

*Reclassification of Area Shown on Map No. 4-I.*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District symbols and indications as shown on Map No. 4-I in the area bounded by

a line 370 feet south of W. Roosevelt Road; a line 779.51 feet east of the west line of S. Albany Avenue; a line 870 feet south of W. Roosevelt Road; a line 894 feet east of the west line of S. Albany Avenue; a line 1161 feet south of W. Roosevelt Road; a line 669 feet east of the west line of S. Albany Avenue; a line 1013 feet south of W. Roosevelt Road; and the east line of S. Sacramento Drive,

to the designation of an Institutional Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

[Plan of Development printed on pages 8778 to 8782 of this Journal]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification of Area Shown on Map No. 5-L.*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-1 Restricted Service District symbols and indications as shown on Map No. 5-L in the area bounded by

the alley next north of and parallel to W. Armitage Avenue; N. LaCrosse Avenue; W. Armitage Avenue; and a line 83.5 feet west of and parallel to N. LaCrosse Avenue,

to those of a C2-2 General Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification of Area Shown on Map No. 7-F.*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R8 General Residence District symbols and indications as shown on Map No. 7-F in the area bounded by

W. Surf Street; N. Commonwealth Avenue; W. Diversey Parkway; N. Sheridan Road,

to those of a Residential Planned Development, and a corresponding use district is hereby established in the area above described.

[Plan of Development printed on pages 8783 to 8788 of this Journal]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification of Area Shown on Map No. 8-E.*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District symbols and indications as shown on Map No. 8-E in the area bounded by

a line 125 feet south of E. 35th Street; S. Wabash Avenue; a line 189.3 feet south of E. 35th Street; and the alley next west of and parallel to S. Wabash Avenue,

to those of a B4-3 Restricted Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification of Area Shown on Map No. 16-M.*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 Restricted Manufacturing District symbols and indications as shown on Map No. 16-M in the area bounded by

a line 132.22' north of and parallel to W. 65th Street; a line 254' east of and parallel to the alley next east of and parallel to S. Narragansett Avenue; W. 65th Street; the alley next east of and parallel to S. Narragansett Avenue,

to those of an R4 General Residence District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification of Area Shown on Map No. 17-I.*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Planned Development symbols and indications as shown on Map No. 17-I in the area bounded by

the north line of W. Morse Avenue, or the line thereof if extended where no street exists; N. Sacramento Avenue; a line 354.67 feet south of the north line of W. Morse Avenue, or the line thereof if extended where no street exists; a line 118 feet west of N. Sacramento Avenue; a line 529.27 feet south of the north line of W. Morse Avenue, or the line thereof if extended where no street exists; a line 302.13 feet west of N. Sacramento Avenue; a line 513.27 feet south of the north line of W. Morse Avenue, or the line thereof if extended where no street exists; a line 317.13 feet west of N. Sacramento Avenue; a line from a point 317.13 feet west of N. Sacramento Avenue and 496.27 feet south of the north line of W. Morse Avenue, or the line thereof if extended where no street exists to be connected by a 14.14 foot arc, with a chord of 12.73 feet, to a point 496.27 feet south of the north line of

(continued on page 8789)

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RESIDENTIAL PLANNED DEVELOPMENT  
PLAN OF DEVELOPMENT  
STATEMENTS

1. The area delineated herein as "Residential Planned Development" is owned or controlled by American National Bank and Trust Company of Chicago as Trustee of Trust Nos. 11173 and 11139(owners). Applicant, Metropolitan Structures Inc. is the duly authorized agent of the owners for the purpose of this application.
2. Off-street parking and off-street loading facilities shall be provided in compliance with this Plan of Development, subject to the review of the Department of Streets and Sanitation and the approval of the Department of Development Planning.
3. The Applicant or its successors, assignees or grantees shall obtain all official review, approvals, licenses and permits.
4. Any dedication or vacation of streets or alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant or its successor, assignees or grantees, and approval by the City Council.
5. The following uses shall be permitted within the area delineated herein as "Residential Planned Development"; elevator hi-rise apartment structures, recreational uses and off-street parking.
6. Permissible signs will be those allowed in a R1 Single Family Residence District, subject to the review and approval of the Department of Buildings and the Department of Development and Planning.
7. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas.

Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of Chicago and shall have a minimum width of 20 feet to provide ingress and egress for emergency vehicles. There shall be no parking within such paved areas.

8. The height restriction of each building and any appurtenance attached thereto shall be subject to:

- (a) Height limitations as certified on Form FAA-117 (or on successor forms involving the same subject matter) and approved by the Federal Aviation Administration pursuant to Part 77 of the Regulations of the Administrator, Federal Aviation Administration; and,
- (b) Airport Zoning Regulations as established by the Department of Development and Planning, Department of Aviation, and Department of Law and approved by the City Council.

9. The development of the area delineated herein as "Residential Planned Development" shall be restricted to a maximum total net site coverage of 80% at grade level; 45% at a plane above 18.5 feet above grade; and 30% at a plane above 36 feet above grade.

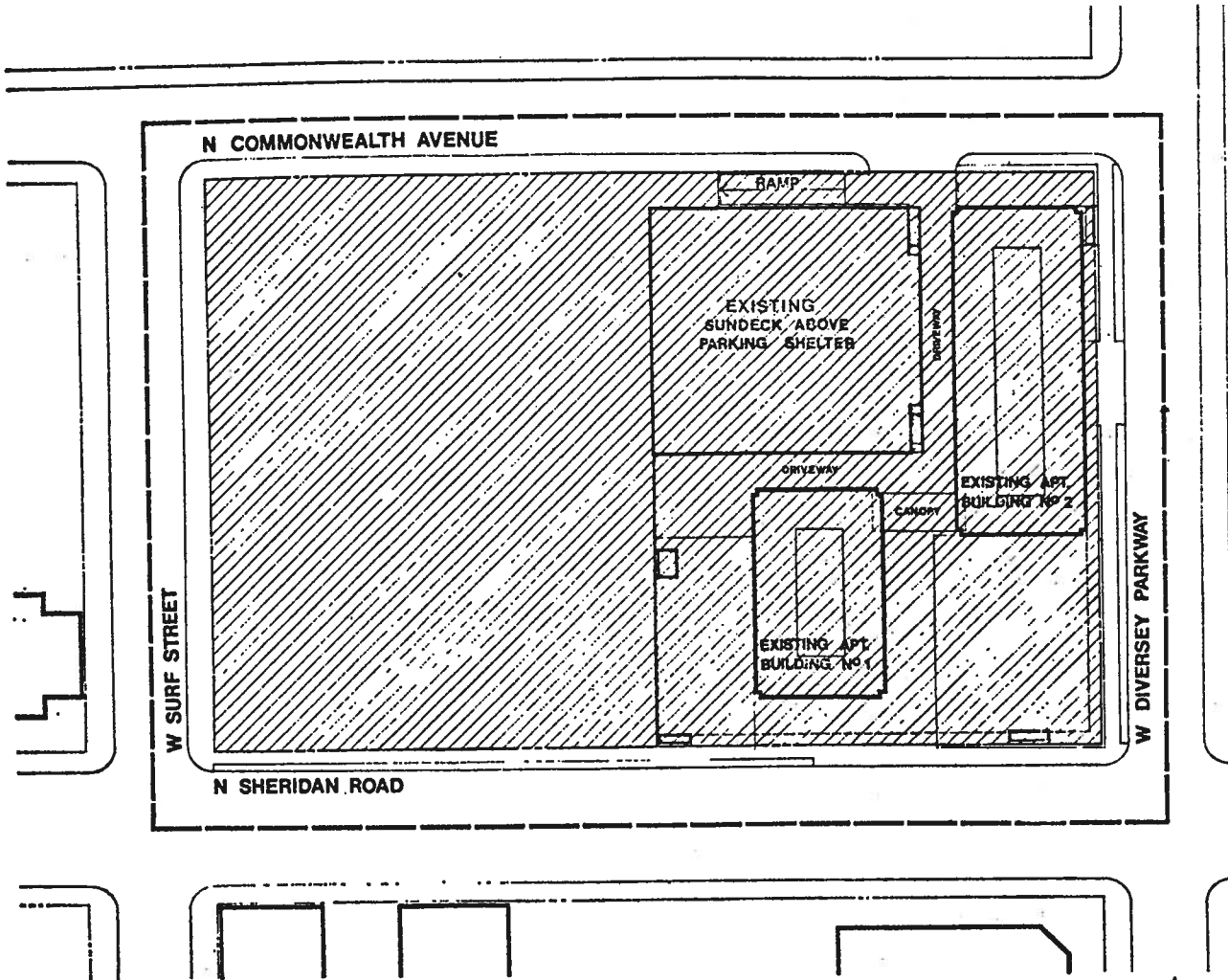
10. The information in the table attached hereto sets forth data concerning the generalized land use plan of the area delineated herein as "Residential Planned Development" and illustrates that the development of such area will be in accordance with the intent and purpose of the Chicago Zoning Ordinance.

11. The Plan of Development shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments" as promulgated by the Commissioner of the Department of Development and Planning.

APPLICANT: Metropolitan Structures Inc.

DATE: March 22, 1974





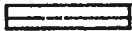


SCALE 50' 25' 0' 25' 50' 75' 100' 150' 200'



**GENERALIZED LAND USE PLAN**

**LEGEND**

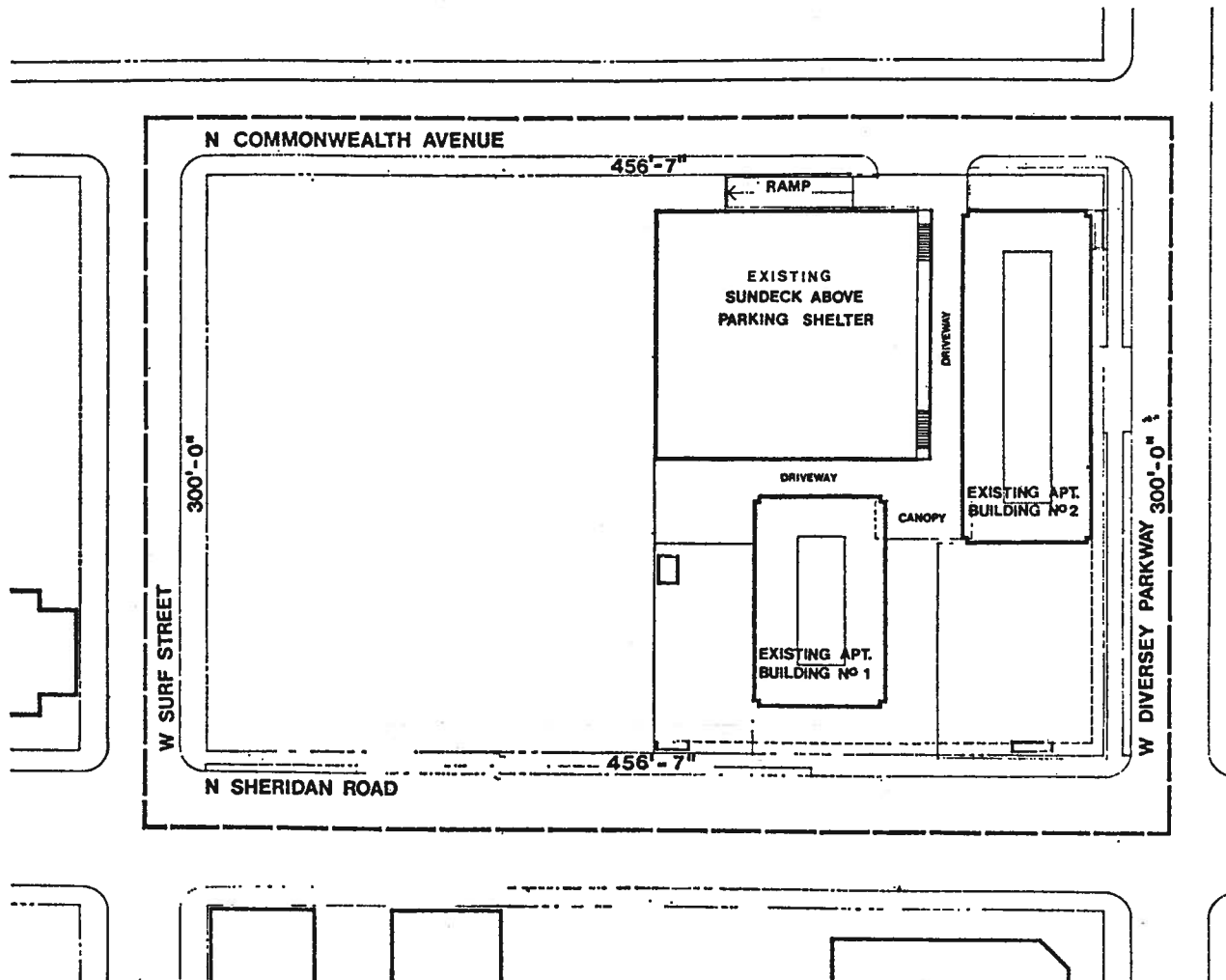
-  PROPOSED RESIDENTIAL PLANNED DEVELOPMENT
-  R. P. D. BOUNDARY LINE
-  R. R. D. PROPERTY LINE

**RESIDENTIAL PLANNED DEVELOPMENT**

APPLICANT: METROPOLITAN STRUCTURES INC.

DATE; MARCH 22, 1974

**MAP 2**



SCALE 50' 25' 0' 25' 50' 75' 100' 150' 200'



**PROPERTY LINE MAP & RIGHTS-OF-WAY ADJUSTMENTS**

**LEGEND**

 R. R. D. BOUNDARY LINE

**RESIDENTIAL PLANNED DEVELOPMENT**

APPLICANT: METROPOLITAN STRUCTURES INC.

DATE; MARCH 22, 1974

**MAP3**

PLANNED DEVELOPMENT USE, BULK REGULATIONS AND DATARESIDENTIAL PLANNED DEVELOPMENT

Net Site Area at Grade Level Square Feet	Acres	General Description of Land Use	Max. No. of Dwelling Units	Max. % of Coverage at Grade Level	Min. No. of Off-Street Parking Spaces	Maximum FAR
137,010	3.145	Residential and Related Uses	1000	80%	55% of total Dwelling Units	10.14

The above noted regulations relate to the ultimate development within the planned development area. Interim stages of development may exceed these permitted standards, subject to the approval of the Department of Development and Planning.

Gross Site Area = Net Site Area of 137,010 square feet (3.145 acres) plus Public Area of 56,389 square feet (1.295 acres) = 193,399 square feet (4.44 acres).

Maximum percentage of land coverage for total net site area (see Statement 9 of this Plan of Development)

- |   |     |
|---|-----|
| 1) at grade level                         | 80% |
| 2) at a plane above 18.5 feet above grade | 45% |
| 3) at a plane above 36 feet above grade   | 30% |

Maximum floor area ratio for total net site area

10

Maximum Number of dwelling units including efficiency units

1000\*

(\*Maximum number of efficiency units - 25)

Minimum number of off-street parking spaces

55 %  
of total  
Dwelling Units

Maximum number of off-street parking spaces

825

Minimum number of off-street loading berths

4

**Minimum Perimeter Setbacks**

- |  |           |
|--|-----------|
| A. Diversey Parkway                          | 7.5 feet  |
| B. Sheridan Road                             |           |
| 1. Grade level to 4.0 feet above grade level | 0.0 feet  |
| 2. Above 7.0 feet above grade level          | 15.0 feet |
| C. Surf Street                               |           |
| 1. Grade level to 4.0 feet above grade level | 0.0 feet  |
| 2. Above 7.0 feet above grade level          | 7.5 feet  |
| D. Commonwealth Avenue                       |           |
| 1. Above level to 4.0 feet above grade level | 0.0 feet  |
| 2. Above 7.0 feet above grade level          | 15.0 feet |

Minimum distances between tower faces: 35. feet

Setback and yard requirements may be adjusted where required to permit conformance to the pattern of, or architectural arrangement related to, existing structure, or when necessary because of technical reasons, subject to the approval of the Department of Development Planning.

APPLICANT: Metropolitan Structures Inc.

DATE: March 14, 1974