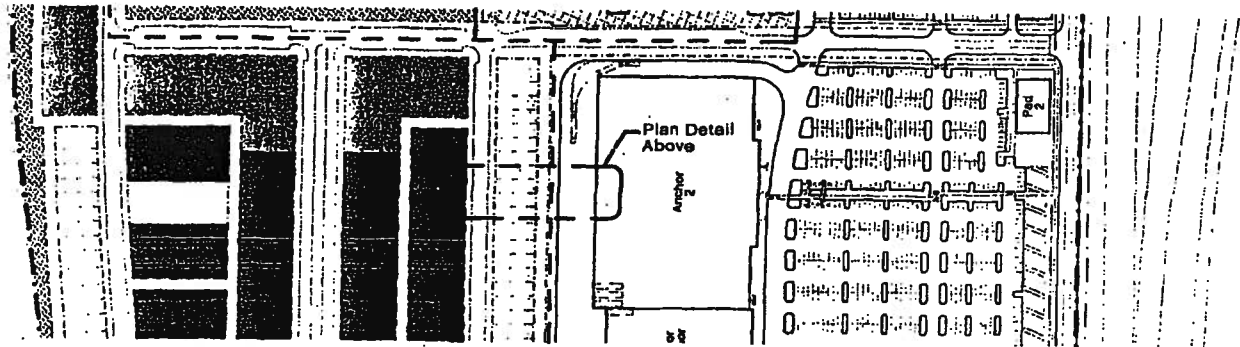
NOT FOR PUBLICATION
Sub Area C | Sub Area A



Buffer Section scale: 1" = 40'-0"

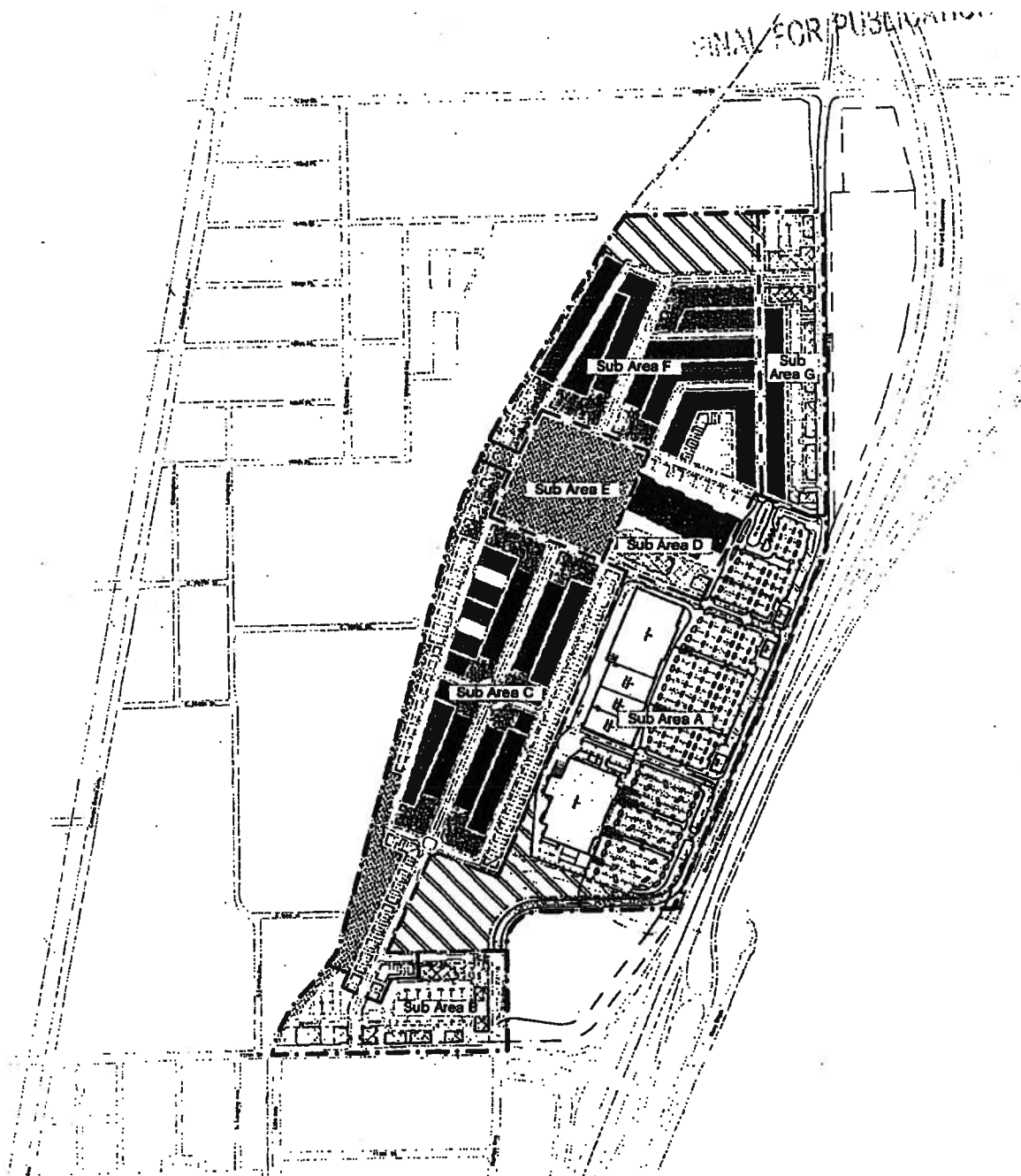


Buffer Plan Detail scale: 1" = 40'-0"

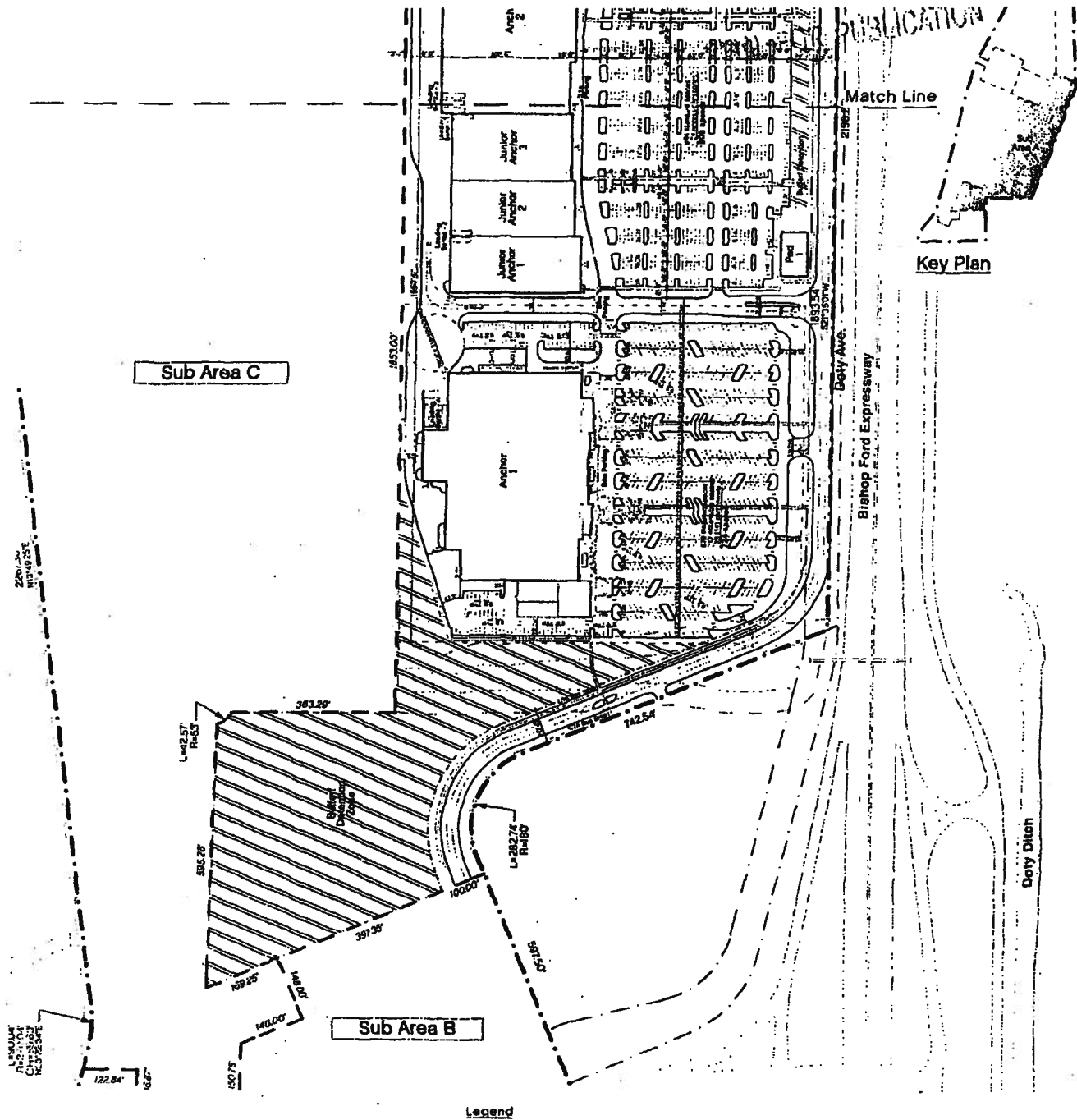


Key Plan (For Illustrative Purposes Only)

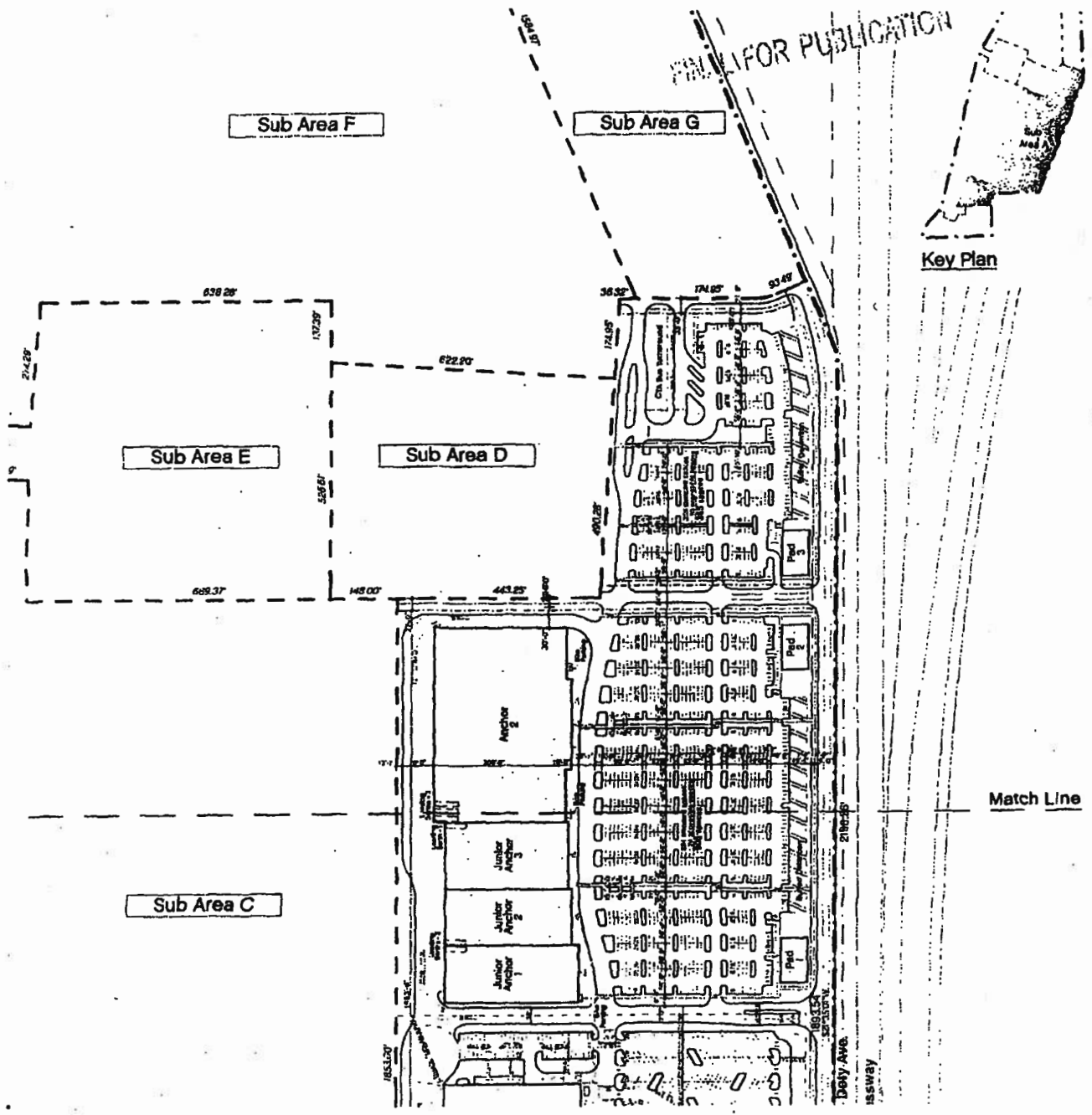
Site Plan.



Site Plan -- Subarea A.
(Page 1 of 3)

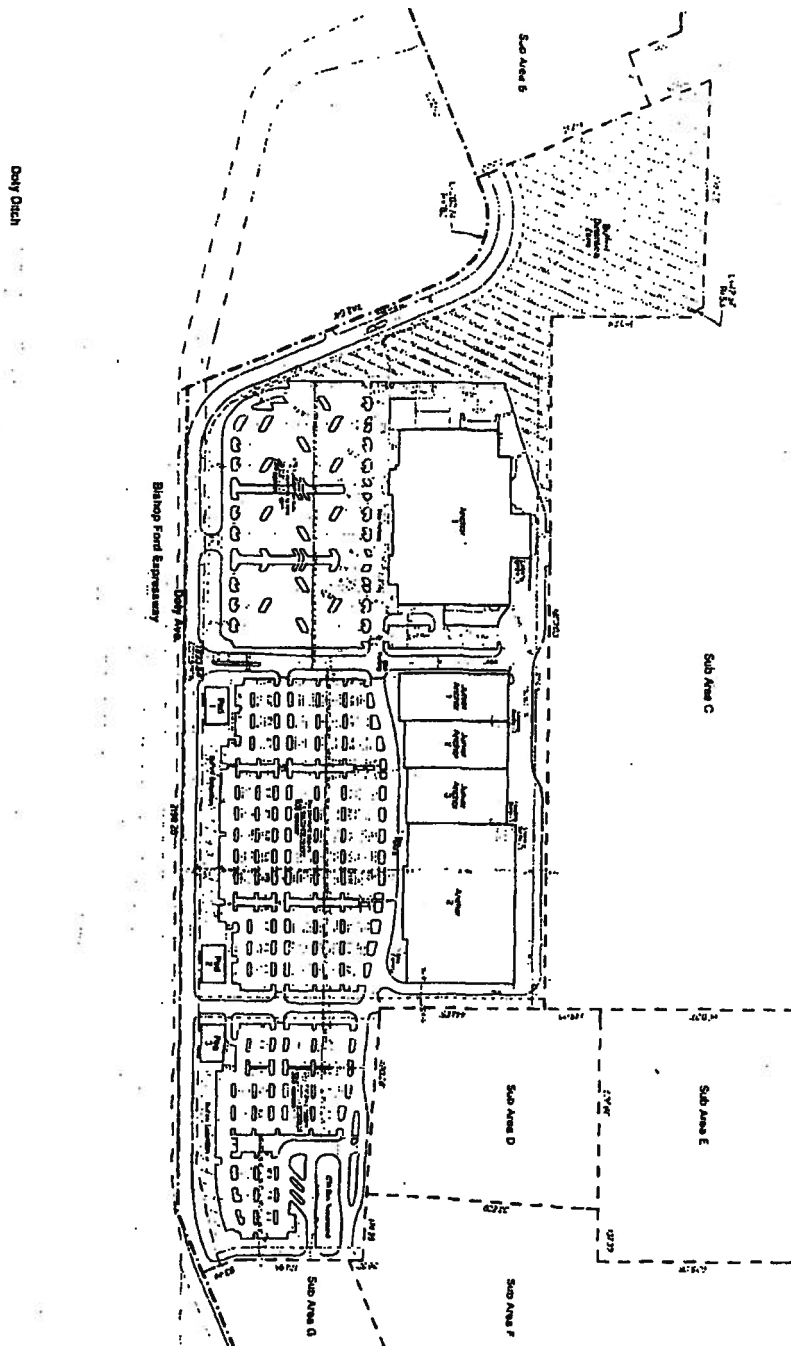


Site Plan -- Subarea A.
(Page 2 of 3)

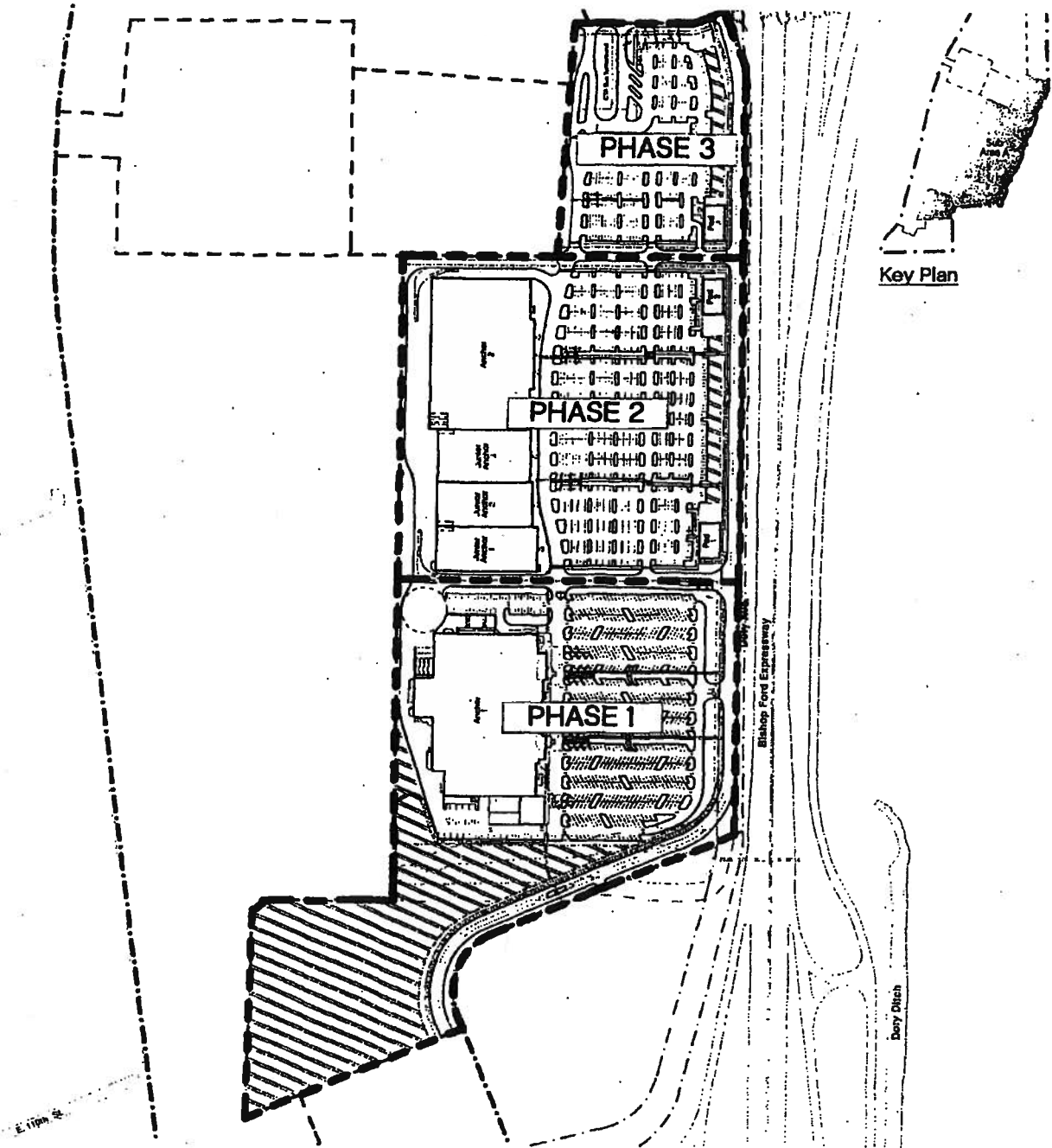


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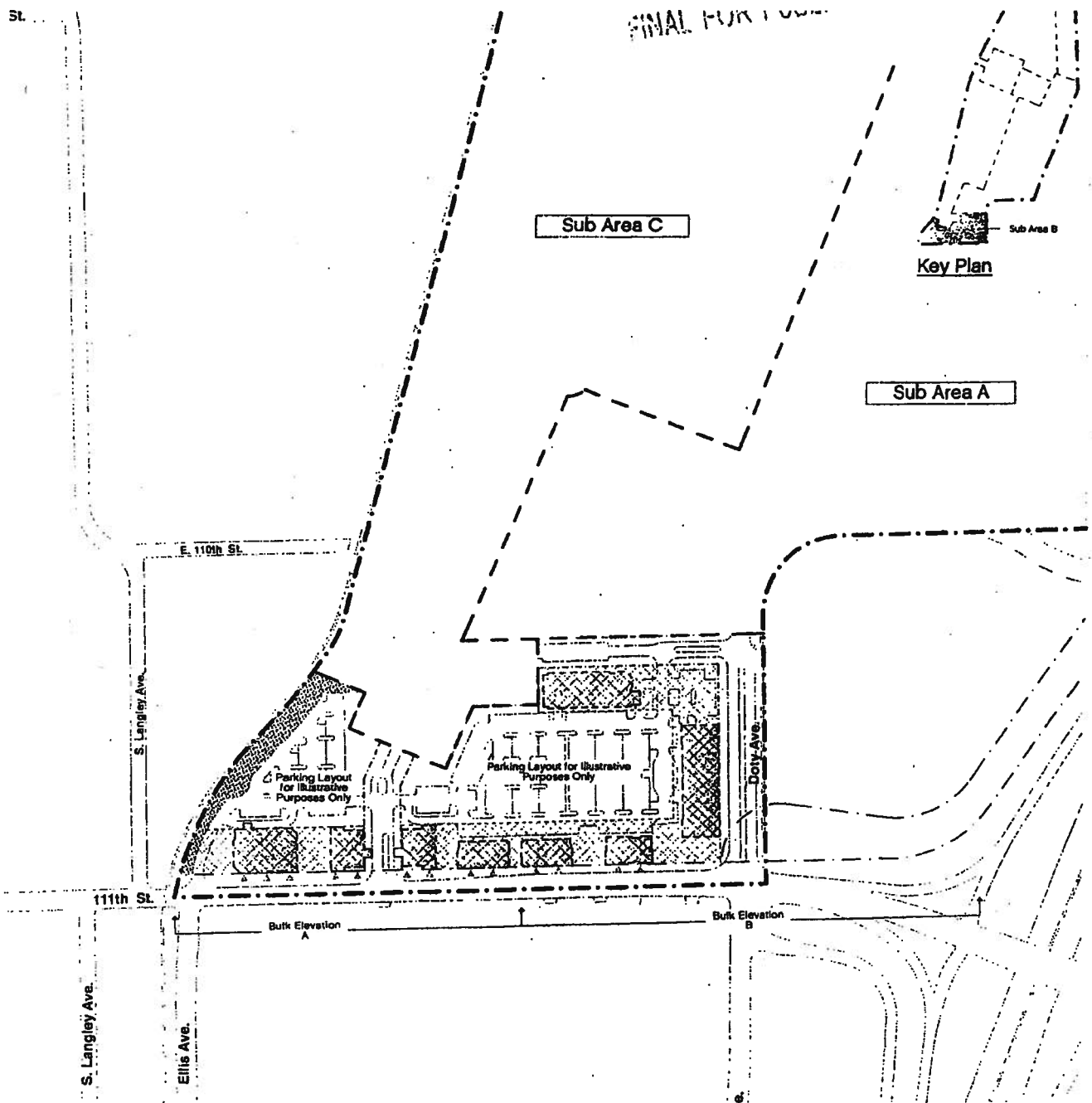
Site Plan -- Subarea A.
(Page 3 of 3)



Phasing Plan -- Subarea A.

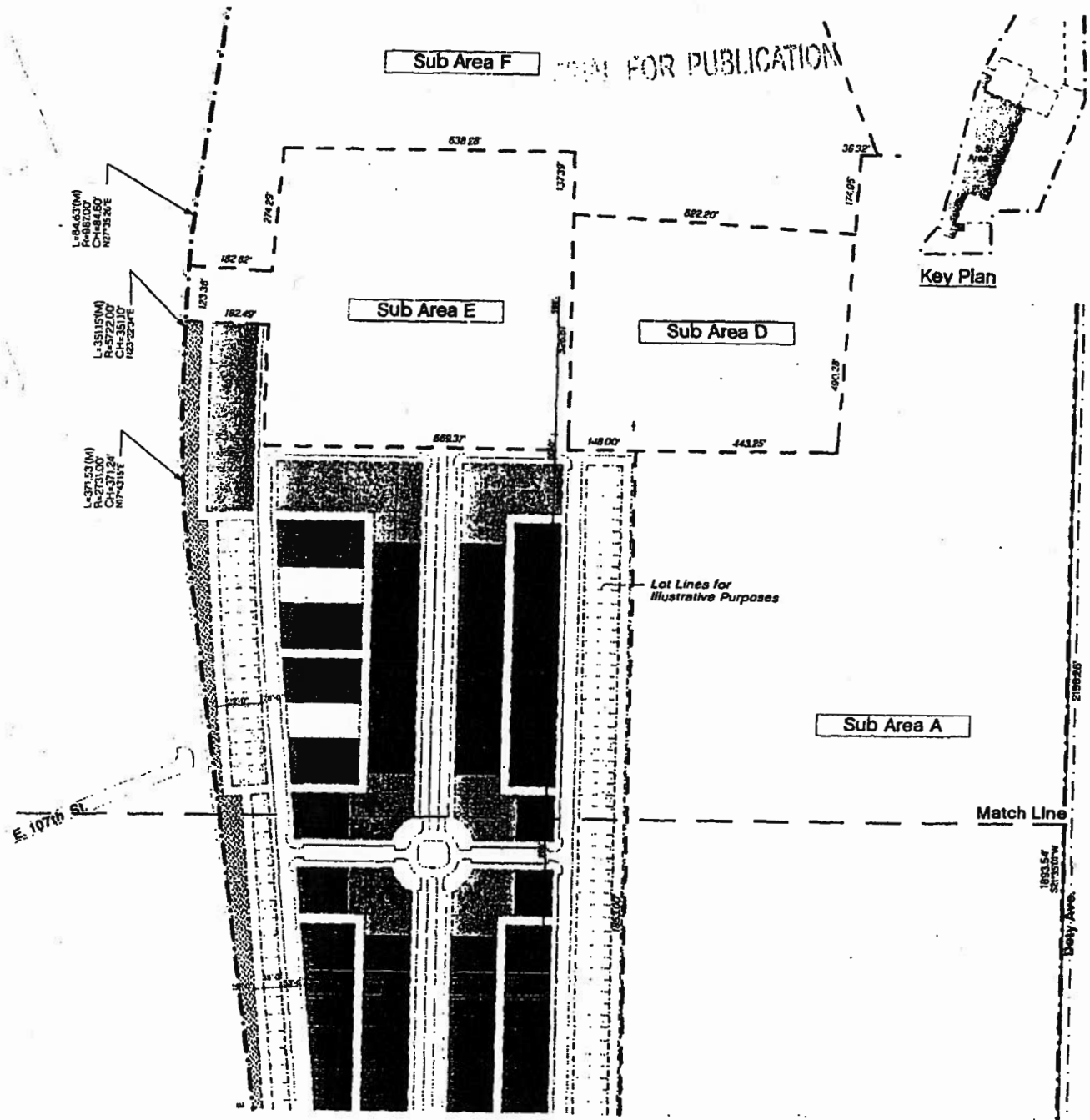


Site Plan -- Subarea B.

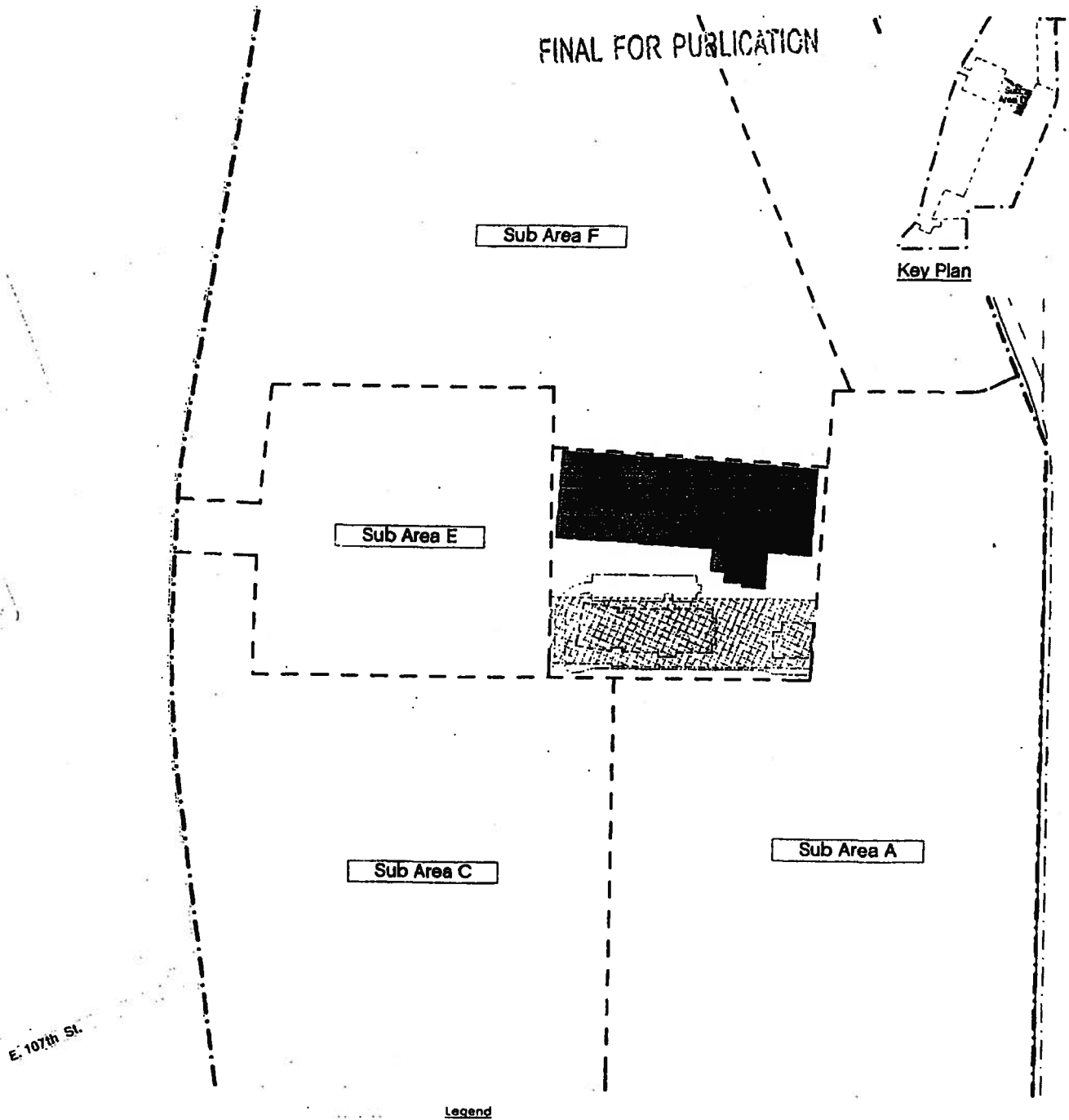


Legend

Site Plan – Subarea C.
(Page 2 of 2)

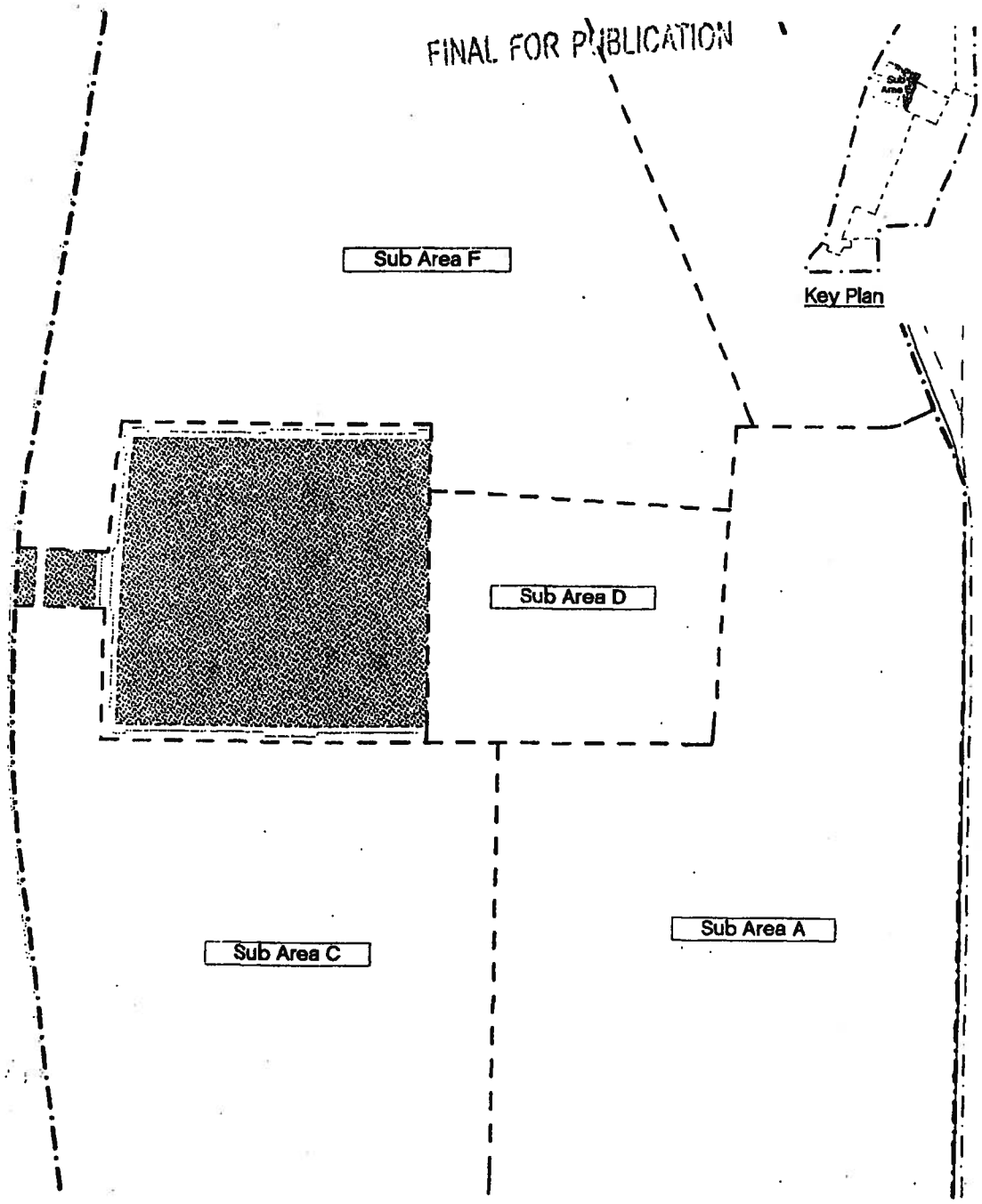


Site Plan -- Subarea D.



Site Plan -- Subarea E.

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Sub Area F

Key Plan

Sub Area D

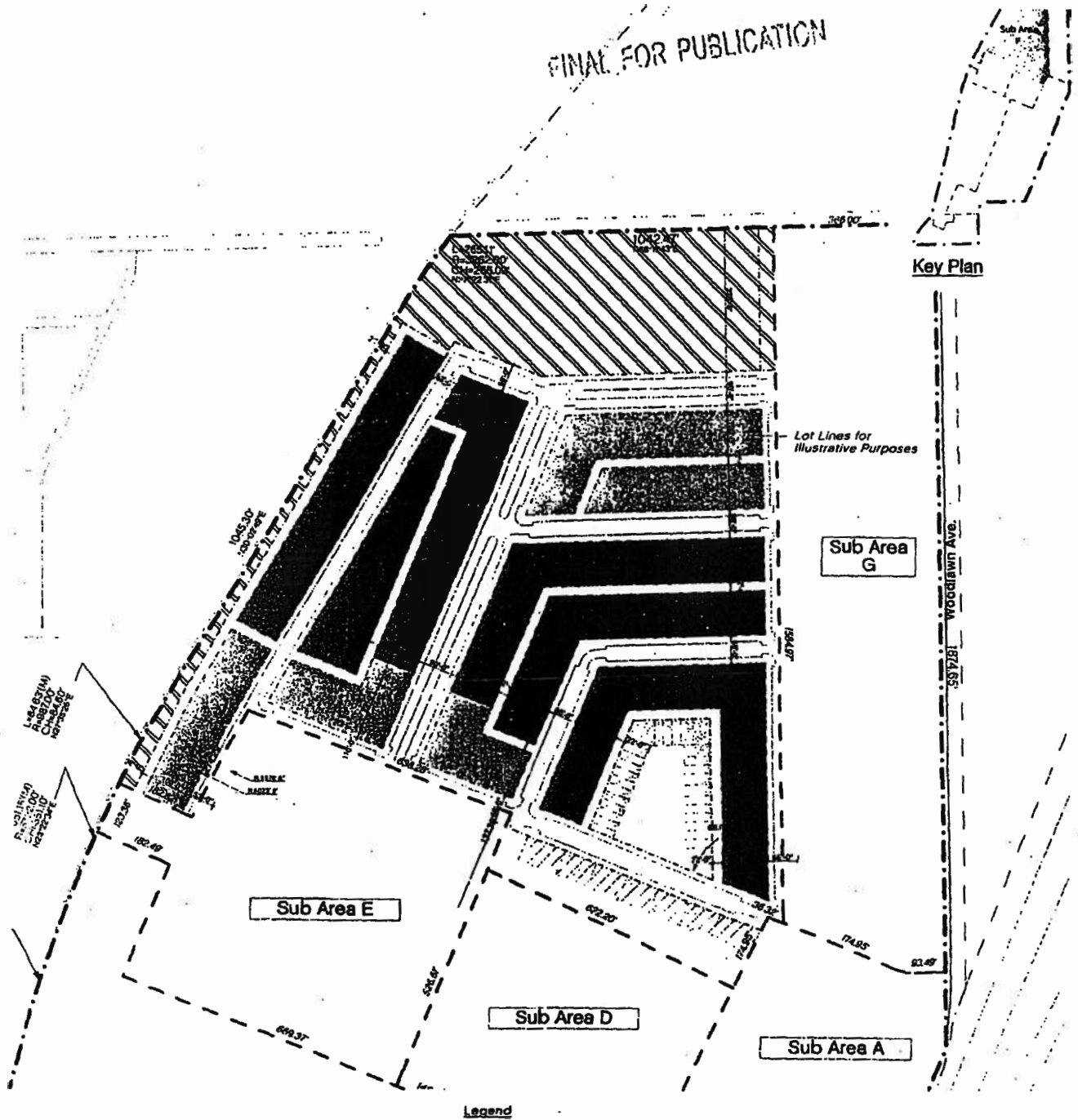
Sub Area C

Sub Area A

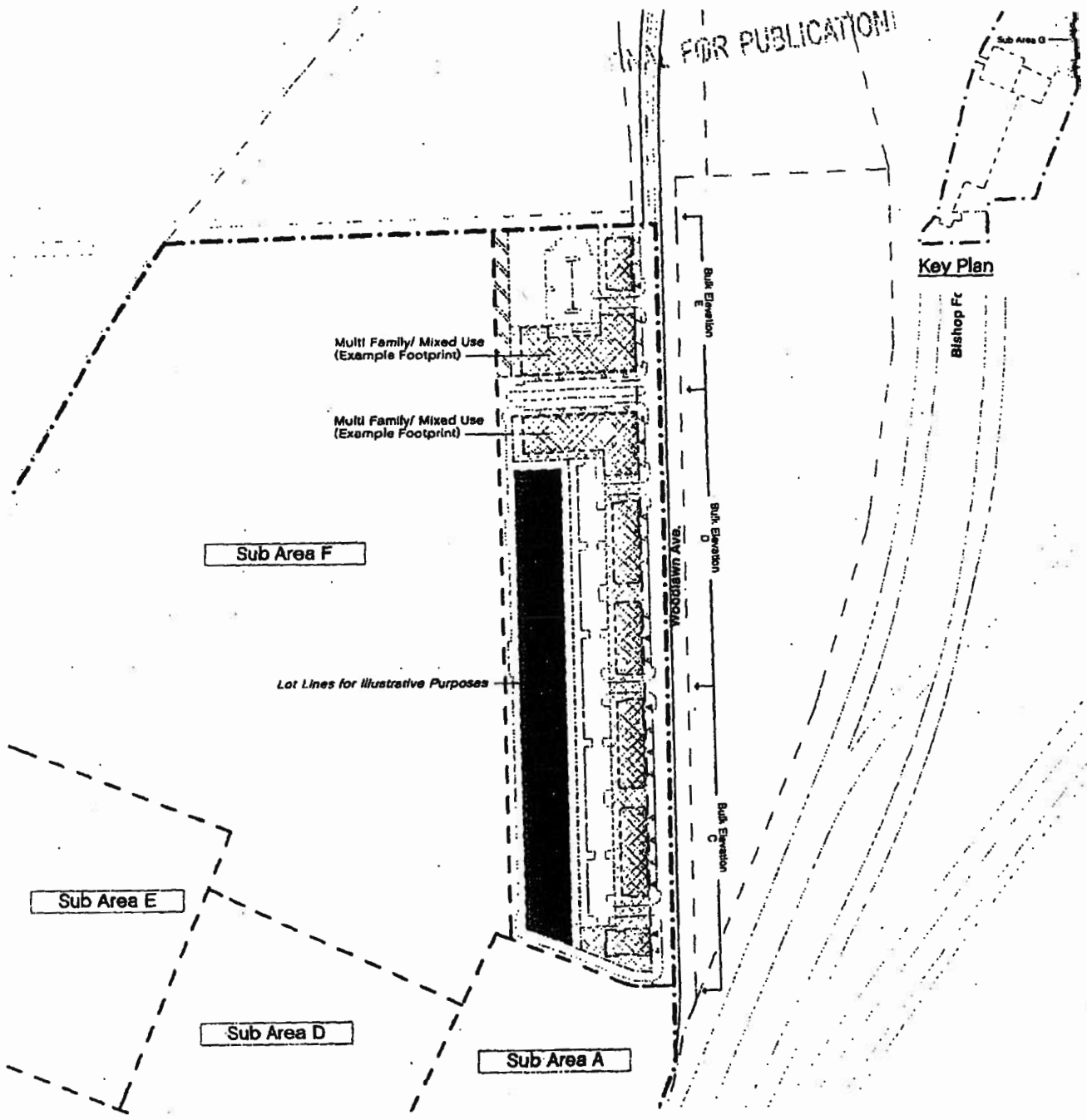
E. 107th St.

Legend

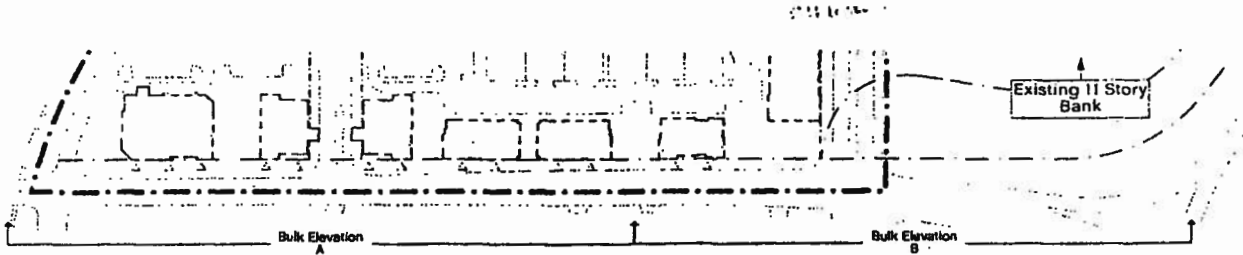
Site Plan - Subarea F.



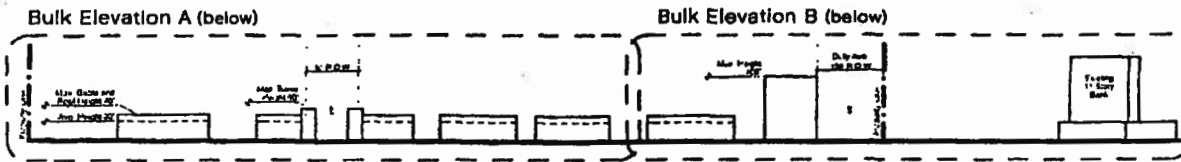
Site Plan -- Subarea G.



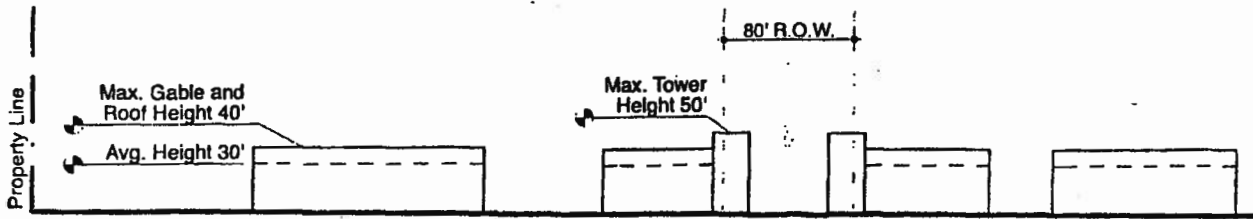
**Bulk Elevations - 111th Street -
Subarea B.**



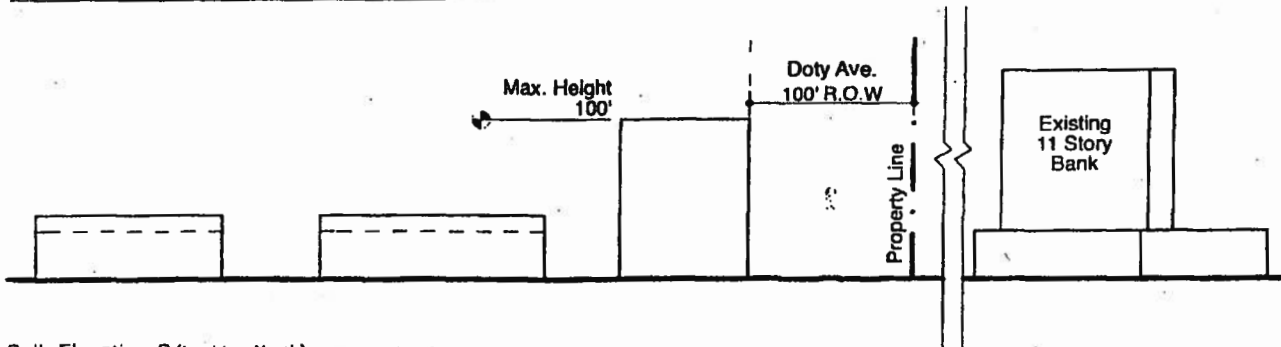
Bulk Elevation - 111th Street Key Plan scale: 1" = 250'-0"



Bulk Elevation - 111th Street (Looking North) scale: 1" = 250'-0"

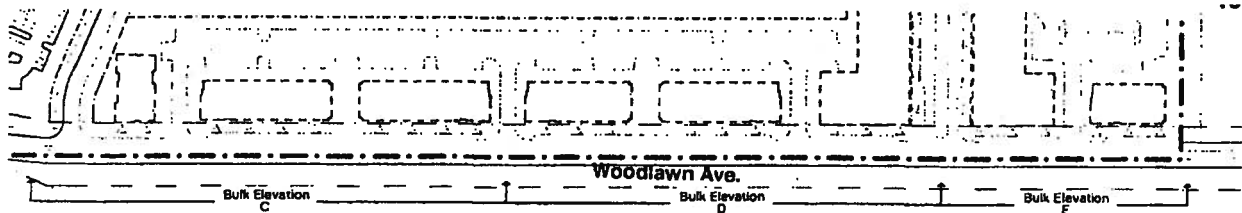


Bulk Elevation A - 111th Street (Looking North) scale: 1" = 100'-0"

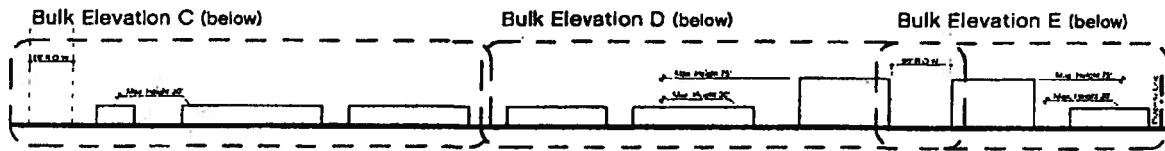


Bulk Elevation B (Looking North) scale: 1" = 100'-0"

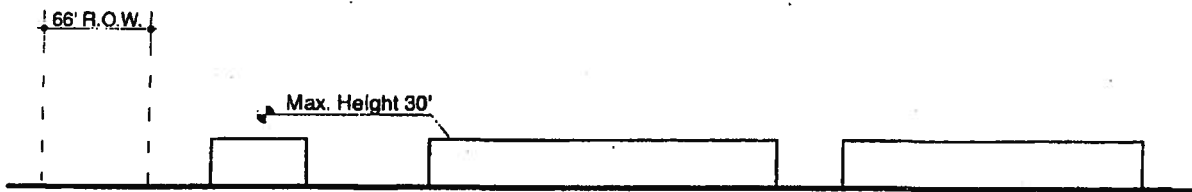
Bulk Elevations – North Woodlawn/
Doty Avenue – Subarea G.



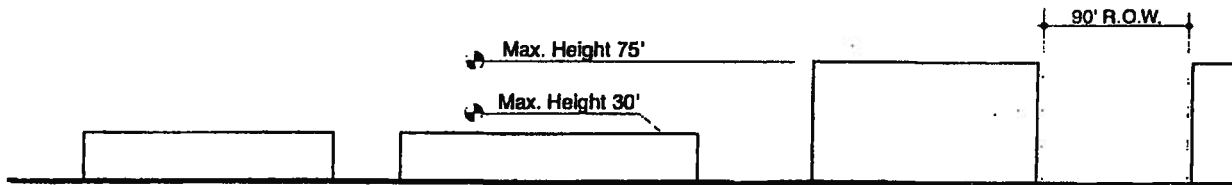
Bulk Elevation - South Woodlawn/Doty Key Plan scale: 1" = 250'-0"



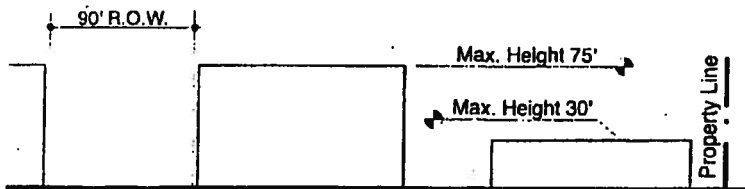
Bulk Elevation - South Woodlawn/ Doty (Looking West) scale: 1" = 250'-0"



Bulk Elevation C - South Woodlawn/ Doty (Looking West) scale: 1" = 100'-0"

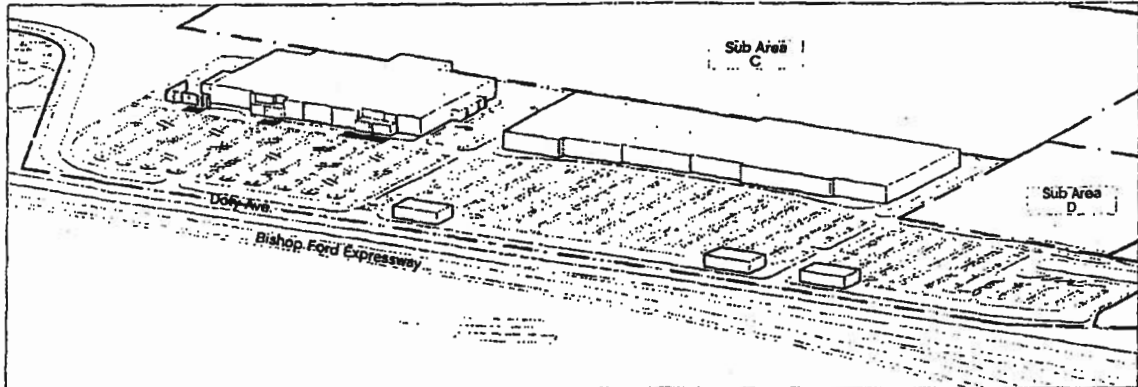


Bulk Elevation D - South Woodlawn/ Doty (Looking West) scale: 1" = 100'-0"

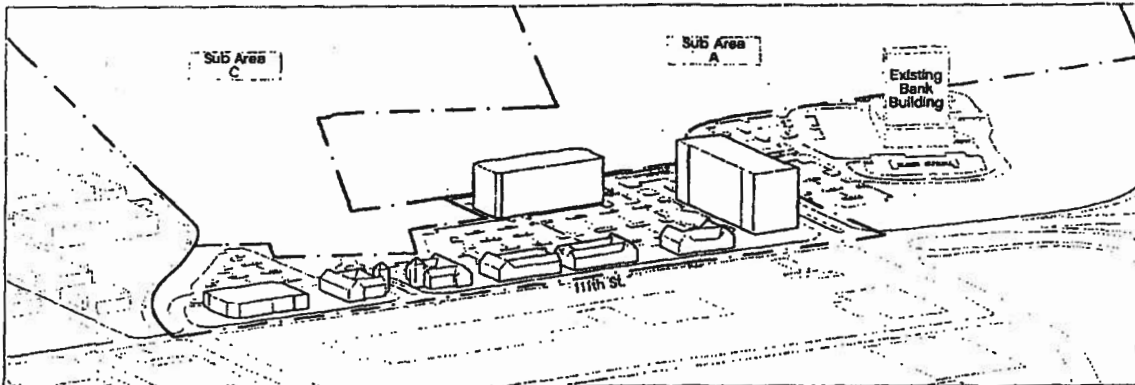


Bulk Axonometrics.

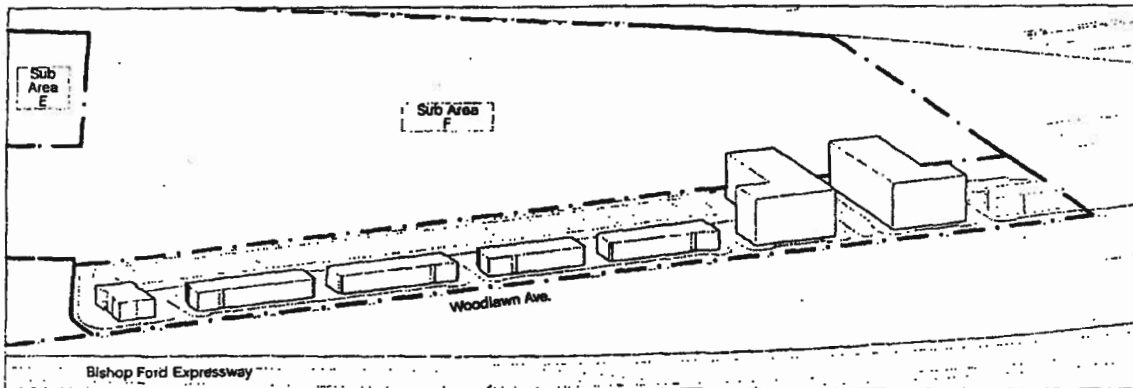
FINAL FOR PUBLICATION



 **Bulk Axonometric Sub Area A** scale: not to scale



 **Bulk Axonometric Sub Area B** scale: not to scale





Subarea A North Parcel Retail --
North And South Elevations.

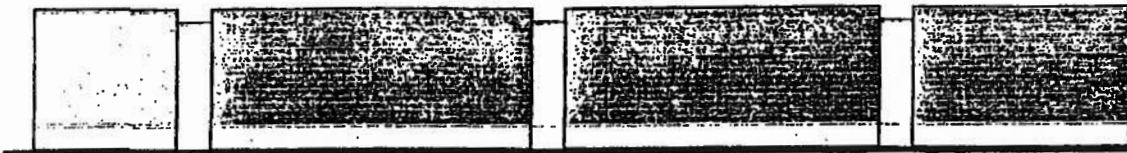


Sub Area A North Retail - South Elevation
scale: not to scale

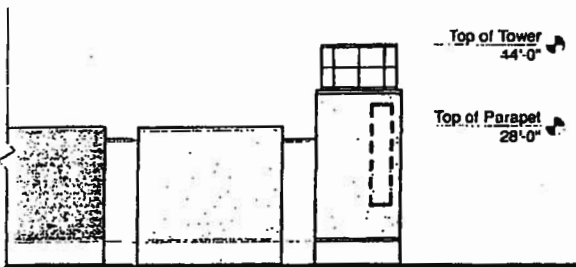


Sub Area A North Retail - North Elevation
scale: not to scale

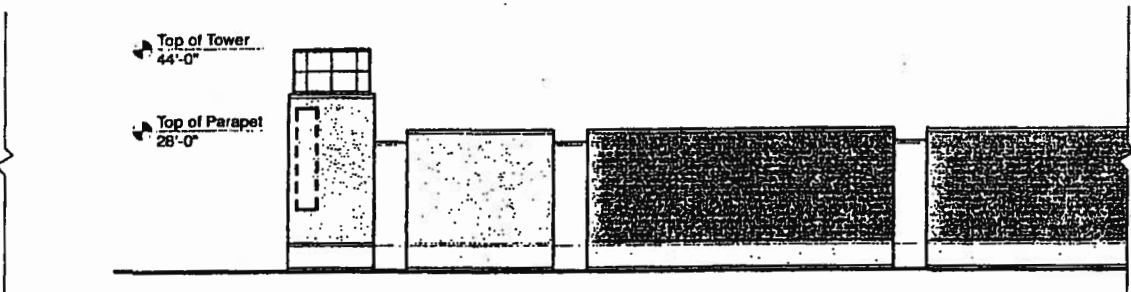
FOR PUBLICATION



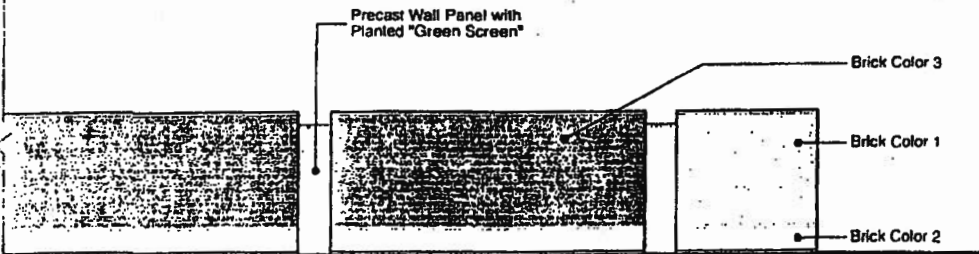
Sub Area A North Retail - South Elevation Detail scale: 1/32" = 1'-0"



Sub Area A North Retail - South Elevation Detail scale: 1/32" = 1'-0"



Sub Area A North Retail - North Elevation Detail scale: 1/32" = 1'-0"

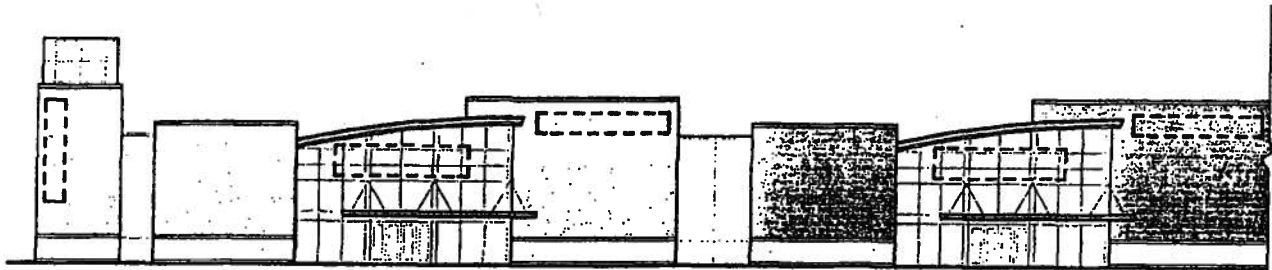


NOTE: Dashed lines represent potential signage locations.

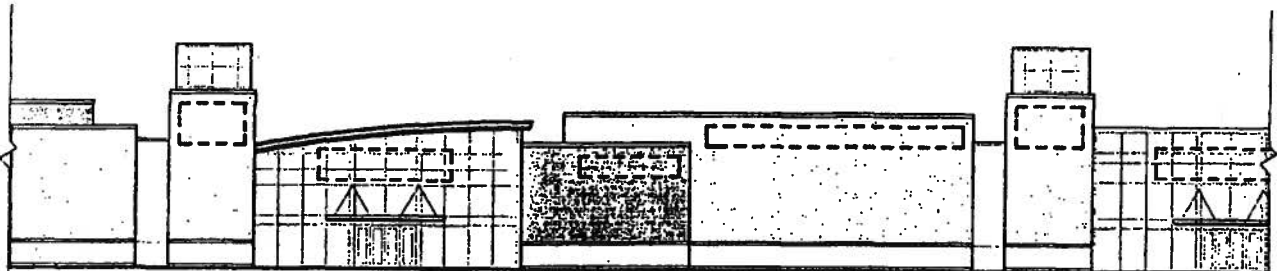
Subarea A North Parcel Retail --
East Elevation.



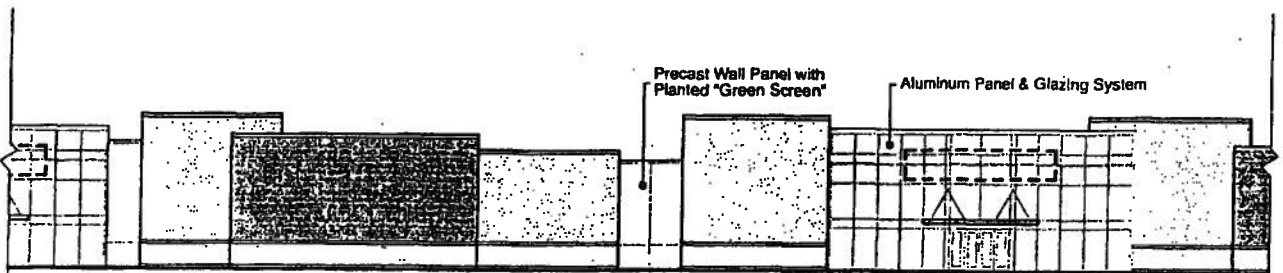
Sub Area A North Retail - East Elevation scale: not to scale



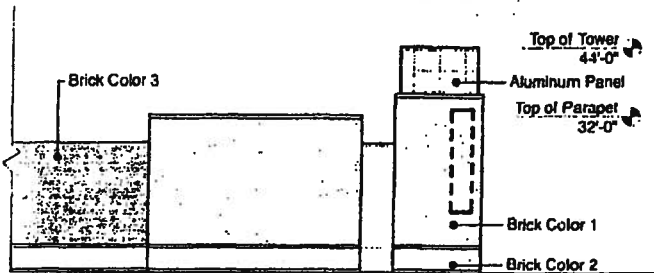
Sub Area A North Retail - East Elevation Detail scale: 1/32" = 1'-0"



Sub Area A North Retail - East Elevation Detail scale: 1/32" = 1'-0"



Sub Area A North Retail - East Elevation Detail scale: 1/32" = 1'-0"



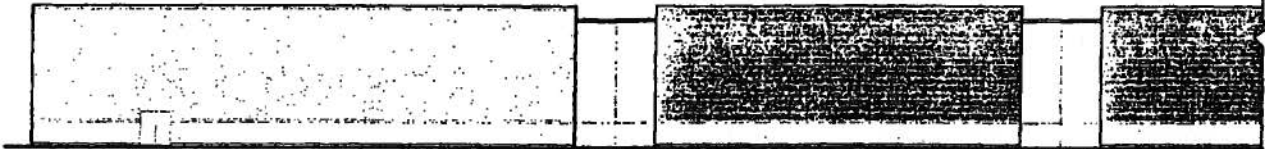
NOTE: Dashed lines represent potential signage locations.

Subarea A North Parcel Retail –
West Elevation.

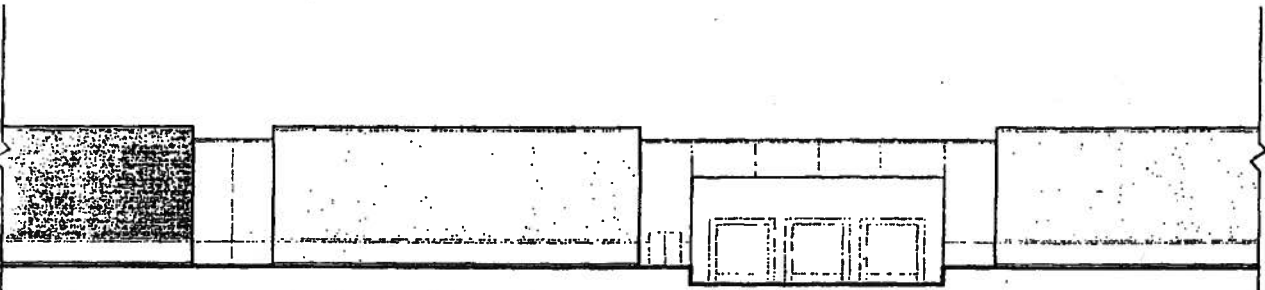


Sub Area A North Retail - West Elevation scale: not to scale

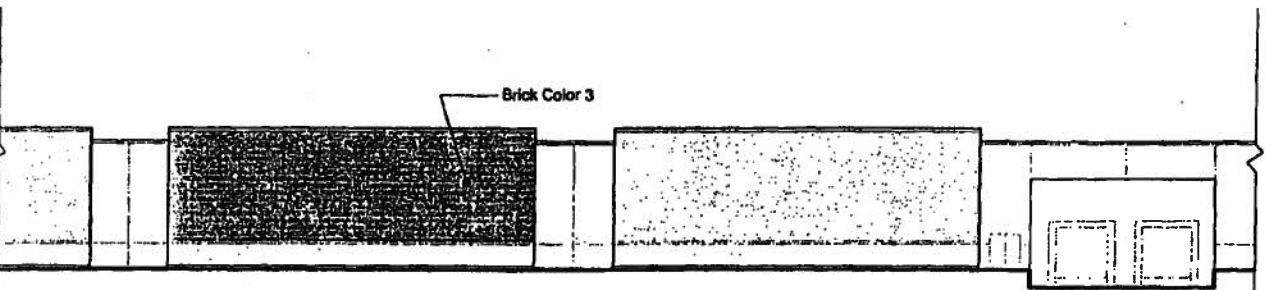
FINAL FOR PUBLICATION



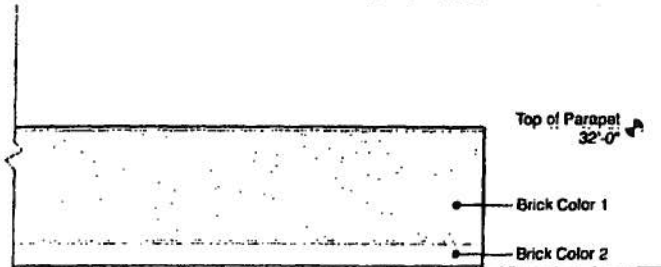
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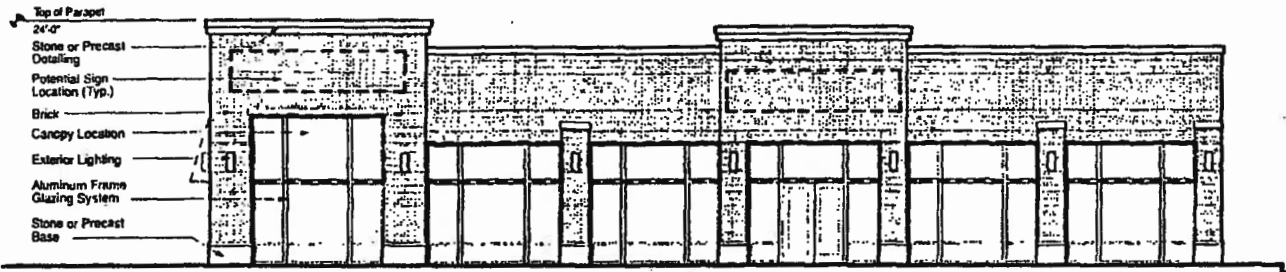
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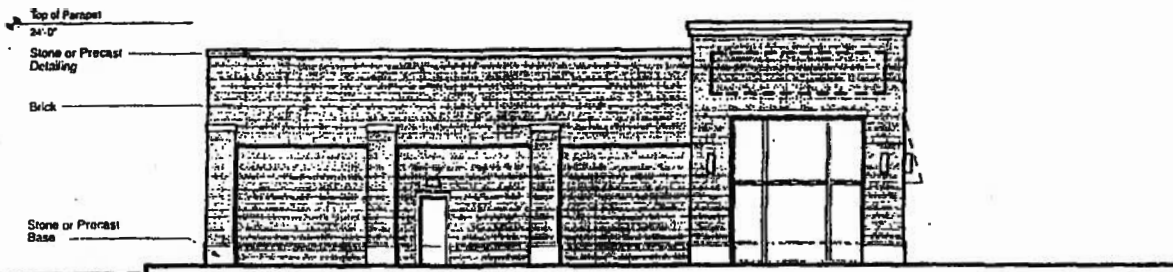
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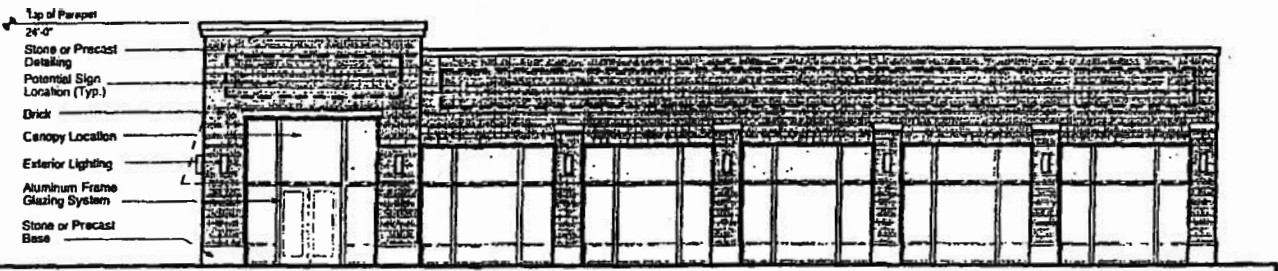
Subarea A North Parcel Retail –
Outlet Elevations.



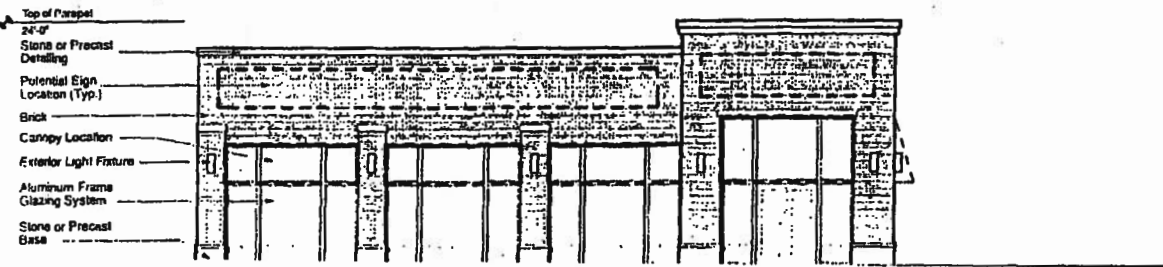
Sub Area A - Outlet - East Elevation scale: 1/16" = 1'-0"



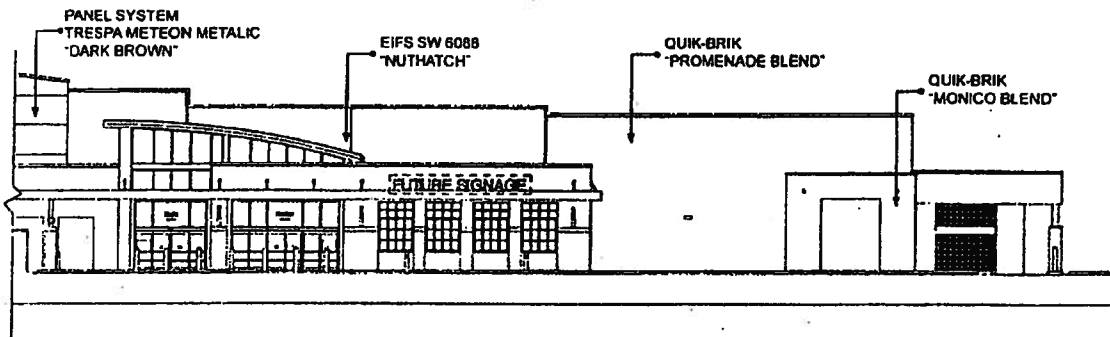
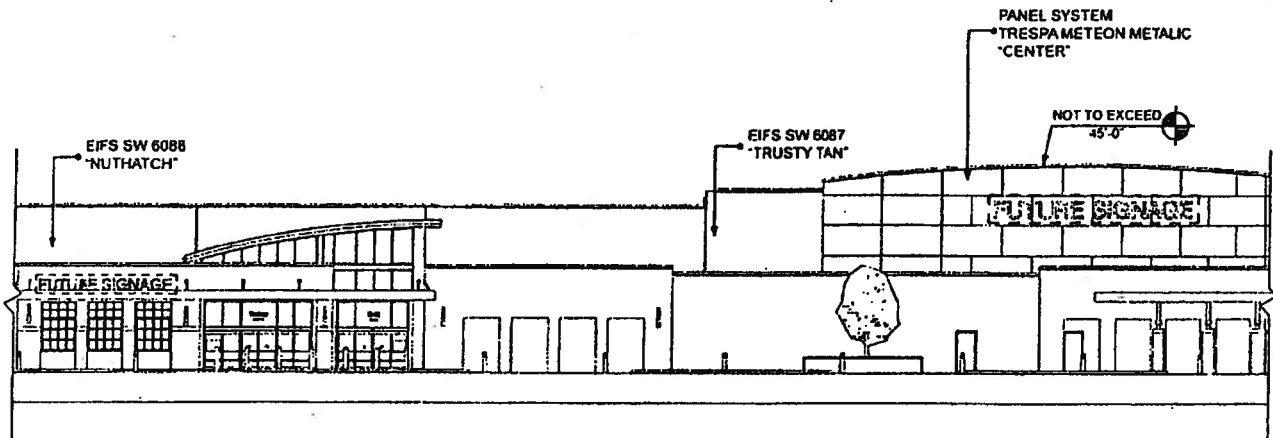
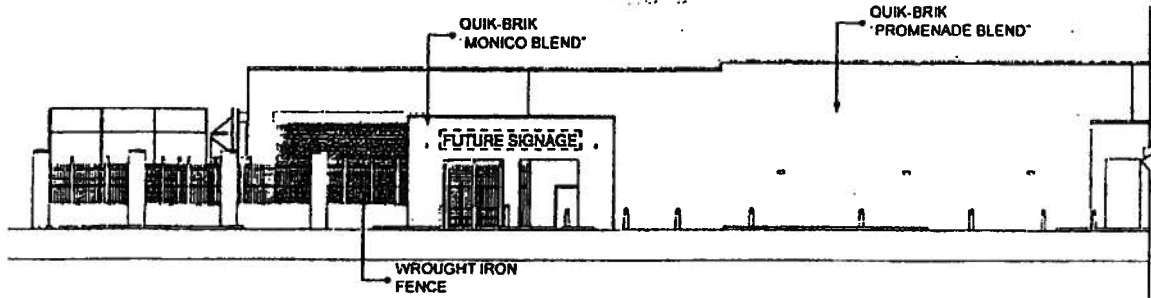
Sub Area A - Outlet - North Elevation scale: 1/16" = 1'-0"



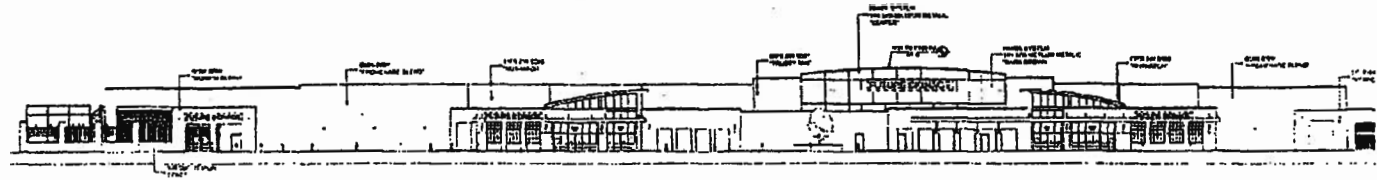
Sub Area A - Outlet - East Elevation scale: 1/16" = 1'-0"



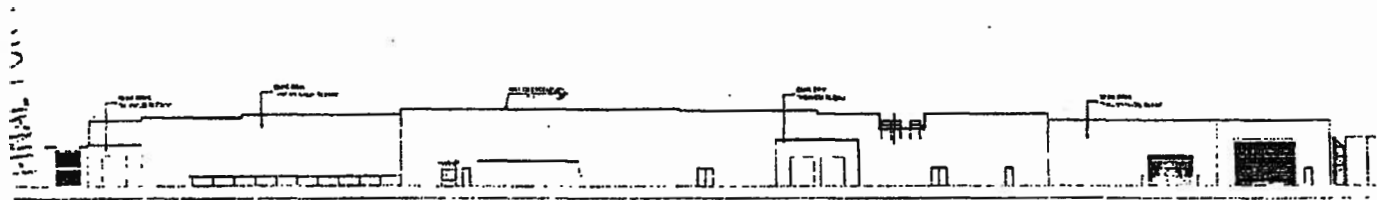
Subarea A South Parcel Retail --
Front Elevation Detail.



Subarea A South Parcel
Retail - Elevations.



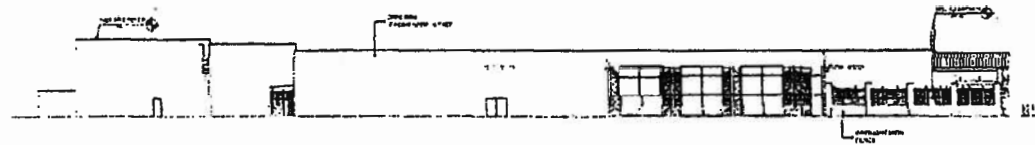
Front Elevation



Rear Elevation

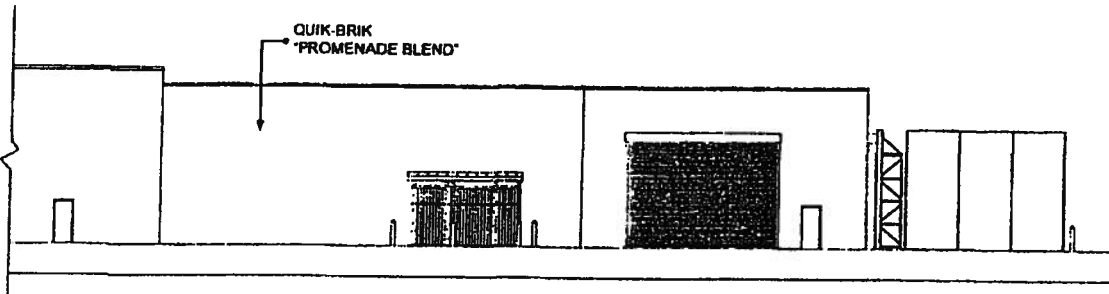
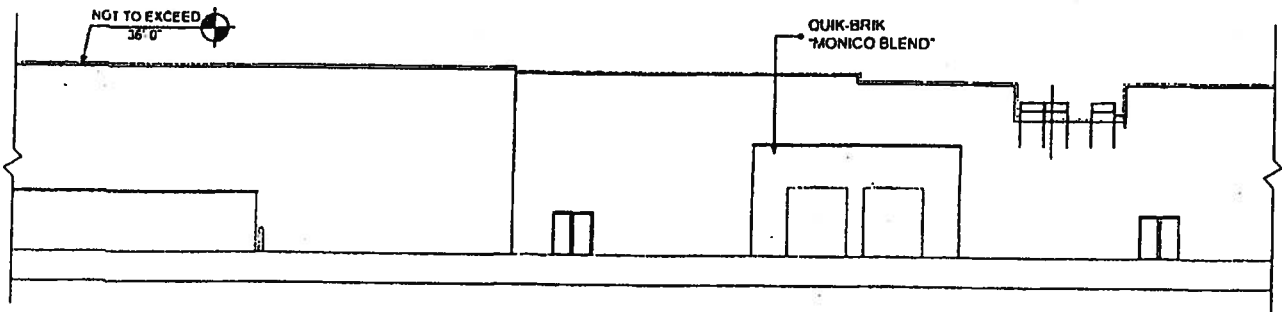
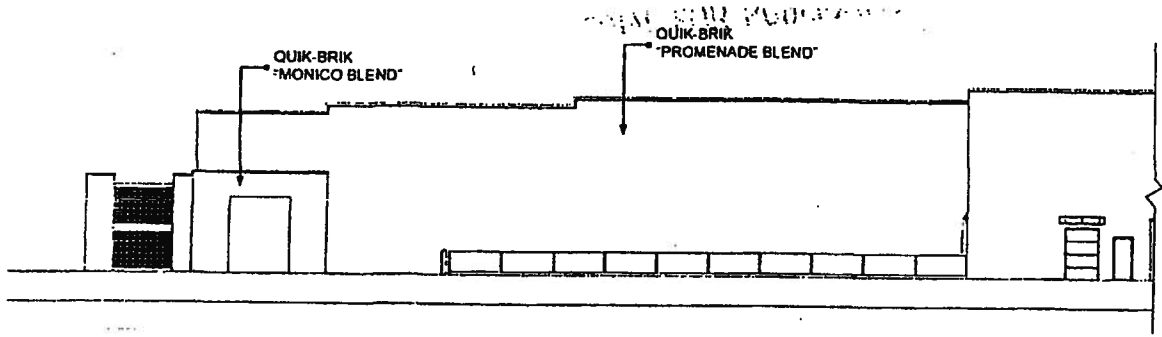


Right Elevation

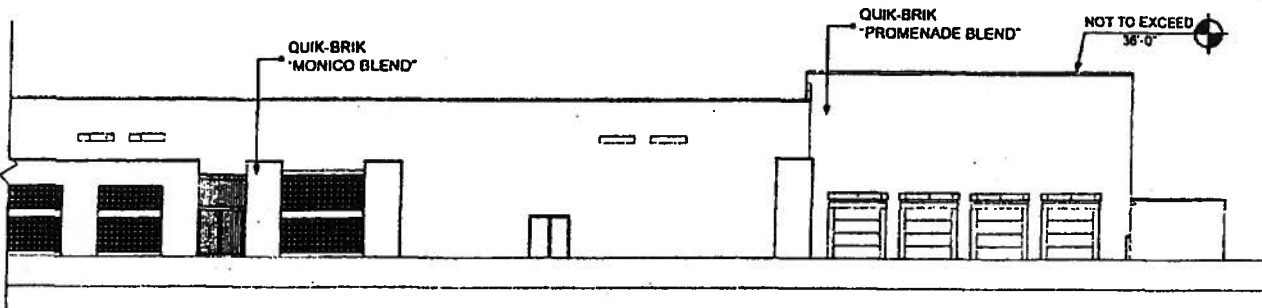
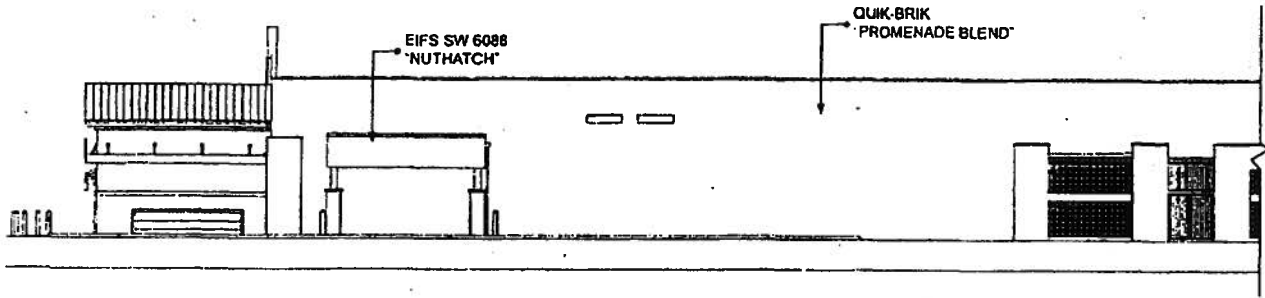


Left Elevation

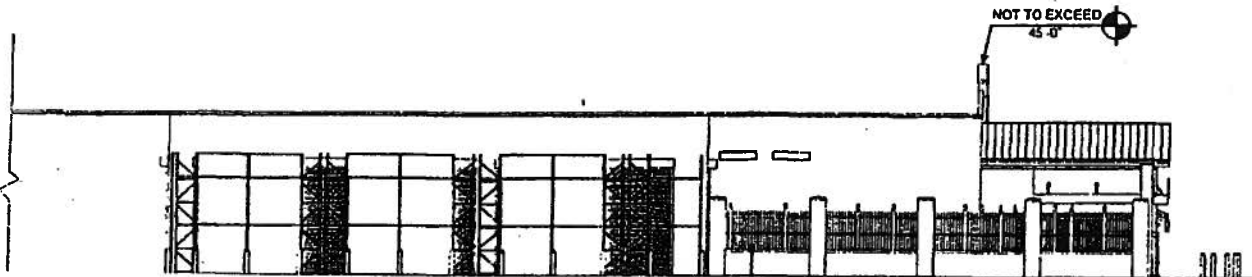
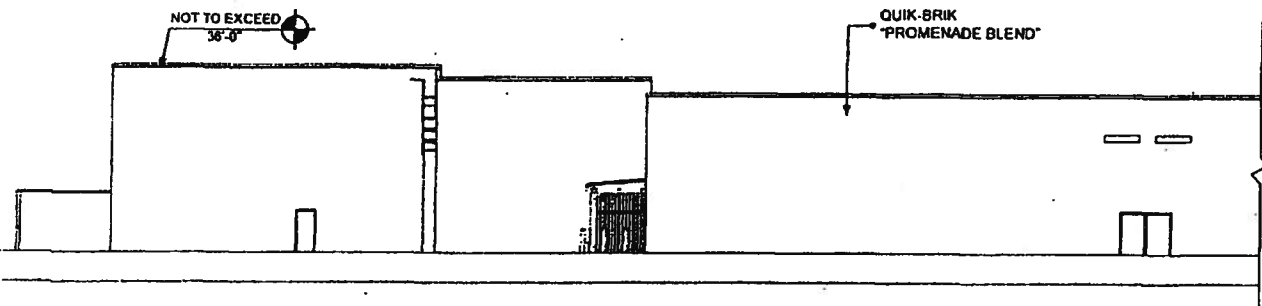
Subarea A South Parcel Retail --
Rear-Elevation Detail.



Subarea A South Parcel Retail --
Side Elevation Details.

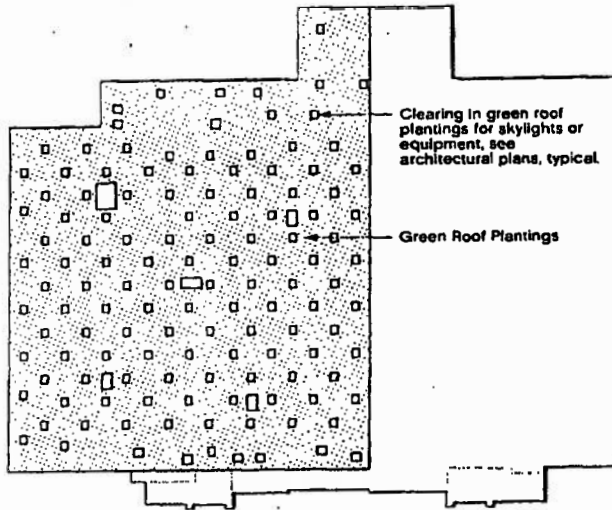


Right Elevation scale: not to scale

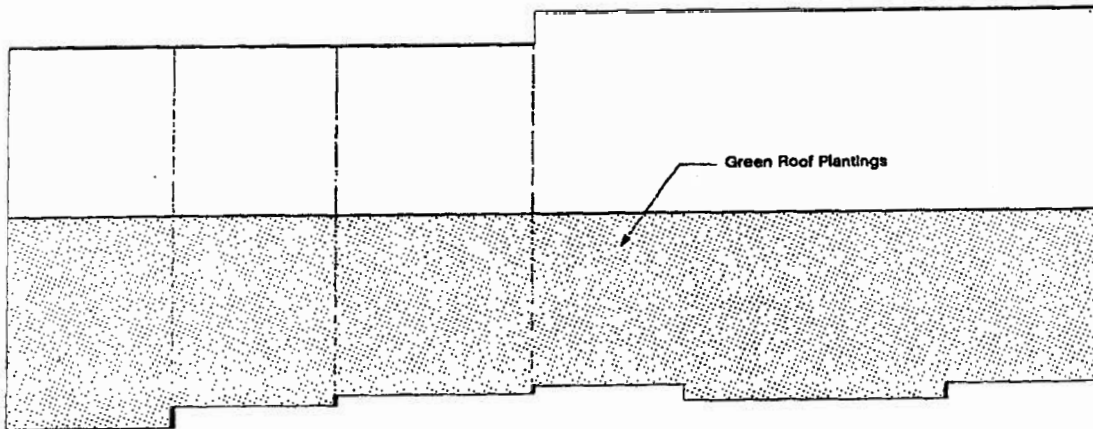


Subarea A Green Roof Plans.

FINAL FOR PUBLICATION



Green Roof Plan - Sub Area A - South Retail Parcel scale: not to scale



Green Roof Plan - Sub Area A - North Retail Parcel scale: not to scale

6/30/2010

REPORTS OF COMMITTEES

95759

Overall Subarea A Phase 1
Landscape Plan.

Ulitchcock Design Group
 1000 North Dearborn Street
 Chicago, Illinois 60610
 Tel: 312.467.1000
 Fax: 312.467.1001

Associated With
Pappageorge Haymes Partners
 100 North Dearborn Street, Suite 400
 Chicago, IL 60610

PROJECT
Pullman Development
 Chicago, IL

PROJECT NUMBER
 P-100000002

CLIENT NAME
 Pappageorge Haymes Partners

SCALE
 1/4" = 1'-0"

DATE
 6/30/2010

DESIGNED BY
 [Signature]

DATE
 6/30/2010

SCALE
 1/4" = 1'-0"

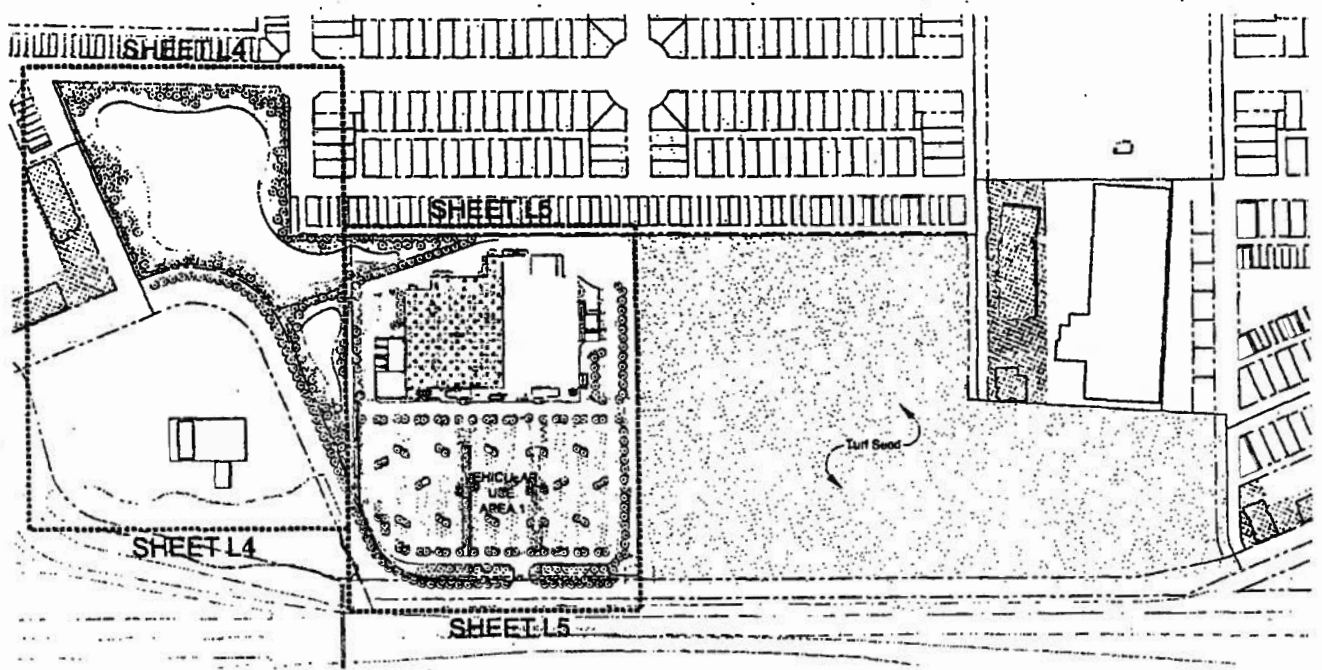
DATE
 6/30/2010

PROJECT NAME
 Overall Sub Area A Phase 1 Landscape Plan

SCALE
 1/4" = 1'-0"

DATE
 6/30/2010

PROJECT NUMBER
 L2



Subarea A Phase 1 Landscape Plan.
(Page 1 of 2)

Hitchcock Design Group
 1200 N. Dearborn Street, Suite 200
 Chicago, IL 60610
 Tel: 312.329.1100
 Fax: 312.329.1101
 www.hitchcockdesign.com

PREPARED FOR
Pappageorge Haynes Partners
 200 West Superior Street, Suite 1000
 Chicago, IL 60604

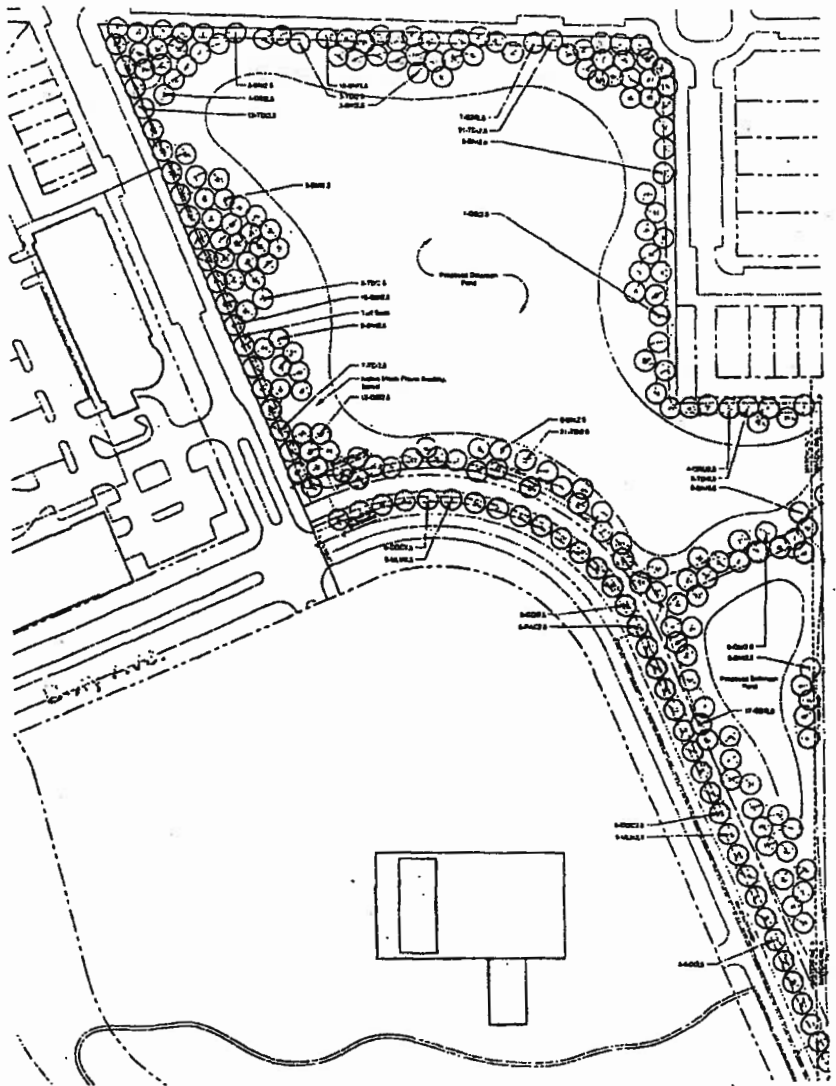
PROJECT
Pullman Development
 Chicago, IL

PROJECT NUMBER: 090800000000
 Drawing Name: _____

DATE: _____
 SCALE: _____
 DRAWN BY: _____
 CHECKED BY: _____

SHEET NO. 4
Sub Area A Phase 1 Landscape Plan

DATE: 6/30/2010
 SHEET NUMBER: 4
 OF 4



Planting Legend

- Shade Tree (2nd half ring)
- Deciduous Shrub
- Evergreen Shrub
- Turf Seed
- Native Planting
- Green Roof Planting
- Irrigation Ditch Coupler

Phase 1 Plant Materials List

Quantity	Plant Name	Plant Size	Plant Source	Plant Notes
10	Shade Tree (2nd half ring)	18"	Local	
50	Deciduous Shrub	18"	Local	
50	Evergreen Shrub	18"	Local	
1000	Turf Seed	18"	Local	
1000	Native Planting	18"	Local	
1000	Green Roof Planting	18"	Local	
10	Irrigation Ditch Coupler	18"	Local	

Subarea A Phase 1 Landscape Plan.
(Page 2 of 2)

Litchcock Design Group
 Consulting Engineers, Inc.
 201 West Jackson Street
 Chicago, Illinois 60604
 Phone: 312.427.1100
 Fax: 312.427.1101

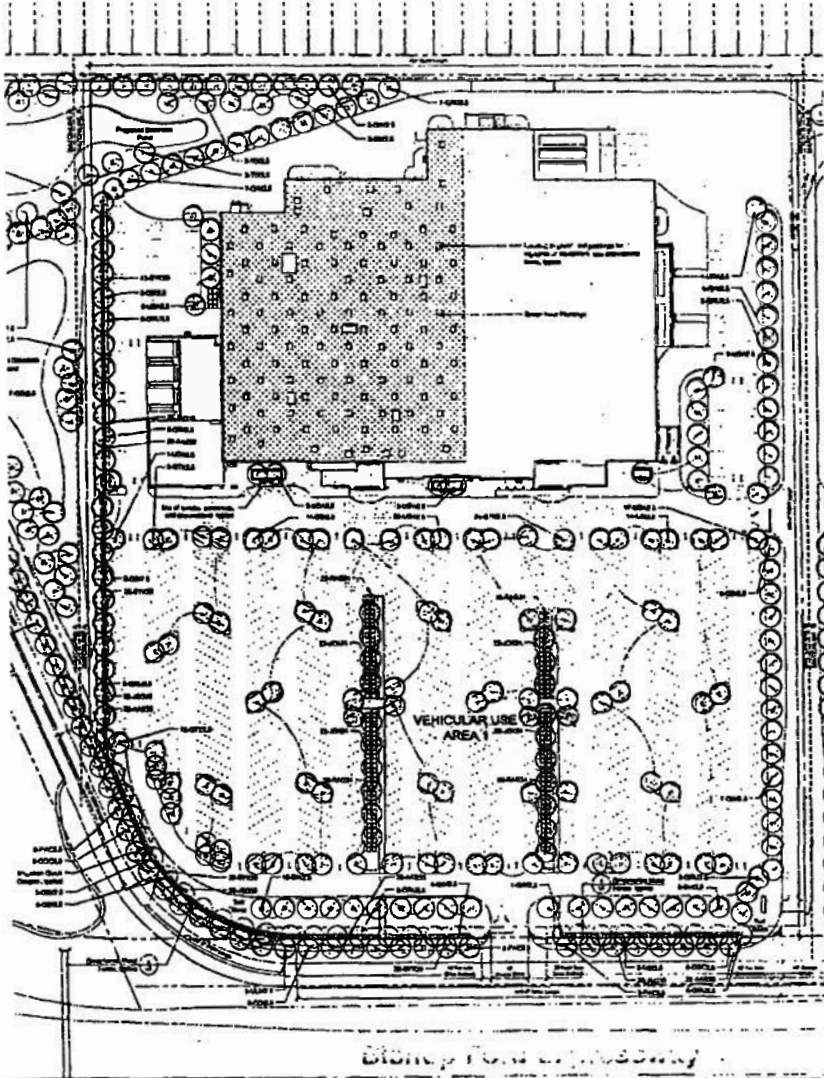
Prepared For:
 Pappageorge Haynes Partners
 200 West Madison Street
 Chicago, IL 60601

Project:
 Pullman Development
 Chicago, IL

Project Number:
 10-00000001

Scale:
 1" = 10'-0"

Sheet No.:
 L5



Planting Legend

- Single Tree (and multi ring)
- Deciduous Shrub
- Evergreen Shrub
- Turf Seed
- Native Grass (Patio Seeding)
- Green Roof Plantings
- Irrigation Check Control

Phase 1 Plant Materials List

Plant Name	Quantity	Notes
Single Tree		
Deciduous Shrub		
Evergreen Shrub		
Turf Seed		
Native Grass (Patio Seeding)		
Green Roof Plantings		
Irrigation Check Control		

Subarea A Future Phase Landscape Plan.
(Page 2 of 2)

Hatchcock Design Group
 Creative Landscapes™
 225 East Superior Avenue
 Chicago, Illinois 60611
 Phone: 312.467.1100
 Fax: 312.467.1100

PREPARED FOR
Pappageorge Haynes Partners
 600 West Madison Avenue
 Chicago, IL 60601

PROJECT
Pulman Development
 Chicago, IL

SCALE OF MAPS
 1" = 100' (Horizontal)
 1" = 20' (Vertical)

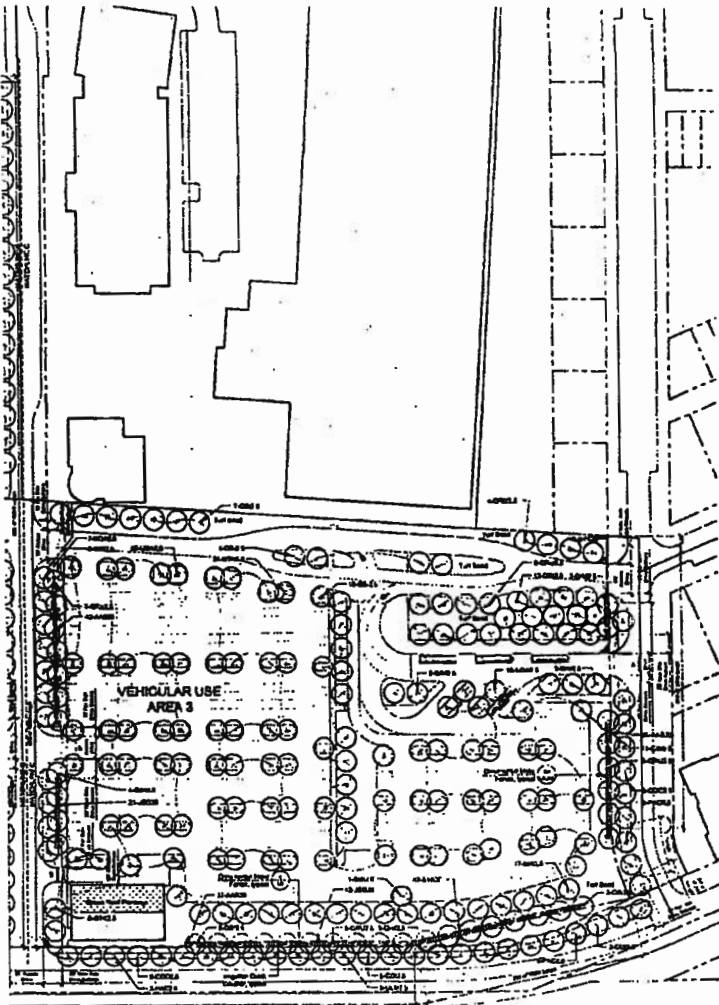
DATE
 06/23/10

REVISIONS
 01. 06/23/10

DESIGNED BY
 JDP

SCALE 1" = 100'
 1" = 20'

SCALE NUMBER
 L7



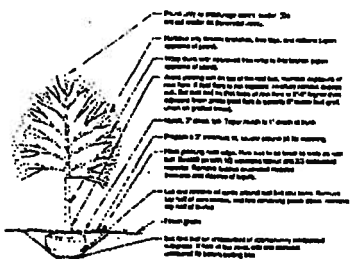
Planting Legend

- Shade Tree (and flush flag)
- Deciduous Shrub
- Evergreen Shrub
- Turf Seed
- Native Mead Prairie Sowing
- Green Roof Plantings
- Vegetation Quack Coupler

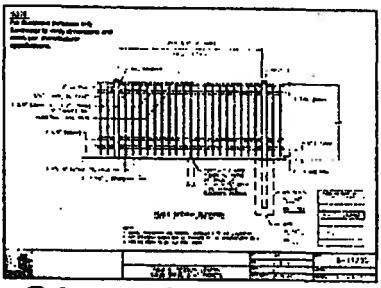
Future Phase Plant Materials List

Plant Name	Quantity	Notes
Shade Trees		
...
Deciduous Shrubs		
...
Evergreen Shrubs		
...

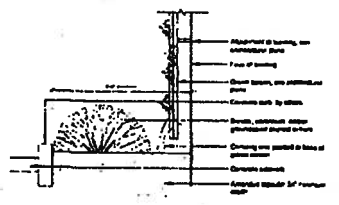
Landscape Details.



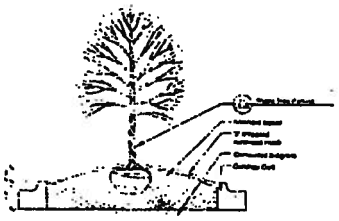
1 Deciduous Tree Planting
Scale: 1/4" = 1'-0"



4 Ornamental Metal Fence
Scale: 1/4" = 1'-0"



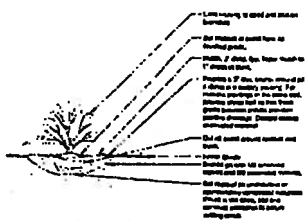
7 Green Screen Planting - Section
Scale: 1/4" = 1'-0"



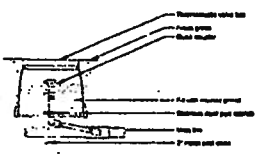
2 Shade Tree Island Planting
Scale: 1/4" = 1'-0"



5 Green Roof Planting - Extensive System
Scale: 1/4" = 1'-0"



3 Shrub Planting
Scale: 1/4" = 1'-0"



6 Irrigation Quick Coupler
Scale: 1/4" = 1'-0"

Hitchcock
Design Group
Planning Group Practice
111 West Superior Avenue
Chicago, Illinois 60606
T 312.321.1317
F 312.321.1300

PREPARED FOR
Pappageorge
Haymes
Partners
101 West Superior Avenue
Chicago, IL 60606

PROJECT
Pulman
Development
Chicago, IL

FILE: 101 HIGHLAND
PULMAN.DWG
DATE: 6/30/10

SCALE: 1/4" = 1'-0"
DATE: 6/30/10
DRAWN BY: JLM
CHECKED BY: JLM

AREA: 111
Landscape
Details

SCALE: 1/4" = 1'-0"
DATE: 6/30/10

DATE: 6/30/10
DRAWN BY: JLM
CHECKED BY: JLM
L8