

PD 1125

Table of Contents

02/24/2009 Minor Change **2**

10/08/2008 PD Adoption **3**

 Ordinance 3

 Statements 3

 Bulk Table 8

 Exhibits 11



City of Chicago
Richard M. Daley, Mayor

Department of Zoning

Patricia A. Scudiero
Zoning Administrator

City Hall, Room 905
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-5777 (Voice)
(312) 744-6552 (FAX)
(312) 744-2950 (TTY)
<http://www.cityofchicago.org>

February 24, 2009

Ms. Terry Diamond
Neal & Leroy, LLC
203 North LaSalle Street
Suite 2300
Chicago, IL 60601-1243

Re: Administrative Relief request for Institutional Planned
Development No. 1125, Proposed Police and Board of Education
Parking Garage, 808 W. Addison Street

Dear Ms. Diamond:

Please be advised that your request for a minor change to Institutional Planned Development No. 1125 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

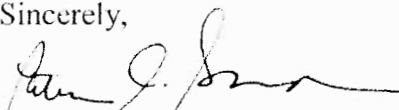
You are requesting to:

- Replace the Addison St. ground floor windows of the southwest parking garage tower with a recessed limestone panel of approximately the same size.
- Replace the precast panels covered with a metal trellis and vegetation on the southeast parking garage tower with limestone, add a pedestrian door at grade and 2nd and 3rd floor windows along the Addison St. elevation, and increase the height of the tower from 39'-3" to 42'-9". These design revisions are shown on revised elevation drawings, prepared by Desman Associates, and dated February 10, 2009.

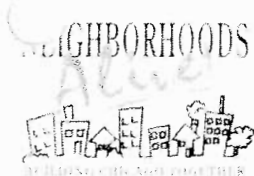
With regard to your request, the Department of Zoning and Land Use Planning has determined that allowing these design revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 1125, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Commissioner

PAS:HG:tm
c: Mike Marmo, Pat Haynes, Erik Glass, DPD files



A-7427

Reclassification Of Area Shown On Map Number 9-G.
 (As Amended)
 (Application Number A-7427)

IBRPS 1125

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the RM5 Residential Multi-Unit District and C1-3 Neighborhood Commercial District symbols and indications as shown on Map Number 9-G in the area bounded by:

beginning at a line 290.61 feet north of and parallel to West Addison Street; a line 89.88 feet west of and parallel to North Halsted Street; a line 260.15 feet north of and parallel to West Addison Street; North Halsted Street; West Addison Street; North Fremont Street; a line 146 feet north of and parallel to West Addison Street; and a line 289.58 feet east of and parallel to North Fremont Street (ToB),

to those of a B2-3 Neighborhood Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. Title 17 of the Municipal Code, the Chicago Zoning Ordinance, be amended by changing all the B2-3 Neighborhood Commercial District symbols and indications within the area herein above described to the designation of Institutional, Business and Residential Planned Development Number 1125, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached and made a part thereto and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to this ordinance read as follows:

Institutional, Business And Residential Planned Development Number 1125.

Plan Of Development Statements.

1. The area delineated herein as Institutional, Business and Residential Planned Development Number 1125 (the "Planned Development") consists of approximately one hundred twenty-three thousand seven hundred thirty-three (123,733) net square feet (approximately two and eighty-four hundredths (2.84) acres) of property located in the area generally bounded as follows:

beginning at a line 290.61 feet north of and parallel to West Addison Street; a line 89.88 feet west of and parallel to North Halsted Street; a line 260.15 feet north of and parallel to West Addison Street; North Halsted Street; West Addison Street; North Fremont Street; a line 146 feet north of and parallel to West Addison Street; and a line 289.58 feet east of and parallel to North Fremont Street (the "Property").

The Property is currently owned by two (2) governmental entities: (i) the City of Chicago and (ii) the Public Building Commission of Chicago (collectively the "Owners"). Thomas M. Tunney, Alderman of the 44th Ward, on behalf of the Owners of the Property, is sponsoring the applicant for this Planned Development ("Applicant"). The area within the Planned Development boundaries are divided into two (2) subareas (A and B) as indicated on the attached Subarea Map.

2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant, its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessees and their respective successors and assigns. All rights hereunder to the Applicant shall inure to the benefit of its successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessees and their respective successors and assigns. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, at the time applications for amendments or changes (administrative, legislative or otherwise) to this Planned Development are made, the Property shall be under single ownership or under single designated control. Single designated control for purposes of this statement shall mean any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the Owners of the Property and any ground lessees of the Property, subject however to the following exceptions and conditions: (a) any changes or modifications to this Planned Development applicable to or in a given subarea need only be made or authorized by the owners and/or any ground lessees of such subarea provided there is no adverse effect on the other subarea; and (b) nothing herein shall prohibit or in any way restrict the alienation, sale or other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the property so transferred, the term Applicant shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust).

4. The following uses shall be permitted in the Planned Development as follows:
 - Subarea A: Public safety services and educational uses including police station and temporary detention facilities, wireless communication facilities, antenna and monopole tower, accessory and nonaccessory parking, accessory loading and temporary buildings for construction purposes.
 - Subarea B: Institutional, business, commercial, residential and related uses, public safety, medical services, retail uses, personal service, stores, offices, restaurants, dwelling units, efficiency, affordable and elderly units, accessory uses, loading, accessory and non-accessory parking.
5. This plan of development consists of these seventeen (17) statements, a Bulk Regulations and Data Table and the following documents prepared by Wight & Company and Desman Associates dated September 18, 2008 (collectively, the Plans): an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Site Plans; Landscape Plans; Green Roof Plans; and Building Elevations for the new police station and garage for the property commonly known as 808 and 850 West Addison Street. Full sized copies of the Site and Landscape Plans, Parking Structure and Building Elevations are on file with the Department of Planning and Development (the "Department"). These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
6. On-premise business identification signs shall be permitted within the Institutional Planned Development" subject to the review and approval by the Department of Planning and Development. No off-premise signs shall be permitted in the Planned Development.
7. On-premise business identification signs, may be permitted within the Institutional Planned Development, subject to the review and approval by the Department of Planning and Development. No off-premise signs shall be permitted in the Planned Development.

Review of the parking garage elevation will be conducted prior to the issuance of a Part II letter to allow the Department of Planning and Development to review the proposed screening for the parking structure to be constructed in Subarea A.

Prior to the development or redevelopment of Subarea B, the Applicant must obtain Site Plan Approval of such development or redevelopment from the Department of Planning and Development. Site Plan Approval is intended to assure that specific development proposal conforms to this Planned Development. No Part II approval for development within Subarea B shall be granted until Site Plan Approval has been granted for

Subarea B. The approved Site Plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be part of this Planned Development. The approved Site Plan may be changed or modified pursuant to the provisions of Statement Number 14 of this Planned Development.

At a minimum, the Site Plans shall provide the following information with respect to the proposed improvements within the boundaries of Subarea B:

- A. building elevations;
- B. footprint of the improvements;
- C. preliminary landscape plan;
- D. preliminary floor plans; and
- E. statistical information applicable to Subarea B including floor area and floor area ratio ("F.A.R."), uses to the established, building heights and setbacks.

The Site Plans for Subarea B shall include such information as may be necessary to illustrate conformance with the applicable provisions of the Planned Development.

8. The Townhall Police Station in Subarea B, commonly known as 3600 North Halsted Street, is listed on the Chicago Historic Resource Survey (C.H.R.S.). Modifications to the exterior elevations of the Townhall Police Station shall be subject to review and approval by the Landmark's Division of the Department of Planning and Development as part of the Part II submittal process.
9. Subject in all cases to the other statements, terms regulations and provisions of this Planned Development, the Applicant may allocate or re-assign the development rights under this Planned Development among the designated subareas, including, but not limited to F.A.R. and parking subject to the approval of the Department; provided, however, that building heights for the two subareas and the limitations set forth in the Bulk Regulations and Data Table applicable to the entirety of the Planned Development shall not be exceeded nor increased as a result of any such allocations or reassignments.
10. Notwithstanding Section 17-3-0504-G of the Chicago Zoning Ordinance, one driveway servicing Subarea A and one driveway servicing Subarea B shall be permitted on Halsted. All service drives or any other means of ingress or egress shall be adequately designed and paved in accordance with the provisions of the Municipal Code and the regulations of the Chicago Department of Transportation ("C.D.O.T.") in effect at the time of review. There shall be no parking or storage of garbage receptacles within such service drives or within fire lanes. Any change to off-street parking ingress and egress as depicted in the plans shall be subject to the review and approval of C.D.O.T. and the

Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with C.D.O.T.'s "Construction Standards for Work in the Public Way" and in compliance with the Municipal Code of the City of Chicago. Closure of all or any part of any public street or alley during construction or demolition shall be subject to C.D.O.T.'s review and approval.

11. Height restrictions of any building or any appurtenance thereto, in addition to the Bulk Regulations and Data Table, shall be subject to height limitations as approved by the Federal Aviation Administration ("F.A.A.").
12. For purposes of F.A.R. calculations, the definitions in the Chicago Zoning Ordinance in effect as of the date hereof shall apply.
13. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$ 0.25) per square foot of building area. The Part II Review Fee is assessed by the Department of Planning and Development during the actual Part II Review. The fee as determined by the Department of Planning and Development staff at that time is final and binding on the "Owners" and must be paid to the Department of Planning and Development prior to the issuance of any Part II approval.
14. The requirements of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development (the "Commissioner") upon application and a determination by the Commissioner that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereto. Any such modification of the requirements of the Planned Development by the Commissioner shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating. Applicant shall use its best efforts to obtain Silver L.E.E.D Certification for the police station and garage in Subarea A. Applicants shall also provide a seventeen thousand (17,000) square foot green roof area equal to fifty percent (50%) of the net roof area of the new police station and ten percent (10%) of the fourth level of the new parking structure to be constructed in Subarea A. For existing buildings in Subarea B that are less than ten thousand (10,000) square feet, the Owner shall provide an Energy Star rated roof. For all new construction within Subarea B a minimum of fifty percent (50%) green roof must be provided.
16. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the

A-7427

Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each new building or improvement.

- 17. Unless substantial construction of the improvements in Subarea A has commenced within six (6) years following adoption of this Planned Development, and unless completion of such improvements is pursued thereafter, then this Planned Development shall expire. If this Planned Development expires under the provisions of this section, then the zoning of the Property shall automatically revert to the pre-existing classification of a B2-3 Mixed-Use Neighborhood District. Said six (6) years may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department determines that a good cause for such an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Site Plan; Overall Landscape Plan; Police Station Landscape Plan; Parking Structure Landscape Plan; Green Roof Plan; and Building Elevations for New Police Station and Garage referred to in these Plan of Development Statements printed on pages 41058 through 41070 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional, Business And Residential Planned Development Number 1125.

Plan Of Development Bulk Regulations And Data Table.

Gross Site Area:

Subarea A:	120,156 square feet
Subarea B:	<u>46,237 square feet</u>
TOTAL:	166,393 square feet (3.82 acres)

Area of Public Right-of-Way: 42,660 square feet (0.98 of an acre)

Net Site Area

Subarea A: 97,043 square feet

Subarea B: 26,690 square feet

TOTAL: 123,733 square feet (2.84 acres)

Maximum Floor Area Ratio (F.A.R.): 2.1

Maximum F.A.R.

Subarea A: 1.3

Subarea B: 5.0

Maximum Number of Dwelling
Units:

90 units (permitted in Subarea B only)

Permitted Uses

Subarea A: Public safety services, police station and temporary detention facilities, wireless communication facilities, antenna and monopole tower, educational uses, accessory and non-accessory parking, loading and temporary buildings for construction purposes.

Subarea B: Institutional, business, commercial, residential and related uses, public safety, medical, retail, personal service, stores, offices, restaurants, dwelling units, efficiency, affordable and elderly housing, accessory uses, loading, accessory and nonaccessory parking.

Minimum Number of Off-Street
Parking Spaces to be provided:

Subarea A: 361 Spaces; 250 accessory parking and 111 non-accessory parking spaces

Subarea B: As required by Chapter 17-10-0200 of the Chicago Zoning Ordinance

Minimum Number of Bicycle
Spaces:

36

Minimum Number of Off-Street
Loading Berths:

2 Total

Subarea A: 1 berth at 10 feet by 25 feet

Subarea B: 1 berth at 10 feet by 25 feet

Maximum Structure Heights as
Measured by the Chicago Zoning
Ordinance:

Subarea A:

Principal Building -- 40 feet

Garage Structure -- 60 feet

Monopole Tower Structure -- 160 feet

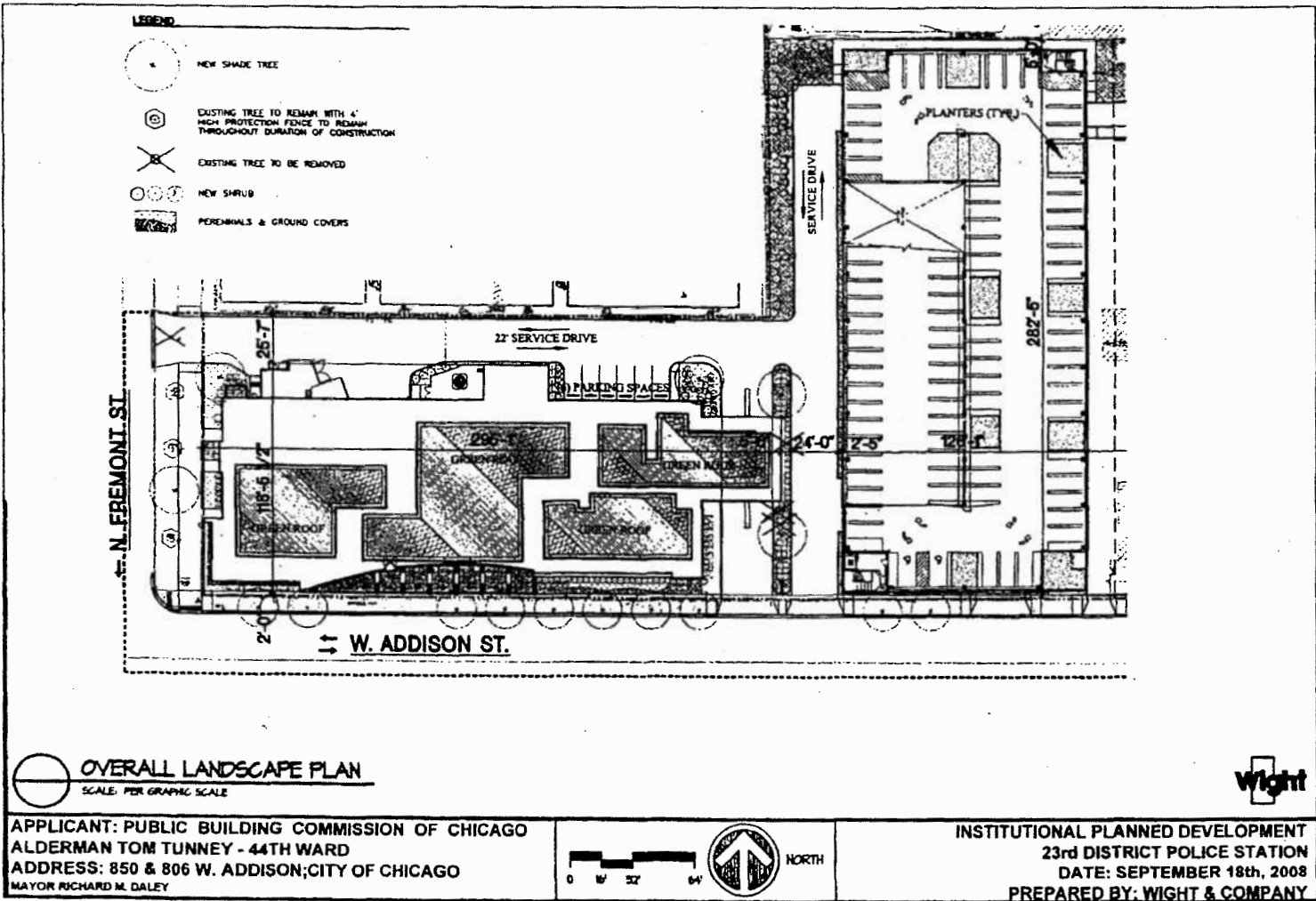
Subarea B: 79 feet

Minimum Setback from Property
Lines:






Subarea A: In substantial conformance with attached Site Plans

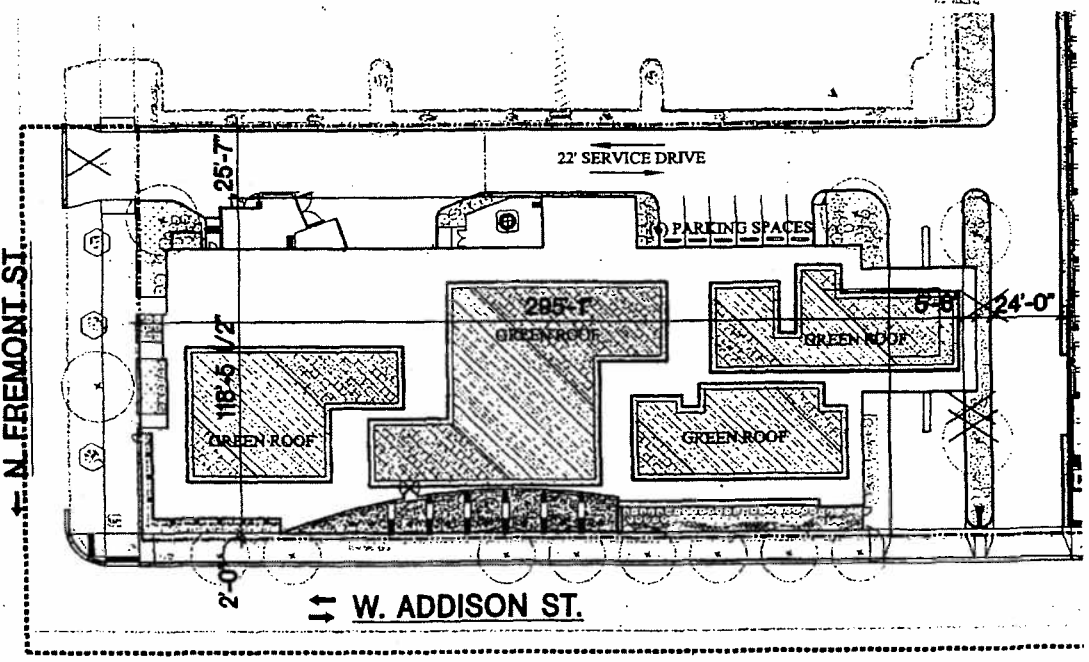
Subarea B: 0 foot front and side setbacks,
14 foot rear setback for new construction

Overall Landscape Plan.



Police Station Landscape Plan.

- LEGEND**
-  NEW SHADE TREE
 -  EXISTING TREE TO REMAIN WITH 4' HIGH PROTECTION FENCE TO REMAIN THROUGHOUT DURATION OF CONSTRUCTION
 -  EXISTING TREE TO BE REMOVED
 -  NEW SHRUB
 -  PERENNIALS & GROUND COVERS



**POLICE STATION
LANDSCAPE PLAN**
SCALE: PER GRAPHIC SCALE

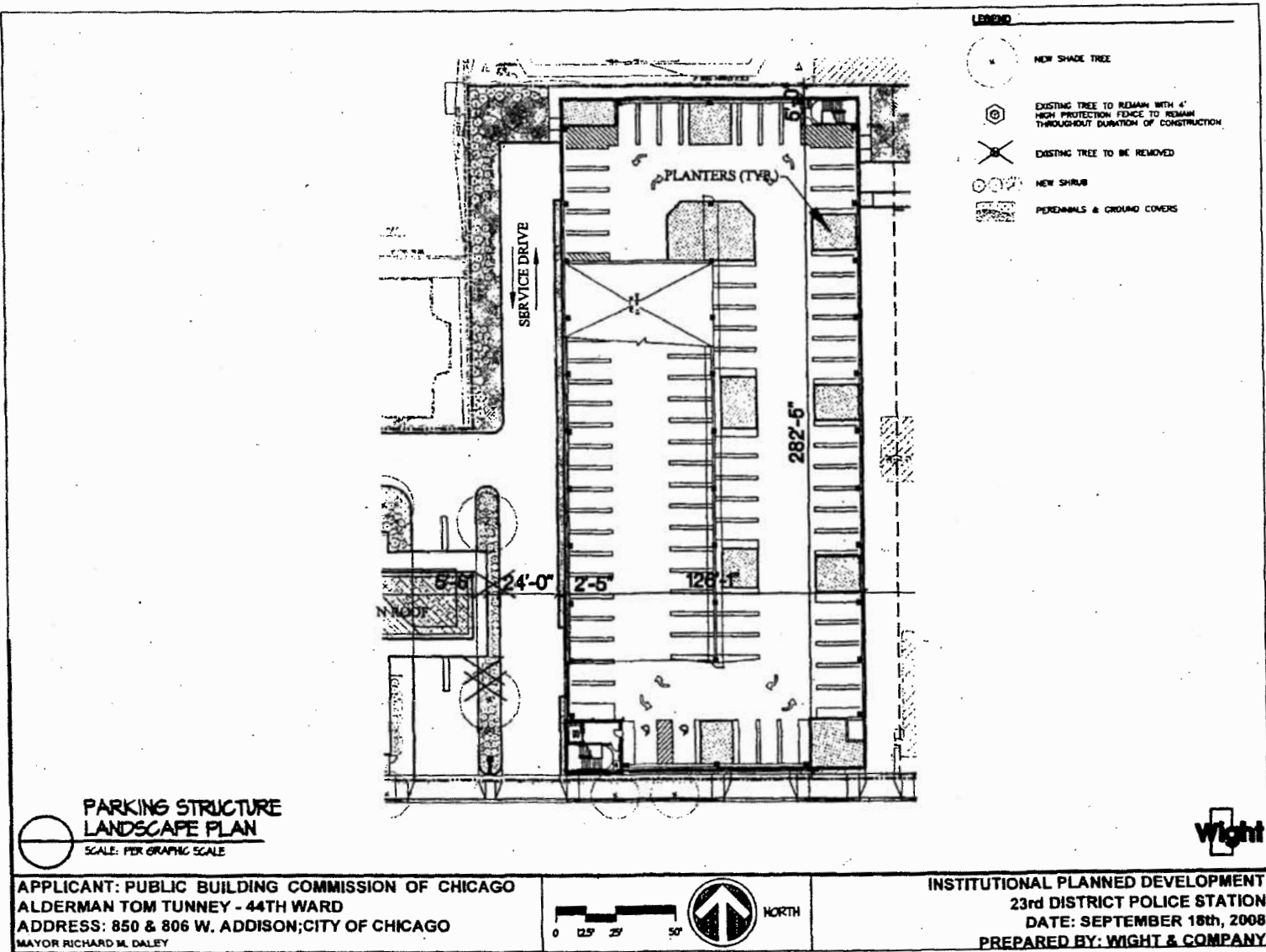


APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
ALDERMAN TOM TUNNEY - 44TH WARD
ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
MAYOR RICHARD M. DALEY



INSTITUTIONAL PLANNED DEVELOPMENT
23rd DISTRICT POLICE STATION
DATE: SEPTEMBER 18th, 2008
PREPARED BY: WIGHT & COMPANY

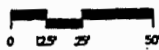
Parking Structure Landscape Plan.



**PARKING STRUCTURE
LANDSCAPE PLAN**

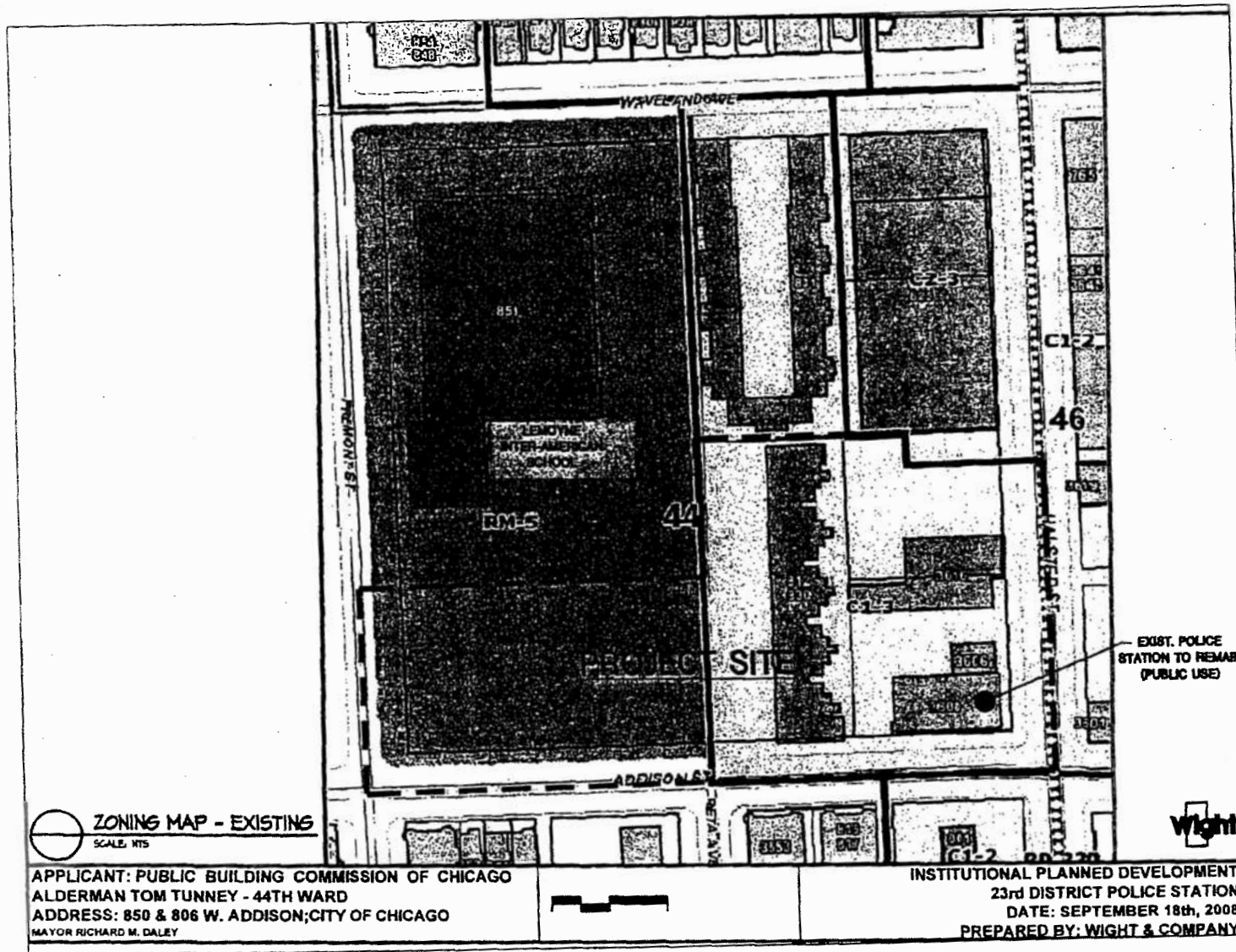
SCALE: PER GRAPHIC SCALE

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
ALDERMAN TOM TUNNEY - 44TH WARD
ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
MAYOR RICHARD M. DALEY



INSTITUTIONAL PLANNED DEVELOPMENT
23rd DISTRICT POLICE STATION
DATE: SEPTEMBER 18th, 2008
PREPARED BY: WIGHT & COMPANY

Existing Zoning Map.



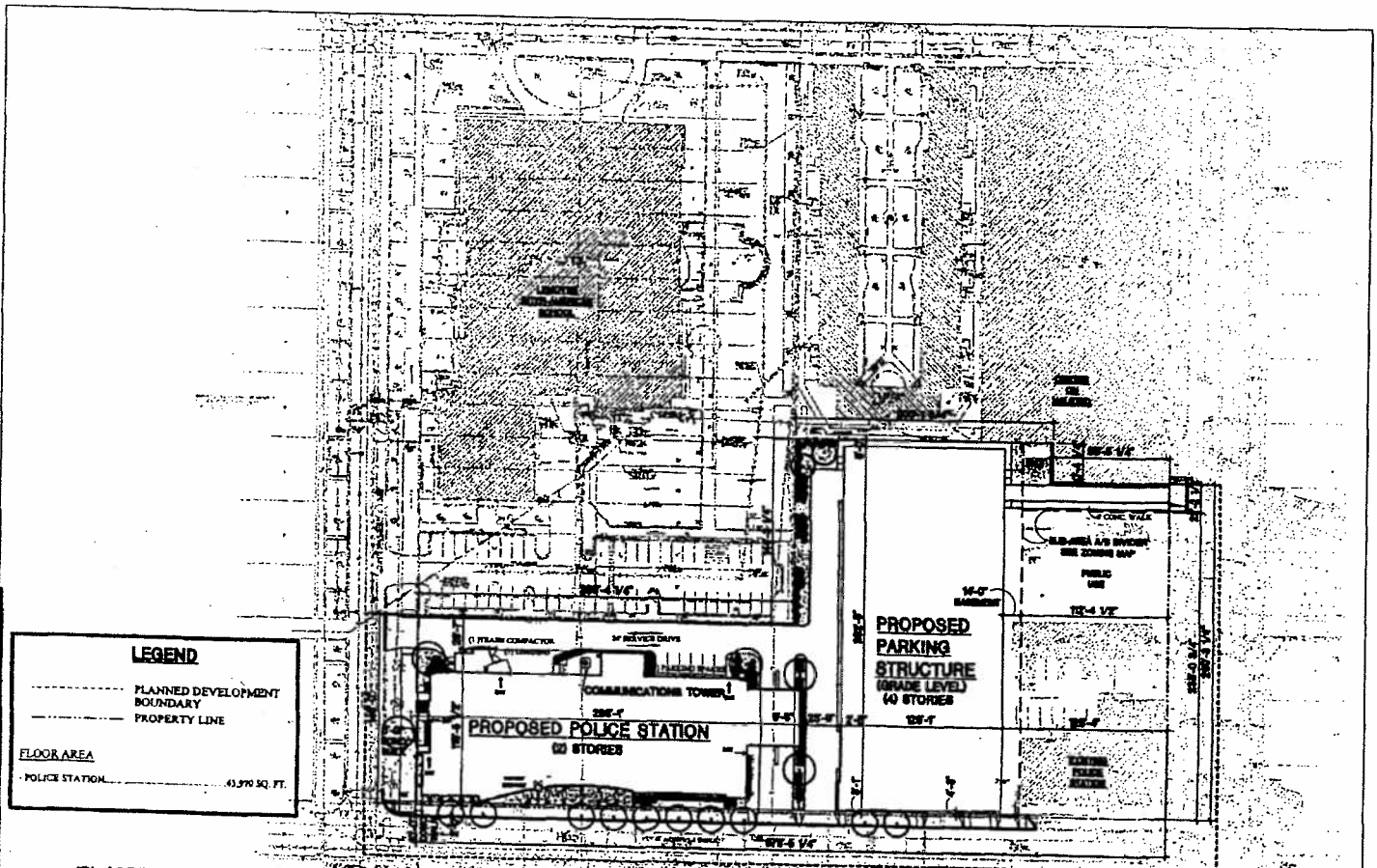
 **ZONING MAP - EXISTING**
SCALE: NTS

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ALDERMAN TOM TUNNEY - 44TH WARD
 ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
 MAYOR RICHARD M. DALEY



Wight
 INSTITUTIONAL PLANNED DEVELOPMENT
 23rd DISTRICT POLICE STATION
 DATE: SEPTEMBER 18th, 2008
 PREPARED BY: WIGHT & COMPANY

Planned Development Building
And Property Line.



LEGEND

----- PLANNED DEVELOPMENT BOUNDARY
 _____ PROPERTY LINE

FLOOR AREA

POLICE STATION 43,270 SQ. FT.

PLANNED DEVELOPMENT BOUNDARY & PROPERTY LINE
 SCALE: PER GRAPHIC SCALE

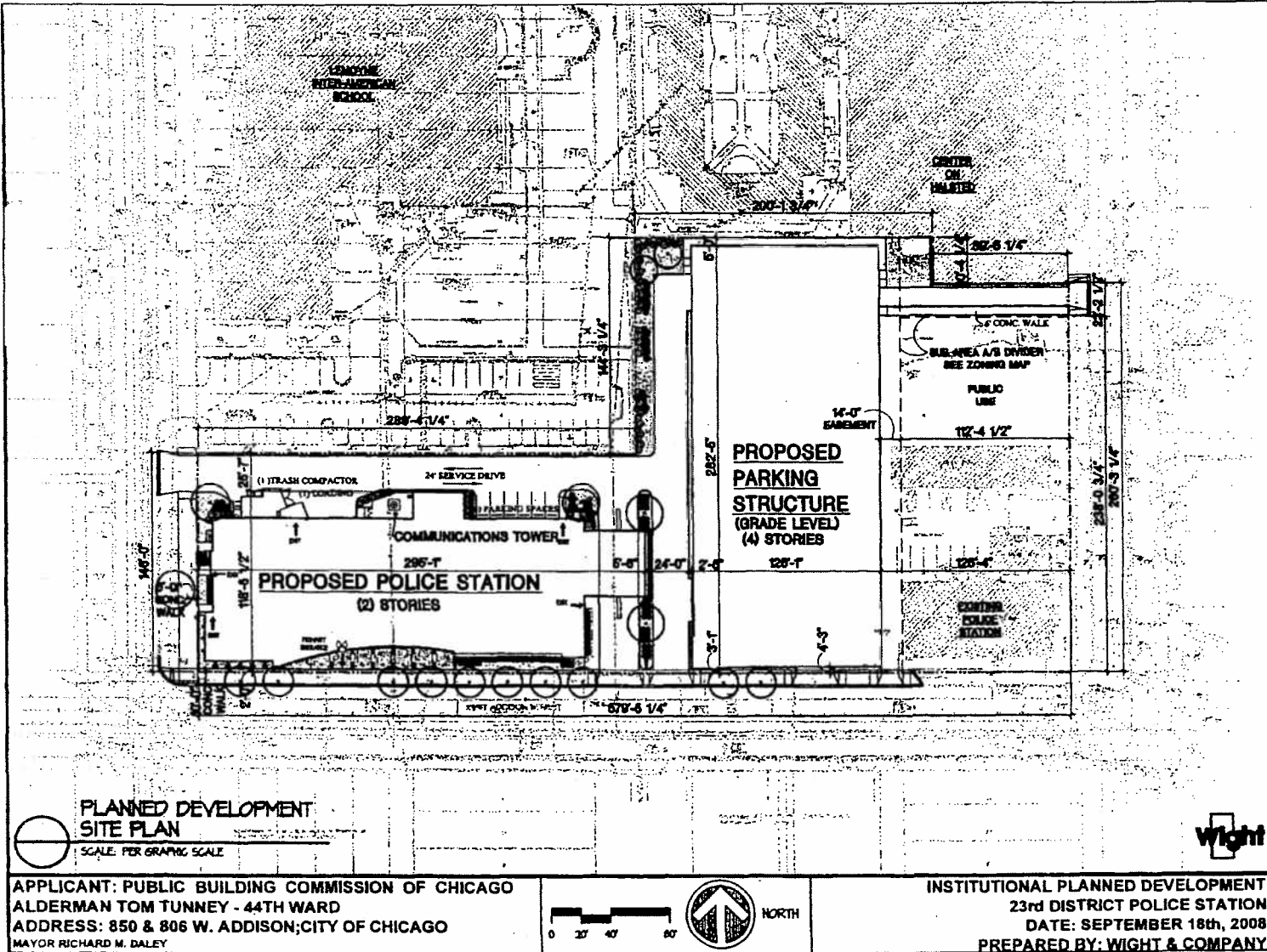
APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ALDERMAN TOM TUNNEY - 44TH WARD
 ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
 MAYOR RICHARD M. DALEY



Wight

INSTITUTIONAL PLANNED DEVELOPMENT
 23rd DISTRICT POLICE STATION
 DATE: SEPTEMBER 18th, 2008
 PREPARED BY: WIGHT & COMPANY

Planned Development Site Plan.



**PLANNED DEVELOPMENT
SITE PLAN**
SCALE: PER GRAPHIC SCALE

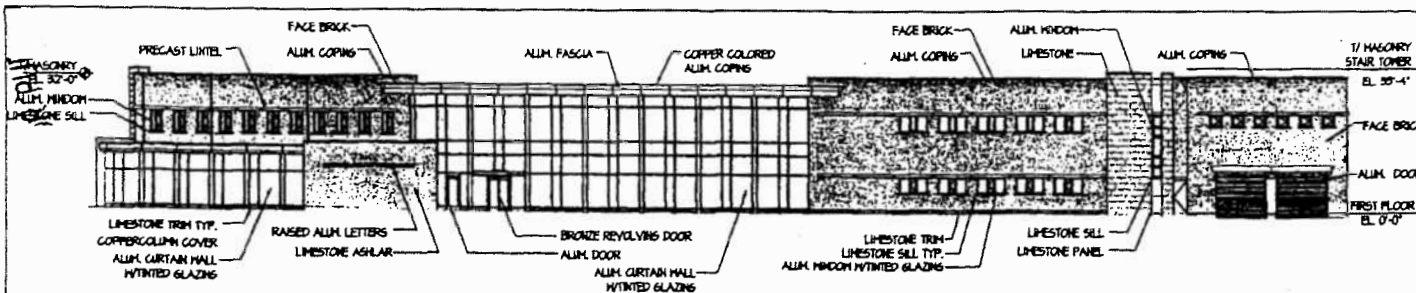


APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
ALDERMAN TOM TUNNEY - 44TH WARD
ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
MAYOR RICHARD M. DALEY

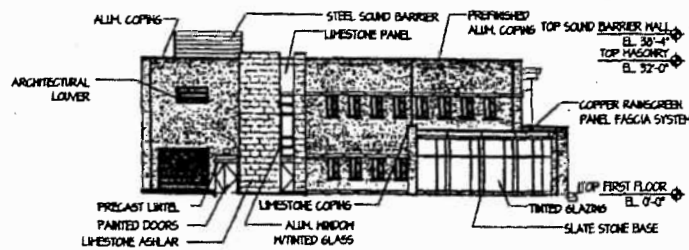


INSTITUTIONAL PLANNED DEVELOPMENT
23rd DISTRICT POLICE STATION
DATE: SEPTEMBER 18th, 2008
PREPARED BY: WIGHT & COMPANY

Police Station Elevations.
(Page 1 of 2)



SOUTH ELEVATION (ADDISON)
SCALE: PER GRAPHIC SCALE



WEST ELEVATION (FREMONT)
SCALE: PER GRAPHIC SCALE

POLICE STATION ELEVATIONS

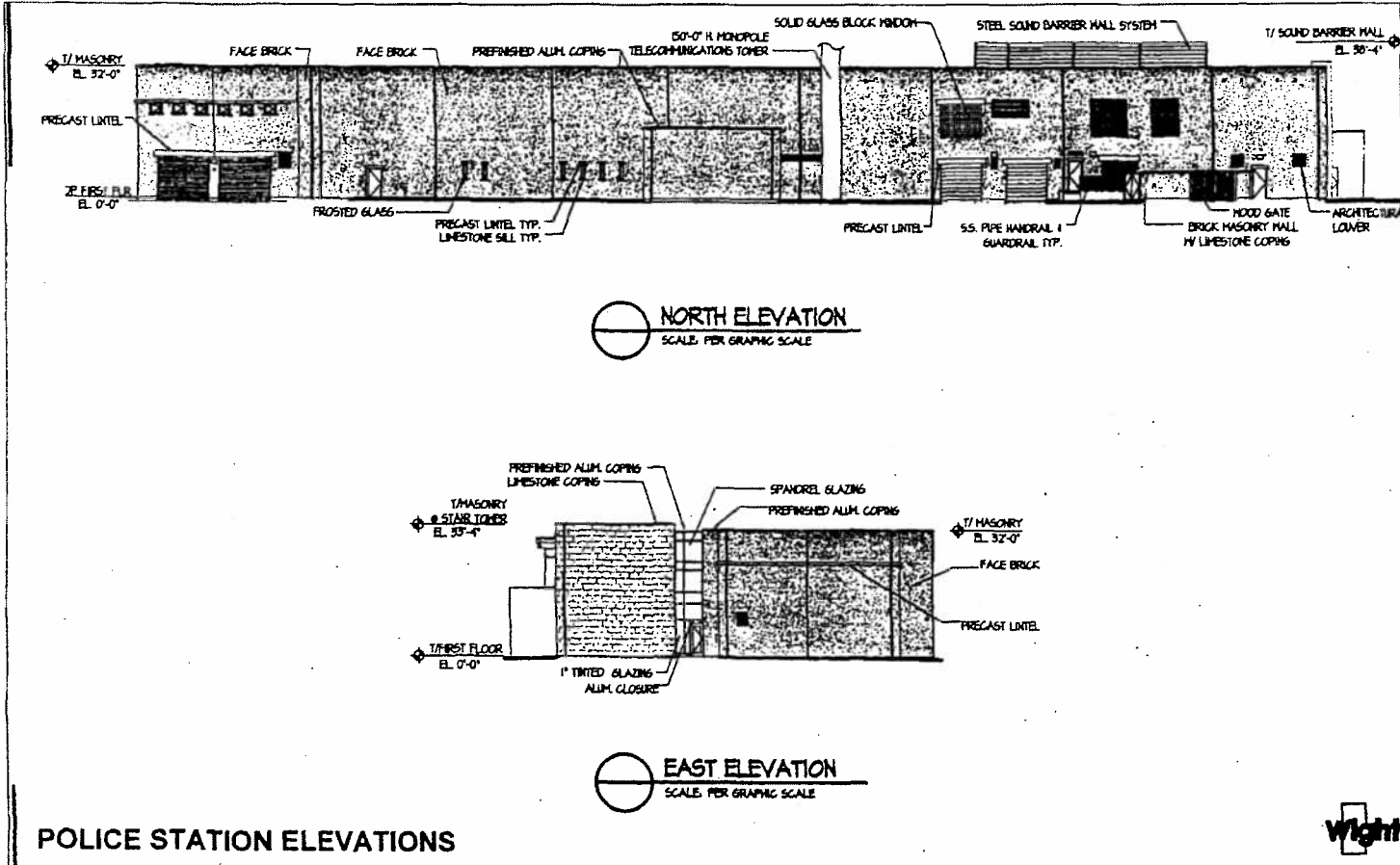


APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
ALDERMAN TOM TUNNEY - 44TH WARD
ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
MAYOR RICHARD M. DALEY



INSTITUTIONAL PLANNED DEVELOPMENT
23rd DISTRICT POLICE STATION
DATE: SEPTEMBER 18th, 2008
PREPARED BY: WIGHT & COMPANY

Police Station Elevations.
(Page 2 of 2)

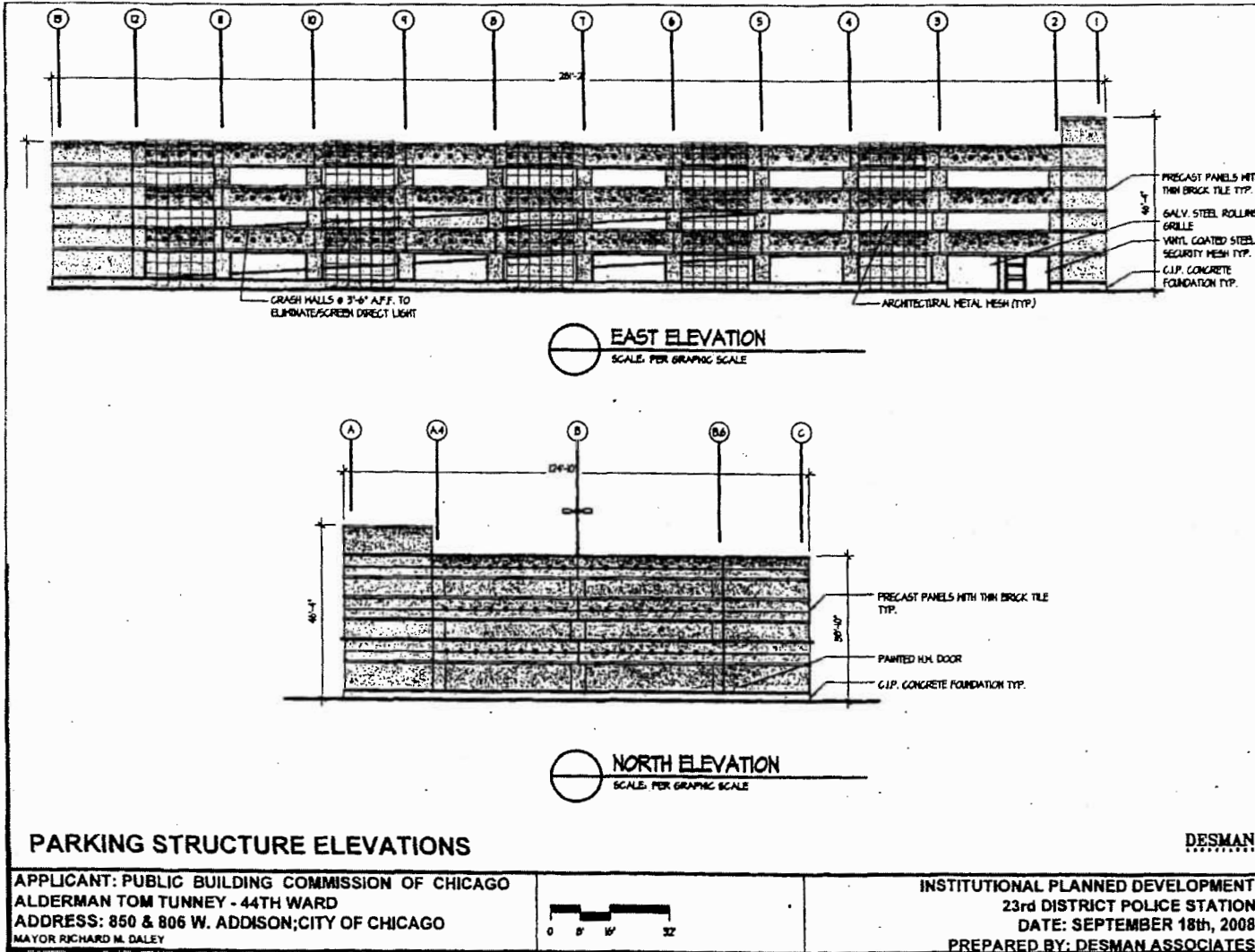


APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
 ALDERMAN TOM TUNNEY - 44TH WARD
 ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
 MAYOR RICHARD M. DALEY



INSTITUTIONAL PLANNED DEVELOPMENT
 23rd DISTRICT POLICE STATION
 DATE: SEPTEMBER 18th, 2008
 PREPARED BY: WIGHT & COMPANY

Parking Structure Elevations.
(Page 1 of 2)

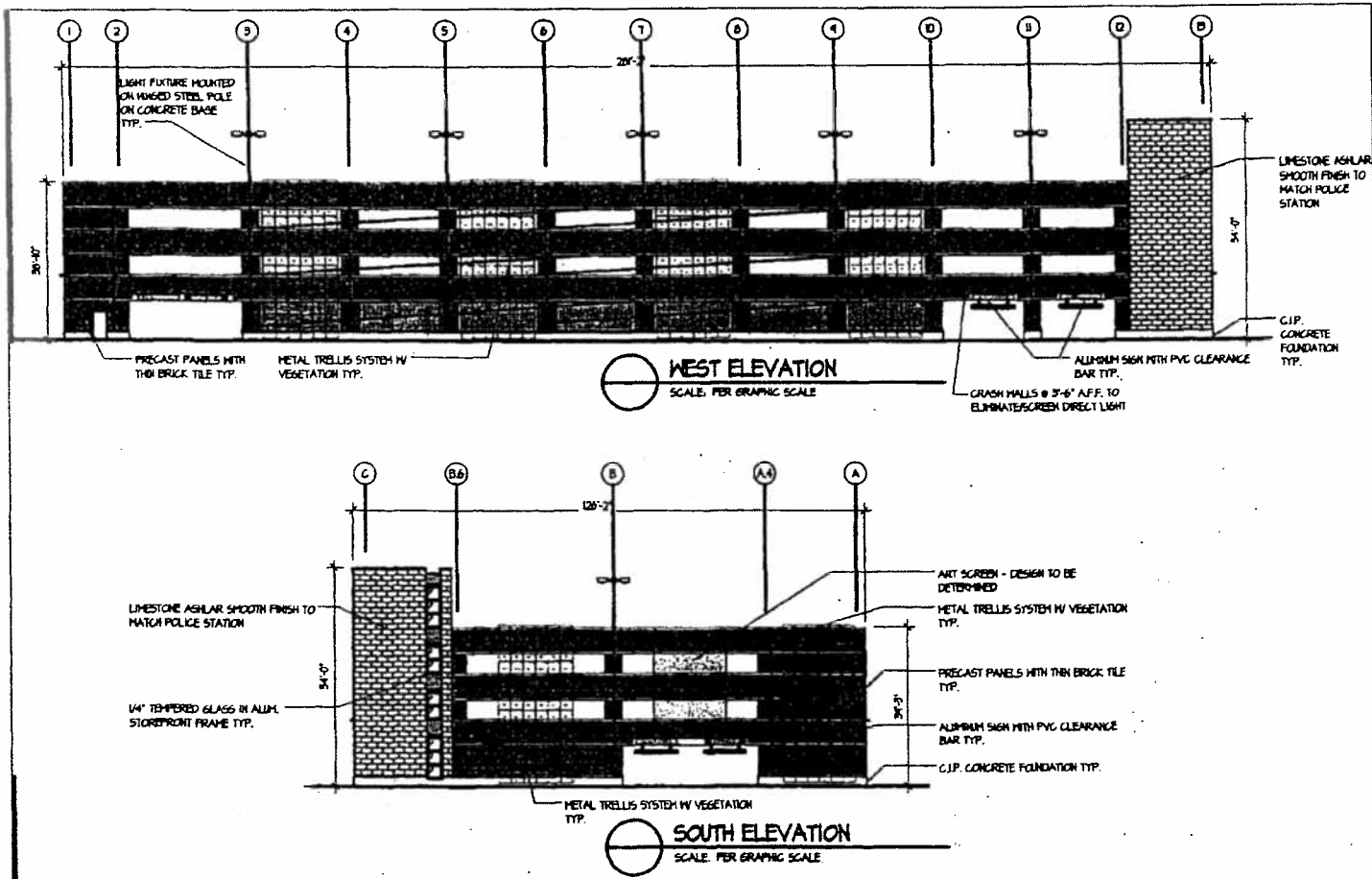


10/8/2008

REPORTS OF COMMITTEES

41069

Parking Structure Elevations.
(Page 2 of 2)



PARKING STRUCTURE ELEVATIONS

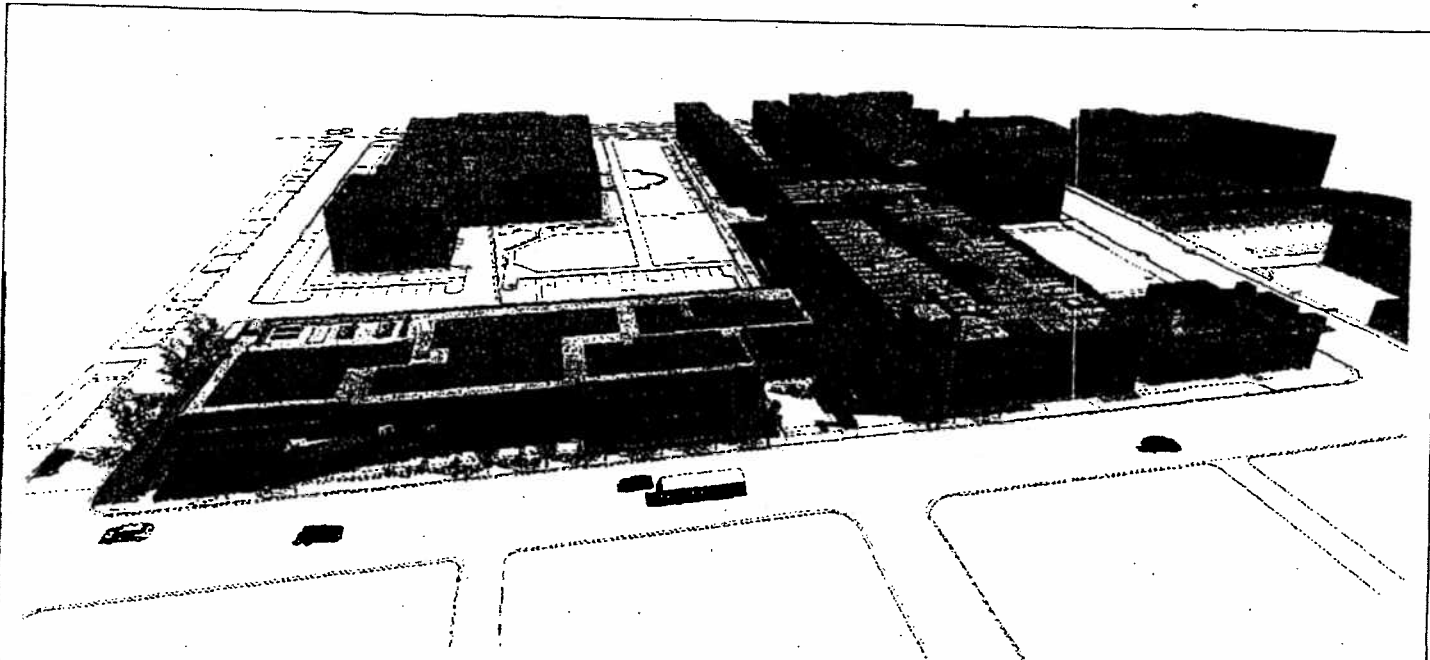
DESMAN

APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
ALDERMAN TOM TUNNEY - 44TH WARD
ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
MAYOR RICHARD M. DALEY



INSTITUTIONAL PLANNED DEVELOPMENT
23rd DISTRICT POLICE STATION
DATE: SEPTEMBER 18th, 2008
PREPARED BY: DESMAN ASSOCIATES

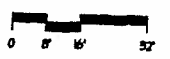
Addison Street Looking North.



ADDISON STREET LOOKING NORTH



APPLICANT: PUBLIC BUILDING COMMISSION OF CHICAGO
ALDERMAN TOM TUNNEY - 44TH WARD
ADDRESS: 850 & 806 W. ADDISON; CITY OF CHICAGO
MAYOR RICHARD M. DALEY



INSTITUTIONAL PLANNED DEVELOPMENT
23rd DISTRICT POLICE STATION
DATE: SEPTEMBER 18th, 2008
PREPARED BY: WIGHT & COMPANY