

PD 1126

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10/08/2008 PD Adoption **2**
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A-7405

*Reclassification Of Area Shown On Map Number 9-H.
(Application Number A-7432)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RM5 Residential Multi-Unit District symbols and indications as shown on Map Number 9-H in the area bounded by:

a line 72 feet south of and parallel to West Melrose Street; the west boundary line of North Ravenswood Avenue; a line 120 feet south of and parallel to West Melrose Street; and the public alley next west of and parallel to North Ravenswood Avenue,

to those of an RS3 Residential Single-Unit (Detached House) District.

SECTION 2. This ordinance takes effect after its passage and approval.

*Reclassification Of Area Shown On Map Number 9-J.
(As Amended)
(Application Number A-7405)*

IPD 1126

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C1-2 Neighborhood Commercial District symbols and indications shown on Map Number 9-J in the area bounded by:

beginning at the alley next south of and parallel to West School Street; North Avers Avenue; a line 219.81 feet northeast of and parallel to North Milwaukee Avenue; a line 250 feet southeast of and parallel to North Springfield Avenue (as measured along the northeasterly right-of-way of North Milwaukee Avenue and perpendicular thereto); North Milwaukee Avenue; a line 100 feet northwest of and parallel to North Springfield Avenue; the alley next northeast of and parallel to North Milwaukee Avenue; and North Springfield Avenue to the point of beginning,

to those of an RT4 Two-Flat, Townhouse and Multi-Unit District and a corresponding use district is hereby established in the area described above.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the RT4 Two-Flat, Townhouse and Multi-Unit District symbols and indications established in

Section 1 above to the designation of an Institutional Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 3. This ordinance shall be in full force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 1126.

Plan Of Development Statements.

1. The area delineated herein as an Institutional Planned Development consists of approximately two and thirty hundredths (2.30) acres or one hundred thousand ninety-four (100,094) square feet net site area which is depicted on the attached Planned Development Boundary and Property Line (the "Property") and which is owned or controlled by the Board of Education of the City of Chicago. The Public Building Commission of Chicago ("Applicant") has been retained by the owner to construct a new Avondale/Irving Park Area Elementary School on the Property.
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this planned development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or their successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns, grantees and Lessees, if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder or any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean the party who is authorized by the Applicant, its successors and assigns or any property owner association formed to succeed the Applicant for purposes of seeking approval of this planned development or any other amendment, modification or change thereto.

4. This planned development consists of seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; a Site/Landscape Plan; a Landscape Plan and Schedule; and Building Elevations and Perspective prepared by SMNGA Architects, dated September 18, 2008. Full size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of planning and development. The Planned Development is applicable to the area delineated herein and these and no other zoning controls shall apply.
5. The planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, the requirements thereof, and satisfies the established criteria for approval as a planned development.
6. The uses permitted within the area of delineation herein as "Institutional Planned Development" shall be educational and recreational facilities, offices, accessory and non-accessory parking and related uses incidental thereto.
7. On-premise business identification signs, may be permitted within the Institutional Planned Development, subject to the review and approval by the Department of Planning and Development. No off-premise signs shall be permitted in the planned development.
8. Off-street parking and off-street loading facilities shall be provided in compliance with this planned development, subject to review and approval of the Departments of Transportation and Planning and Development. A minimum of two percent (2%) of all parking spaces shall be designated for accessible parking.
9. Service drives or other means of ingress or egress, including for emergency vehicles shall be adequately designed and paved in accordance with the Municipal Code and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking within such paved areas or fire lanes. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development.
10. In addition to the maximum height of any building or any appurtenance thereto, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
11. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements the definitions in the Chicago Zoning Ordinance shall apply.
12. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$0.25) per square feet for the total buildable square feet (floor area ratio). The Part II Fee will be assessed by D.P.D. during the actual Part II Review. The fee as determined by D.P.D. staff at that time is final and binding on the Applicant and must be paid to the Department of Planning and Development prior to the issuance of any Part II Approval.
13. Improvements on the Property, including landscaping, all entrances and exits to the parking area, shall be designed and installed in substantial conformance with the Site/Landscape Plan, Building Elevations and the Bulk Regulations and Data Table

attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the attached Site/Landscape Plan.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The Applicant will incorporate a partial green roof covering fifty percent (50%) of the net roof area (twenty thousand five hundred seventy-nine (20,579) square feet), use recycled materials with the goal of obtaining L.E.E.D. silver level certification.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this Statement by the Commissioner shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
17. Unless substantial new construction on the property has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert back to RT4 Residential Two-Flat perspective Townhouse and Multi-Unit District.

[Existing Zoning Map; Aerial View; Site Context Photographs; Property Line and Right-of-Way Adjustment Map; Site Plan; Landscape Plan and Schedule; Green Roof Plan; Building Elevations; Perspective; and Chicago Builds Green Form referred to in these Plan of Development Statements printed on pages 41077 through 41090 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development Number 1126.

Avondale/Irving Park Area Elementary School

Bulk Regulations And Data Table.

Gross Site Area:	135,930 square feet (3.12 acres)
Net Site Area:	100,094 square feet (2.30 acres) after alley vacation completed
Public Area Right-of-Way:	35,836 square feet (0.82 acre) after alley vacation completed
Maximum Floor Area:	1.2
Minimum Number of Off-Street Loading Spaces:	1
Minimum Number of Accessory Off-Street Parking Spaces:	25 (including 1 accessible space)
Minimum Number of Bicycle Parking Spaces:	20
Maximum Building Height:	62 feet (as measured by the Chicago Zoning Ordinance)
Minimum Required Setback:	In accordance with the Site Plan
Maximum Percent of Site Coverage:	In accordance with the Site Plan

Existing Zoning Map.



EXISTING ZONING MAP

NOT TO SCALE



GRAPHIC KEY:

AREA OF DEVELOPMENT

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO & ALDERMAN ARIEL E. REBOYRAS

ADDRESS: 3231 N. SPRINGFIELD AVE. CHICAGO, IL 60618

CITY OF CHICAGO MAYOR RICHARD M. DALEY

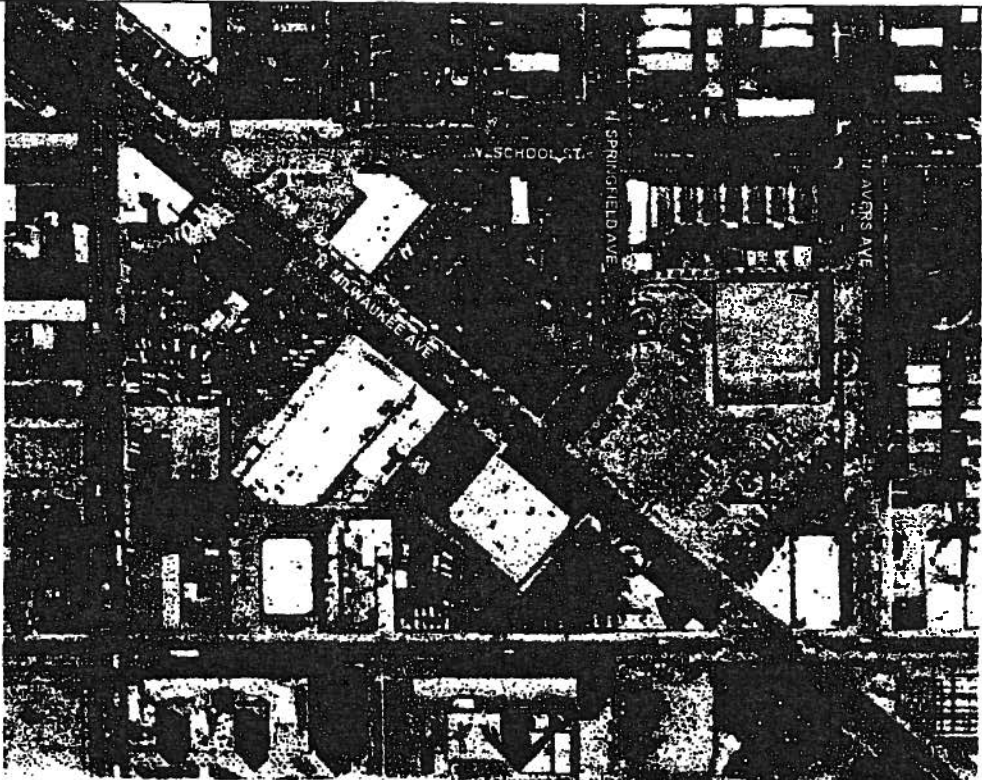
INSTITUTIONAL PLANNED DEVELOPMENT AVONDALE / IRVING PARK AREA ELEMENTARY SCHOOL

DATE: SEPTEMBER 16, 2008

SMNG-A

1	10/15/08
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6	10/15/08
7	10/15/08
8	10/15/08
9	10/15/08
10	10/15/08

Aerial View.



NUMBERS CORRESPOND TO SITE CONTEXT PHOTOGRAPHS ON THE FOLLOWING SHEETS

AERIAL VIEW NOT TO SCALE



GRAPHIC KEY:
AREA OF DEVELOPMENT

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO &
ALDERMAN ARIEL E. REBOYRAS

ADDRESS: 3231 N. SPRINGFIELD AVE.
CHICAGO, IL 60618

CITY OF CHICAGO
MAYOR RICHARD M. DALEY

INSTITUTIONAL PLANNED DEVELOPMENT
AVONDALE / IRVING PARK AREA
ELEMENTARY SCHOOL

DATE: SEPTEMBER 18, 2008

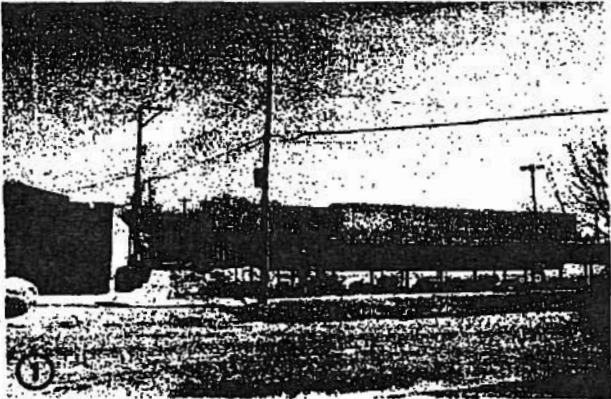


10/8/2008

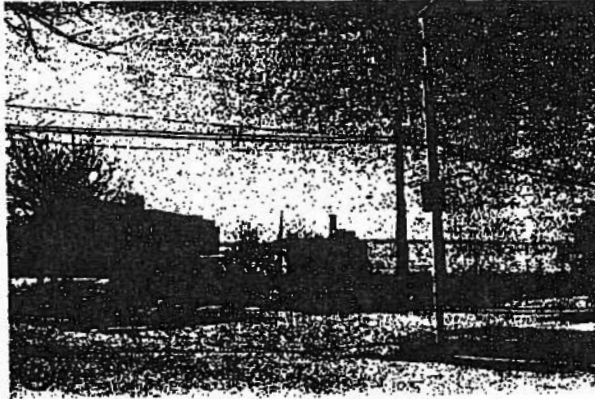
REPORTS OF COMMITTEES

41079

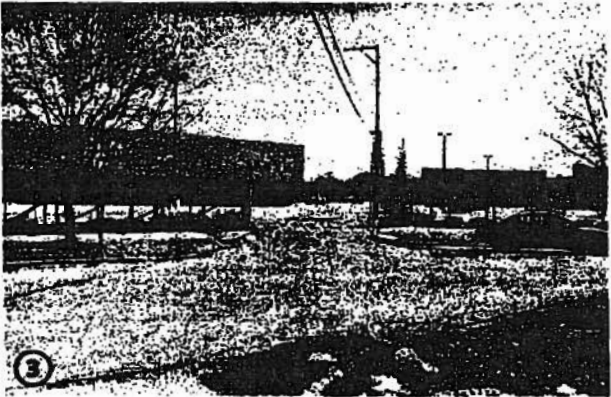
Site Context Photographs.
(Page 1 of 2)



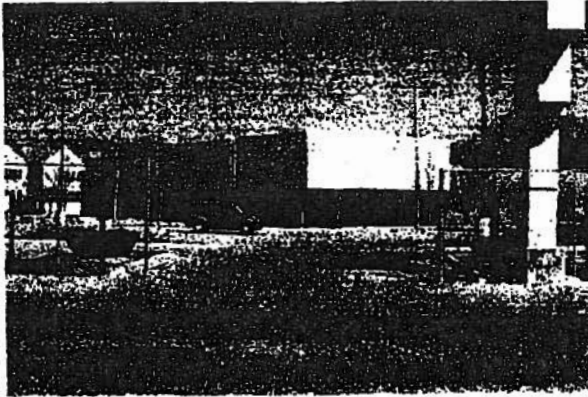
VIEW EAST FROM N. SPRINGFIELD AVE. OF THE EXISTING ALLEY



VIEW SOUTH-WEST FROM N. SPRINGFIELD AVE. OF THE PROPOSED PARKING LOT LOCATION



VIEW SOUTH-EAST FROM N. SPRINGFIELD AVE. OF THE PROPOSED VACATION



VIEW NORTH-EAST FROM N. MILWAUKEE AVE. OF THE PROJECT SITE

SITE CONTEXT PHOTOGRAPHS

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO &
ALDERMAN ARIEL E. REBOYRAS

ADDRESS: 3231 N. SPRINGFIELD AVE.
CHICAGO, IL 60618

CITY OF CHICAGO
MAYOR RICHARD M. DALEY

INSTITUTIONAL PLANNED DEVELOPMENT
AVONDALE / IRVING PARK AREA
ELEMENTARY SCHOOL

DATE: SEPTEMBER 18, 2008

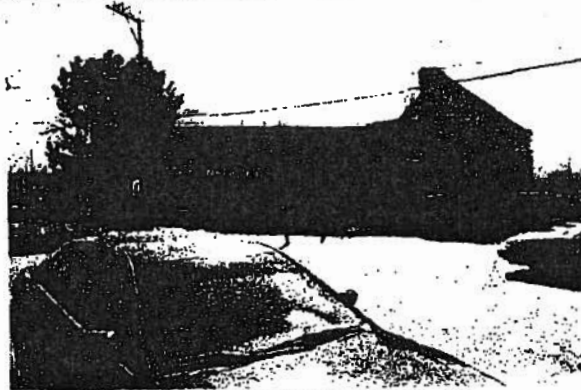
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Site Context Photographs.
(Page 2 of 2)



VIEW NORTH FROM N. MILWAUKEE AVE. OF PROJECT SITE AND N. SPRINGFIELD AVE.



VIEW SOUTH-EAST FROM THE PROJECT SITE OF EXISTING 2-STORY BUILDING



VIEW SOUTH-WEST FROM N. AVERS AVE. OF THE PROJECT SITE



VIEW NORTH-EAST FROM N. AVERS AVE. OF PARKVIEW PARK

SITE CONTEXT PHOTOGRAPHS

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO &
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CHICAGO, IL 60618

CITY OF CHICAGO
MAYOR RICHARD M. DALEY

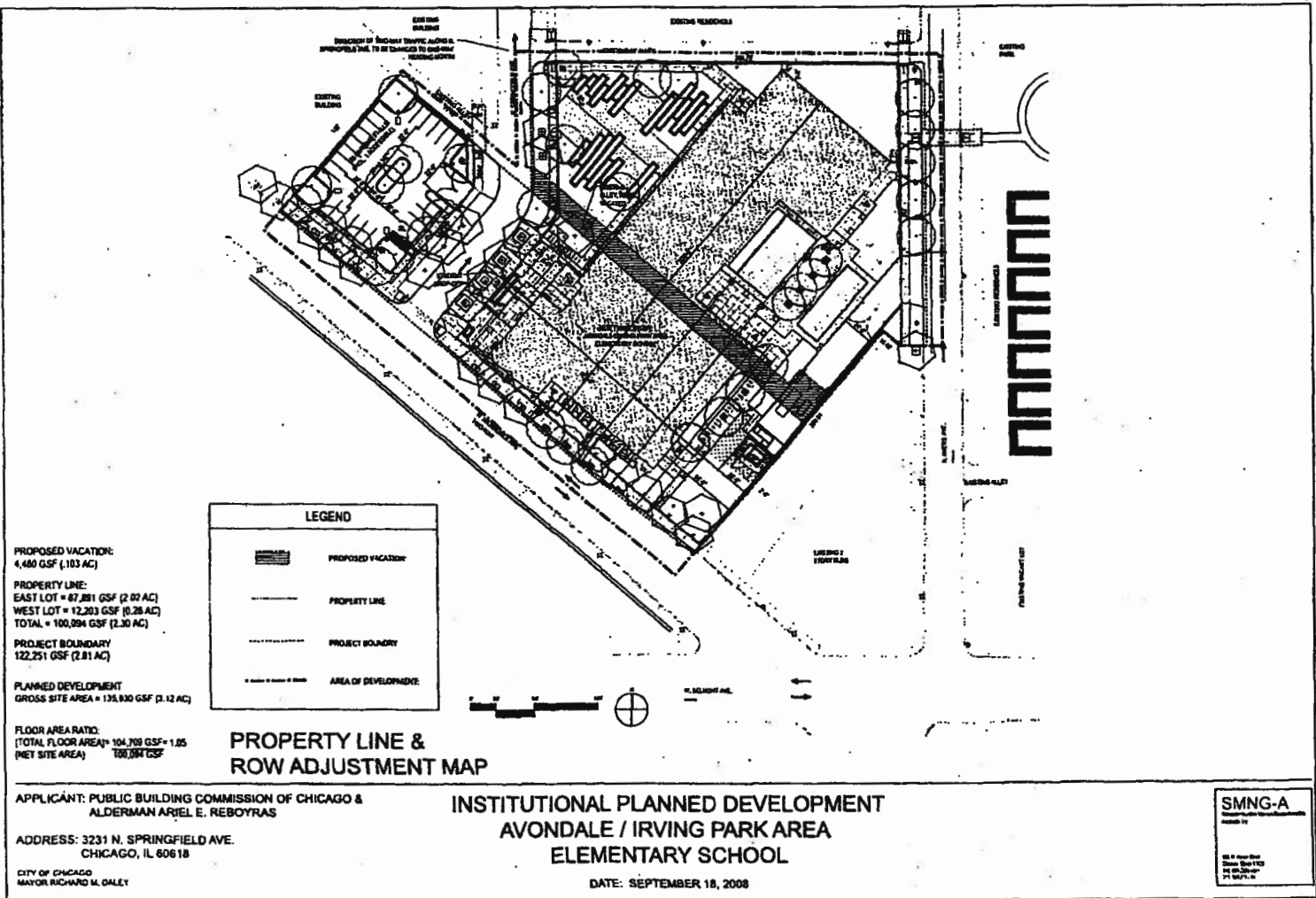
INSTITUTIONAL PLANNED DEVELOPMENT
AVONDALE / IRVING PARK AREA
ELEMENTARY SCHOOL

DATE: SEPTEMBER 18, 2008

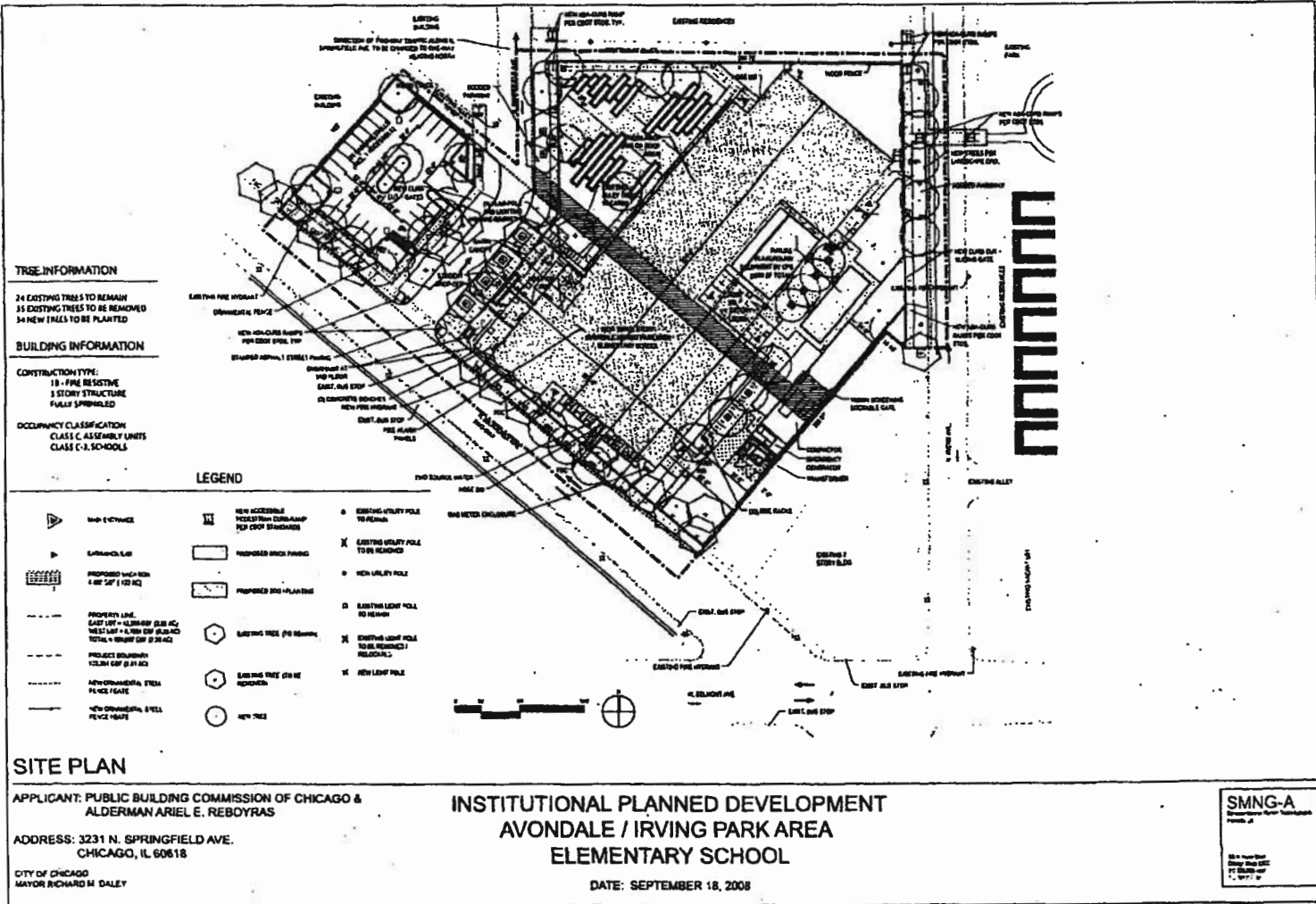
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Standardized Map Notation
Scale 1"

8 1/2" x 11" Sheet
Drawing No. 001
2/18/08
P. Smith

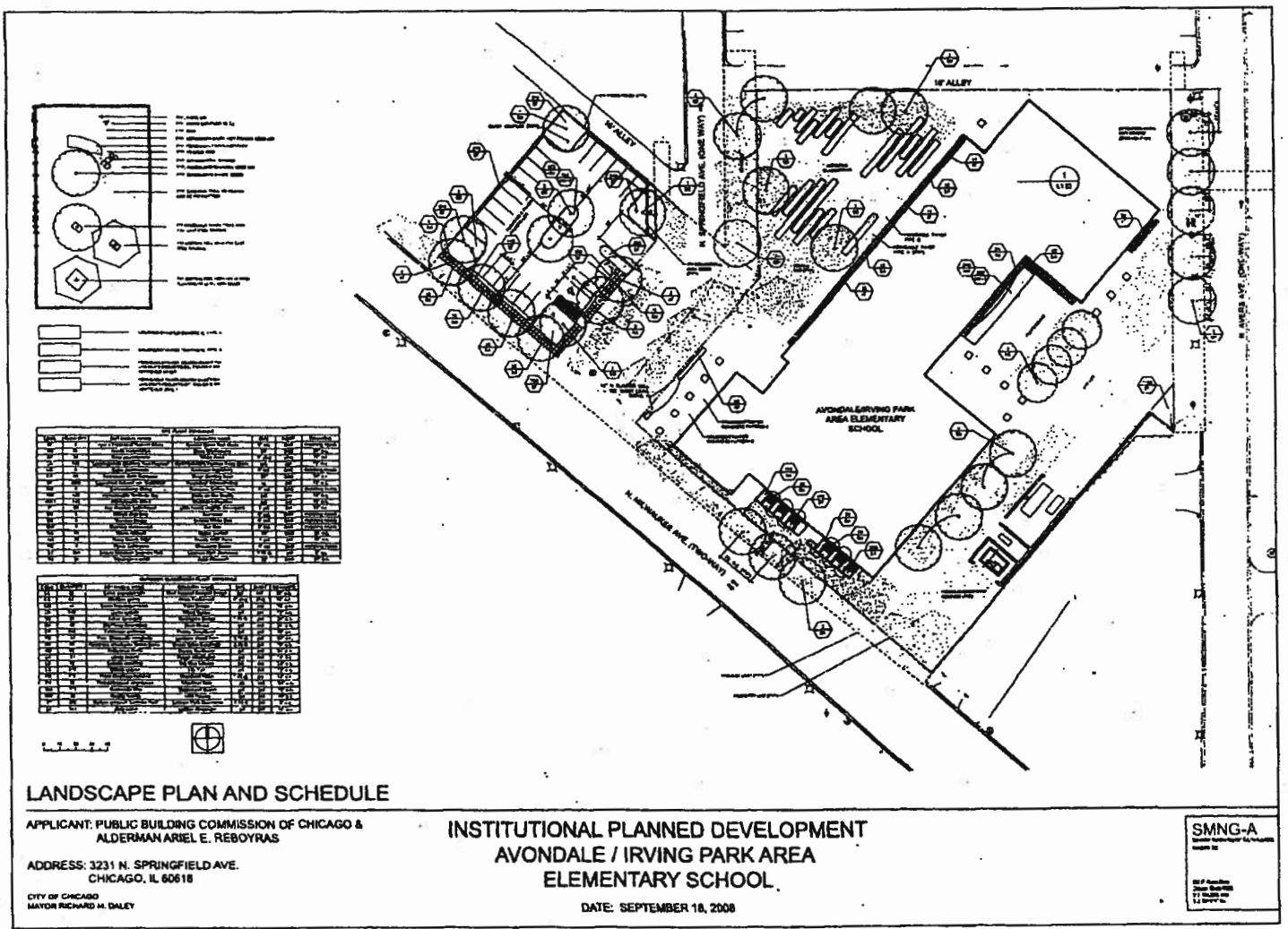
Property Line And Right-of-Way Adjustment Map.



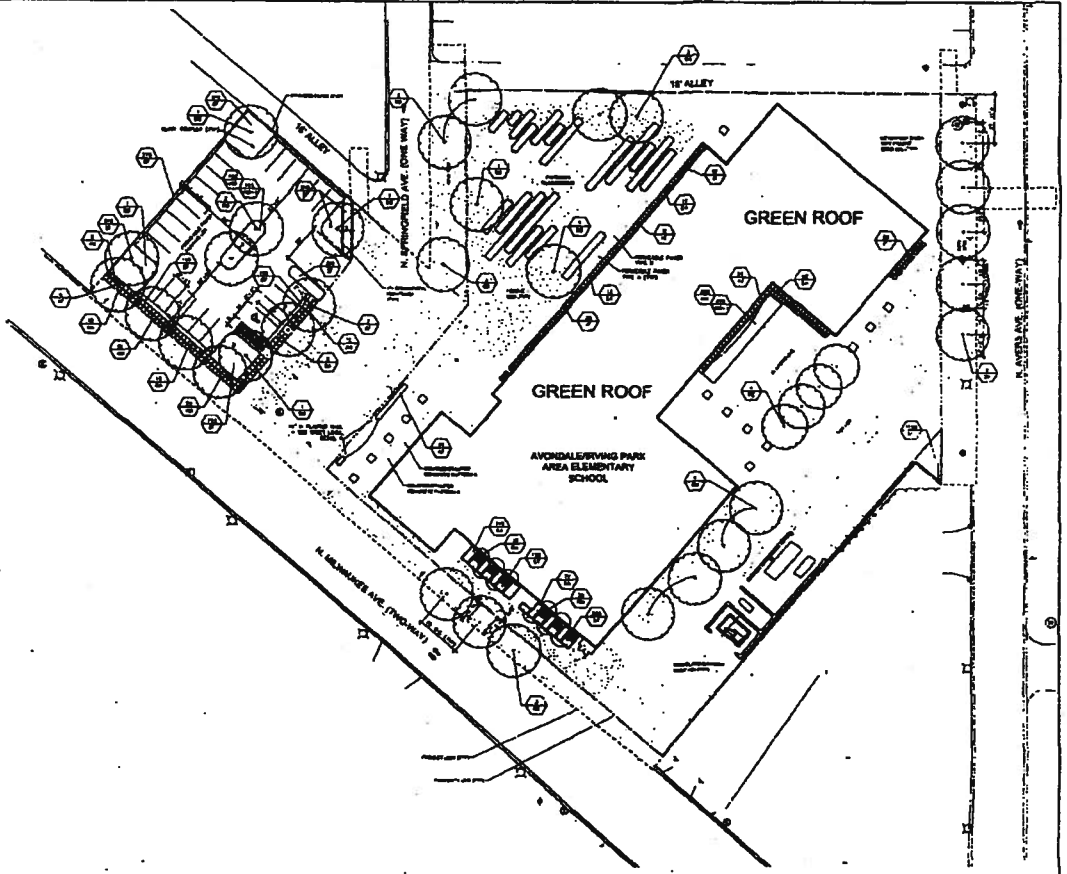
Site Plan.



Landscape Plan And Schedule.



Green Roof Plan.



GREEN ROOF INFORMATION
 GREEN ROOF AREA 20,579 SQFT



GREEN ROOF PLAN

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO &
 ALDERMAN ARIEL E. REBOYRAS
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 CHICAGO, IL 60618
 CITY OF CHICAGO
 MAYOR RICHARD M. DALEY

**INSTITUTIONAL PLANNED DEVELOPMENT
 AVONDALE / IRVING PARK AREA
 ELEMENTARY SCHOOL**

DATE: SEPTEMBER 18, 2008

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10/8/2008

REPORTS OF COMMITTEES

41085

Building Elevations.
(Page 1 of 2)

NORTH ELEVATION

KEYNOTE LEGEND

<p>1 FACE BRICK 8" x 8" x 16" TYPICAL</p> <p>2 FACE BRICK 8" x 8" x 16" TYPICAL</p> <p>3 6" x 6" PROFILE ALUMINUM WINDOW WALL SYSTEM ALUM VERTICAL & HORIZONTAL BUILT UP AS CORNER</p> <p>4 TWO DEPARTMENT CORNER FROM AN ANGLE & STONE JELLY</p> <p>5 ALUM FINISH DOORS WITH RELATED 1/2" ALUM</p> <p>6 ACOUSTIC STRUCTURAL LOUVER WITH CONCRETE EDGERS AT ANGLES WITH MITTERED CORNER</p> <p>7 RAISED ALUMINUM SIGNAGE SCHOOL FRAME TO BE DETERMINED</p> <p>8 ALUM EXHAUST LOUVER WITH ENGINEERED GIRT CONNECTIONS TO PRIMARY STRUCTURAL FRAME BY INSTALLER WITH MITTERED CORNER</p> <p>9 ALUM SUN CONTROL LOUVER</p> <p>10 PREFINISHED STEEL OVERHEAD CONN. DOOR</p> <p>11 ALUM WINDOW AND SUBFRAME WITH FINISH OPTION 1 (TYPICAL)</p>	<p>12 BUILT UP</p> <p>13 PREFIN ALUM CLADDING</p> <p>14 INTERIALLY FINISHED MULTIPLE METAL DOOR & FRAME</p> <p>15 PREFIN ALUM SILL BY WINDOW MFR</p> <p>16 1/2" x 1/2" x 1/2" ALUM PANELS</p> <p>17 PREFINISHED POLYMER FINISH LUXURY</p> <p>18 1/2" x 1/2" x 1/2" ALUM PANELS</p> <p>19 OPEN TO BEYOND</p> <p>20 WINDSTOP GUARD AS CALLED FOR CODE</p> <p>21 1/2" x 1/2" x 1/2" ALUM PANELS</p> <p>22 PREFIN ALUM FINISH & GRANITE SILL</p> <p>23 Limestone Sill</p>
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EAST ELEVATION

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO & ALDERMAN ARIEL E. REBOYRAS

ADDRESS: 3231 N. SPRINGFIELD AVE. CHICAGO, IL 60618

CITY OF CHICAGO
PLANNING DEPARTMENT

**INSTITUTIONAL PLANNED DEVELOPMENT
AVONDALE / IRVING PARK AREA
ELEMENTARY SCHOOL**

DATE: SEPTEMBER 18, 2008

SMNG-A

Scale: 1/8" = 1'-0"

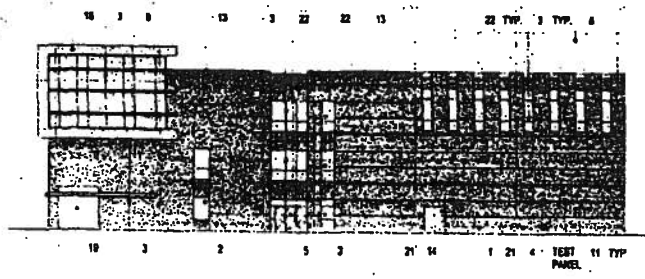
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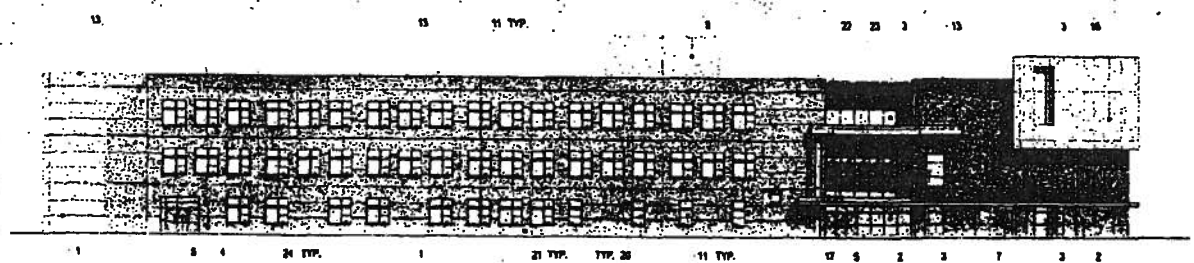
10/8/2008

KEYNOTE LEGEND

- 1 FACE BRICK 4" x 8" x 12" MODULAR
- 2 FACE BRICK 2" x 4" x 12" TRD MOD
- 3 4" x 8" PROFILE ALUMINUM WINDOW WALL SYSTEM - ALUM VERTICAL & HORIZONTAL BUTT JOINTS AT CORNERS
- 4 FIRE DEPARTMENT SYMBOL TYPE ALARM BELL & STROKE MFC
- 5 ALUM ENTRY DOORS W/ INSULATED GLAZING
- 6 ACOUSTIC STRUCTURAL LOUVER W/ CONCEALED VENT AT MEET UP W/ ADJUTED CORNER
- 7 RAISED ALUMINUM SAGMAGE SCHOOL WANT TO BE DETERMINED
- 8 ALUM EXHAUST LOUVERS W/ ENGINEERED GIRT CONNECTIONS TO PRIMARY STRUCTURAL FRAME BY BOLTED UP W/ PAINTED COLUMB
- 9 ALUM SUN SCREEN COVERS
- 10 PREFINISHED STEEL OVERHEAD COLUMB DOOR
- 11 ALUM SIDING AND SUB FRAME TO FACE PANE COVERED WINDOWS
- 12 REVEAL
- 13 PREFIN ALUM COPING
- 14 THERMALLY BROKEN METAL FLOOR & FRAME
- 15 PREFIN ALUM SILL BY WINDOW AIR
- 16 1" x 1" ALUM PANELS
- 17 FIN FINISHED ROUND METAL COLUMNS
- 18 1/2" x 1" ALUM PANELS
- 19 OPEN TO BEYOND
- 20 WINDOW GUARDS AT GRAVEL FLOOR PANEL
- 21 1/2" MASONRY EXPANSION JOINT
- 22 BRICK AT SPANDREL CA 4" W/
- 23 PREFIN ALUM PANEL & GROUND SLIP
- 24 LIME STONE VAIL



SOUTH ELEVATION



WEST ELEVATION



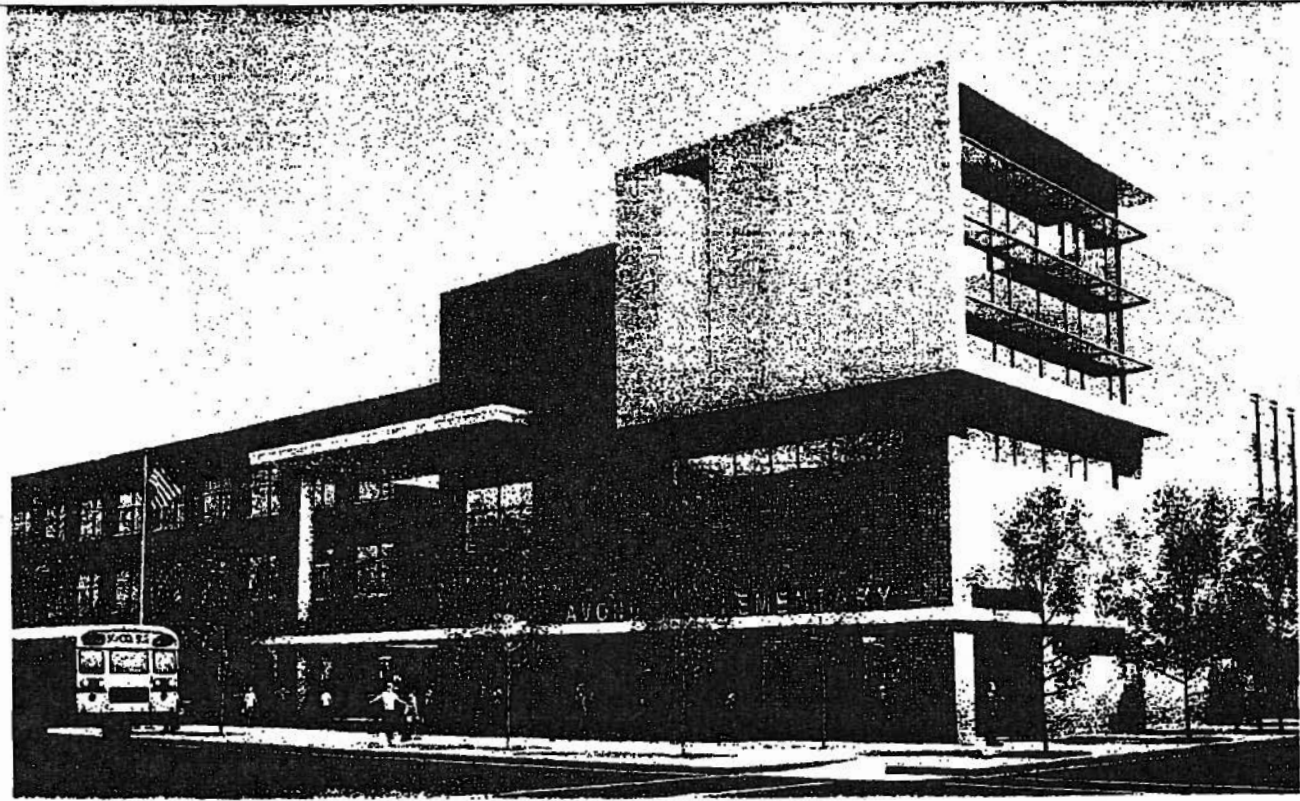
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 CITY OF CHICAGO
 MAYOR RICHARD M. DALEY

INSTITUTIONAL PLANNED DEVELOPMENT
 AVONDALE / IRVING PARK AREA
 ELEMENTARY SCHOOL

DATE: SEPTEMBER 18, 2008

SMNG-A
 10/8/2008
 10/8/2008

Perspective.



PERSPECTIVE

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ELEMENTARY SCHOOL

DATE: SEPTEMBER 18, 2008

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12

Chicago Builds Green.
(Page 1 of 3)

CHICAGO BUILDS GREEN

Project Name:

Avondale / Irving Park Elementary School

Project Location:

* Street Number (if the address only includes one street number, please fill only the cell "From"):

<small>From*</small>	<small>To*</small>	<small>Direction:</small>	<small>Street Name:</small>	<small>Select Street Type:</small>
3231		N	Springfield	Ave

Ward No: Community Area No:

30	
----	--

Project Type:

Check applicable:

Planned Development Redevelopment Agreement Zoning Change

↳ PD No: ↳ RDA No: ↳ From: To:

Public project Landmark

Project Size:

<small>Total land area in sq.ft.:</small>	<small>Total building(s) footprint in sq.ft.:</small>	<small>Total vehicular use area in sq.ft.:</small>
100,094	36,007	

DPD Project Manager:

Enter First Name Last Name

BG/GR Matrix:

Select project category:
Inst. School, Com. Center

Financial Incentives:

Check applicable:

TIF Empowerment Zone Grant Class L

GRIF Ind. Dev. Revenue Bonds Class 6b

SBIF Bank Participation Loan DOH

Land Sale Write Down

Density Bonus:

Check applicable:

Public plaza & pocket park Water features in a plaza or pocket park

Chicago Riverwalk improvements Setbacks above the ground floor

Winter gardens Lower level planting terrace

Indoor through-block connection Green roof

Sidewalk widening Underground parking and loading

Arcades Concealed above-ground parking

Chicago Builds Green.
(Page 2 of 3)

Required per Zoning Code or Green Roof/Building Green Main: To be Provided: If Available: If Not Available:

Please fill, if applicable

Landscaping:

- 7' Landscape Setback
- Interior Landscape Area
- No. of Interior Trees
- No. of Parkway Trees

Square footage:	1,414	1,800
Square footage:	806	2,400
	0	
	0	

Open Space:

- River Setback
- Private Open Space
- Privately developed Public Open Space

Square footage:		
Square footage:		
Square footage:		

Stormwater Management (At-grade volume control):

- Permeable paving
- Raingarden
- Filter strip
- Bioswale
- Detention pond
- Native landscaping
- Rain-water collection cistern/barrel
- Total impervious area reduction

Square footage:	
Check applicable:	
Square footage:	
Gallons:	
Square footage:	

Other sustainable surface treatments:

- Green roof
- Energy Star roof
- High-albedo pavement

Square footage:	
Square footage:	
Square footage:	

Transportation:

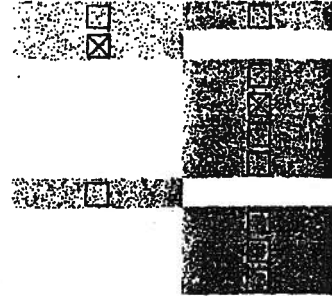
- No. of accessory parking spaces
- Total no. of parking spaces (Accessory + Non-Acc.)
- No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)
- No. of bicycle parking
- Within 600 ft of CTA or Metra station entrance

Check if applicable:	

Chicago Builds Green.
(Page 3 of 3)

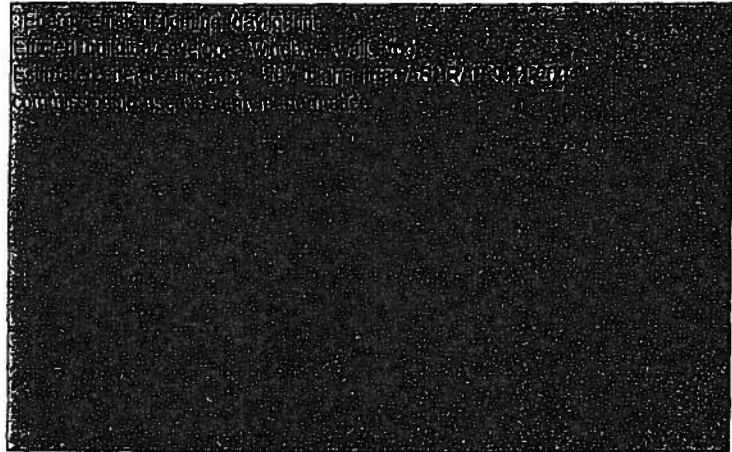
Building Certification:

- Energy Star building
- LEED certification
 - LEED Certified
 - LEED Silver
 - LEED Gold
 - LEED Platinum
- Chicago Green Homes
 - Chicago Green Homes [one-star]
 - Chicago Green Homes [two-star]
 - Chicago Green Homes [three-star]



Energy efficiency strategies not captured above:

-IE: Other than Energy Star Roof - or Energy Star Building Certification-



Other sustainable strategies and/or Project Notes:

