

PD 1147

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Reclassification Of Area Shown On Map No. 12-1.

(As Amended)

(Application No. A-7501)

(Common Address: 2601 -- 2651 W. 48th St. And 4800 S. Rockwell St.)

IPD 1147

[SO2009-4857]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the M2-2 and M2-3 Light Industry District symbols and indications as shown on Map Number 12-1 in the area bounded by:

beginning at the south right-of-way line of West 48th Street (as established by the creation of the Clunn's Subdivision recorded on February 14, 1894, Document Number 1419350 and the B. Hajek Subdivision recorded on March 10, 1911, Document Number 4720064); the east right-of-way line of South Rockwell Street or the line thereof if extended where no street exists; a line from a point 389.99 feet south of the south right-of-way line of West 48th Street (established as referenced above) and the east right-of-way line of South Rockwell Street or the line thereof if extended where no street exists, to a point 397.88 feet south of the south right-of-way line of West 48th Street (established as referenced above) and the centerline of South Rockwell Street or the line thereof if extended where no street exists, said line being an arc concaved to the northwest and having a radius of 72.58 feet with an arc length of 34.26 feet; the centerline of South Rockwell Street if extended where no street exists; a line from a point 402.75 feet south of the south right-of-way line of West 48th Street (as established above) and the centerline of South Rockwell Street or the line thereof if extended where no street exists, to a point 186.06 feet south of the south right-of-way line of West 48th Street (established as referenced above) and 613.44 feet west of the east right-of-way line of South Rockwell Street or the line thereof if extended where no street exists; and a line 613.44 feet west of and parallel to the east right-of-way line of South Rockwell Street or the line thereof if extended where no street exists (tob),

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications within the area hereinabove described to the designation of Institutional Planned Development Number 1147, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 1147.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 1147 ("Planned Development") consists of approximately one hundred thirty-nine thousand seven hundred eighteen (139,718) square feet (three point two (3.2) acres) of net site area which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map. The property is controlled by the Public Building Commission of Chicago (the "Applicant").
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or re-subdivision of parcels, shall require a separate submittal on behalf of the Applicant or their successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns, grantees and lessees, if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder or any ground lessors. Furthermore, pursuant to the requirements of Article 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors, or by a governmental agency with the power of eminent domain which has designated the property for acquisition. An agreement among property owners, the board of directors of any property owners association, or covenant binding property owners, may designate the authorized party for any future amendment, modification or change. The Applicant shall retain single designated control and shall be deemed to be the authorized party for any future amendment, modification or change until the Applicant shall designate in writing the party or parties authorized to make application for any future amendment, modification or change.
4. This plan of development consists of the following seventeen (17) statements: a Bulk Regulations and Data Table; and Existing Zoning and Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Site and

Landscape Plan; a Green Roof Plan; a Drop-Off and Pick-Up Plan; and Building Elevations prepared by Architrave Ltd., dated July 15, 2009. Full size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Zoning and Land Use Planning. The Planned Development is applicable to the area delineated herein and these and no other zoning controls shall apply. The Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The uses permitted within the area delineated herein as an "Institutional Planned Development" shall include schools, park and recreational uses, parking, and all other related and accessory uses as permitted within the RT4 Residential Two-Flat, Townhouse and Multi-Unit District.
6. On-premise business identification signs and temporary construction signs shall be permitted within the area delineated herein as an "Institutional Planned Development", subject to the review and approval of the Department of Zoning and Land Use Planning. No off-premise signs shall be permitted in the Planned Development.
7. Off-street parking and off-street loading facilities shall be provided in compliance with this Planned Development, subject to review and approval of the Departments of Transportation, and Zoning and Land Use Planning. A minimum of two percent (2%) of all required parking spaces shall be designated for parking for the handicapped.
8. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
9. In addition to the maximum height of the building and any appurtenance thereto prescribed in this Planned Development, the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
11. The City of Chicago established a Part II Review Fee in the amount Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable square feet (floor area ratio). The Part II Fee will be assessed by D.Z.L.U.P. during the actual Part II Review. The fee as determined by D.Z.U.L.P. staff at that time is final and binding on the Applicant and must be paid to the Department of Zoning and Land Use Planning prior to the issuance of any Part II Approval.

12. The Applicant shall obtain the applicable official reviews, approvals and permits from the various city departments and or committees regarding the use of the public way for any encroachments of public way space including encroachments on, over or under the street, sidewalk, parkway or alley. Such approval and permits shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the subject property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Copies of these standards may be obtained from the Department of Zoning and Land Use Planning. The Applicant shall also provide a vegetative roof on the proposed building totaling nineteen thousand two hundred ninety-eight (19,298) square feet, or fifty percent (50%) of the net roof area.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the building and all other improvements in a manner that promotes, enables and maximizes universal access throughout the subject property. Plans for all buildings and improvements on subject property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote a high standard of accessibility. No building permit shall be issued by the Department of Construction and Permits until the Director of M.O.P.D. has approved detailed construction drawings for the building or improvement proposed.
15. The terms, conditions and exhibits of this Planned Development ordinance may be modified administratively by the Commissioner of the Department of Zoning and Land Use Planning upon the application for such a modification by the Applicant and after a determination is made by the Commissioner of the Department of Zoning and Land Use Planning that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Zoning and Land Use Planning shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
16. The Applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of Streets and Sanitation, the Commissioner of Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
17. Unless substantial new construction on the property has commenced within six (6) years following adoption of this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert back to RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

[Brighton Park Industrial Corridor; Existing Zoning Map; Planned Development Boundary and Property Line Map; Land-Use Map; Right-of-Way Adjustment Map; Site and Landscape Plan; Green Roof Plan; Student Drop-Off Plan; Building Elevations; and Green Roof Application Form referred to in these Plan of Development Statements printed on pages 68965 through 68977 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

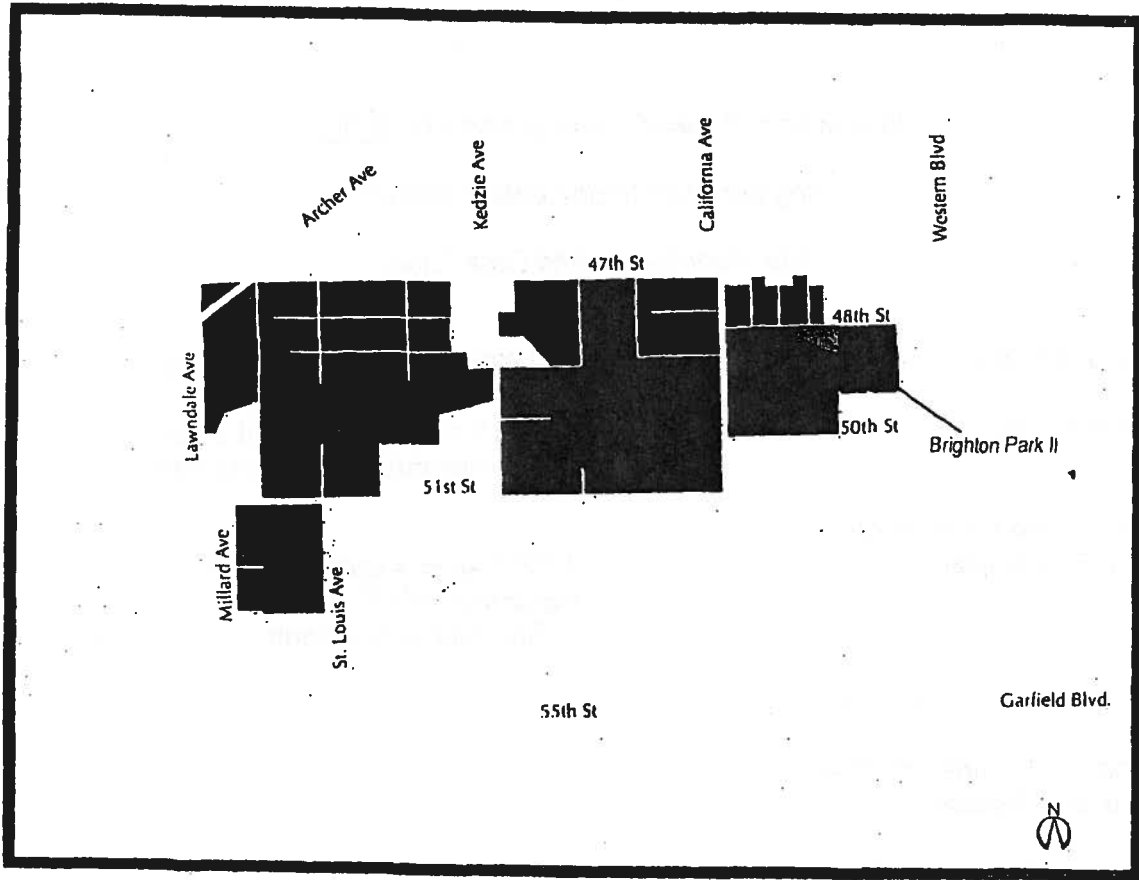
Institutional Planned Development No. 1147.

Brighton Park II Elementary School

Bulk Regulations And Data Table.

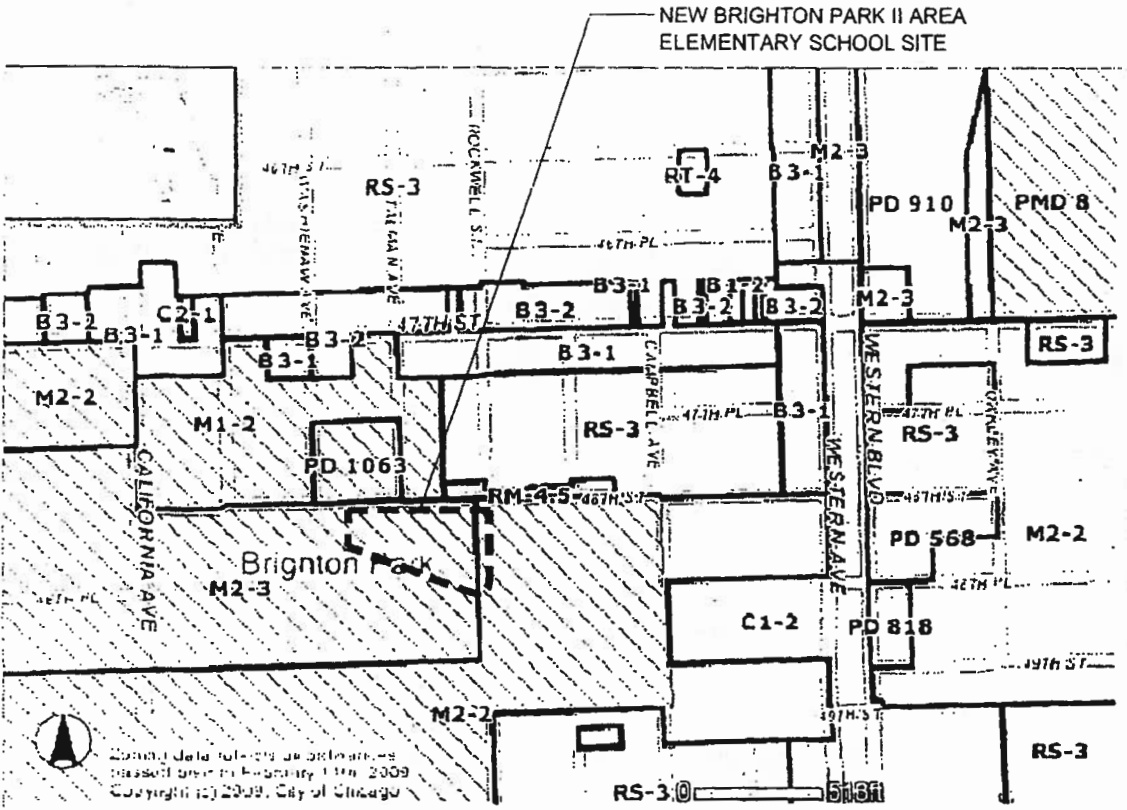
Gross Site Area:	187,629 square feet (4.30 acres)
Net Site Area:	139,718 square feet (3.20 acres) after street dedications completed
Public Area Right-of-Way To Be Dedicated:	47,911 square feet (1.10 acres) for expansion of 48 th Street and extension of Rockwell Street south of 48 th Street
Maximum Floor Area Ratio:	1.2
Minimum Number of Off-Street Loading Spaces:	1
Minimum Number of Off-Street Parking Spaces:	28 (including 2 accessible spaces)
Minimum Number of Bicycle Parking Spaces:	32
Maximum Building Height:	60 feet (as measured in accordance with the Chicago Zoning Ordinance)
Minimum Required Setback:	In accordance with Site Plan
Maximum Percent of Site Coverage:	In accordance with Site Plan

Brighton Park Industrial Corridor.



Existing Zoning Map.

LEGEND	
	LAKE FRONT
ZONING	
	BUSINESS
	COMMERCIAL
	MANUFACTURING
	RESIDENTIAL
	PLANNED DEVELOPMENT:
	PLANNED MANUFACTURING DISTRICT
	DOWN TOWN CORE
	DOWN TOWN SERVICE
	DOWN TOWN MIXED
	DOWN TOWN RESIDENTIAL
	TRANSPORTATION
	PARKS & OPEN SPACE
	ZONING BOUNDARIES
	PEDESTRIAN STREETS
	SPECIAL DISTRICTS
	TIP
	INDUSTRIAL CORRIDOR
	BUILDINGS
	MAP INDEX



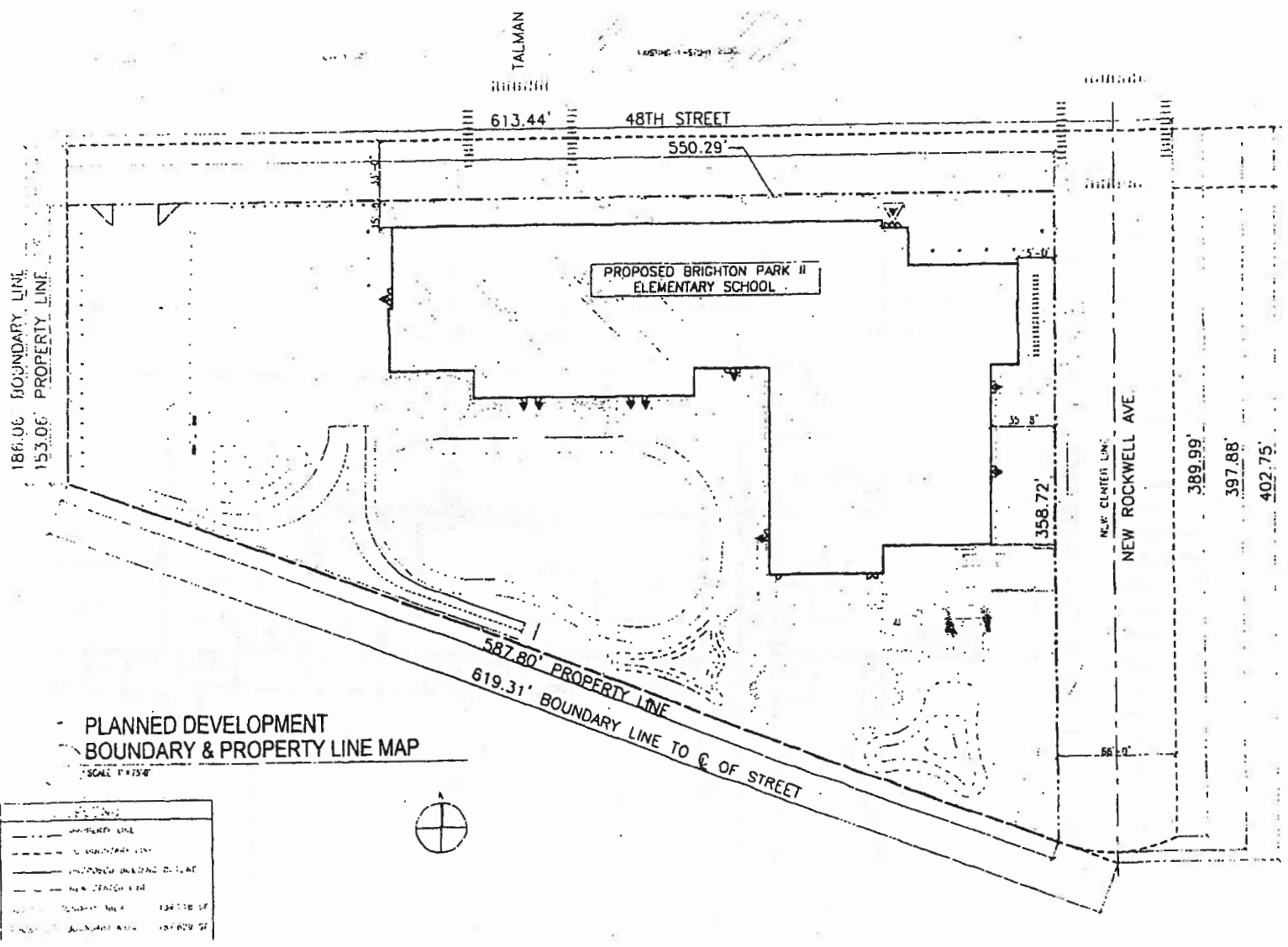
Some data for this map may be preliminary
 based on data as of February 11th, 2009
 Copyright (c) 2009, City of Chicago

EXISTING ZONING MAP

SCALE: NOT TO SCALE

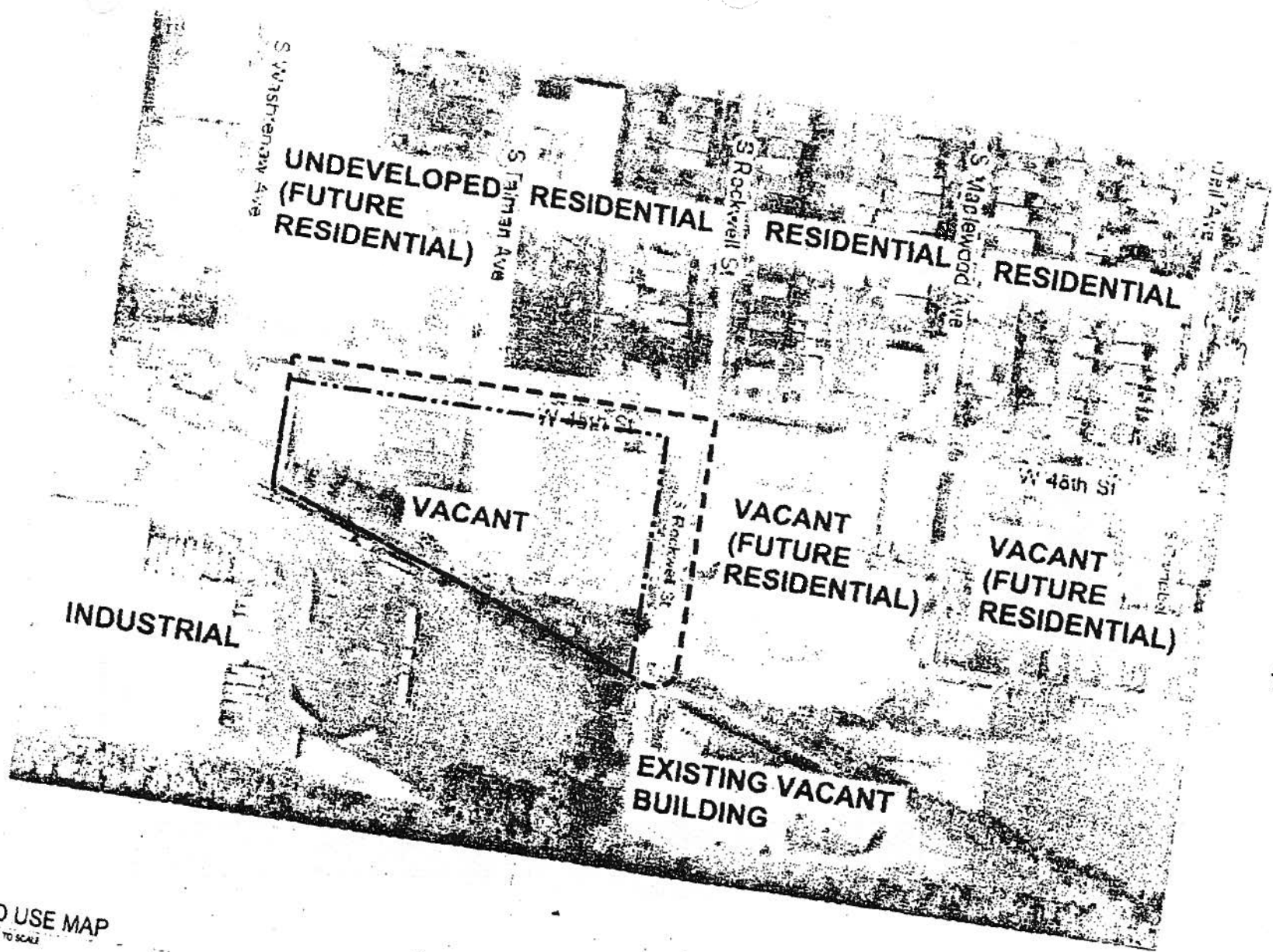


Planned Development Boundary And Property Line Map.



Land-Use Map.

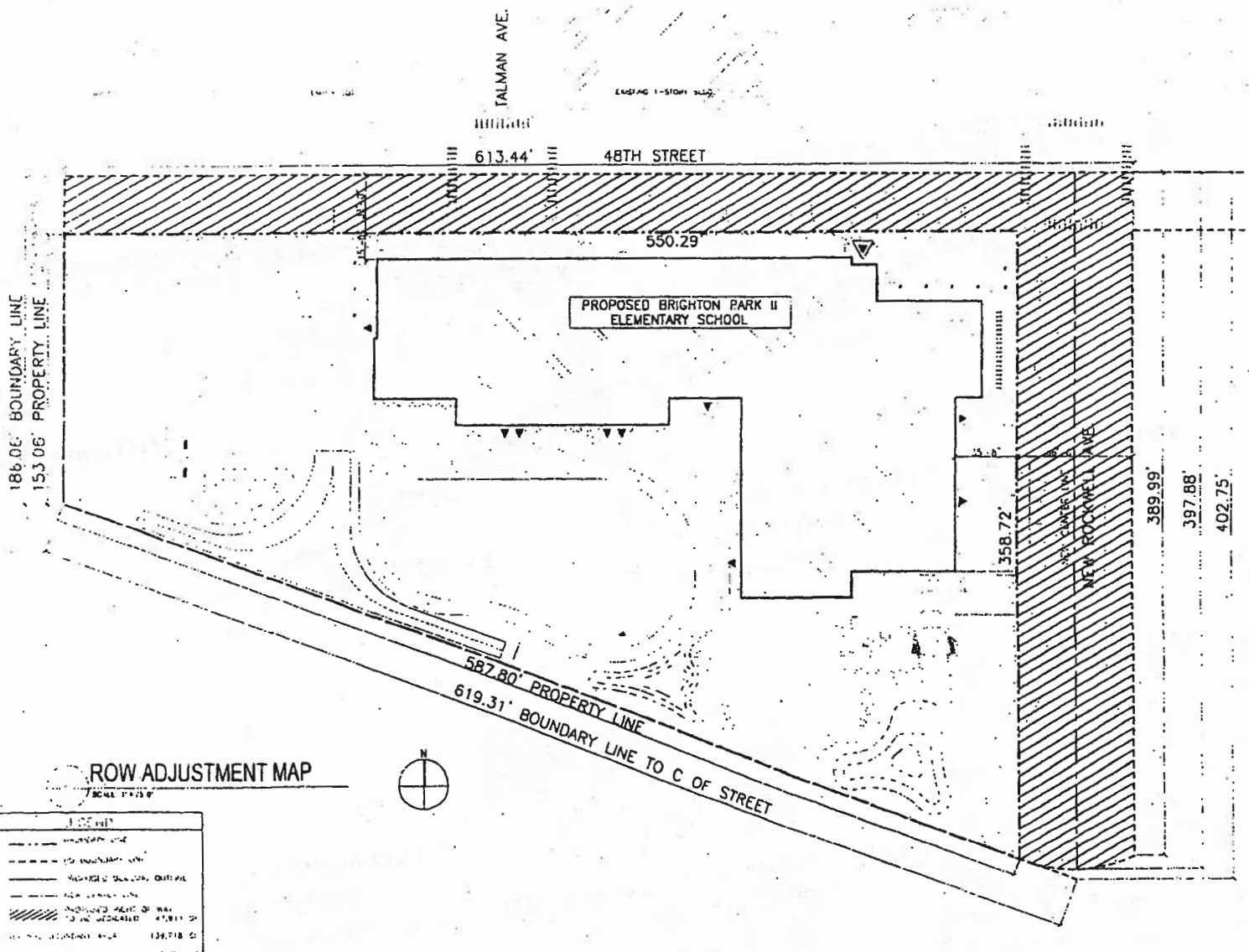
7/29/2009



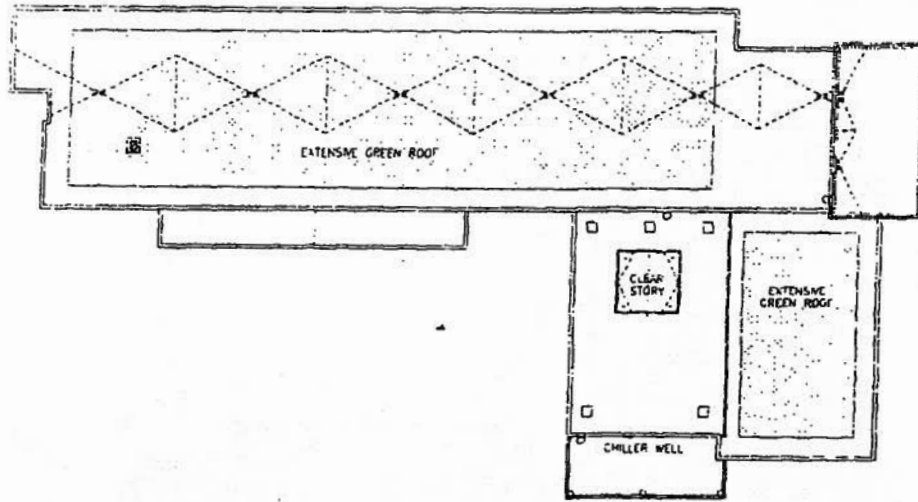
LAND USE MAP
SCALE: NOT TO SCALE



Right-Of-Way Adjustment Map



Green Roof Plan.



GREEN ROOF PLAN

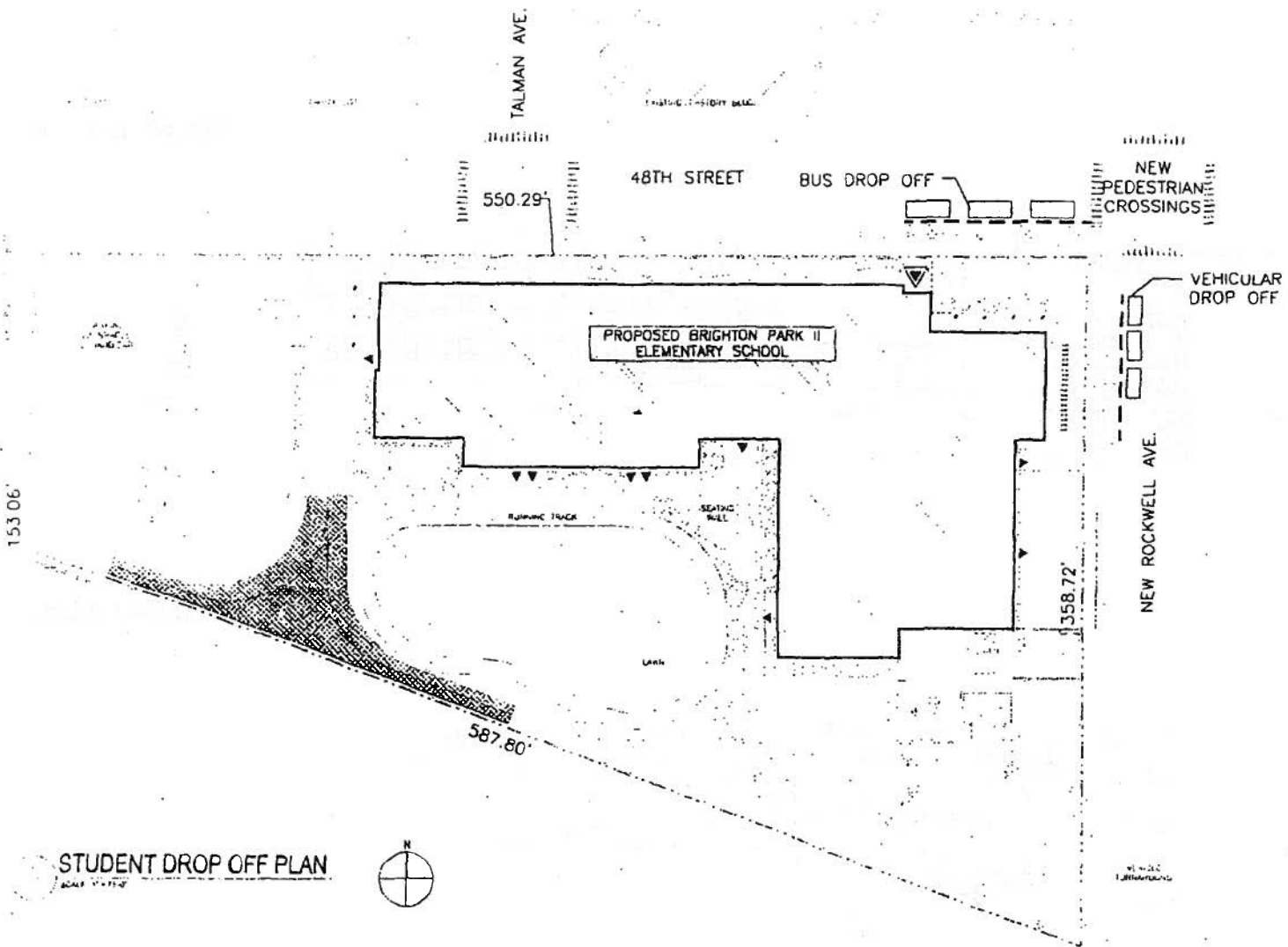
SCALE: 1/4" = 1'-0"

NOTES/LEGEND

TOTAL ROOF AREA	42,326 S.F.
NET ROOF AREA (LESS PARAPETS, CHILLER WELL AND DUMPING AREA CLEARSTORY)	38,965 S.F.
50% GREEN ROOF RETO (50% OF NET AREA)	19,482 S.F.
PROPOSED GREEN ROOF	19,724 S.F.



Student Drop-Off Plan.



STUDENT DROP OFF PLAN

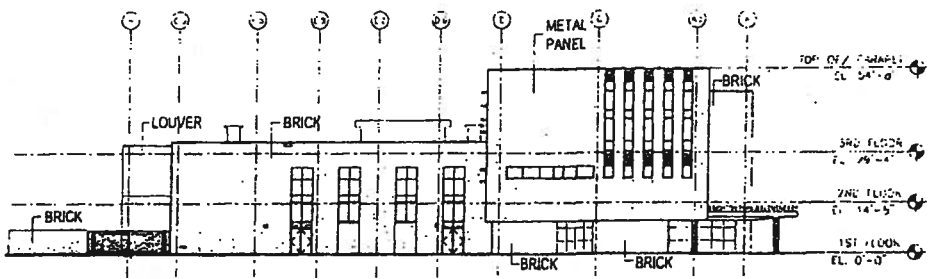
SCALE 1"=110'



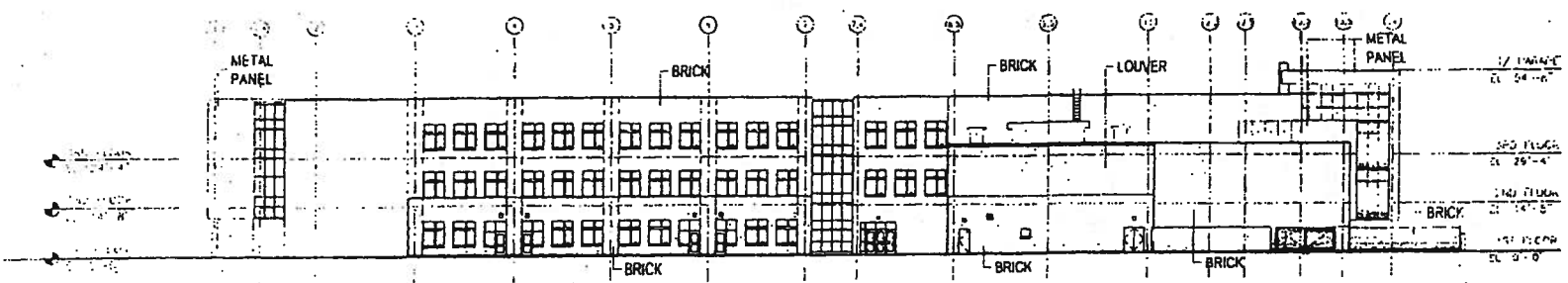
LEGEND

---	Student Drop-Off Plan
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East/South Elevations.

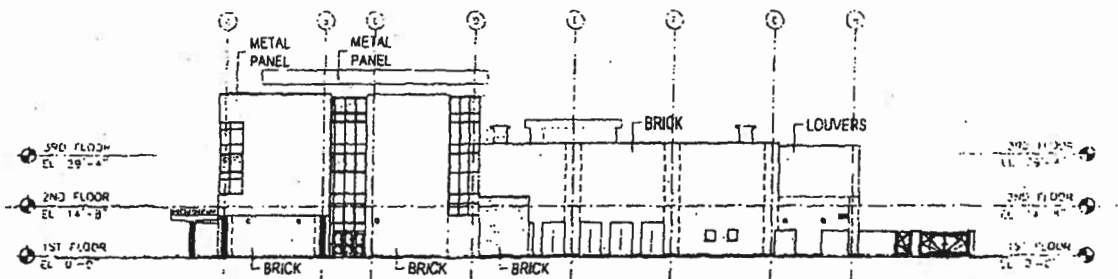


EAST ELEVATION
SCALE 1/8"=1'-0"

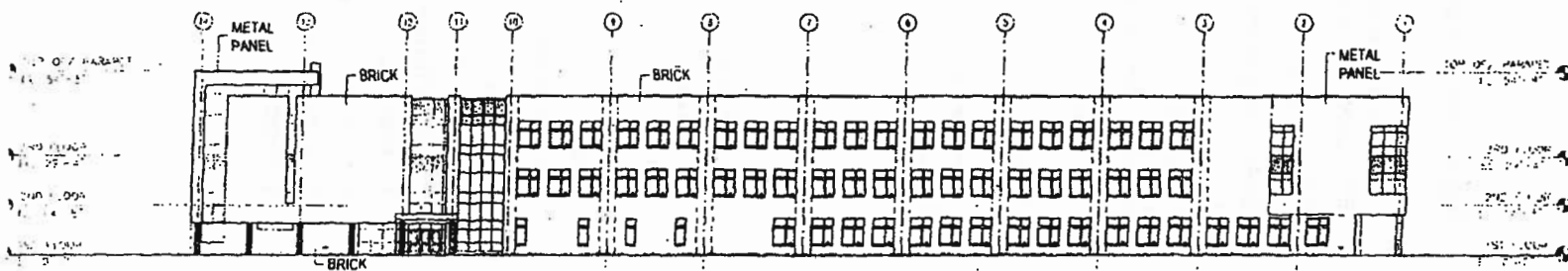


SOUTH ELEVATION
SCALE 1/8"=1'-0"

West/North Elevations.



WEST ELEVATION
SCALE 1/8"=1'-0"



NORTH ELEVATION
SCALE 1/8"=1'-0"

Green Roof.
(Page 1 of 3)

Project Name:

Brighton Park II Elementary School

Project Location:

* Street Number (if the address only includes one street number, please fill only the cell "From")

From*	To*	Direction:	Street Name:	Select Street Type.
2611		W	48 th	St

Ward No: Community Area No:

14	
----	--

Project Type:

Check applicable:

Planned Development Redevelopment Agreement Zoning Change

PD No: RDA No: From: To:

Public project Landmark

Project Size:

Total land area in sq.ft.:	Total building(s) footprint in sq.ft.:	Total vehicular use area in sq.ft.:
139,721	41,260	

DPD Project Manager:

Enter First Name Last Name

BG/GR Matrix:

Select project category:

Financial Incentives:

Check applicable.

TIF Empowerment Zone Grant Class L
 GRIF Ind. Dev. Revenue Bonds Class 6b
 SBIF Bank Participation Loan DOH
 Land Sale Write Down

Density Bonus:

Check applicable.

Public plaza & pocket park Water features in a plaza or pocket park
 Chicago Riverwalk improvements Setbacks above the ground floor
 Winter gardens Lower level planting terrace
 Indoor through-block connection Green roof
 Sidewalk widening Underground parking and loading
 Arcades Concealed above-ground parking

**Green Roof.
(Page 2 of 3)**

Please fill, if applicable

Landscaping:

7' Landscape Setback	Square footage	301	301
Interior Landscape Area	Square footage	1590	1590
No. of Interior Trees		6	10
No. of Parkway Trees		0	25

Open Space:

River Setback	Square footage	0	0
Private Open Space	Square footage	0	0
Privately developed Public Open Space	Square footage	0	0

Stormwater Management (At-grade volume control):

Permeable paving	Square footage	6,500
Raingarden	Check applicable	<input type="checkbox"/>
Filter strip		<input type="checkbox"/>
Bioswale		<input type="checkbox"/>
Detention pond		<input type="checkbox"/>
Native landscaping	Square footage	23,909
Rain-water collection cistern/barrel	Gallons	0
Total impervious area reduction	Square footage	60,480

Other sustainable surface treatments:

Green roof	Square footage	19,298	19,298
Energy Star roof	Square footage	0	0
High-albedo pavement	Square footage	0	0

Transportation:

No. of accessory parking spaces	28	30
Total no. of parking spaces (Accessory + Non- Acc.)		30
No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)	0	0
No. of bicycle parking	0	32
Within 600 ft of CTA or Metra station entrance		<input checked="" type="checkbox"/>

Check if applicable

Green Roof.
(Page 3 of 3)

Building Certification:

- Energy Star building
- LEED certification
 - LEED Certified
 - LEED Silver
 - LEED Gold
 - LEED Platinum
- Chicago Green Homes
 - Chicago Green Homes (one-star)
 - Chicago Green Homes (two-star)
 - Chicago Green Homes (three-star)

Energy efficiency strategies not captured above:

(IE: Other than Energy Star Roof - or Energy Star Building Certification)

DD Stage indicates 21% savings to ASHRAE 90.1 can be achieved for this project.

Other sustainable strategies and/or Project Notes:

1. More than 50% of the site will be restored to native/adaptive vegetation.
2. Brownfield redevelopment.
3. Permeable pavement employed for storm water management.
4. 30% less water than water use baseline to be used.
5. Eliminate use of potable water for irrigation.
6. Views to daylight will be possible in 90% or more of the interior spaces.