

PD 1152

Table of Contents

01/22/2015 Minor Change	2
Exhibits	3
11/28/2011 Minor Change	8
12/02/2009 PD Adoption	9
Ordinance	10
Statements	10
Bulk Table	14
Exhibits	15



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 22, 2015

John J. George
Schuyler, Roche & Crisham, P.C.
Two Prudential Plaza
180 North Stetson Ave., Suite 3700
Chicago, IL 60601

**Re: Administrative Relief request for Business Planned Development No. 1152
Hyatt Hotel at 515 North Clark Street**

Dear Mr. George:


Please be advised that your request for a minor change to Business Planned Development No. 1152 ("PD 1152"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of PD1152. On November 28, 2011, administrative relief was granted to allow for hotel modifications, including an approximately 677 square foot ground floor addition along W. Grand Ave.

Your client and the owner of all of the property within PD 1152, Friedman Properties, Inc., is seeking administrative relief to allow an approximately 628 square foot ground floor addition along N. Clark St. The proposed addition, as shown on the attached Ground Floor Proposed Addition Plan and renderings, would be used as additional dining area for the Hyatt Hotel at 515 N. Clark St.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed ground floor addition will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

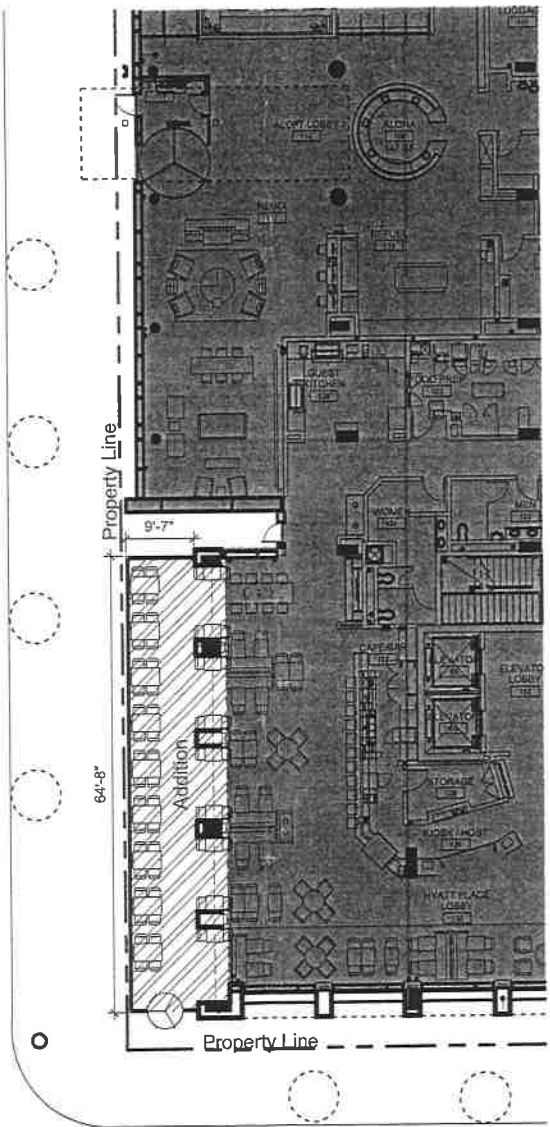
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 1152, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

C: Mike Marmo, Erik Glass, Fred Deters, Main file

CLARK ST.



ILLINOIS ST.

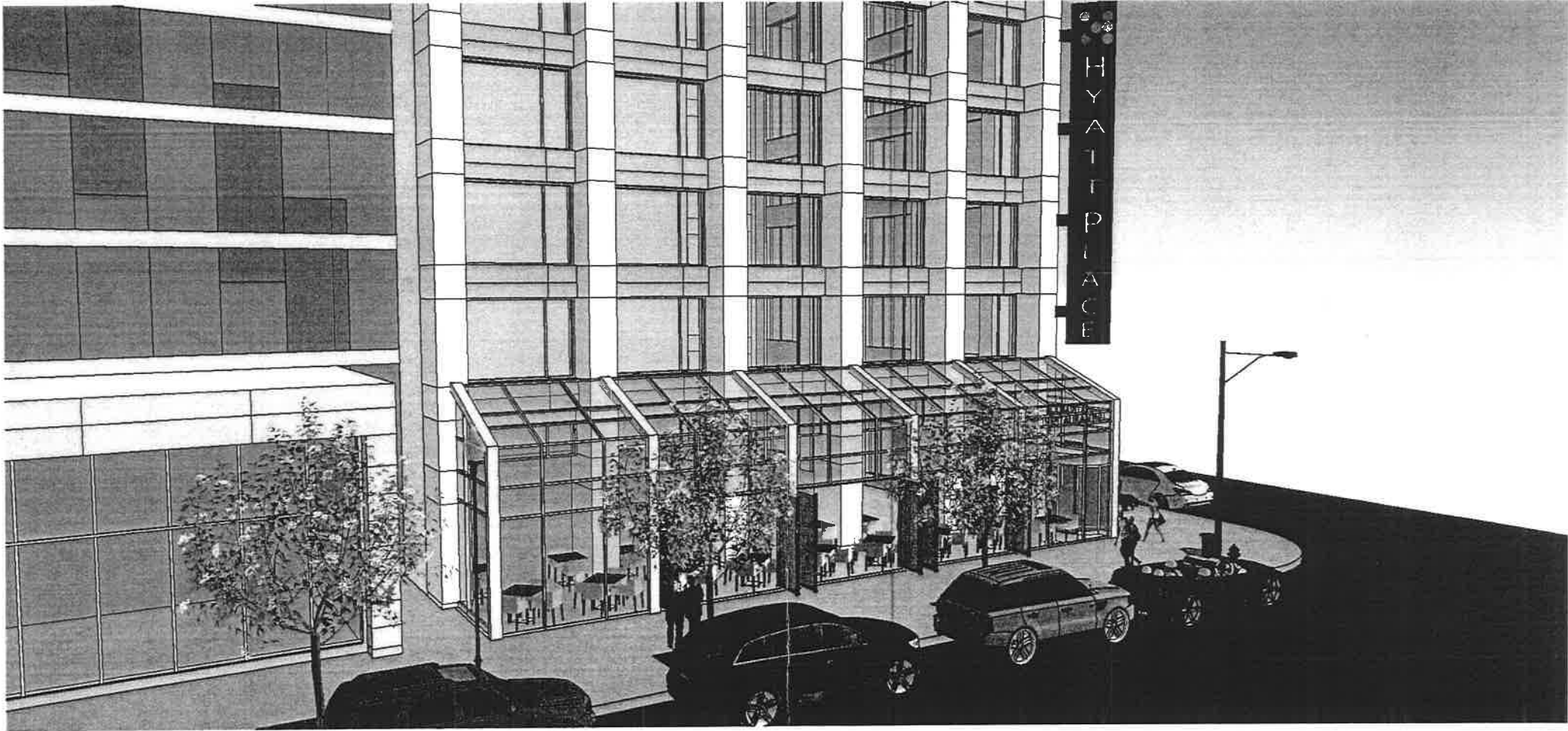
FRIEDMAN PROPERTIES
 102 South Clark Street, Suite 400 Chicago, IL 60604
 Phone: (312) 544-1100 Fax: (312) 544-1000
www.friedmanproperties.com

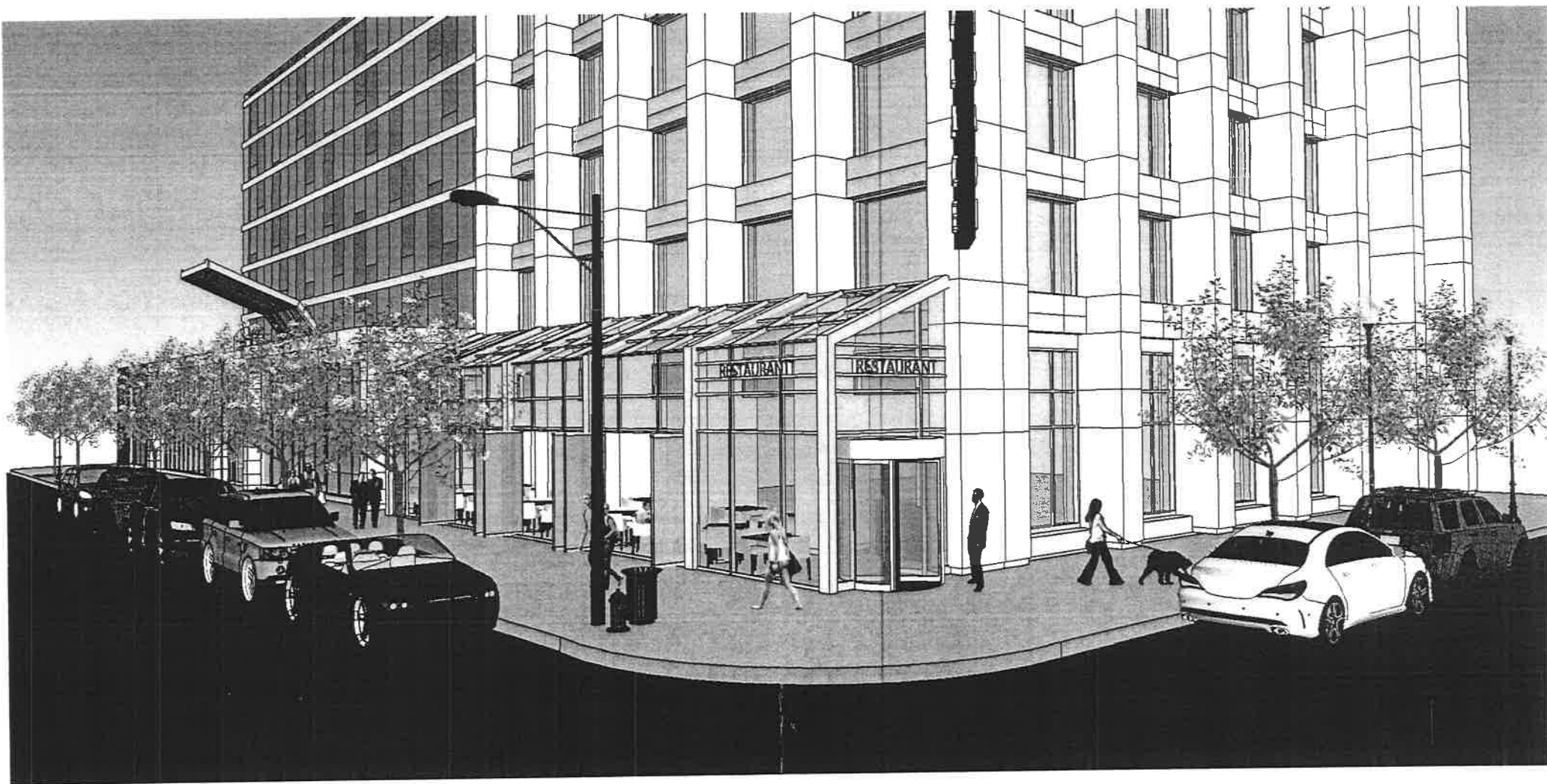
66 W Illinois Street
 Ground Floor Proposed Addition
 712 sf

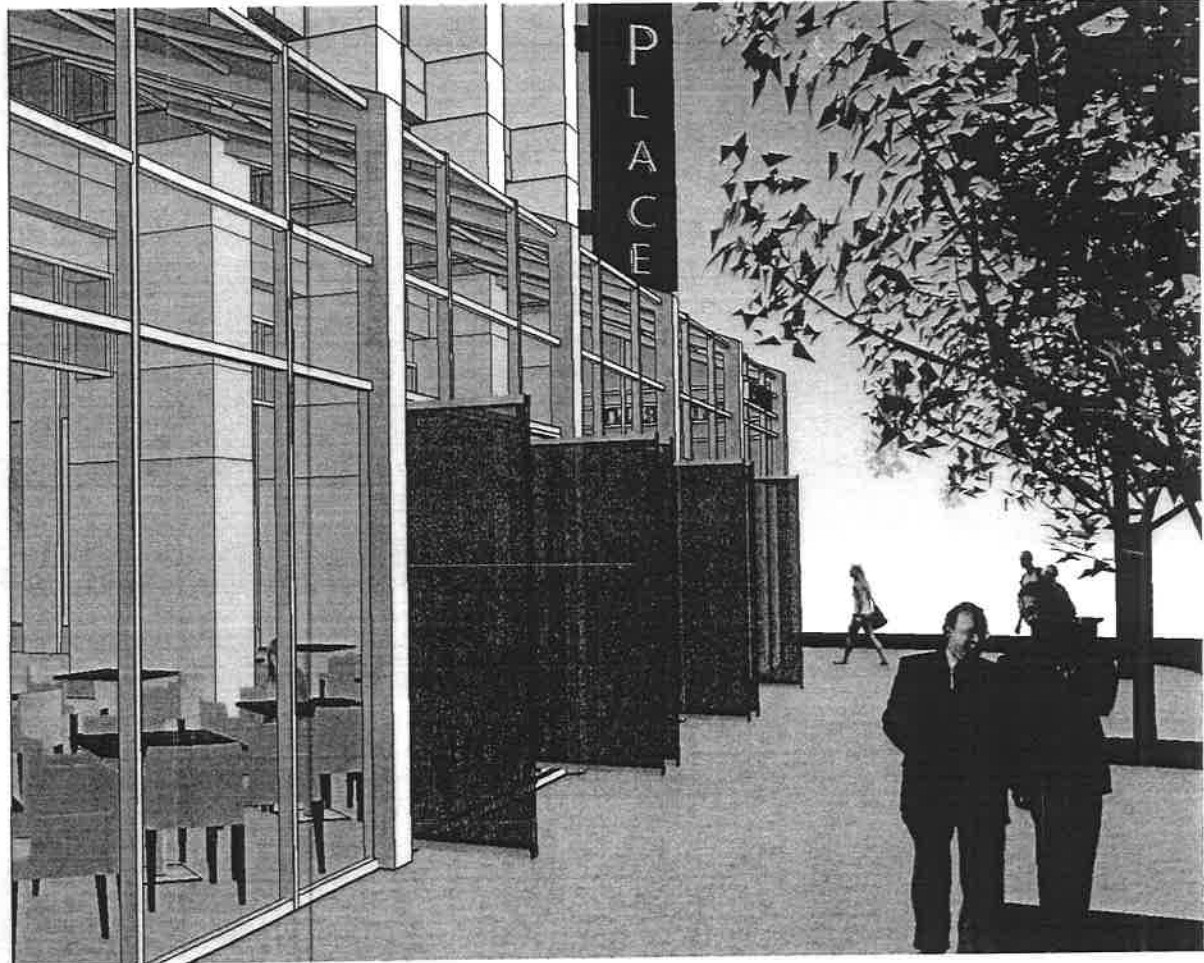
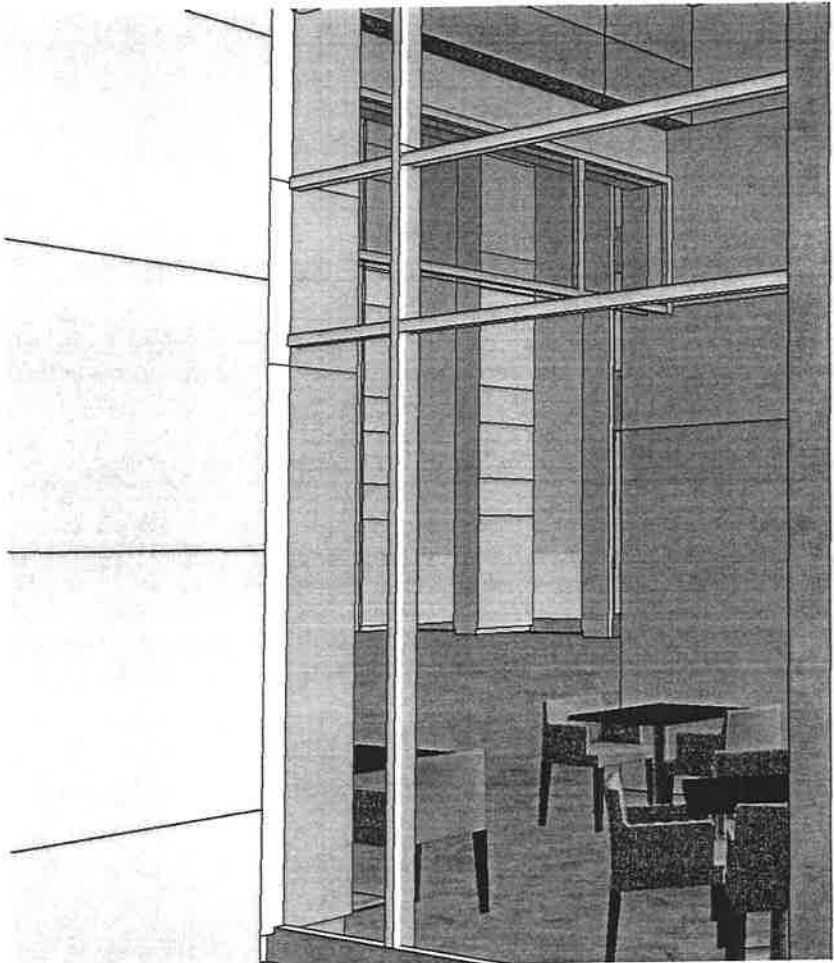
Note: Not to Scale 

All furniture including restrooms shown is for illustrative purposes only.
 Plans are for preliminary design purposes. Friedman Properties, LLC, advises that verification of existing conditions and dimensions prior to construction is required.

08/10/2014











DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT

CITY OF CHICAGO

November 28, 2011

John J. George
Daley and George, Ltd.
Two First National Plaza, Suite 400
20 South Clark Street
Chicago, IL 60603-1835

Re: Administrative Relief request for Business Planned Development No. 1152, 501-521 N. Clark Street, 67-75 West Grand Avenue, 54-74 West Illinois Street

Dear Mr. George:

Please be advised that your request for a minor change to Business Planned Development No. 1152 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.


You are requesting the following modifications:

1. The addition of approximately 677 square feet to the ground floor along W. Grand Ave. to accommodate a restaurant use.
2. The addition of four (4) new guestrooms for the Hyatt Place Hotel.
3. The relocation of the proposed 3,969 square foot mechanical room from Level 17 to Level 18 and the resulting relocation of the open air mechanical space from floor elevation 180'-6" to 189'-4".
4. The increase in the height of the parapet wall by approximately 1'-6". Revised Exhibits 17-26 reflect these proposed modifications.

With regard to your request, the Department of Housing and Economic Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not increase the number of dwelling units, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 1152, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Main file

16496

Reporting for your Committee on Zoning, for which a meeting was held on November 24, 2009, I beg leave to recommend that Your Honorable Body pass various ordinances transmitted herewith for the purpose of reclassifying particular areas.

I beg leave to recommend the passage of text amendment 430 (TAD-430) removing and inserting language in regards to currency exchanges.

I beg leave to recommend that passage of nine ordinances which were corrected and amended in their amended form. They are Application Numbers 16879, A-7480, 16702, 16817, 16809, 16828, 16541, 16937 and 16496.

Please let the record reflect that Application Numbers A-7550 and A-7560 were withdrawn.

At this time, I move for passage of the various ordinances and substitute ordinances transmitted herewith.

Respectfully submitted,

(Signed) DANIEL S. SOLIS,
Chairman.

On motion of Alderman Solis, the said proposed ordinances and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Fioretti, Dowell, Preckwinkle, Hairston, Lyle, Jackson, Harris, Beale, Pope, Balcer, Cárdenas, Olivo, Burke, Foulkes, Thompson, Thomas, Lane, Rugai, Cochran, Brookins, Muñoz, Zalewski, Dixon, Solis, Maldonado, Burnett, E. Smith, Carothers, Reboyras, Suarez, Waguespack, Mell, Austin, Colón, Rice, Mitts, Allen, Laurino, O'Connor, Doherty, Reilly, Daley, Tunney, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 50.

Nays -- None.

Alderman Carothers moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 1-F.

(As Amended)

(Application Number 16496)

(Common Address: 501 -- 521 N. Clark St./67 --
75 W. Grand Ave./54 -- 74 W. Illinois St.)

BPO 1152

[SO2009-6269]

Be It Ordained by the City Council of the City Of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the DX-7 Downtown Mixed-Use District symbols and indications as shown on Map Number 1-F in the area bounded by:

West Grand Avenue; a line 222.00 feet east of and parallel to North Clark Street; West Illinois Street; and North Clark Street,

to the description of a Business Planned Development which is hereby established in the area above-described subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business Planned Development No. 1152

Plan Of Development Statements.

1. The area delineated herein as Business Planned Development Number 1152 consists of approximately forty-eight thousand five hundred nineteen (48,519) square feet (one point eleven 1.11 acres) and is owned or controlled by the applicant, Boyce-II, L.L.C.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and if different than the applicant, then to the owners of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. An agreement among property owners, the board of directors or any property owners association, or a covenant binding property owners, may

designate the authorized party for any future amendment, modification or change. The applicant shall retain single designated control and shall be deemed to be the authorized party for any future amendment, modification or change until the applicant shall designate in writing the party or parties authorized to make application for any future amendment, modification or change.

4. This plan of development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; an Existing Land-Use Map; a Green Roof Plan; a Site Plan, a Landscape Plan; and Building Elevations dated November 19, 2009 prepared by Hellmuth, Obata & Kassabaum, Inc.. Full size sets of the Site Plan, Landscape Plan, and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area delineated herein as a "Business Planned Development": business, office, hotel and all other uses permitted in the DX-7, Downtown Mixed-Use District.
6. On-premises business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Zoning and Land Use Planning. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Zoning and Land-Use Planning. Off-premises signs are prohibited.
7. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standard for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. For purposes of calculating height, the method specified in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply with the following exception: space devoted to heating, ventilation, and air-conditioning equipment shall not be included in F.A.R. regardless of size or location.
10. The City of Chicago established a Part II Review Fee effective January 1, 2008 in the amount of Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable square feet (floor area). The Part II Review Fee will be assessed by the Department of Zoning and Land Use Planning during the actual Part II Review of the improvements. The fee as determined by the Department of Zoning and Land Use Planning staff at that time

is final and binding on the applicant and must be paid to the Department of Zoning and Land Use Planning prior to the issuance of any Part II approval for the improvements.

11. The permitted F.A.R. identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of forty-eight thousand five hundred nineteen (48,519) square feet, a base F.A.R. of 7.00 and additional Floor Area Ratio for a series of proposed amenities, as follows:

Description	F.A.R.
Base F.A.R.	7.00
Affordable Housing Bonus	<u>1.75</u>
Total F.A.R.	8.75

The calculation of the additional floor area ratio ("F.A.R.") obtained through the series of proposed amenities is as follows:

Affordable Housing

Bonus F.A.R. = $7 \times 0.25 = 1.75$ F.A.R.

$1.75 \times 48,519$ square feet = 84,908.25 square feet

$84,908.25$ square feet \times \$43.00 per square foot \times 0.80 = \$2,920,843.80 contribution

The applicant, its successors or assigns, shall contribute the amount of Two Million Nine Hundred Twenty Thousand Eight Hundred Forty-three and 80/100 Dollars (\$2,920,843.80) to the City of Chicago's Affordable Housing Opportunity Fund prior to the issuance of the "Part II Approval" for the construction of the foundation of the building contemplated in this planned development.

12. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. The internal private drive (the "Internal Drive") shall be designed, installed and maintained at the sole cost and responsibility of the applicant in accordance with the Internal Drive Site Plan and the Internal Drive Elevations. The Internal Drive will function as a commercial valet loading zone for the hotel use. Although the temporary utilization of the Clark Street

frontage for loading and unloading of hotel guests from taxicabs is anticipated, the Internal Drive is intended to provide the primary means for the loading and unloading of private passenger automobiles. The applicant shall provide for the personnel necessary to direct private passenger automobiles from Clark Street to the Internal Drive and to facilitate the efficient operation of valet service within the Internal Drive.

13. The applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
14. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Zoning and Land Use Planning upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Zoning and Land Use Planning that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Zoning and Land Use Planning shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
15. The applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. The applicant shall use best and reasonable efforts to design, construct and maintain the buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System.
16. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be granted by the Department of Buildings until the Director of M.O.P.D. has approved detailed construction drawings for the building or improvement proposed to be constructed pursuant to the permit.
17. Unless substantial construction of the improvements contemplated in this planned development has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the pre-existing DX-7, Downtown Mixed-Use District designation.

[Exhibits 1 -- 16 and Chicago Builds Green Form referred to in these Planned of Development Statements printed on pages 80800 through 80818 of this *Journal*.]

Bulk Regulation and Data Table referred to in these Plan of Development Statements reads as follows:

Business Planned Development No. _____.

Bulk Regulations And Data Table.

Net Site Area		Maximum F.A.R.
Square Feet 48,519	Acres 1.1138	8.75

Gross Site Area of 75,120 square feet (1.7245 acres) = Net Site Area of 48,519 square feet (1.1138 acres) plus area in Adjoining Rights-of-Way of 26,601 square feet (0.6107 acre)

Maximum Floor Area Ratio	8.75 F.A.R.*
Base F.A.R.	7.00
Affordable Housing Bonus	1.75
TOTAL F.A.R.	8.75
Maximum Percent of Site Coverage:	Per Site Plan
Minimum Required Building Setbacks:	Per Site Plan
Maximum Building Height (to top of Mechanical Penthouse):	200 feet
Minimum Number of Accessory Parking Spaces:	None
Minimum Number of Loading Spaces	2 at 10 feet x 50 feet

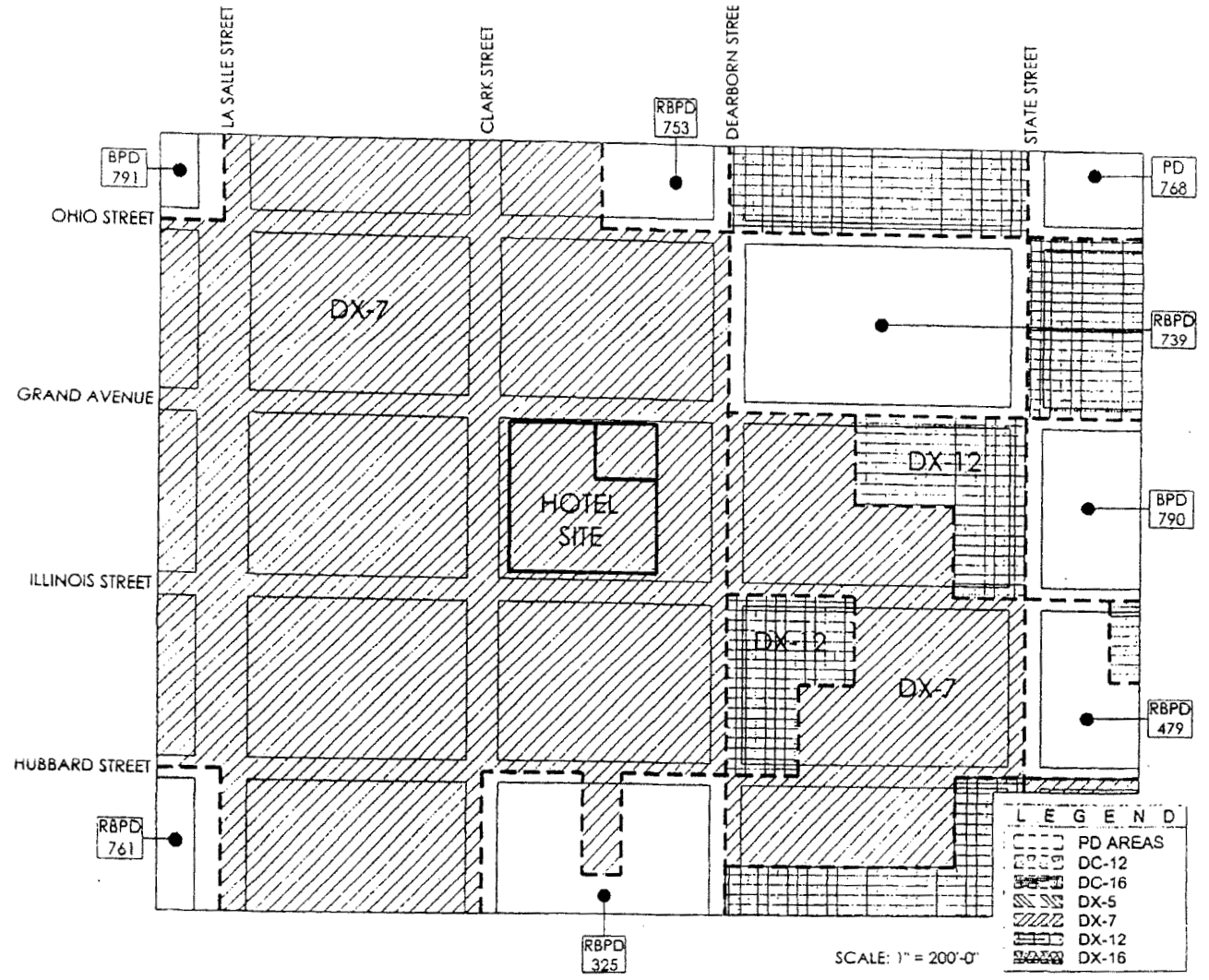
* Two buildings currently exist on the site:

57 West Grand Avenue (81,271 F.A.R. floor area) -- to be retained

501 North Clark Street (12,246 F.A.R. floor area) -- to be demolished.

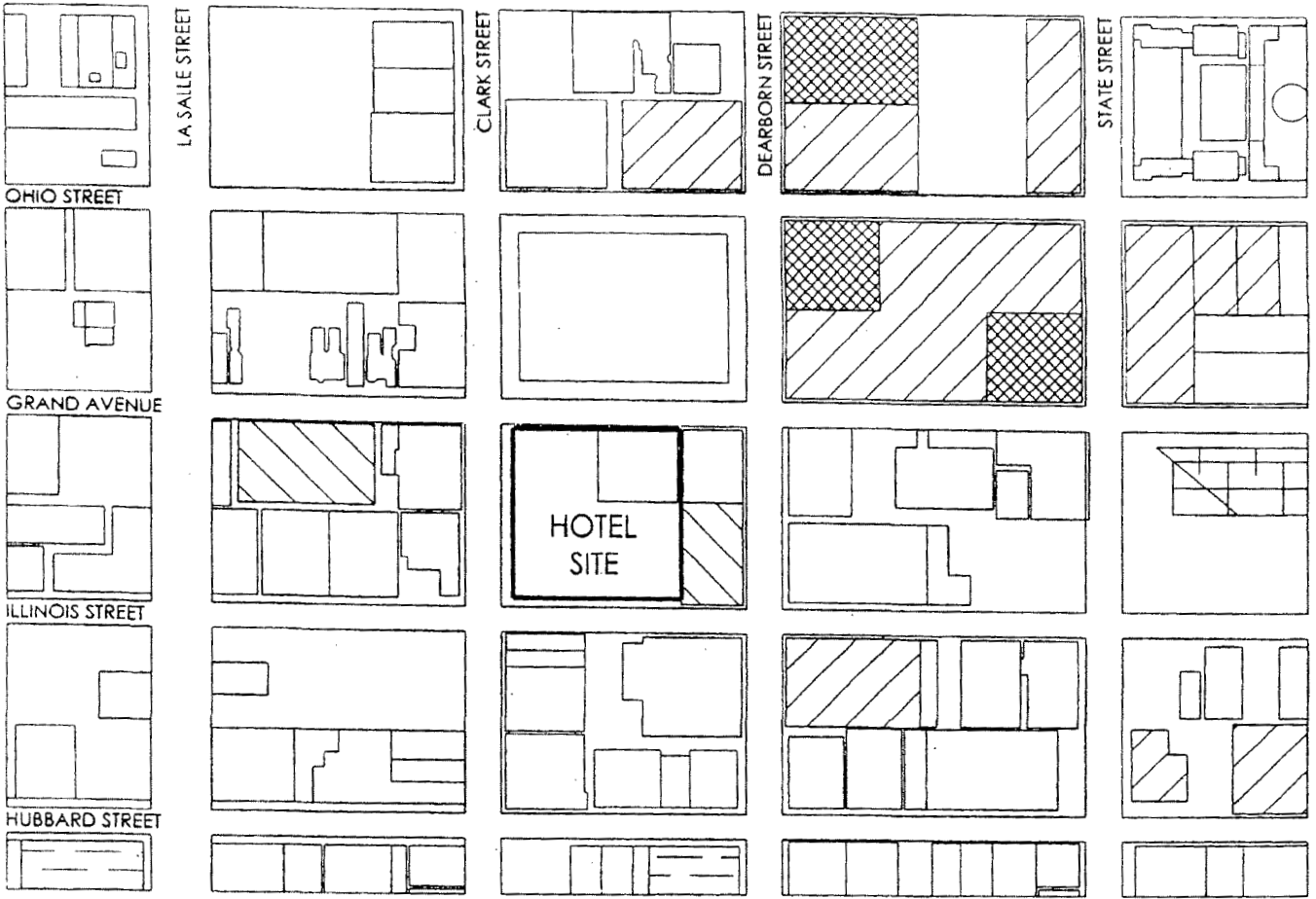
Exhibit 1.

Existing Zoning Map



Existing Land-Use Map.

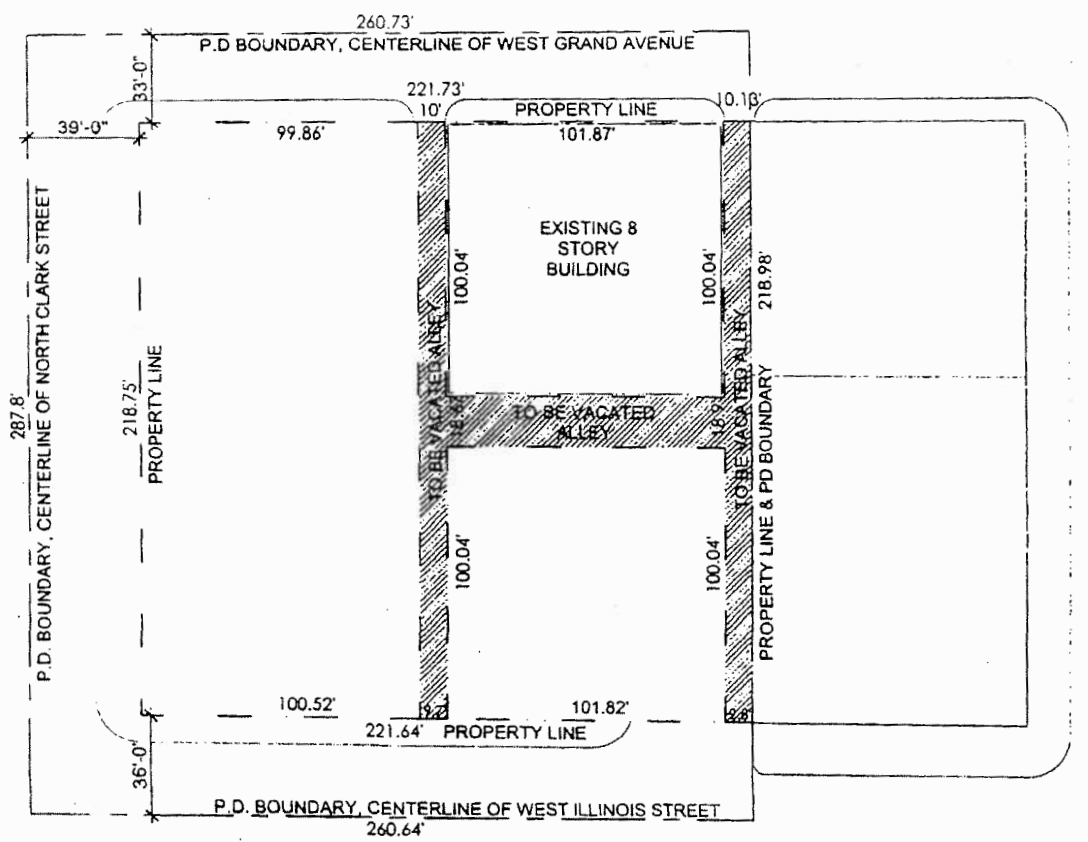
Exhibit 2.



SCALE: 1" = 200'-0"

L E G E N D			
	HOTEL / RESIDENTIAL: 10-24 STORIES		BUSINESS / COMMERICAL: 10-24 STORIES
	HOTEL / RESIDENTIAL: 25-49 STORIES		BUSINESS / COMMERICAL: 25-49 STORIES
	HOTEL / RESIDENTIAL: 50+ STORIES		BUSINESS / COMMERICAL: 50+ STORIES

Exhibit 3.
Property Line And Planned Development Boundary.



SCALE: 1" = 50'-0"

NEARBY N

Exhibit 4.

Existing Conditions Site Plan.

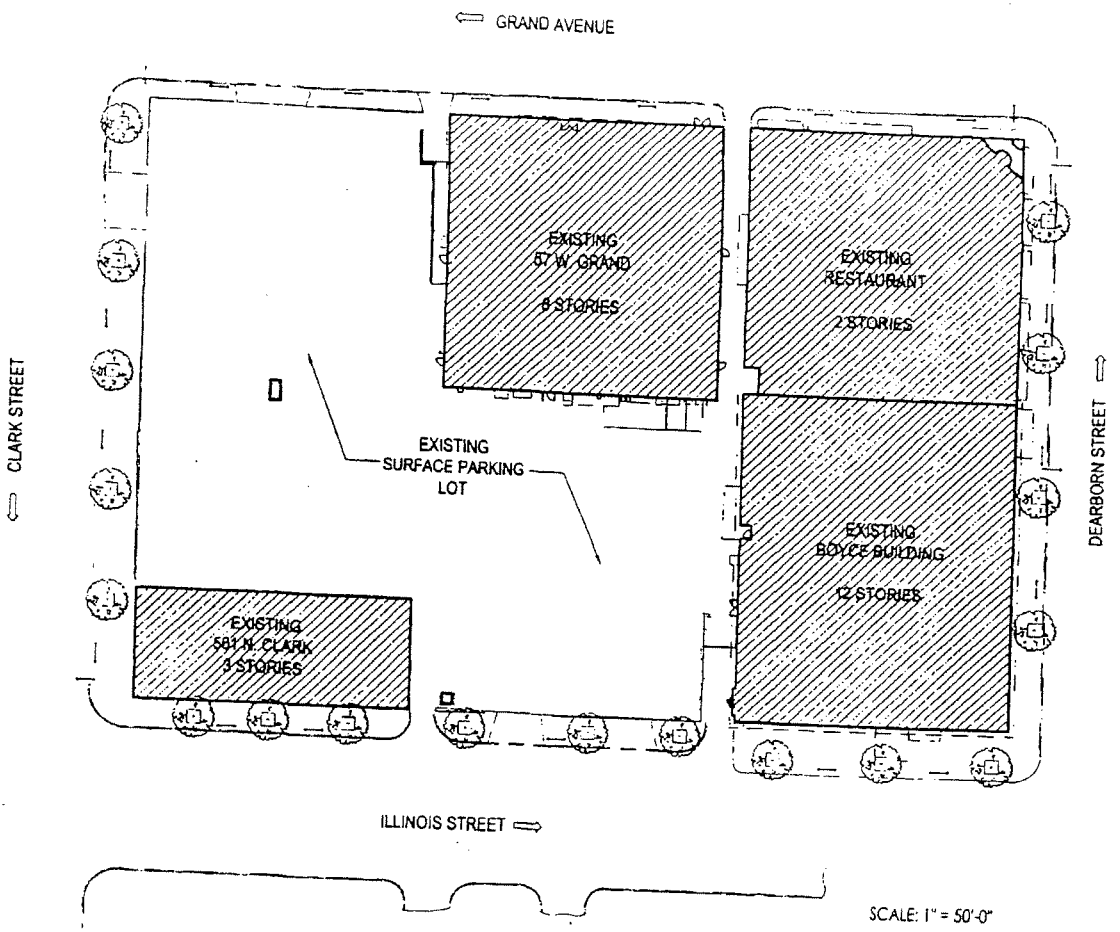
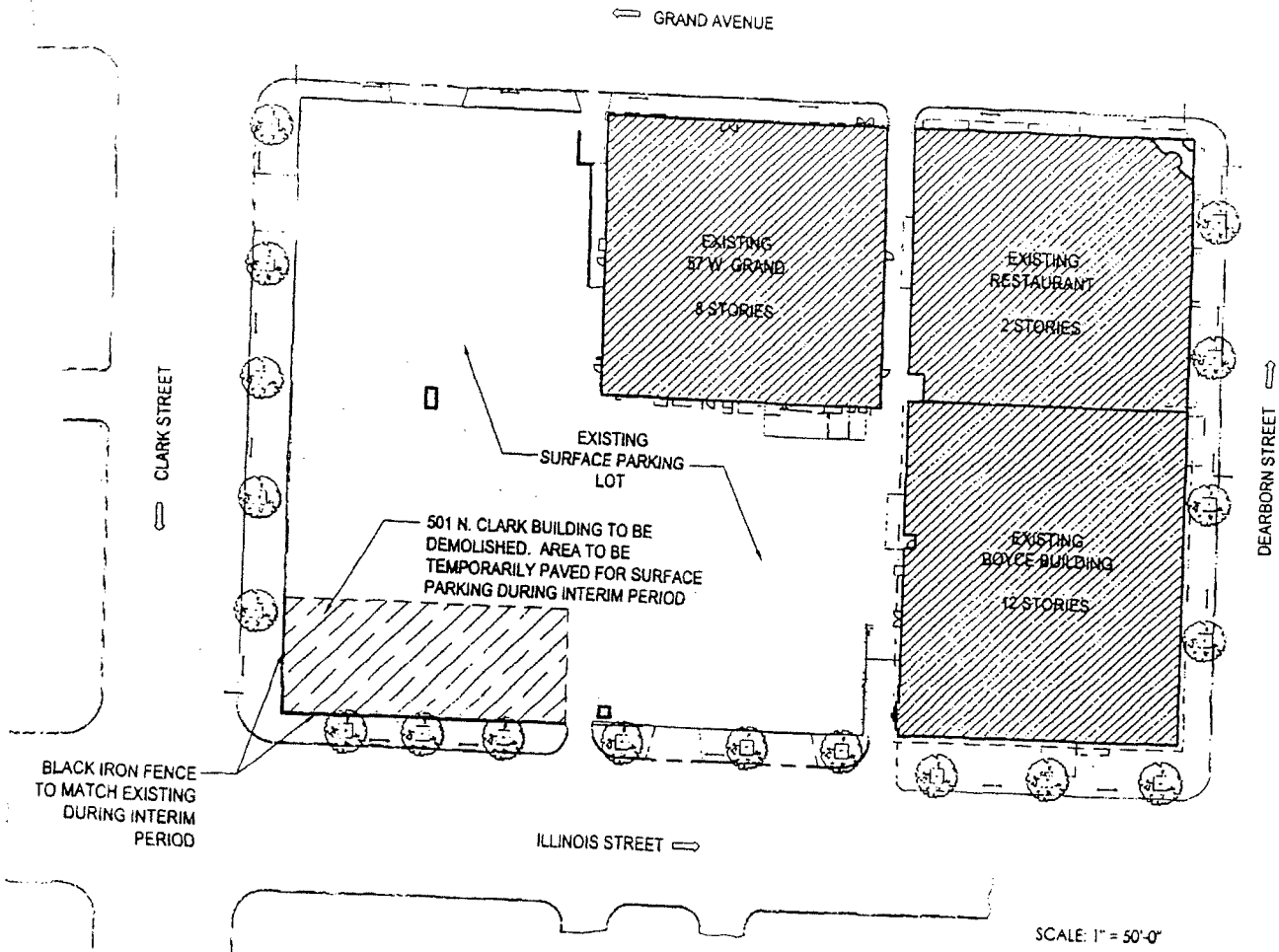


Exhibit 5.

Interior Site Plan.



SCALE: 1" = 50'-0"

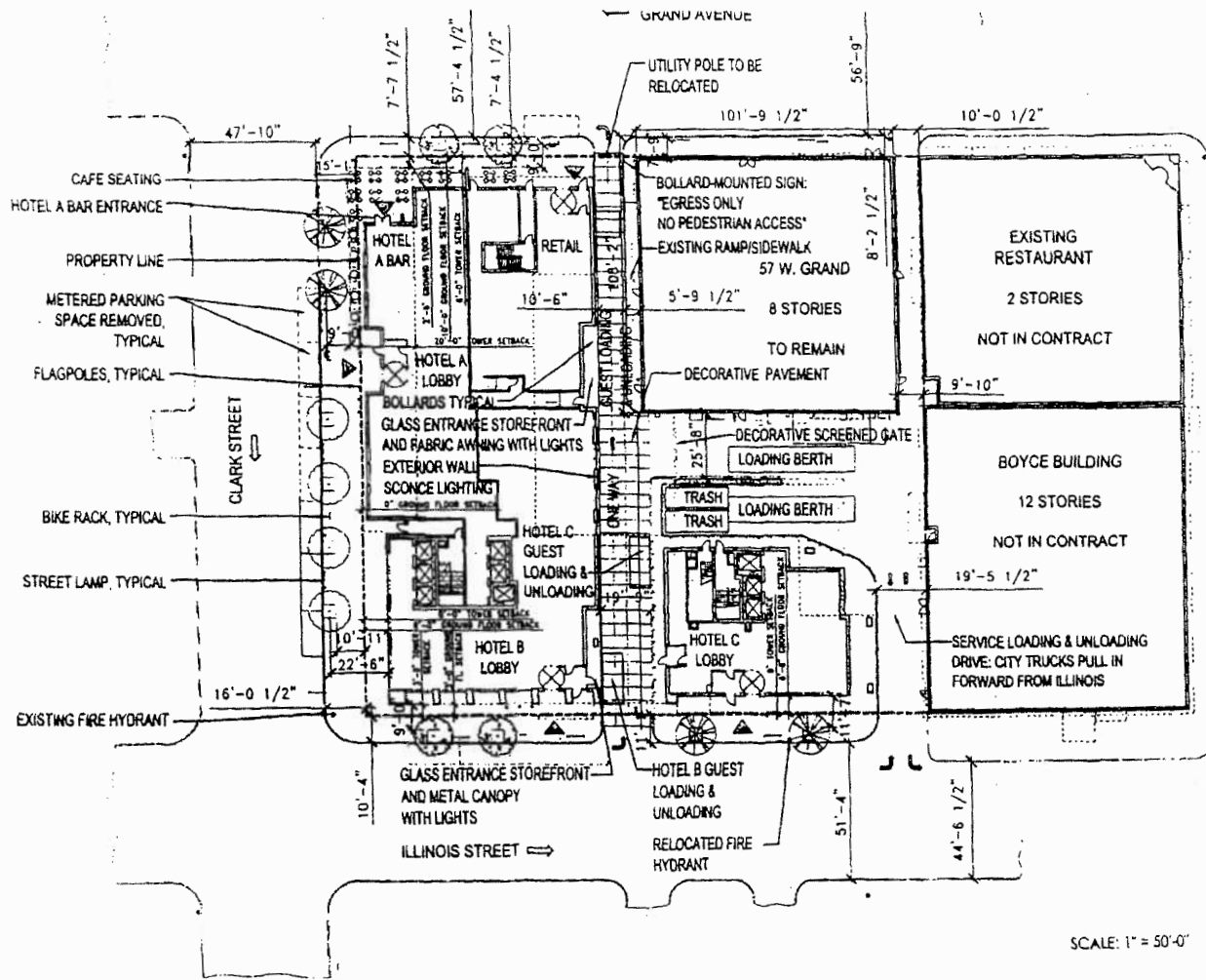


Exhibit 6.
Site Plan.

12/21/2009

REPORTS OF COMMITTEES

80805

Exhibit 7.

Landscape Plan.

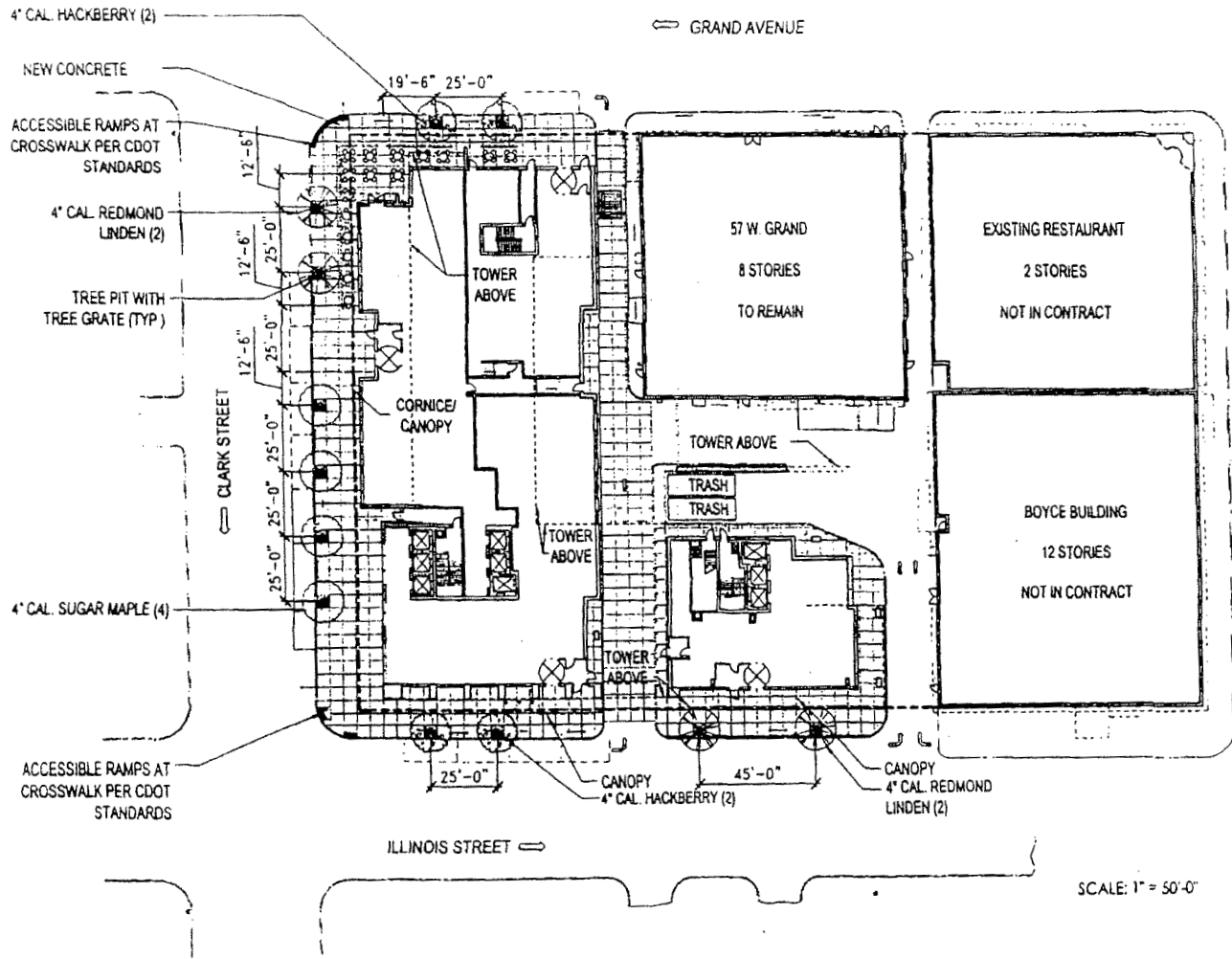
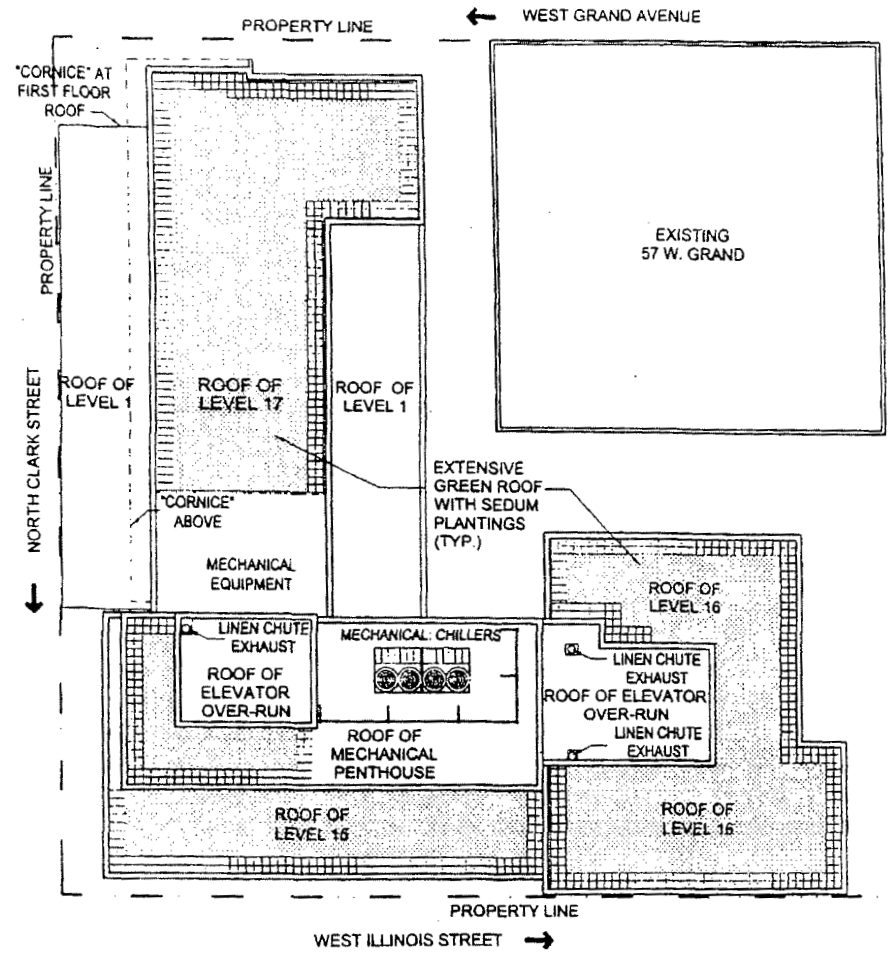


Exhibit 8.

Green Roof Plan.



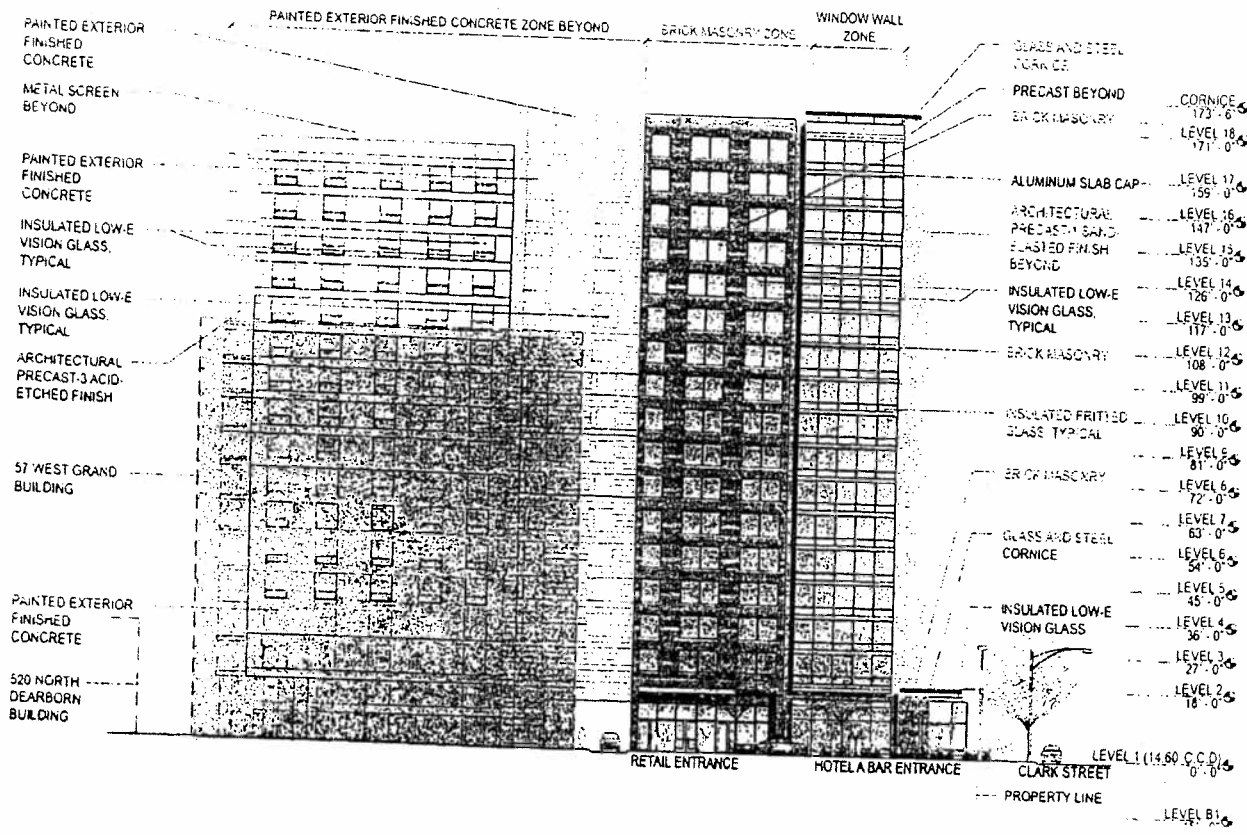
LEGEND	
GROSS ROOF AREA =	+/- 25,180 SF
NET ROOF AREA (INSIDE PARAPET) =	+/- 24,110 SF
NET MECHANICAL AREAS =	+/- 3,000 SF
NET USABLE ROOF AREA =	+/- 21,110 SF
NET GREEN ROOF AREA (50%) =	+/- 10,555 SF (1,055 SF HARDSCAPE + 9,500 SF PLANTING)

APPLICANT:	BOYCE II, LLC
ADDRESS:	501-521 NORTH CLARK 55-75 WEST GRAND 54-74 WEST ILLINOIS
DATE:	JANUARY 2, 2008
REVISED:	NOVEMBER 18, 2009
CLARK & GRANO HOTELS	CHICAGO, IL 60610
PLANNED DEVELOPMENT SUBMITTAL PART 1	
GREEN ROOF PLAN	
EXHIBIT #8	

SCALE: 1/32" = 1'-0"

Exhibit 9.

Building North Elevation.



Building West Elevation.

Exhibit 10.

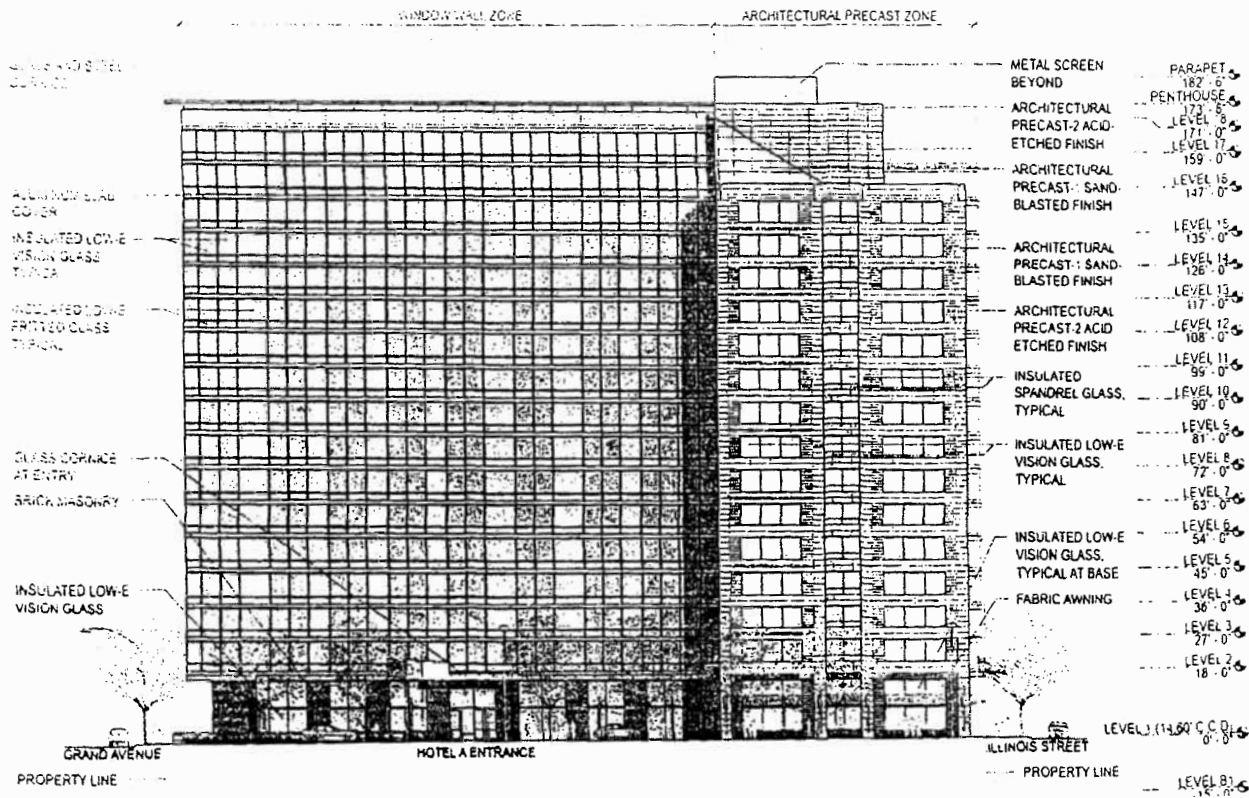
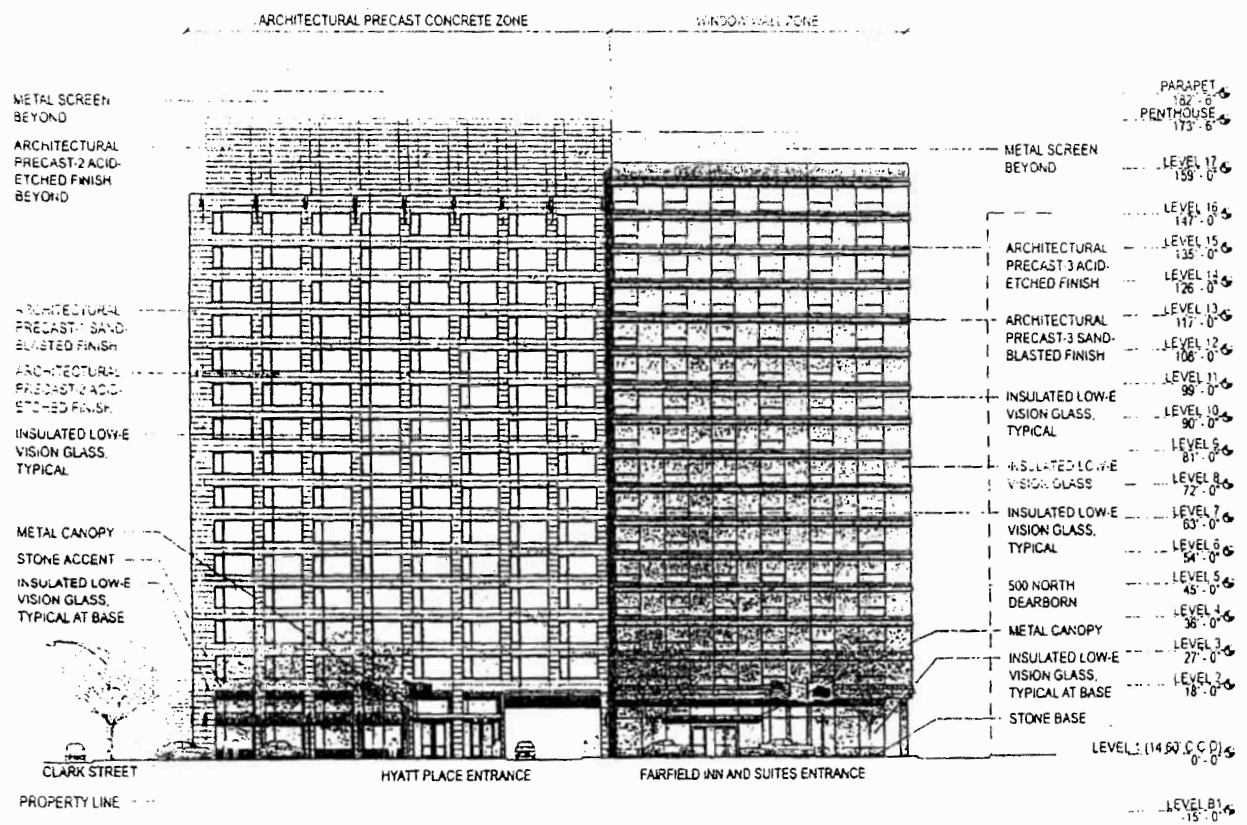


Exhibit 11.

Building South Elevation.



METAL SCREEN BEYOND

ARCHITECTURAL PRECAST-2 ACID-ETCHED FINISH BEYOND

ARCHITECTURAL PRECAST-1 SAND-BLASTED FINISH

ARCHITECTURAL PRECAST-3 ACID-ETCHED FINISH

INSULATED LOW-E VISION GLASS, TYPICAL

METAL CANOPY

STONE ACCENT

INSULATED LOW-E VISION GLASS, TYPICAL AT BASE

CLARK STREET

PROPERTY LINE

PARAPET 182'-6"

PENTHOUSE 173'-6"

METAL SCREEN BEYOND

LEVEL 17 159'-0"

LEVEL 16 147'-0"

LEVEL 15 135'-0"

ARCHITECTURAL PRECAST-3 ACID-ETCHED FINISH

LEVEL 14 126'-0"

ARCHITECTURAL PRECAST-3 SAND-BLASTED FINISH

LEVEL 13 117'-0"

LEVEL 12 108'-0"

INSULATED LOW-E VISION GLASS, TYPICAL

LEVEL 11 99'-0"

LEVEL 10 90'-0"

LEVEL 9 81'-0"

INSULATED LOW-E VISION GLASS

LEVEL 8 72'-0"

INSULATED LOW-E VISION GLASS, TYPICAL

LEVEL 7 63'-0"

LEVEL 6 54'-0"

500 NORTH DEARBORN

LEVEL 5 45'-0"

LEVEL 4 36'-0"

METAL CANOPY

LEVEL 3 27'-0"

INSULATED LOW-E VISION GLASS, TYPICAL AT BASE

LEVEL 2 18'-0"

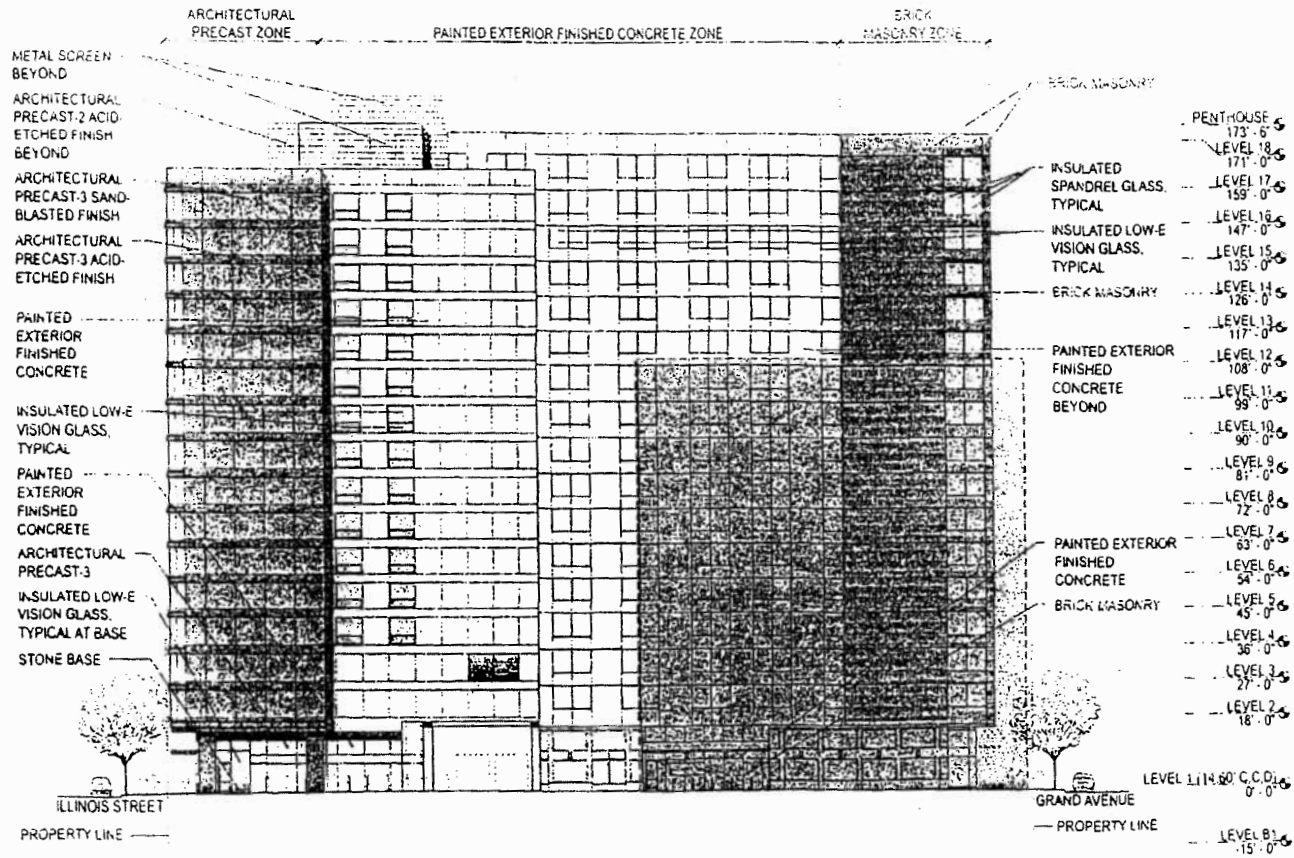
STONE BASE

LEVEL 1 (14.50 C.C.D.) 0'-0"

LEVEL B1 -15'-0"

HYATT PLACE ENTRANCE

FAIRFIELD INN AND SUITES ENTRANCE

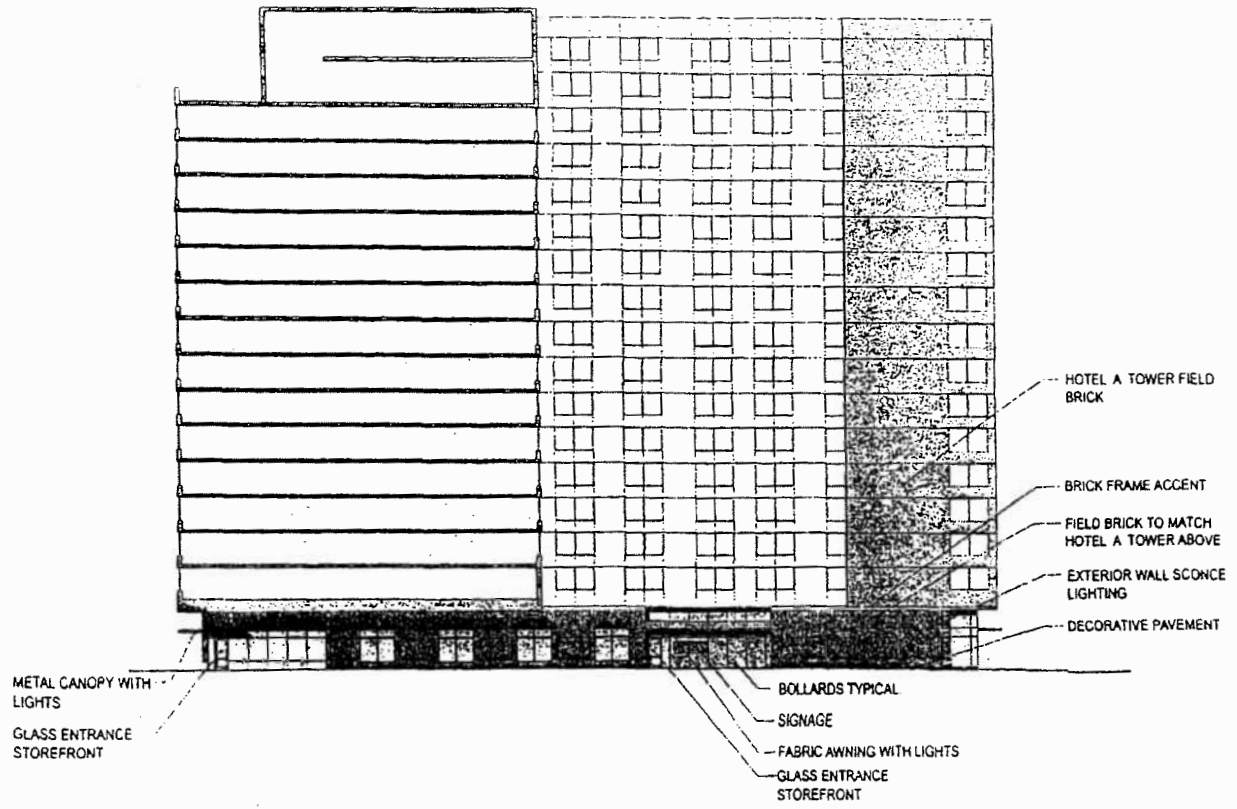


Building East Elevation.

Exhibit 12.

Exhibit 13.

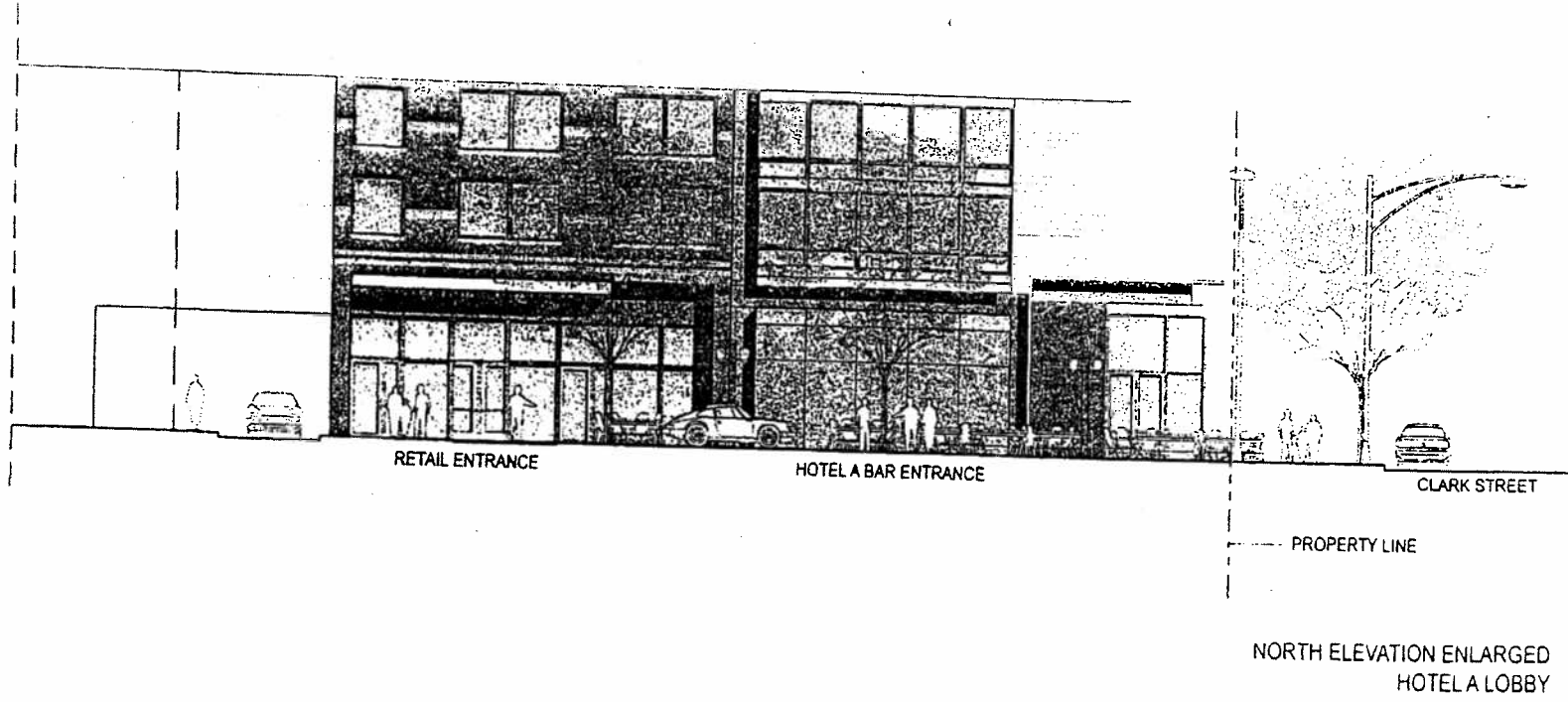
East Elevation Of Pass-Through.



12/2/2009

REPORTS OF COMMITTEES

80813



RETAIL ENTRANCE

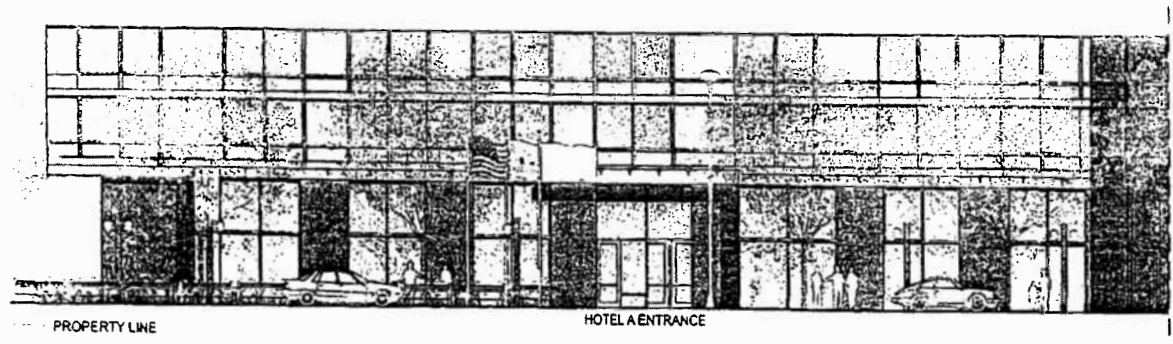
HOTEL A BAR ENTRANCE

CLARK STREET

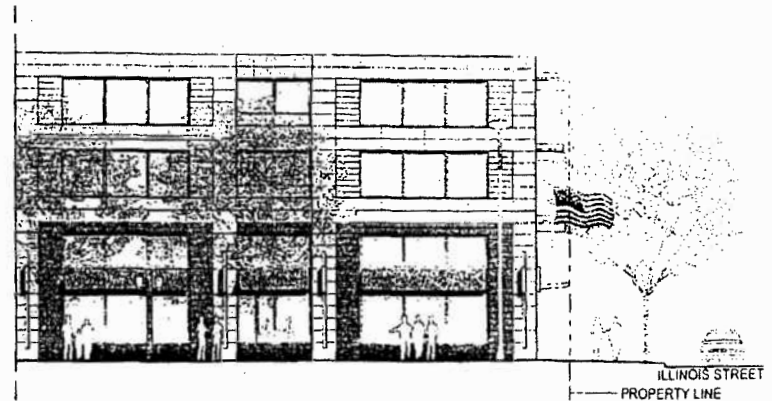
PROPERTY LINE

NORTH ELEVATION ENLARGED
HOTEL A LOBBY

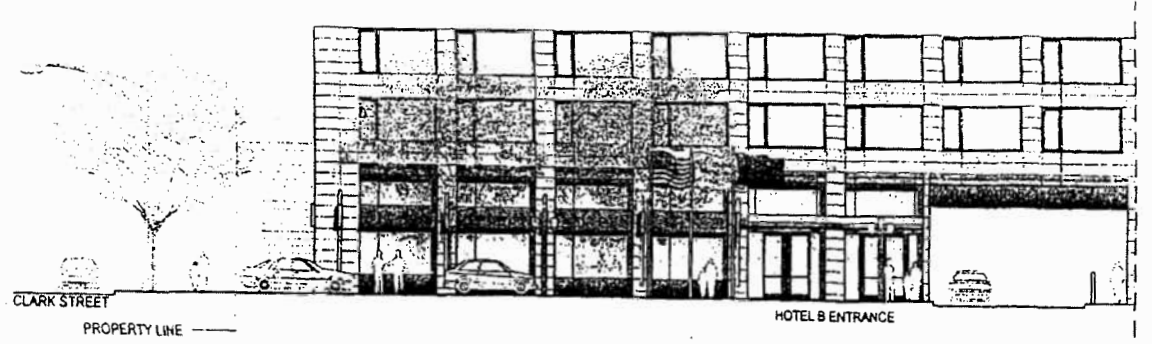
Exhibit 15.
Enlarged West Lobby Elevation.



WEST ELEVATION ENLARGED
HOTEL A LOBBY



WEST ELEVATION ENLARGED
HOTEL B LOBBY

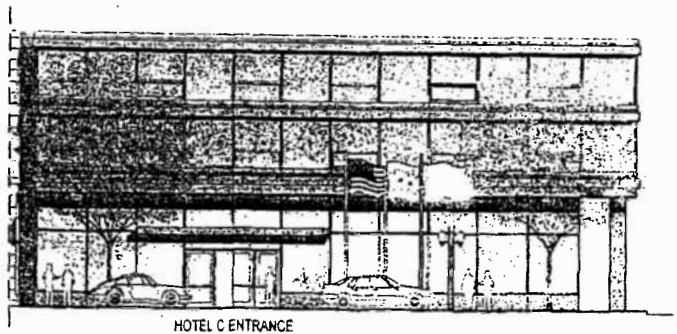


CLARK STREET

PROPERTY LINE

HOTEL B ENTRANCE

SOUTH ELEVATION ENLARGED
HOTEL B LOBBY



HOTEL C ENTRANCE

SOUTH ELEVATION ENLARGED
HOTEL C LOBBY

Enlarged South Lobby Elevation.

Exhibit 16.

Chicago Builds Green.

(Page 1 of 3)

Project Name:

CLARK AND GRAND HOTELS

Project Location:

* Street Number (if the address only includes one street number, please fill only the cell "From"):

From*	To*	Direction	Street Name:	Select Street Type:
501	521	N	CLARK	St

Ward No: Community Area No:

42

Project Type:

Check applicable:

Planned Development Redevelopment Agreement Zoning Change

↳ PD No: ↳ RDA No: ↳ From: To:

Public project Landmark

Project Size:

Total land area in sq.ft.:	Total building(s) footprint in sq.ft.:	Total vehicular use area in sq.ft.:
48,519	36,675 +/-	10,200 +/-

DPD Project Manager:

Enter First Name Last Name

Fred Delers

BG/GR Matrix:

Select project category:

Res. 4 or more Market Rate

Financial Incentives:

Check applicable:

TIF Empowerment Zone Grant Class L

GRIF Ind. Dev. Revenue Bonds Class 6b

SBIF Bank Participation Loan DOH

Land Sale Write Down

Density Bonus:

Check applicable:

Public plaza & pocket park Water features in a plaza or pocket park

Chicago Riverwalk improvements Setbacks above the ground floor

Winter gardens Lower level planting terrace

Indoor through-block connection Green roof

Sidewalk widening Underground parking and loading

Arcades Concealed above-ground parking

Chicago Builds Green.

(Page 2 of 3)

Landscaping:

- 7' Landscape Setback
- Interior Landscape Area
- No. of Interior Trees
- No. of Parkway Trees

	Required per Zoning Code or Green Roof/Building Green Matrix	To be Provided by the development:
Please fill, if applicable		
Square footage:	0	0
Square footage:	0	0
	0	0
	10	12

Open Space:

- River Setback
- Private Open Space
- Privately developed Public Open Space

Square footage:	0	0
Square footage:	0	0
Square footage:	0	0

Stormwater Management (At-grade volume control):

- Permeable paving
- Raingarden
- Filter strip
- Bioswale
- Detention pond
- Native landscaping
- Rain-water collection cistern/barrel
- Total impervious area reduction

Square footage:	0
Check applicable:	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
Square footage:	9,800
Gallons:	0
Square footage:	9,800

Other sustainable surface treatments:

- Green roof
- Energy Star roof
- High-albedo pavement

Square footage:	10,500	10,500
Square footage:	13,600	13,600
Square footage:	0	0

Transportation:

- No. of accessory parking spaces
- Total no. of parking spaces (Accessory + Non- Acc.)
- No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)
- No. of bicycle parking
- Within 600 ft of CTA or Metra station entrance

	0	0
	0	0
	0	0
	0	3
Check if applicable:	<input type="checkbox"/>	

Chicago Builds Green.

(Page 3 of 3)

Building Certification:

- Energy Star building
- LEED certification
- LEED Certified
- LEED Silver
- LEED Gold
- LEED Platinum
- Chicago Green Homes
- Chicago Green Homes (one-star)
- Chicago Green Homes (two-star)
- Chicago Green Homes (three-star)

Energy efficiency strategies not captured above:

(E: Other than Energy Star Roof - or Energy Star Building Certification)

The new hotel building will comply with the required 14% reduction beyond ASHRAE 90.1-2004 through the use of efficient HVAC equipment.

Other sustainable strategies and/or Project Notes:

The Owner intends to pursue Green Seal certification for Lodging Facilities.

Other sustainable strategies being pursued for the new hotel include:

- erosion and sedimentation control plan
- urban site selection with high development density and public transportation access
- no parking is being provided
- stormwater quantity management
- native landscaping with no permanent irrigation
- fundamental refrigerant management
- recycling collection
- divert 50% of construction waste from landfill
- recycled content building materials: 10%
- regional building materials: 10%
- low-VOC adhesives and sealants
- low-VOC paints and coatings
- thermal comfort design