

PD 1121

Table of Contents

06/21/2017 Zoning Letter	2
09/24/2015 PD Amendment	3
Ordinance	3
Statements	5
Bulk Table	8
Exhibits	10
08/29/2014 Zoning Letter	16
12/23/2013 Zoning Letter	17
06/26/2013 Zoning Letter	18
Exhibits	19
09/10/2008 PD Adoption	20
Ordinance	20
Statements	21
Bulk Table	28
Exhibits	33



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

June 21, 2017

Sylvia C. Michas
Taft Law
111 E. Wacker Dr.
Suite 2800
Chicago, IL 60601

**Re: Advisory Opinion for Planned Development No. 1121, 4000 E. 134th St.
Proposed office/rec center in Sub area B**

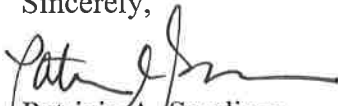
Dear Ms. Michas:

This letter is in response to your recent request. Harbor Point Venture LLC, the owner of the property located at 4000 E. 134th St., within Planned Development Number 1121, is seeking to establish an office and recreation center within Sub area B. They purchased the property in 2013 and are seeking to replace the current office building due to its poor condition and add a recreation center.

Pursuant to Statement Number 5 of PD 1121, permitted uses within Sub area B include a recreation center, and uses related to and accessory to, the uses permitted in Sub area A. The permitted uses within Sub area A are manufactured homes, recreational vehicles and sales of manufactured homes, related and accessory uses and accessory parking.

According to the information submitted with your request the proposed office and recreation center building will be of modular or manufactured home construction. An office and recreation center is a permitted use within Sub area B. While the Sub area A uses contain specific language in regards to construction types, Sub area B contains no specific construction language. Please refer to the Chicago Building Code for more information. If you have any questions, please contact Teresa McLaughlin of my staff at (312) 744-3509.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:tm

C: Vicki Lozano, Main file

17991

Reclassification Of Area Shown On Map Nos. 32-A And 34-A.
(As Amended)
Application No. 17991
(Common Address: 4000 E. 134th St.)

RBPD 1121,QA

[SO2014-2328]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be it amended by changing all the Residential-Business Planned Development Number 1121 District symbols and indications as shown on Map Numbers 32-A and 34-A in the area bounded by:

beginning at a point, 1,448.11 feet north of the south right-of-way line of East 133rd Street if extended where no street exists and 360.29 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists; a line from a point 1,448.11 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 360.29 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists to a point 1,288.13 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 630.29 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists; a line from a point 1,288.13 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 630.29 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists to a point 1,191.11 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 790.41 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists; a line from a point 790.41 feet east of and parallel to the centerline of South Avenue K or the line thereof if extended where no street exists; a line from a point 790.41 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists and 725.80 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists to a point 890.29 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists and 643 feet north of the south right-of-way line of East 133rd Street or the line thereof extended where no street exists; a line from a point 890.29 feet east of the centerline of South Avenue K or the line thereof if extended where no street exists and 643 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists to a point 1,246 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 1,528.41 feet east of the centerline of South Avenue K or line thereof if extended where no street exists; a line 125 feet southwesterly of and parallel to the west right-of-way line of the Indiana Harbor Belt Railroad; a line 1,096.59 feet north of and parallel to the north right-of-way line of the South Chicago and Southern Railroad; a line from a point 1,096.59 feet north of the north right-of-way line of the South Chicago and Southern Railroad and 156.60 feet west of the Corporate Boundary of the City of Chicago (City Limits) to a point,

777.59 feet north of the north right-of-way line of the South Chicago and Southern Railroad and ~~100 feet west~~ of the Corporate Boundary of the City of Chicago (City Limits); a line 100 feet west of and parallel to the Corporate Boundary of the City of Chicago (City Limits); the north right-of-way line of the South Chicago and Southern Railroad right-of-way; a line 1,326.86 feet east of and parallel to the centerline of South Avenue K or the line thereof if extended where no street exists; a line 215 feet south of the south line of East 134th Street; a line 1,426.86 feet east of and parallel to the centerline of South Avenue K or the line thereof extended where no street exists; East 134th Street; a line 312 feet east of and parallel to the centerline of South Avenue K or the line thereof extended where no street exists; the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists; and a line 360.29 feet east of and parallel to the centerline of Avenue K or the line thereof if extended where no street exists, extending north to the point of beginning,

to those of a C2-2 Motor Vehicle-Related Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the C2-2 Motor Vehicle-Related Commercial District symbols and indications in the area above to the designation of Waterway Residential Business Planned Development Number 1121, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. That the Chicago Zoning Ordinance be amended by changing the Residential Business Planned Development Number 1121 symbols and indications within the area described below:

the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists; a line 312 feet east of and parallel to the centerline of South Avenue K; East 134th Street; a line 1,326.86 east of and parallel to the centerline of South Avenue K or the line thereof if extended where no street exists; the north right-of-way of the South Chicago and Southern Railroad right-of-way; and the alley next east of and parallel to South Avenue K or the centerline thereof where no alley exists,

to those of POS-1 Regional or Community Park and a corresponding use district is hereby established in the area above described.

SECTION 4. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows.

Waterway Residential Business Planned Development No. 1121, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Waterway Residential Business Planned Development Number 1121, as amended ("Planned Development") consists of approximately 4,229,676 square feet (approximately 97.10 acres) which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the applicant, Harbor Point Venture LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assign or grantees and approval by the City Council.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of fourteen (14) Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Amended Zoning Map; a Planned

Development Boundary Map; a Site Plan; a Subarea Map; and an Open Space Plan prepared by Manhard Consulting and dated December 18, 2014, submitted herein. Full-sized ~~copies of the Site Plan~~ are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The following uses are allowed in the area delineated herein as a Waterway Residential Business Planned Development Number 1121, as amended:

Subarea A:

Manufactured homes (A manufactured home (formerly known as a mobile home) is built to the Manufactured Home Construction and Safety Standards (HUD Code). Manufactured homes are built in the controlled environment of a manufacturing plant and are transported in one or more sections on a permanent chassis.)

Recreational Vehicles: (A recreational vehicle (RV) is a motor vehicle, trailer or park model equipped with living space and amenities found in a home.);

Sales of manufactured homes; related and accessory uses; and accessory parking.

Subarea B:

Uses, including a recreation center, related to and accessory to, the uses permitted in Subarea A.

Subarea C:

Open Space

The above uses shall only be established within the Property identified in the Planned Development Boundary and Property Line Map.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.

7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by ~~the Federal~~ the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using an overall Net Site Area of approximately 97.10 acres. Manufactured homes and recreational vehicles which do not have permanent foundations are not normally included in the calculation of Floor Area Ratio. However, should the City Code be amended in the future to change this situation, the maximum FAR for Subarea A shall be 0.33, based on a Subarea A Net Site Area of 78.43 acres.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management, and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code. Any stockpiles on the site at the passage of this amended Planned Development, including piles of construction materials, construction debris, or fill materials, shall be removed from the site. The applicant shall remove any stockpiles no later than three years from the passage of this Planned Development amendment. Any application for Part II Approval submitted before three years has expired must be accompanied an affidavit testifying to the status of any stockpiles on the site and setting forth a specific plan for the removal of any remaining stockpiles by the end of the three years.
11. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
12. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

13. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. Any improvements on the site for which Part II Approval is required shall comply with the Chicago Sustainable Development Policy in effect at the time a Part II request is submitted.
14. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a zoning map amendment to rezone the Property to the C2-2 Motor Vehicle-Related District.

[Boundary Map; Existing Zoning Map; Amended Zoning Map; Site Plan;
Open Space Plan; and Subarea Plan referred to in these Plan of
Development Statements is printed on pages 7589
through 7594 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Waterway Residential Planned Development No. 1121, As Amended.

Bulk Regulations And Data Table.

Gross Site Area:	97.10 acres
Area Remaining in the Public Right-of-Way:	3.41 acres
Net Site Area:	93.69 acres
Subarea A:	78.43 acres
Subarea B:	2.55 acres
Subarea C:	12.71 acres

Maximum Floor Area Ratio:

Subarea A: 0.05*

Subarea B: 1.00

Subarea C: 0.0

Maximum Number of Manufactured Homes (Subarea A, only):

723

Maximum Number of Recreational Vehicles (Subarea A, only):

114**

Parking Ratio:

2:1

Subarea A:

2 spaces per manufactured home

1 space per recreational vehicle

Subarea B:

As determined by the Department of Planning and Development

Maximum Building Height:

38 feet

Minimum Size of Open Space:

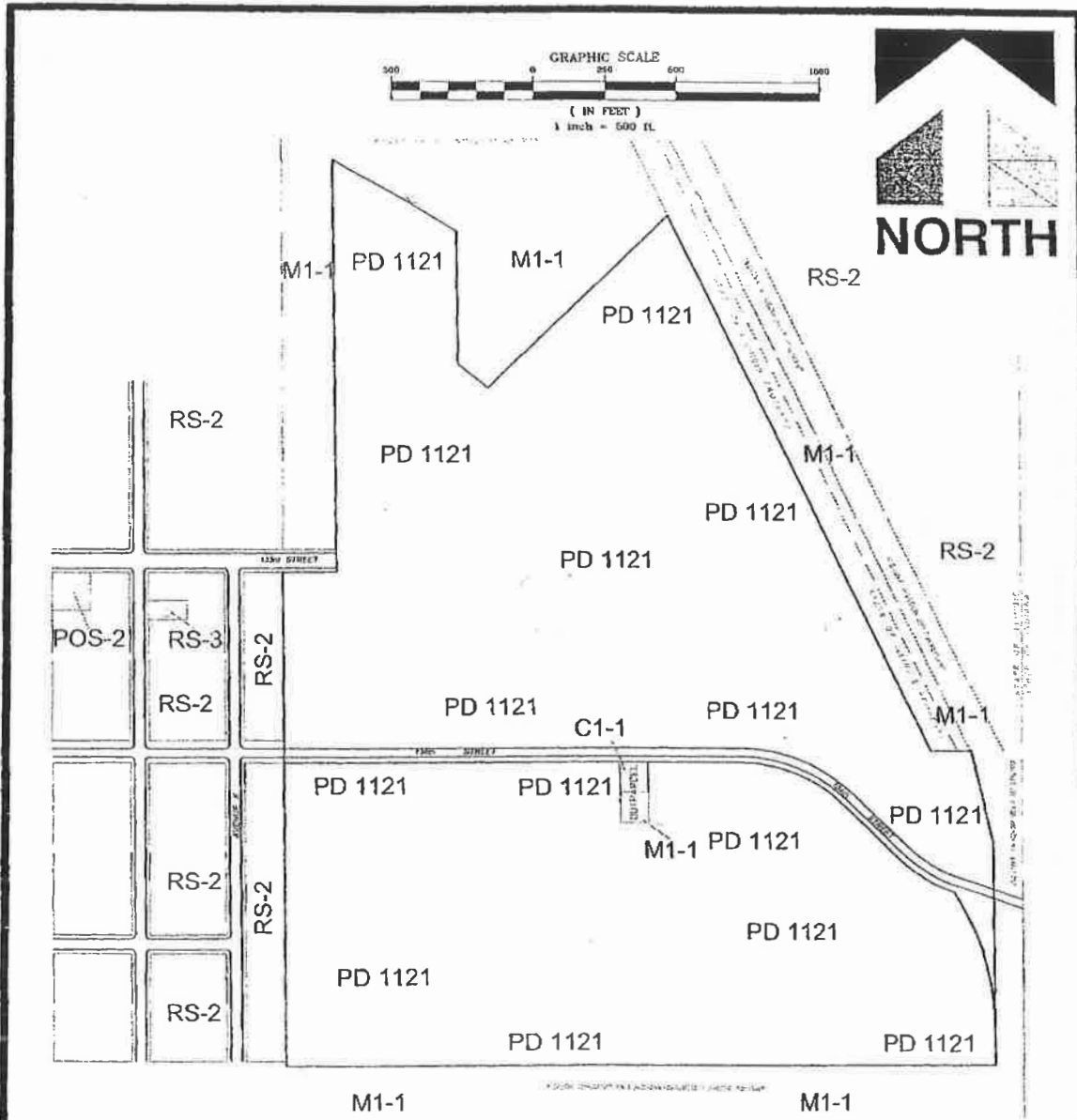
In accordance with the Open Space Plan

Minimum Building Setback:

NA

* Assumes that Manufactured Homes and Recreational Vehicles do not count in the calculation of Floor Area Ratio. Should the City Code be amended so that Manufactured Homes or Recreational Vehicles are included in the calculation of Floor Area Ratio, the maximum FAR for Subarea A shall be 0.33, based on a Subarea A Net Site Area of 78.43 acres.

** Please note that Subarea A is allowed to contain both Manufactured Homes and Recreational Vehicles in an amount not to exceed a combined total of 723.



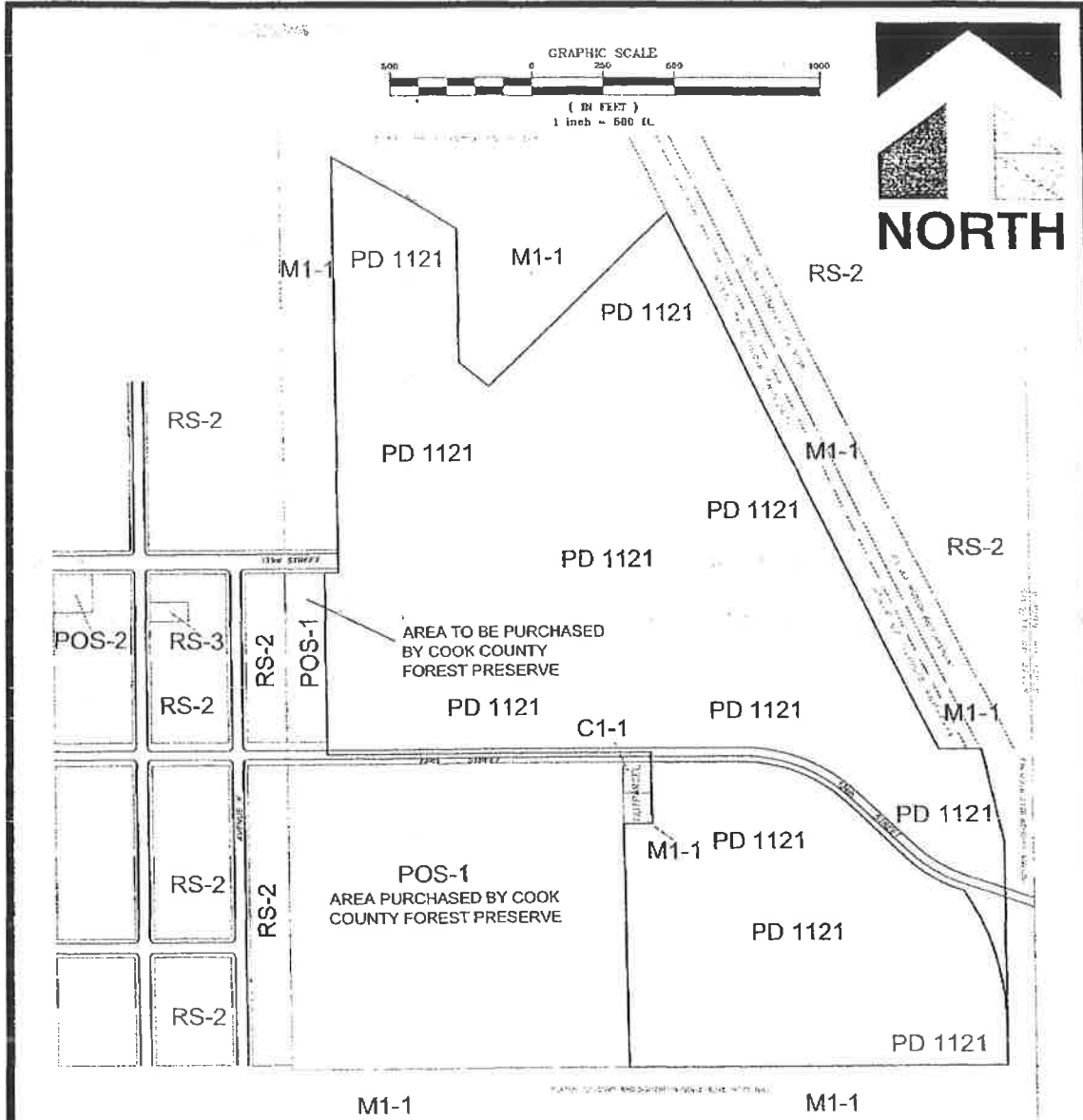
Applicant: Harbor Point Venture LLC
 Address: 4000 East 134th Street
 Introduced: March 5, 2014
 Plan Commission: December 18, 2014
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Manhard
 CONSULTING LTD

700 Springer Drive, Lombard, IL 60148 ph: 630.691.6500 fx: 630.691.8585 manhard.com
 Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

HARBOR POINT CHICAGO, ILLINOIS EXISTING ZONING EXHIBIT		SHEET
PROJ. MGR.: BJA	DATE: 12/01/2014	EXHIBIT 2
DRAWN BY: TJR	SCALE: 1"=500'	
		RVCCH 140102

Dwg Name: P:\Rvcch\dwg\Eng\Final Drawings\Exhibits\Exhibits\2 PD Zoning Map.dwg Updated By: triegle

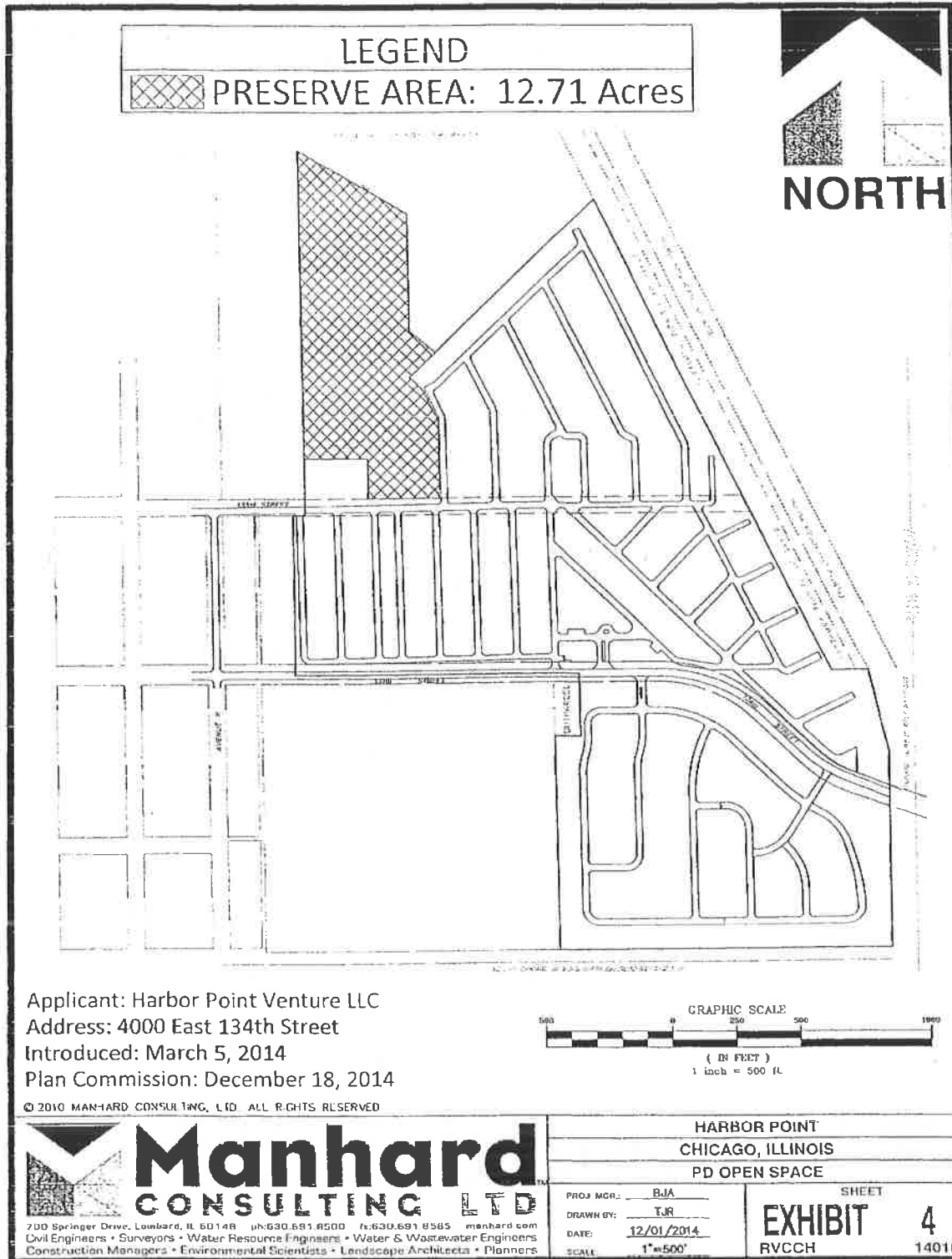


Applicant: Harbor Point Venture LLC
 Address: 4000 East 134th Street
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 Plan Commission: December 18, 2014
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Manhard CONSULTING LTD
 700 Springer Drive, Lombard, IL 60148 ph: 630.691.0500 fx: 630.691.8585 manhard.com
 Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

HARBOR POINT	
CHICAGO, ILLINOIS	
AMENDED PD ZONING EXHIBIT	
PROJ MGR: <u>BJA</u>	SHEET
DRAWN BY: <u>TJR</u>	EXHIBIT 2A
DATE: <u>12/01/2014</u>	RVCCH 140102
SCALE: <u>1"=500'</u>	

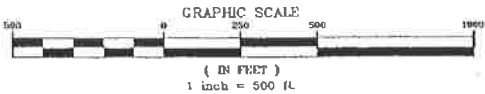
Draw Name: P:\rvccch\dwg\Eng\Final Drawings\Exhibits Eng\PD Exhibits\2A 2 REVISED\PD Zoning Map.dwg Updated By: lfragle 10:35



LEGEND
 [Hatched Box] PRESERVE AREA: 12.71 Acres



Applicant: Harbor Point Venture LLC
 Address: 4000 East 134th Street
 Introduced: March 5, 2014
 Plan Commission: December 18, 2014



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 Construction Managers • Environmental Scientists • Landscape Architects • Planners

HARBOR POINT CHICAGO, ILLINOIS PD OPEN SPACE	
PROJ MGR: <u>BJA</u>	SHEET
DRAWN BY: <u>TJR</u>	EXHIBIT 4
DATE: <u>12/01/2014</u>	RVCCH 140102
SCALE: <u>1"=500'</u>	

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 29, 2014

Sylvia C. Michas
Chico & Nunes, P.C.
333 West Wacker Drive
Suite 1420
Chicago, IL 60606

Re: **One-year sunset extension for Residential Business Planned Development No. 1121
4000 East 134th Street**

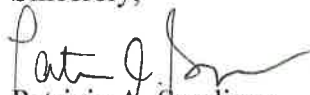
Dear Ms. Michas:

Please be advised that your request for a one-year sunset extension to the six-year construction period for Residential Business Planned Development No. 1121 ("PD 1121") has been considered by the Department of Planning and Development pursuant to Section 17-13-0612-B of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development.

Residential Business Planned Development No. 1121 was passed by the Chicago City Council on September 10, 2008. Statement No. 17 of the Planned Development contains the sunset provisions, which requires commencement of the development within six years of the effective date of the ordinance. You are requesting, on behalf of your client and the owner of the property, Harbor Point Venture, LLC, a one-year extension of the sunset provisions. Harbor Point Venture, LLC is seeking to amend PD 1121 and is currently preparing a presentation for the Chicago Plan Commission.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1121, I hereby approve a one-year sunset extension from September 10, 2014 to September 10, 2015.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Fred Deters, Mike Marmo, Erik Glass, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

December 23, 2013

Sylvia C. Michas
Chico & Nunes, P.C.
333 West Wacker Drive
Suite 1800
Chicago, IL 60606


**Re: Advisory Opinion for Residential Business Planned Development No. 1121
Existing Mobile Home Use at 4000 East 134th Street**

Dear Ms. Michas:

On June 26, 2013, we issued a letter stating that the current land uses within Residential Business Planned Development 1121 ("PD 1121"), including mobile homes and trailers, may continue as non-conforming uses only within the shaded area designated as Current and Future Mobile Home/Trailer Area on the PD's Trailer Relocation Exhibit and only until such time as a given parcel is developed as prescribed in Statement No. 12 of the PD. The letter also stated that since the proposed redevelopment approved in PD 1121 is no longer contemplated, a PD amendment is needed to clarify and quantify the existing and proposed uses.

In your follow-up letter dated December 13, 2013, you stated that you are working with your client, Harbor Point Venture, LLC on a proposed PD amendment which includes expanding the existing mobile home development currently operating and hope to file a PD amendment no later than February 2014. Harbor Point Venture, LLC is securing financing and is seeking a letter from us identifying how we would classify the existing mobile homes if the proposed amendment fails and the existing PD is terminated. If the proposed amendment fails and the existing PD is terminated, we would continue to recognize the existing mobile homes as a legally non-conforming use and they would be allowed to remain.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Heather Gleason, Fred Deters, Vicki Lozano, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

June 26, 2013

Sylvia C. Michas
Chico & Nunes, P.C.
333 West Wacker Drive, Suite 1800
Chicago, IL 60606

**Re: Advisory Opinion for Residential Business Planned Development No. 1121
Existing Mobile Home Use at 4000 East 134th Street**


Dear Ms. Michas:

In response to your recent request, the property at 4000 East 134th Street is located within Residential Business Planned Development No. 1121 ("PD 1121"). PD 1121 was passed by the City Council on September 10, 2008, and as stated in Statement No 5, the current land uses (mobile homes/trailers) may continue as a "nonconforming use" only within the shaded areas designated as "Current and Future Mobile Home/Trailer Area" on the attached Trailer Relocation Exhibit and only until such time as a given parcel is designated to be developed as prescribed in Statement No. 12. Mobile homes may be relocated only within the area designated for mobile home use on the Trailer Relocation Exhibit.

Your firm represents Harbor Point Venture LLC ("Harbor Point"), the new owner of the property and they are seeking to continue operation of the existing mobile home park. They are seeking to sell only the existing mobile homes within the Mobile Home/Trailer Area and are not seeking to sell new mobile homes. They are seeking a Dealer License from the Illinois Secretary of State. Harbor Point's continuation of the existing mobile home use and the sale of existing mobile homes is permitted pursuant to PD 1121.

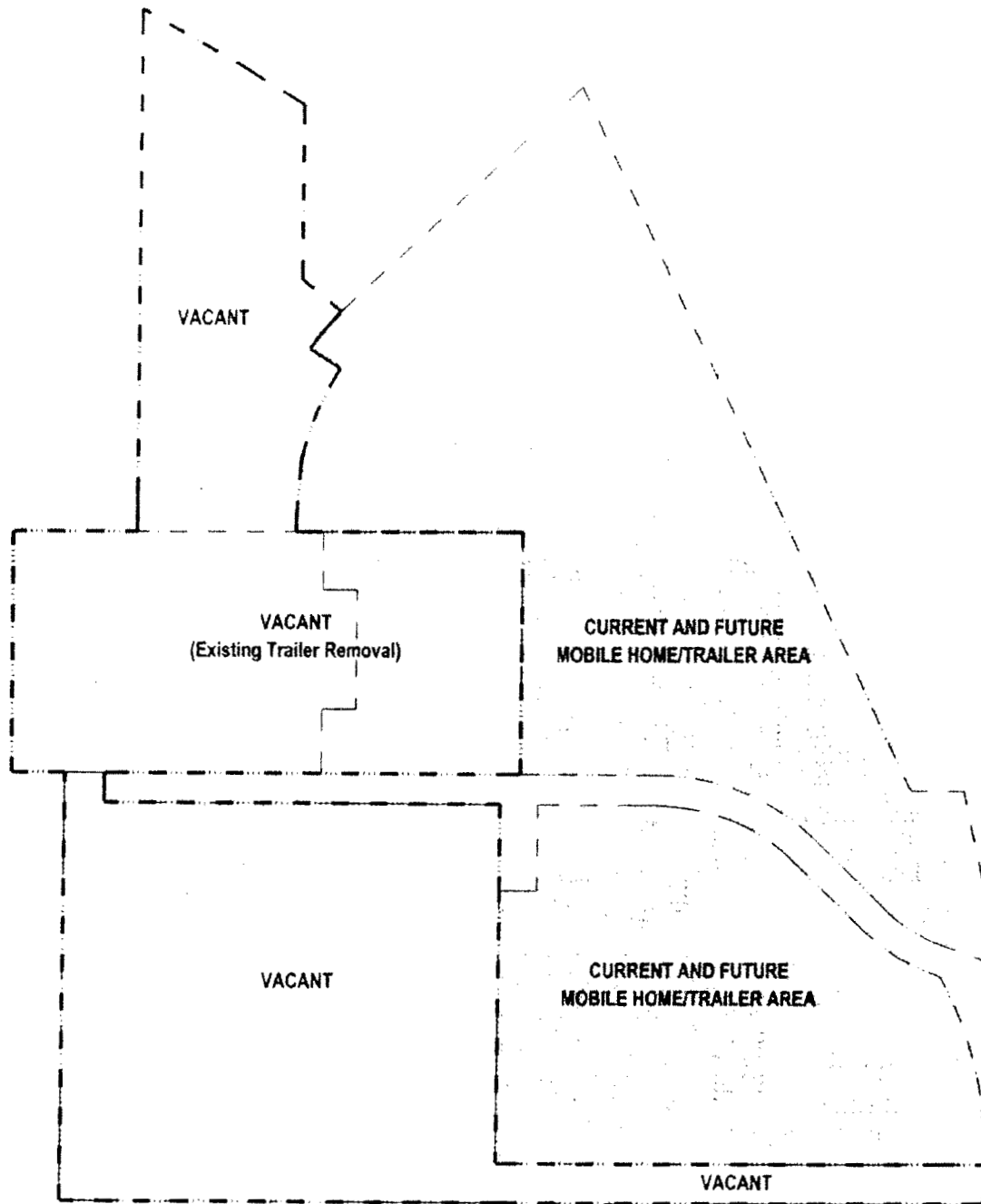
However, since the proposed redevelopment approved in PD 1121 is no longer contemplated, a technical amendment is needed to clarify and quantify the existing and proposed uses. Please contact Loretta Walsh at (312) 744-4182 to schedule an intake meeting. At that time, we can discuss the number of current and former mobile homes, any accessory uses existing or proposed, storm water requirements, etc.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Alderman John Pope, Vicki Lozano, Janice Hill, Fred Deters, Michael Berkshire, Loretta Walsh, Main file



NOT TO SCALE

Trailer Relocation Exhibit

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: September 5, 2007

REVISED: August 21, 2008

THE PLAN, AND ELEVATIONS AS PRESENTED ARE ILLUSTRATIVE OF CHARACTER AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL SITE PLAN DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MECH DESIGN BY OTHERS.

©BSB Design, Inc.

EXHIBIT 4c



*Reclassification Of Area Shown On Map Numbers 32-A And 34-A.
(As Amended)
(Application Number 16351) RBPD 1121*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the RS2 Single-Unit (Detached House) District, B3-1 Community Shopping District, C1-1 Neighborhood Commercial District and M1-1 Limited Manufacturing/ Business Park District symbols and indications as shown on Map Numbers 32-A and 34-A in the area bounded by:

beginning at a point, 1,448.11 feet north of the south right-of-way line of East 133rd Street if extended where no street exists and 360.29 feet of the centerline of Avenue K or the line thereof if extended where no street exists; a line from a point 1,448.11 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 360.29 feet east of the centerline of Avenue K or the line thereof if extended where no street exists to a point 1,288.13 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists; a line from a point 1,288.13 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 630.29 feet east of the centerline of Avenue K or the line thereof if extended where no street exists to a point 1,191.11 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 790.41 feet east of the centerline of Avenue K or the line thereof if extended where no street exists; a line from a point 790.41 feet east of and parallel to the centerline of Avenue K or the line thereof if extended where no street exists; a line from a point 790.41 feet east of the centerline of Avenue K or the line thereof if extended where no street exists and 725.80 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists to a point 890.29 feet east of the centerline of Avenue K or the line thereof if extended where no street exists and 643 feet north of the south right-of-way line of East 133rd Street or the line thereof extended where no street exists; a line from a point 890.29 feet east of the centerline of Avenue K or the line thereof if extended where no street exists and 643 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists to a point 1,246 feet north of the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists and 1,528.41 feet east of the centerline of Avenue K or line thereof if extended where no street exists; a line 125 feet southwesterly of and parallel to the west right-of-way line of the Indiana Harbor Belt Railroad; a line 1,096.59 feet north of and parallel to the north right-of-way line of the South Chicago and Southern Railroad; a line from a point 1,096.59 feet north of the north right-of-way line of the South Chicago and Southern Railroad and 156.60 feet west of the Corporate Boundary of the City of Chicago (City Limits) to a point, 774.59 feet north of the north right-of-way line of the South Chicago and Southern Railroad and 100 feet west of the Corporate Boundary of the City of Chicago (City Limits); a line 100 feet west of and parallel to the Corporate Boundary of the City of Chicago (City Limits); the north

right-of-way line of the South Chicago and Southern Railroad; a line 174 feet east of and parallel to the centerline of Avenue K or the line thereof if extended where no street exists; the south right-of-way line of East 133rd Street or the line thereof if extended where no street exists; and a line 360.29 feet east of and parallel to the centerline of Avenue K or the line thereof if extended where no street exists, extending north to the point of beginning,

[excludes the area bounded by: East 134th Street or the line thereof if extended where no street exists; a line 1,426.86 feet east of and parallel to the centerline of Avenue K or the line thereof if extended where no street exists; a line 215 feet south of the south line of East 134th Street or the line thereof if extended where no street exists; and a line 1,326.86 feet east of and parallel to the centerline of Avenue K or the line thereof if extended where no street exists]

to those of a B2-2 Neighborhood Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B2-2 Neighborhood Mixed-Use District symbols and indications within the area hereinabove described to the designation of Residential-Business Planned Development Number 1121, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statement attached to in this ordinance read as follows:

Residential-Business Planned Development 1121

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development (the "Planned Development") consists of approximately four million one hundred eighty-one thousand and seven hundred sixty (4,181,760) square feet (ninety-six and zero-tenths (96.0) acres) (the "Property") site area which is owned and controlled by the applicant Harbor 4000 East, L.L.C. (the "Applicant"), and which is depicted on the attached Planned Development Boundary and Property Line Map. The Property is divided into three (3) subareas as shown on the Subarea Map.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of

streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or re-subdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the Chicago City Council.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessees and their respective successors and assigns. All rights granted hereunder to the Applicant shall inure to the benefit of its successors and assigns and if different than the Applicant, the legal titleholder and any ground lessees and their respective successors and assigns. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, at the time application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, the Property shall be under single ownership or under single designated control. Single designated control for the purposes of this paragraph shall mean that any applicant to the City for any amendment to this Planned Development or any other modification or changes thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessees of the Property, subject however to the following exceptions and conditions: (a) any change or modifications to this Planned Development (including administrative changes pursuant to Statement 12, below) applicable to or in a given subarea need only be made or authorized by the owners and/or ground lessees of such subarea provided there is no adverse effect on other subareas, and the corresponding documentation submitted for such modification shall only be required to include information related to the subject subarea; (b) no amendment may be sought without written approval by any homeowners associations unless the rights to do so have been retained by the Applicant and its successors in title documents. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise collateral from any indebtedness) and solely with respect to the portion of the Property as transferred, the term "Applicant" shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its beneficiaries if such seller or transferor is a land trust) shall be released from any and all obligations or liability hereunder with respect to the portion of the property so transferred.
4. This plan of development consists of these seventeen (17) statements and the following described exhibits, dated August 21, 2008 (collectively, the "Plans") all of which are incorporated herein and made a part hereof by this reference:

Existing Zoning Map;

Existing Land-Use Map;

Planned Development Boundary and Property Line Map;

Site Plan;

Site Plan -- Phase I;

Subarea Plan;

Landscape Plan;

Landscape Plan -- Phase I;

Mobile Home Use Map;

Park and Open Space Plan;

Public-Way and Dedication Plan;

Building Elevations, Typical Lot Diagram, and Typical Footprint Diagram (Single-Family Types A1, A2 and A3; Townhouse Types B1 and B2; Three- and Six-Flats Type C; Condominium Types D1 and D2; and Mixed-Use Type E).

Full-size sets of the Plans are on file with the Department of Planning and Development ("D.P.D."). This Planned Development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for the approval of a Planned Development. These and no other zoning controls shall apply to the area delineated herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building code shall apply.

5. The following uses shall be permitted within the area delineated herein as a Residential-Business Planned Development:

Subarea A: residential units consisting of detached single-family residences, townhouses/row houses, three-flat buildings, six-flat buildings; multi-unit residential buildings, neighborhood recreational/open space, accessory uses; and temporary buildings for sales and construction.

Subarea B: all uses permitted in the B2-2 Neighborhood Mixed-Use District, including residential units, retail use, food services; office, restaurants (both limited and general), recreational center and uses; accessory parking and loading, related and accessory uses.

Subarea C: recreational areas and preserve areas.

The current land uses (mobile homes/trailers) may continue as a "nonconforming use" only within the areas designated as "Mobile Home Use" on the Mobile Home Use Map and only until such time as a given parcel is designated to be developed pursuant to a Development Parcel Site Plan as prescribed in Statement Number 12. Mobile homes may be relocated only within the area designated for mobile home use on the Mobile Home Use Map. (This designation excludes the use for recreational vehicle parking and/or camp grounds.)

6. On-Premises signs and temporary signs are permitted upon the subject property subject to the review and approval of the Commissioner of the Department of Planning and Development (the "Commissioner"), consistent with the provisions of this Planned Development. Off-Premises signs shall be prohibited within the boundary of this Planned Development.
7. Any service drives or any other means of ingress or egress, including for emergency vehicles, shall be adequately designed and paved in accordance with the provisions of the Municipal Code and the regulations of the Chicago Department of Transportation ("C.D.O.T.") in effect at the time of review and permit by the City. There shall be no parking or storage of garbage receptacles within such paved area or within fire lanes. Off-street parking and ingress and egress shall be subject to the review and approval of C.D.O.T. and D.P.D.. All work proposed in the public way must be designed and constructed in accordance with the C.D.O.T. Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or any part of any street or alley during demolition or construction shall be subject to the review and approval of C.D.O.T.
8. For purposes of height measurement and determination, the definition in the Chicago Zoning Ordinance shall apply. The height of any building and any appurtenance shall not exceed the height established in the Bulk Regulations and Data Table and the Building Elevations and shall be subject to height limitations approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio ("F.A.R.") for the parcels shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
10. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable square feet (floor area). The Part II Review Fee is assessed by D.P.D. during the actual Part II Review. The fee, as determined by D.P.D. staff at that time, is final and binding on the Applicant and must be paid to the Department of Planning and Development prior to the issuance of any Part II approval.
11. Improvements of the Property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial

conformance with the Bulk Regulations and Data Table, the Site Plan, the Landscape Plan and Building Elevations attached hereto and made a part hereof. Dog runs shall be constructed prior to the issuance of Part II Approval for each two hundredth (200th) four hundredth (400th), six hundredth (600th) and eight hundredth (800th) residential dwelling unit. The Calumet Design Guidelines shall govern regarding landscaping within this Planned Development. In any case where the Calumet Design Guidelines do not apply, parkway trees and other landscaping and screening shall be installed and maintained at all times in accordance with the applicable standards, regulations, guidelines and the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening.

12. Prior to the issuance by the D.P.D. of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II Approval") for development or redevelopment of any development parcels within the Planned Development, a Development Parcel Site Plan for the proposed development, including parking areas, shall be submitted to the Commissioner for approval. No Part II approval shall be granted until the Development Parcel Site Plan has been approved by the Commissioner. Following approval of a Development Parcel Site Plan by the Commissioner, the approved plans shall be kept on permanent file with the D.P.D. and shall be deemed to be an integral part of this Planned Development. The approved Development Parcel Site Plan may be changed by the provisions of 17-13-0611-A of the Chicago Zoning Ordinance.

A Development Parcel Site Plan shall contain, at a minimum, not less than three (3) acres net site area or thirty (30) units of housing for residential; and for business/commercial uses shall contain not less than one (1) Block Face as defined in Chapter 17-17-0221 of the Chicago Zoning Ordinance. The following information must be provided with any proposed improvements identified within a Development Parcel Site Plan:

- (1) the boundaries of the development parcel(s);
- (2) the site plans for the improvements;
- (3) the location and dimensions of all loading berths, curb cuts and parking spaces in Subareas A and B;
- (4) a landscaping plan, including adjacent parkways;
- (5) the location of any adjacent public improvements;
- (6) a sign plan which includes, but is not limited to the size, location and type of signs proposed in Subareas A and/or B;
- (7) preliminary building sections and elevations of the improvements with a preliminary building materials lists;

- (8) statistical information applicable to the development parcel limited to the following:
 - (a) floor area and floor area ratio;
 - (b) uses to be established;
 - (c) building heights; and
 - (d) all setbacks required and provided.
- (9) storm water management requirements in Subareas A and B;
- (10) the Applicant or its successors shall construct and provide ongoing maintenance to the proposed green spaces/open spaces totaling approximately two hundred fifty-two thousand six hundred (252,600) square feet (five and eight-tenths (5.8) acres) located within Subareas A and B of this Planned Development. The square footage of these neighborhood green spaces shall be counted toward providing any Open Space requirements within this Planned Development and shall be included in the determination of the required Open Space Impact Fee for this Planned Development, subject to the Open Space Impact Fee Administrative Rules and Procedures.

A Development Parcel Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development. Review and approval of the Development Parcel Site Plan for the development parcels by the Commissioner is intended to assure that specific development proposals conform to the approved Plan of Development.

The Applicant or its successors shall improve, construct and provide ongoing maintenance for the Subarea C open space/wetland/preserve areas. Subarea C shall be maintained as a preserve. Any areas of Subarea C conveyed to a public body shall be excluded from this requirement. Prior to issuance of a Part II approval for the three hundred fifty (350) residential unit within this Planned Development, the Applicant shall submit to the Commissioner site, landscape and implementation plan(s) for the improvement and ongoing maintenance of the Subarea C open space/wetland/preserve areas. No Part II approval shall be issued for the three hundred fifty (350) residential unit until said plans have been submitted to the Commissioner for review.

13. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner, upon the application for such a modification

by the Applicant, and after a determination by the Commissioner that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any modification of the requirements of this statement by the Commissioner shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance. Finally, it is acknowledged that the demising walls for the interior spaces are illustrative only and that the location and/or relocation of demising walls or division of interior spaces shall not be deemed to require any further approvals pursuant hereto.

14. Pursuant to the Affordable Housing Requirements provisions of the Municipal Code of the City of Chicago Section 2-44-090, the Applicant acknowledges and agrees that if this Planned Development is approved, as a part of the project, it shall be required to provide a minimum of ten percent (10%) of the residential/housing units as Affordable Units. The Applicant further agrees that if the Applicant seeks City financial assistance for any phase of the project, including subsequent phases, the Applicant shall be required to provide a minimum of twenty percent (20%) of residential units as Affordable Units, for the phase in which the City assistance is sought.
15. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserve energy and resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the properties in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. At a minimum, the Applicant/Owner of Subareas A and B shall provide the following sustainable strategies: all single-family, townhouses and multi-unit residential buildings with less than four (4) units shall achieve building certification (Chicago Green Homes, L.E.E.D. or Energy Star); all multi-unit residential with buildings with four (4) units or more shall construct a green roof that covers fifty percent (50%) of the net roof area and the building shall achieve building certification (Chicago Green Homes, L.E.E.D. or Energy Star); all mixed-use buildings shall include the sustainable strategies listed in the Department of Planning and Development's Sustainable Development Policy in accordance with the predominant use of the building. The term "Net Roof Area" shall be defined as the area of the roof minus any required perimeter setbacks, rooftop structures and roof-mounted equipment. Further, if City financial assistance is sought in connection with development within this Planned Development, then relevant City policy in effect at the time such assistance is sought regarding required vegetated ("green") roofs and other sustainable requirements shall apply.

- 16. The Applicant acknowledges that it is in the public interest to design, construct and maintain the projects in a manner that promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
- 17. If no development has commenced within six (6) years following adoption of this Planned Development, then this Planned Development shall expire and the zoning of the Property shall automatically revert to that of the previously existing RS2 Single-Unit (Detached House) District, B3-1 Community Shopping District, C1-1 Neighborhood Commercial District and M1-1 Limited Manufacturing/Business Park District. The six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Site Plan; Subarea Plan; Site Plan/Landscape Plans -- Phase 1; Trailer Relocation Exhibit; Landscape Plan; Park and Open Space Plan; Public Way and Dedication Plans; Building Elevations; and Typical Lot and Typical Footprint Diagram referred to in these Plan of Development Statements printed on pages 37607 through 37647 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development Number 1121.

Bulk Regulations And Data Table

Gross Site Area:	5,717,678 square feet (131.0 acres)
Public Right-of-Way Area to be dedicated:	1,535,918 square feet (35.0 acres)
Net Site Area:	4,181,760 square feet (96.0 acres)

Net Site Area (by Subareas):

Subarea A: 1,881,792 square feet (43.2 acres)
Subarea B: 601,128 square feet (13.8 acres)
Subarea C: 1,698,840 square feet (39.0 acres)

Maximum Floor Area Ratio: 1.30

Subarea A: 1.30

Subarea B: 1.30

Subarea C: 0.01

**Maximum Number of Residential
Units permitted in Subareas A and B:** 953 Residential Units

Permitted Uses: Residential uses, business uses,
recreational uses and related uses as listed
in Statement Number 5

**Minimum Number of Off-Street
Parking Spaces to be Provided:**

Subarea A: one (1) parking space for each residential
unit

Subarea B: one (1) parking space for each residential
unit and for business uses, per
Section 17-10-0200 of the Chicago Zoning
Ordinance

Subarea C: to be determined by D.P.D.

**Business/Commercial square
footage Maximum to be provided
in Subarea B:** 30,000 square feet

**Neighborhood Open Spaces,
Wet Lands/Preserve Areas
to be provided:**

Subareas A and B: 252,600 square feet (5.8 acres)
Subarea C: 1,685,820 square feet (38.7 acres)

**Minimum Number of Off-Street
Loading Spaces:**

Subarea A: as required by 17-10-1100 of the CZO.
Subarea B: as required by 17-10-1100 of the CZO.
Subarea C: as determined by D.P.D.

Maximum Building Height:

Subarea A: 60 feet
Subarea B: 45 feet
Subarea C: 25 feet

**Maximum Site Coverage
for the entire P.D.:**

50%
Subarea A: 80%
Subarea B: 20%
Subarea C: .01%

Minimum Setbacks:

Subarea A:

"A" Units (Single-Family):

Front Setback: 14 feet (8 feet unobstructed)

Side Setbacks: 3 feet

Rear Setback: 44 feet (3 feet at garage)

"B" Units (Townhouse):

Front Setback: 12 feet

Side Setbacks: 10 feet

Rear Setback: 8 feet

"C" Units (3/6 Flats):

Front Setback: 8 feet

Side Setbacks: 3 feet

Rear Setback: 22 feet (3 feet at garage)

"D" Units (Multi-Unit):

Front Setback: 12 feet

Side Setbacks: 18 feet

Rear Setback: 12 feet

Subarea B:

"B" Units (Townhouse):

Front Setback: 12 feet

Side Setbacks: 10 feet

Rear Setback: 8 feet

"C" Units (3/6 Flats):

Front Setback:	8 feet
Side Setbacks:	4 feet
Rear Setback:	22 feet

"E" Units (Commercial):

Front Setback:	3 feet
Side Setbacks:	3 feet
Rear Setback:	30 feet

"D-1" Units (Multi-Unit):

Front Setback:	12 feet
Side Setbacks:	18 feet
Rear Setback:	12 feet

"D-2" Units (Multi-Unit):

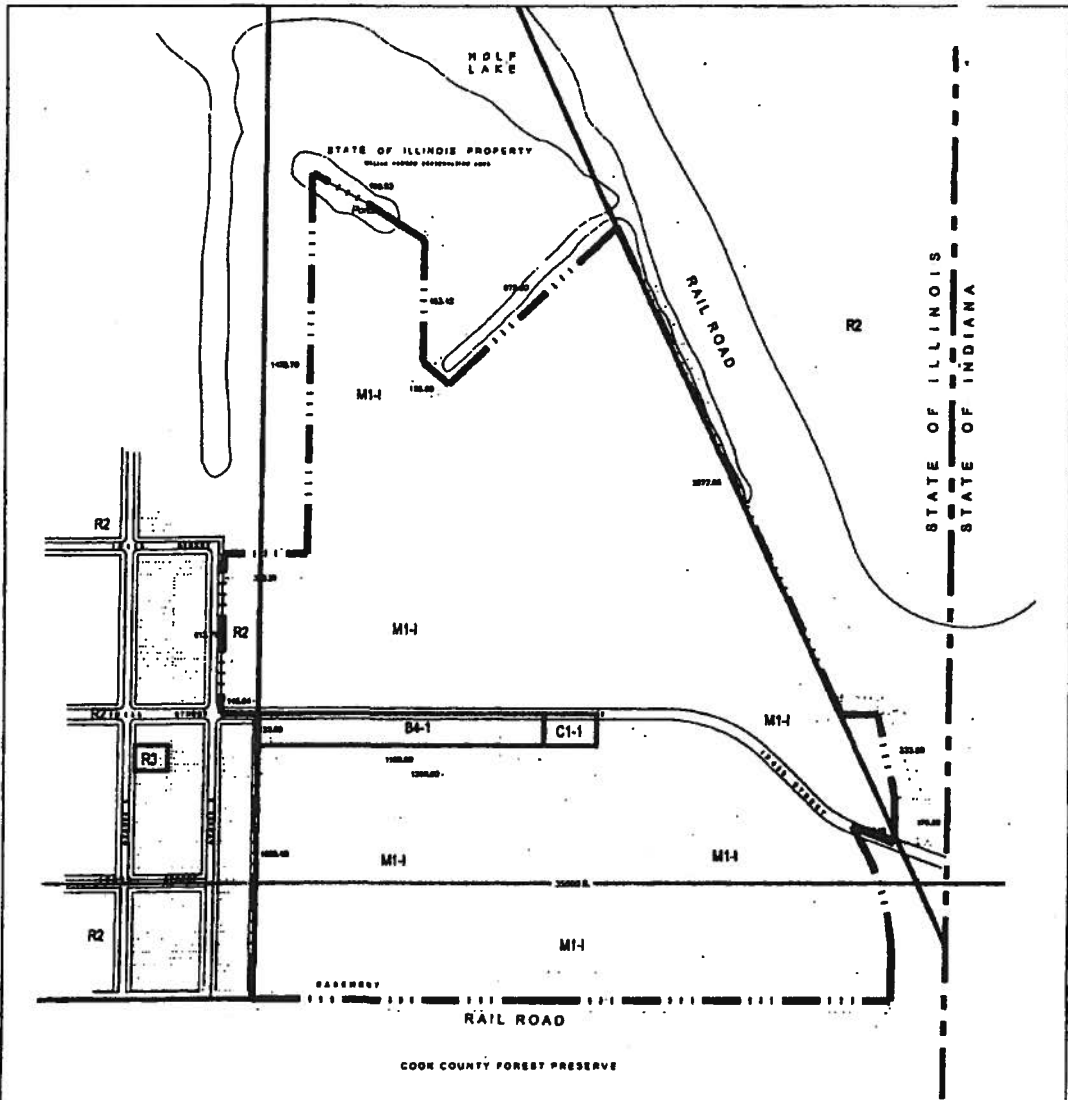
Front Setback:	8 feet
Side Setbacks:	12 feet
Rear Setback:	30 feet

Subarea C:

**As determined by the Department of Planning
and Development**

Setbacks and yard requirements may be adjusted where necessary to permit conformance to the pattern of, or architectural arrangement of structures, when necessary because of technical reasons subject to the approval of the Commissioner.

Zoning Map.



Zoning Map

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

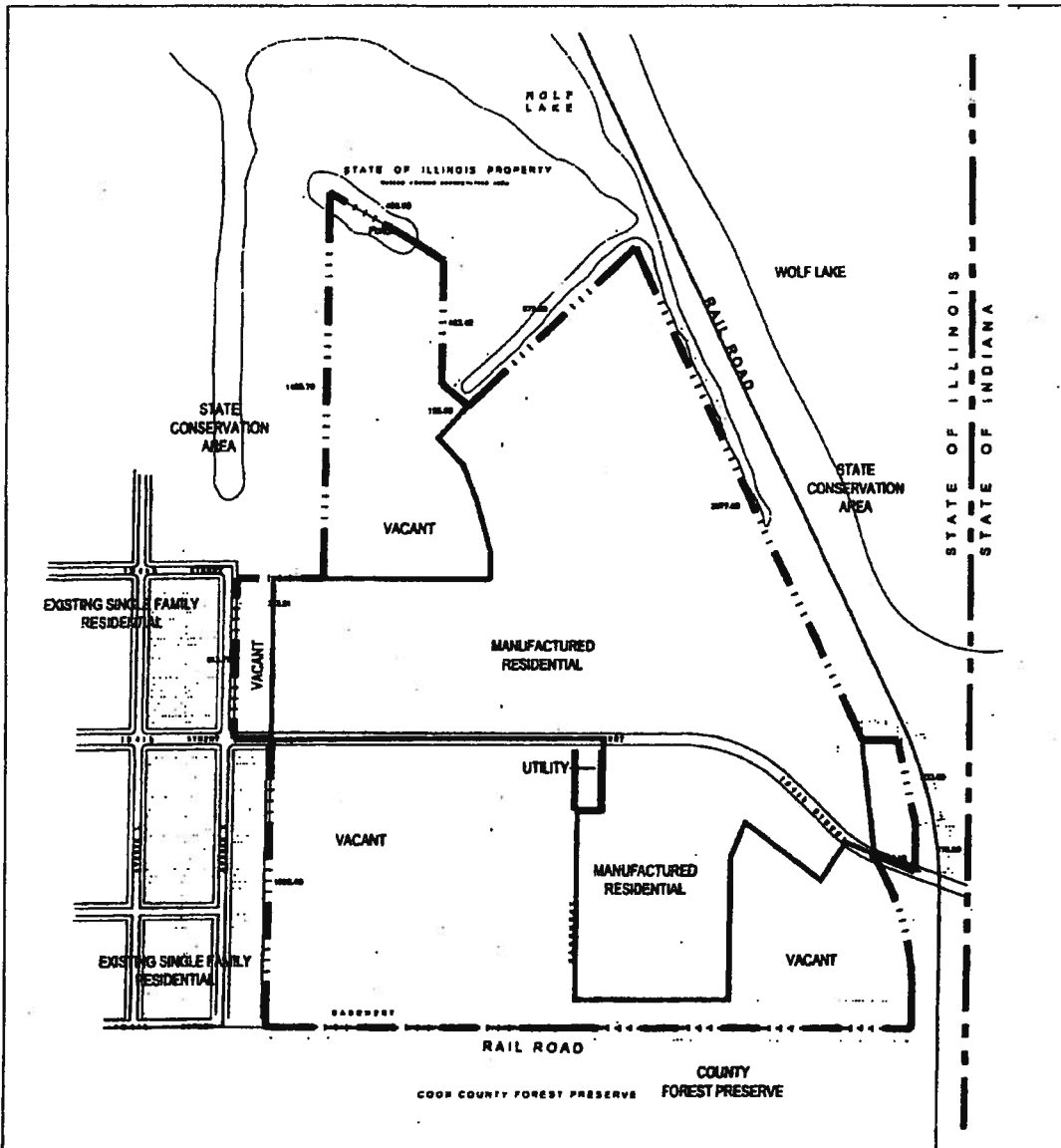
DATE: June 19, 2007
REVISED: August 21, 2008

THE PLANS AND ELEVATIONS AS PRESENTED ARE ILLUSTRATIVE OF CONCEPTS AND
DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON
LOCAL, STATE, FEDERAL, APPLICABLE CODES, AND STRUCTURAL AND MECHANICAL
REQUIREMENTS.

BSB Design, Inc
EXHIBIT 1



Existing Land-Use Map.



NOT TO SCALE

Existing Land Use Map

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

THE PLANS AND ELEVATIONS AS PRESENTED ARE ILLUSTRATIVE OF CONCEPTS AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL SITE PLAN DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN OF SUBMITTERS.

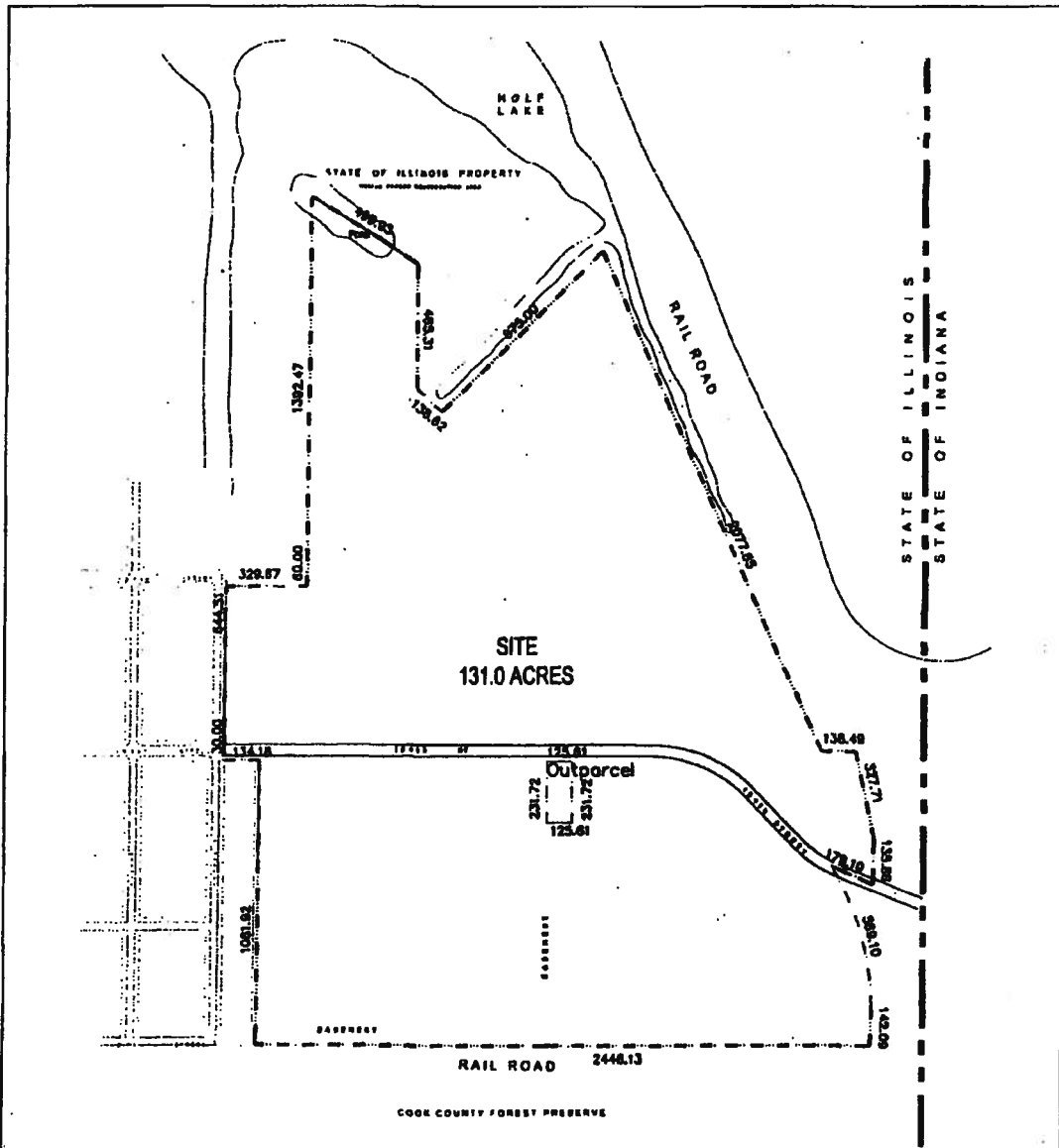
©BSB Design, Inc.

EXHIBIT 2



BSB

Planned Development Boundary
And Property Line Map.



Planned Development Boundary and Property Line Map

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

DATE: August 28, 2007

REVISED:

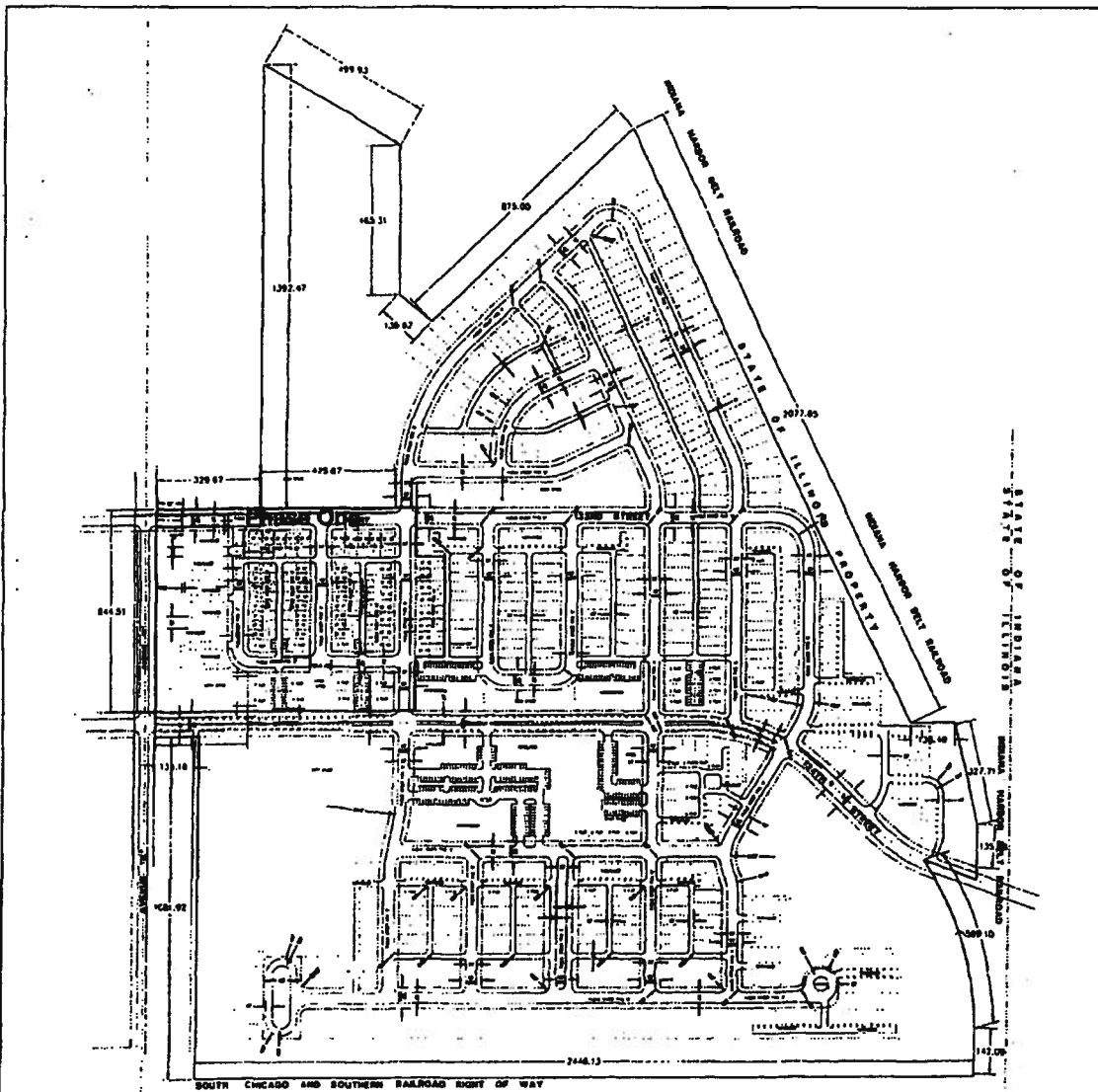
THE PLANS AND SPECIFICATIONS PRESENTED ARE ILLUSTRATIONS OF CHARACTER AND DESIGN INTENT ONLY. PLANS AND SPECIFICATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL SOIL PLAN DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

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EXHIBIT 3



Site Plan.



NOT TO SCALE

Site Plan

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

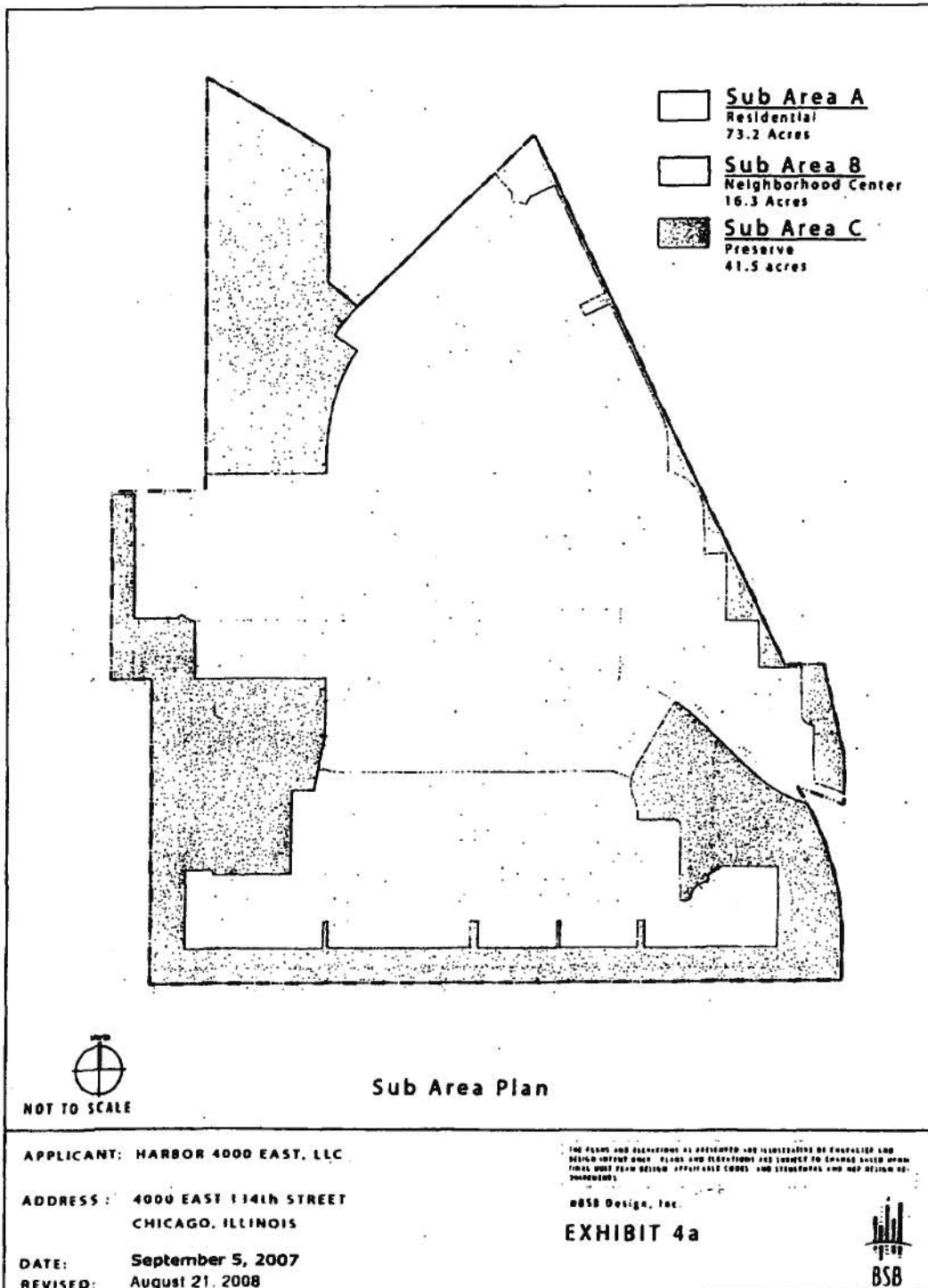
THE PLANS AND ELEVATIONS AS PRESENTED ARE REPRESENTATIVE OF CONCEPTS AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL UNIT FLOOR DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

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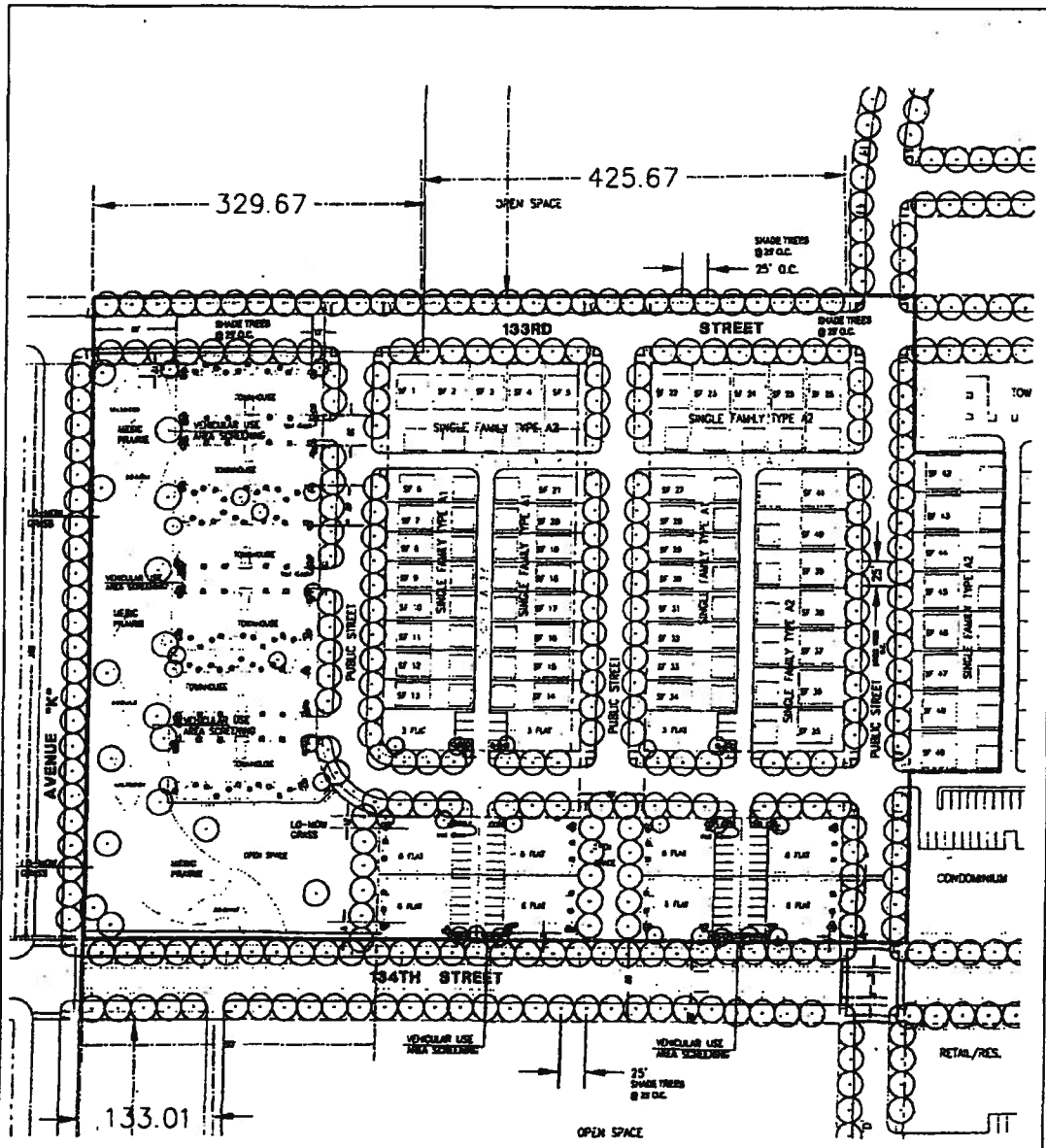
EXHIBIT 4



Subarea Plan.



Site Plan/Landscape Plan - Phase I.



NOT TO SCALE

Site Plan/Landscape Plan-Phase I

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

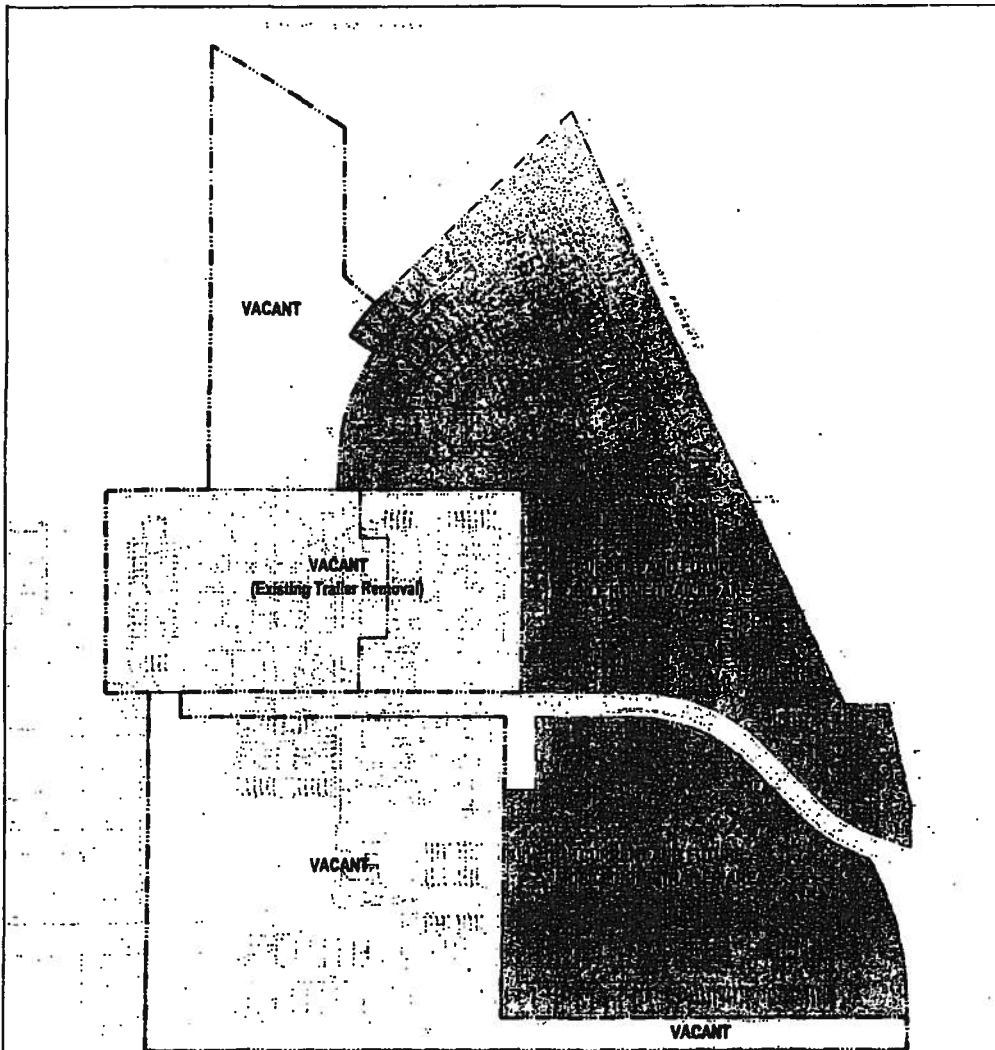
DATE: September 5, 2007
REVISED: August 21, 2008

THE PLANS AND ELEVATIONS AS PRESENTED ARE ILLUSTRATIVE OF CHARACTER AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL CITY PLAN DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

©BSB Design, Inc.
EXHIBIT 4b



Trailer Relocation Exhibit.



NOT TO SCALE

Trailer Relocation Exhibit

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: September 5, 2007
REVISED: August 21, 2008

THE PLANS AND SPECIFICATIONS AS PRESENTED ARE IDENTIFIERS OF CONCEPT AND DESIGN INTENT ONLY. PLANS AND SPECIFICATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL USER PLAN DESIGN APPROVALS, CODES AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

BSB Design, Inc.

EXHIBIT 4c



Landscape Plan.

FINAL FOR PUBLIC

TYPICAL STREET TREES 25' or
 *Species based on COOT

Single Family Homes
 *lawn and planting by owner

Townhouses
 *Detailed planting plan to be submitted with Par

Condominiums
 *Detailed planting plan to be submitted with Par

SOUTH CHICAGO AND SOUTHERN RAILROAD RIGHT OF WAY

NOT TO SCALE **Landscape Plan**

APPLICANT: HARBOR 4000 EAST, LLC

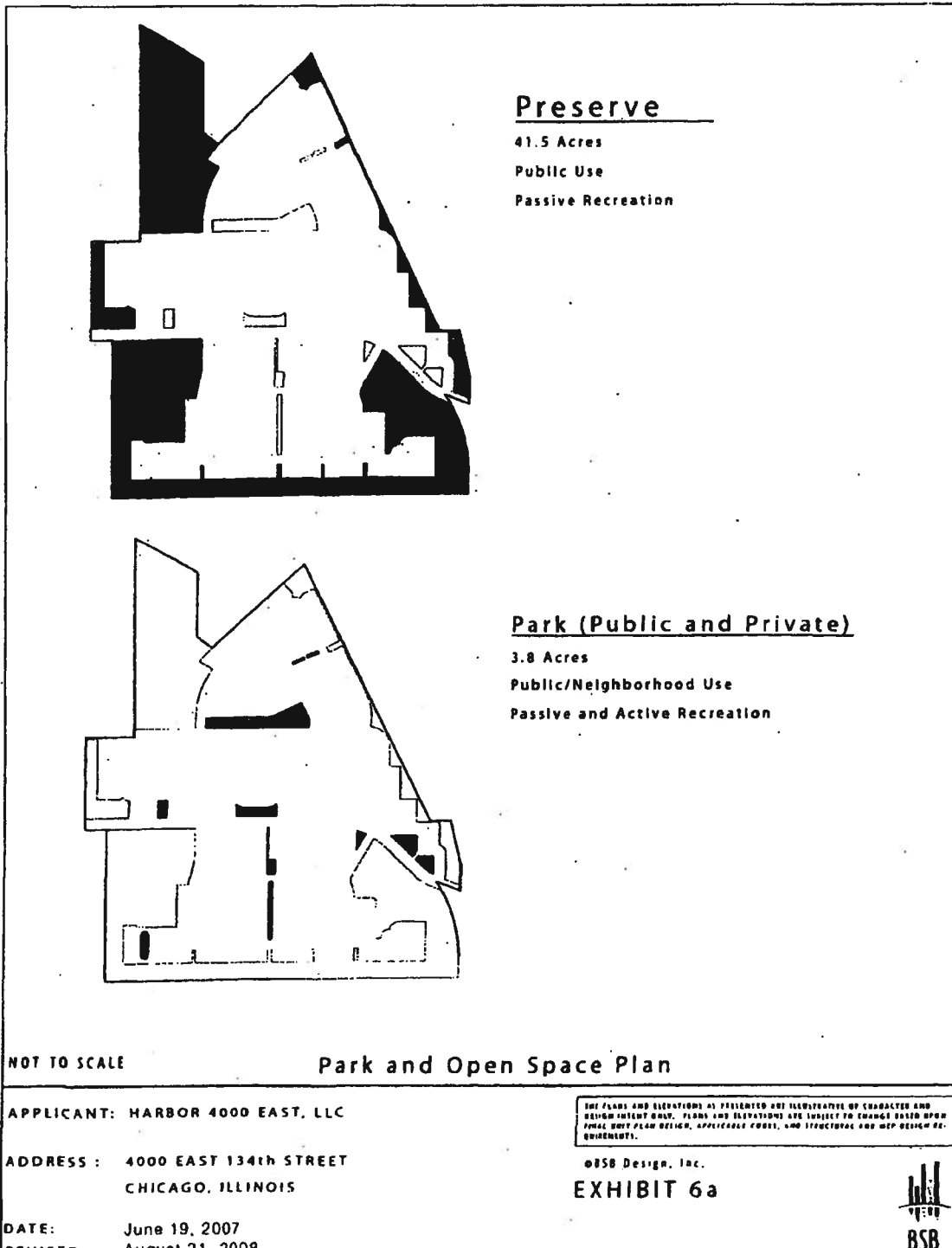
**ADDRESS : 4000 EAST 134th STREET
 CHICAGO, ILLINOIS**

DATE: June 19, 2007
 August 24, 2008

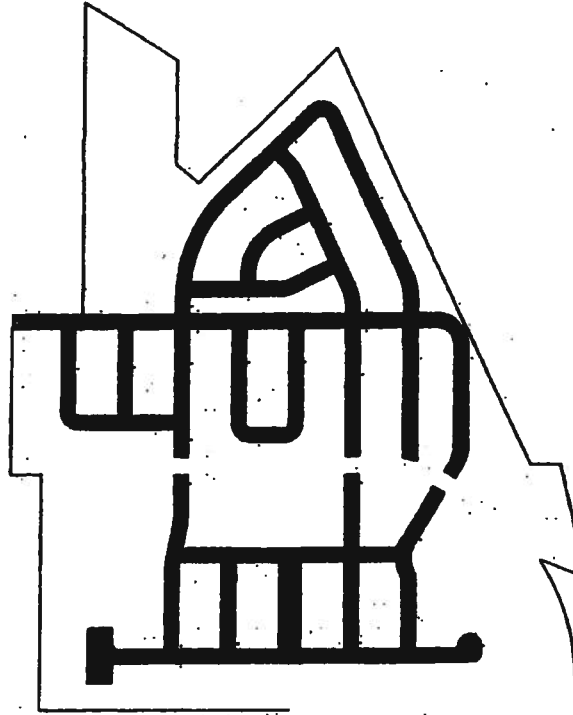
THE PLANS AND ELEVATIONS AS PRESENTED ARE INDICATIVE OF CONCEPT AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL SOIL PLAN DESIGN, APPLICABLE CODES, AND STREETCART AND MEP DESIGN REQUIREMENTS.

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EXHIBIT 6

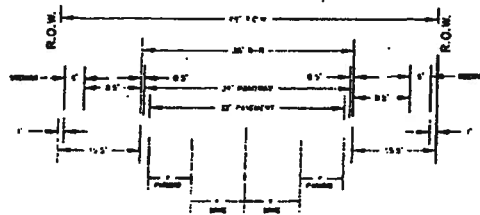
Park And Open Space Plan.



Public Way And Dedication Plan --
66' Neighborhood Streets.



Residential Minor Street (Typ.)
Parking Both Sides
66' R.O.W.



Public Way and Dedication Plan
66' Neighborhood Streets

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

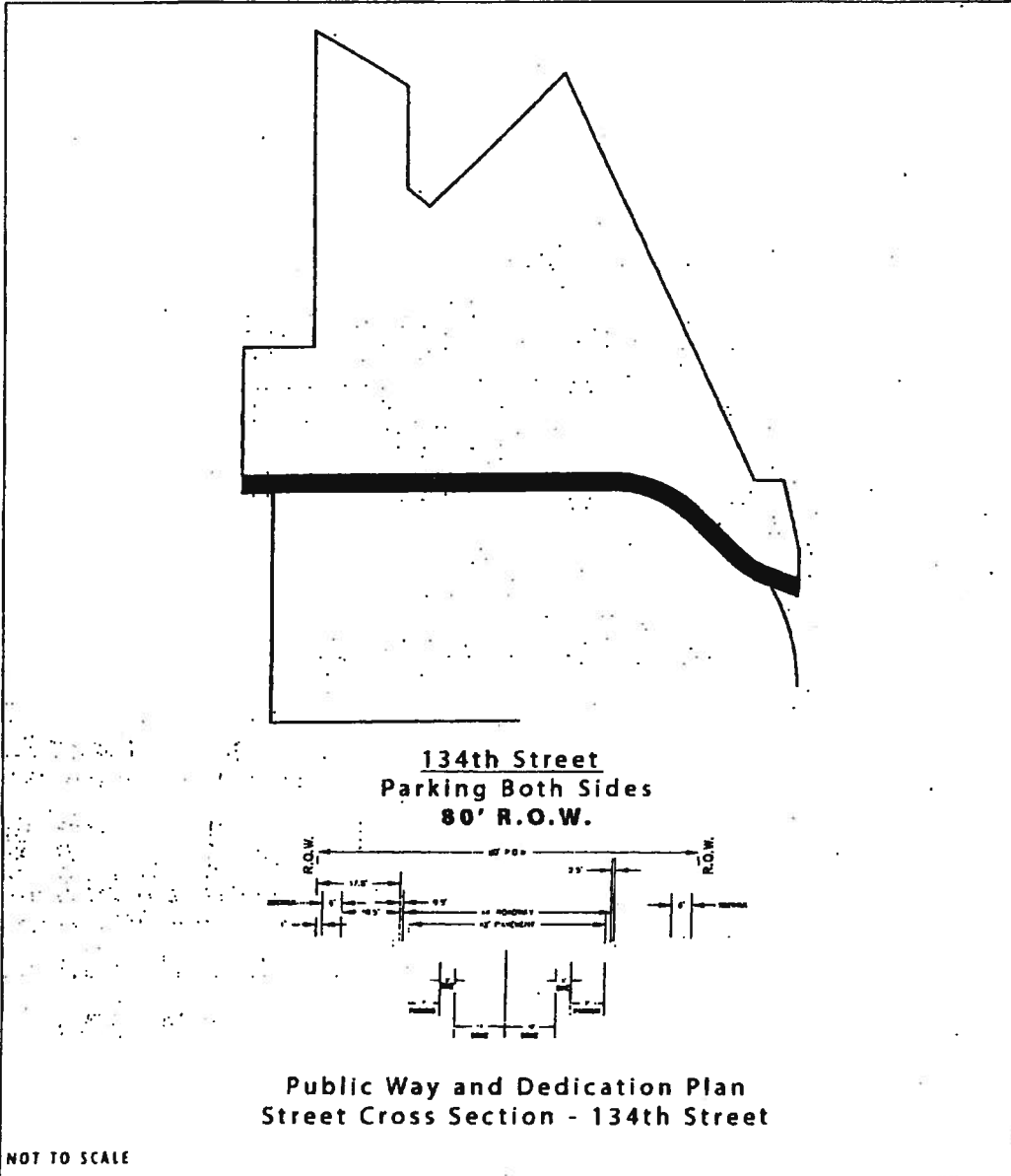
THE PLANS AND ELEVATIONS AS PRESENTED ARE ILLUSTRATIVE OF CONCEPTS AND
DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON
FINAL SOIL PLAN DESIGN, APPLICABLE CODES AND SPECIFICATIONS AND THE DESIGN OF
DETAILMENT.

©BSB Design, Inc.

EXHIBIT 7a



Public Way And Dedication Plan – Street
Cross Section – 134th Street.



APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

THE PLANS AND ELEVATIONS AS PRESENTED ARE REPRESENTATIVE OF CHARACTER AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL GROUND CONDITIONS, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

BSB Design, Inc.
EXHIBIT 7b



Building Elevations -- Single-Family Type A1.



Single Family Type A1



Single Family Type A1

NOT TO SCALE

Building Elevations

APPLICANT: HARBOR 3000 EAST, LLC

ADDRESS: 4000 EAST 141ST STREET
CHICAGO, ILLINOIS

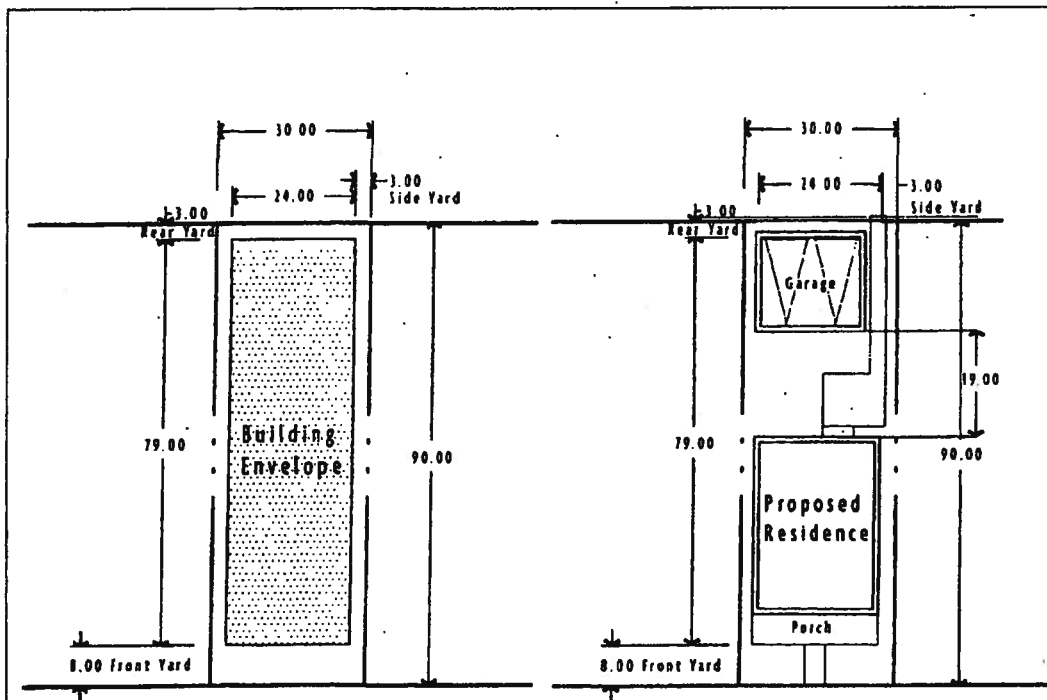
DATE: June 19, 2007
REVISID: August 21, 2008

THE PLAN AND SPECIFICATIONS REPRESENTED ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

4958 East 95th Street
CHICAGO, ILLINOIS 60649
EXHIBIT 8a

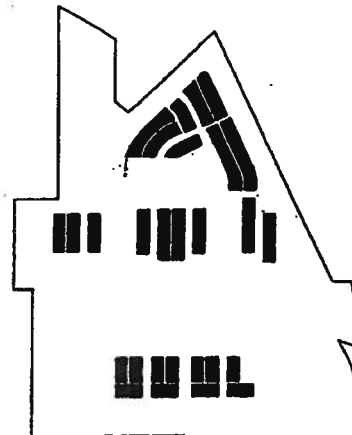


Single-Family Type A1 – Typical Lot Diagram.



Single Family - Type A1

Minimum Lot Square Feet	2,700 sf
Front Yard Setback	8'
Rear Yard Setback	3' from alley
Side Setback	3'
Corner Side at Street	8'
Typical House Square Feet	1,400
Minimum Off-Street Parking	2 stalls per unit
Maximum Height	35'
Rear Yard Open Space	600 sf (22%)



NOT TO SCALE

Single Family Type A1 - Typical Lot Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

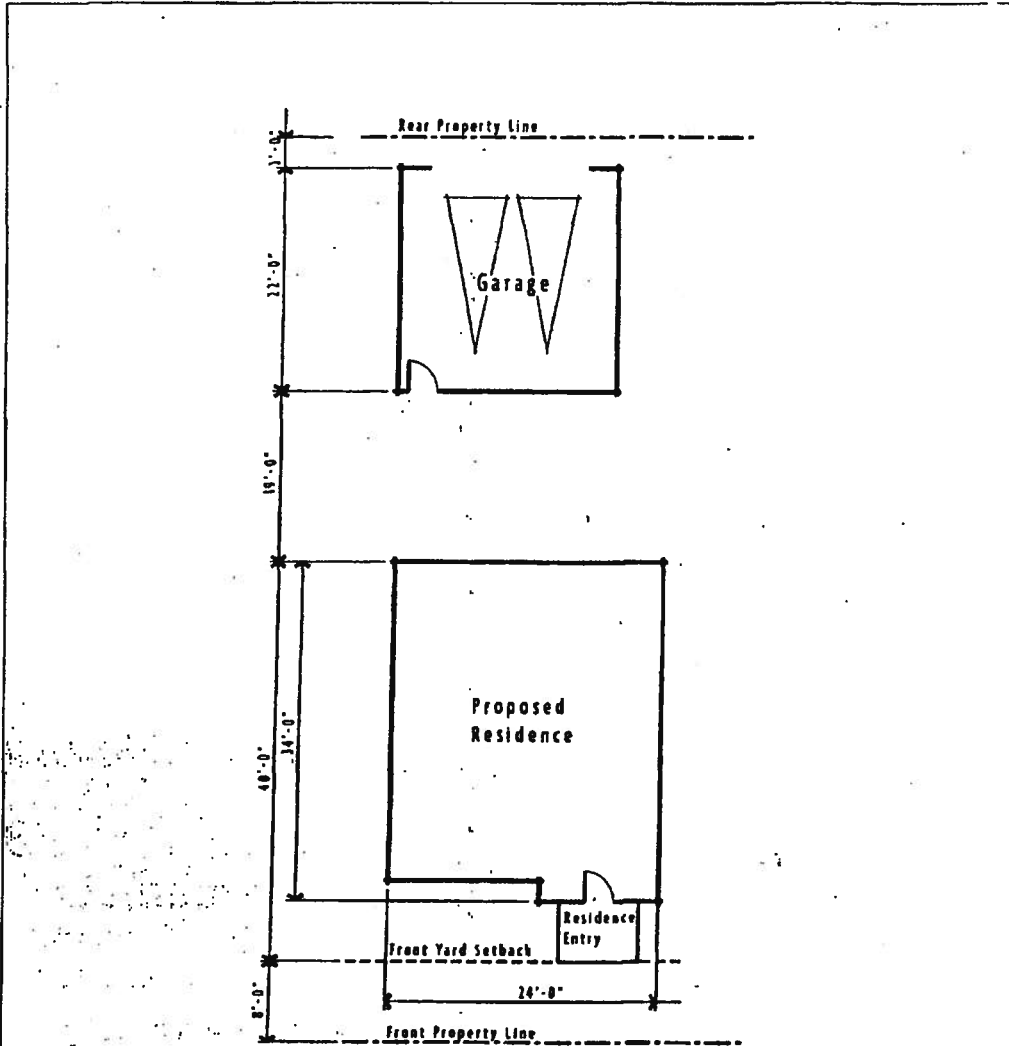
DATE: June 19, 2007

THE PLANS AND ELEVATIONS AS PRESENTED ARE ILLUSTRATIVE OF CONCEPTS AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL UNIT PLAN DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

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EXHIBIT 8b



Single-Family Type A1 -- Typical Footprint Diagram.



NOT TO SCALE

Single Family Type A1 - Typical Footprint Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134th STREET
CHICAGO, ILLINOIS

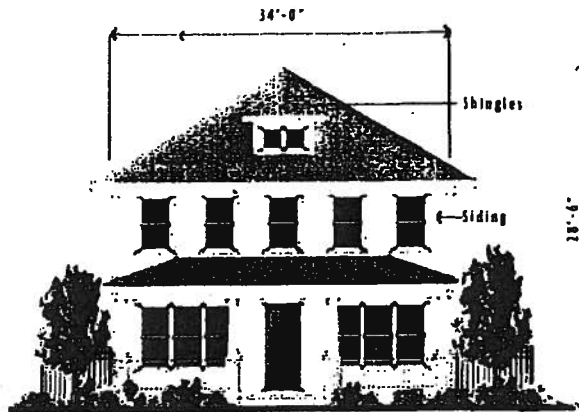
DATE: June 19, 2007
REVISED: August 21, 2008

THE PLANS AND SPECIFICATIONS AS PRESENTED ARE ILLUSTRATIONS OF CONCEPTS AND DESIGN. HEIGHT, GRADE, ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL SOIL TEST RESULTS, APPLICANT CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

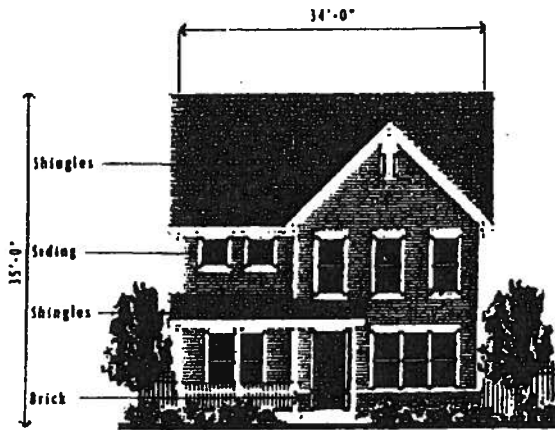
BSB Design, Inc.
EXHIBIT 8c



Building Elevations -- Single-Family Type A2.



Single Family Type A2



Single Family Type A2

NOT TO SCALE

Building Elevations

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007

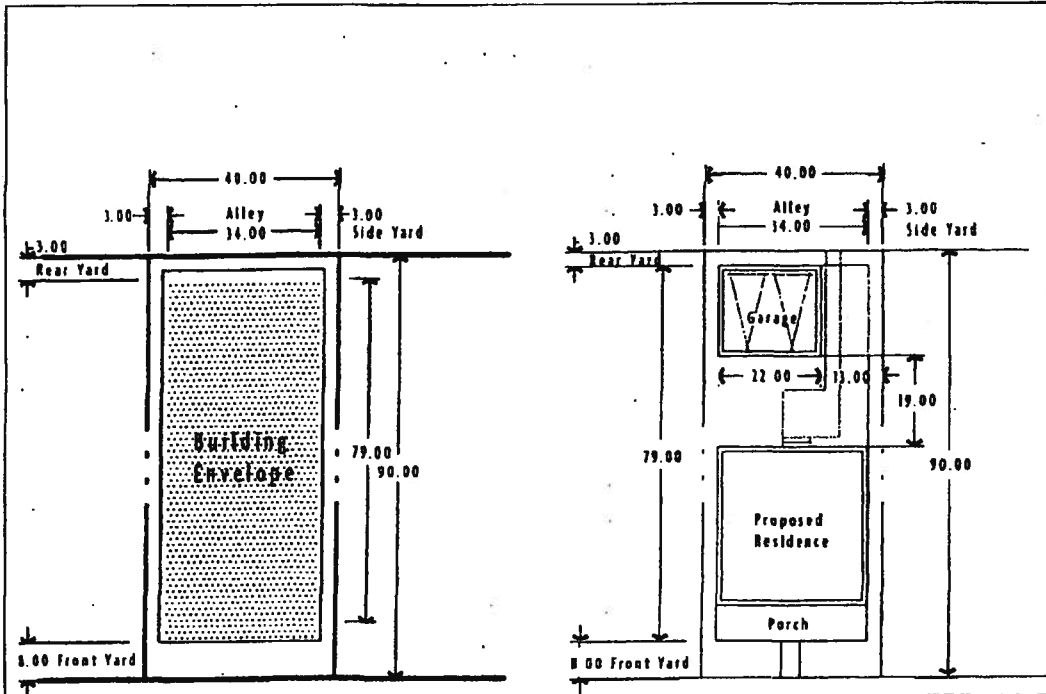
THE PLANS AND ELEVATIONS AS PRESENTED ARE ILLUSTRATIVE BY CONCEPT AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL SOFT PLAN DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

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EXHIBIT 8d

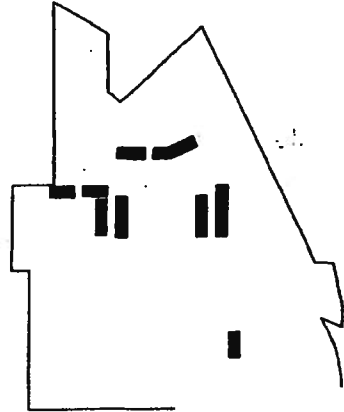


Single-Family Type 2A - Typical Lot Diagram.



Single Family - Type 2A

Minimum Lot Square Feet	3,600 sf
Front Yard Setback	8'
Rear Yard Setback	3' from alley
Side Setback	3'
Corner Side at Street	8'
Typical House Square Feet	1,650 sf
Minimum Off-Street Parking	2 stalls per unit
Maximum Height	35'
Rear Yard	900 sf (25%)



NOT TO SCALE

Single Family Type 2A - Typical Lot Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

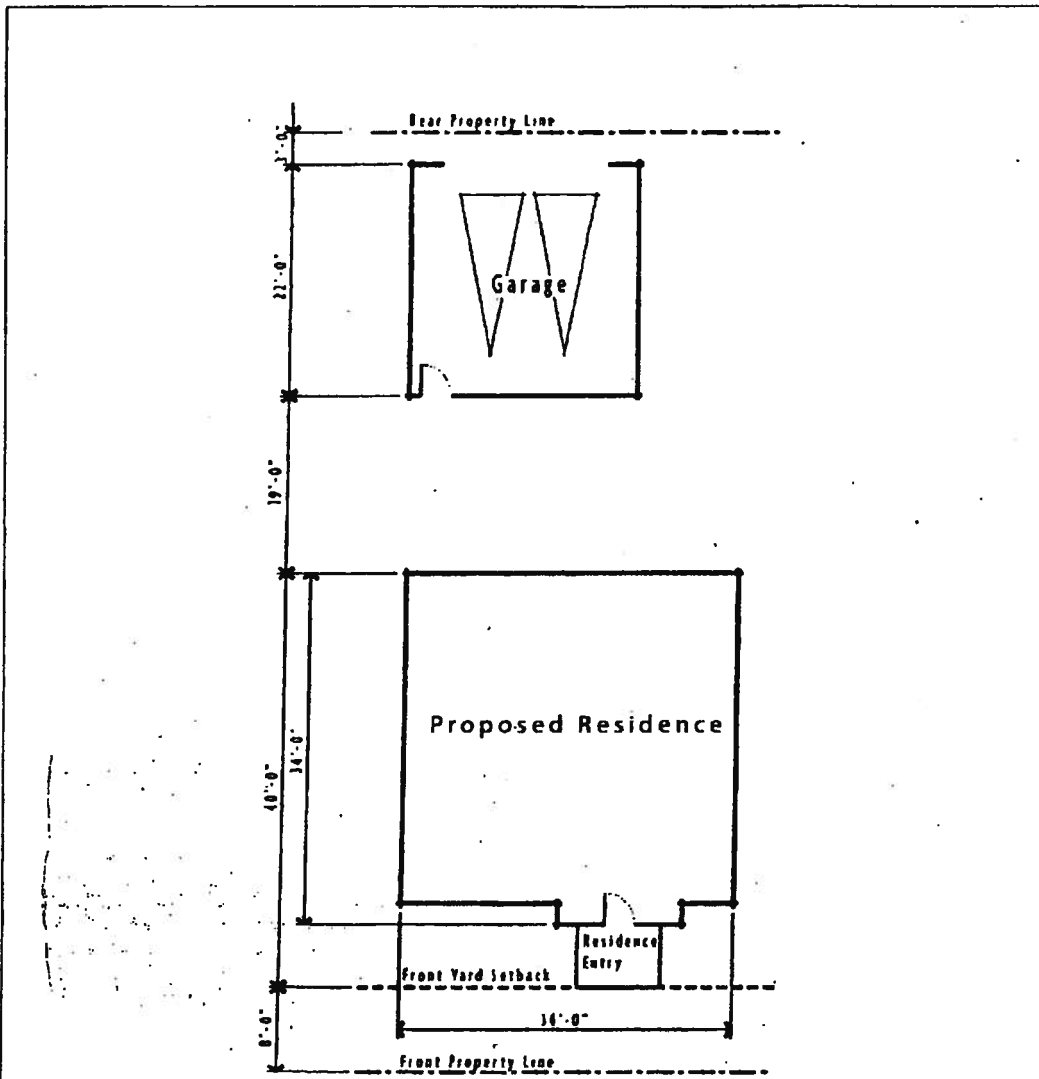
THE PLANS AND SPECIFICATIONS PRESENTED ARE ILLUSTRATIVE OF CONCEPTS AND DESIGN INTENT ONLY. PLANS AND ELEVATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL UNIT PLAN DESIGN, APPLICABLE CODES, AND STRUCTURAL AND MEP DESIGN REQUIREMENTS.

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EXHIBIT 8e



Single-Family Type A2 – Typical
Footprint Diagram.



Single Family Type A2 - Typical Footprint Diagram

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007

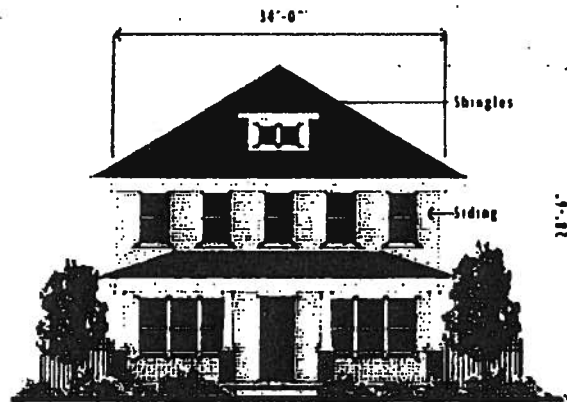
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WBSB Design, Inc

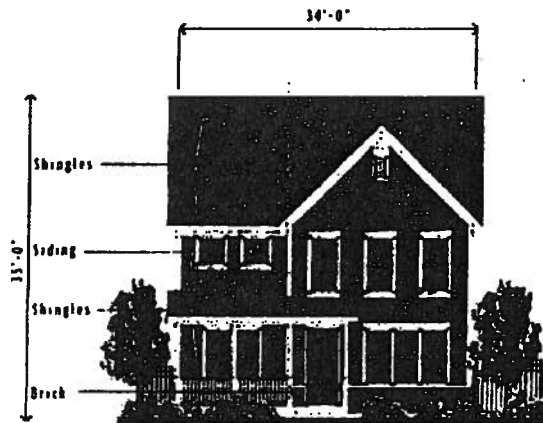
EXHIBIT 8f



Building Elevations -- Single-Family Type 3A.



Single Family Type 3A



Single Family Type 3A

Building Elevations

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

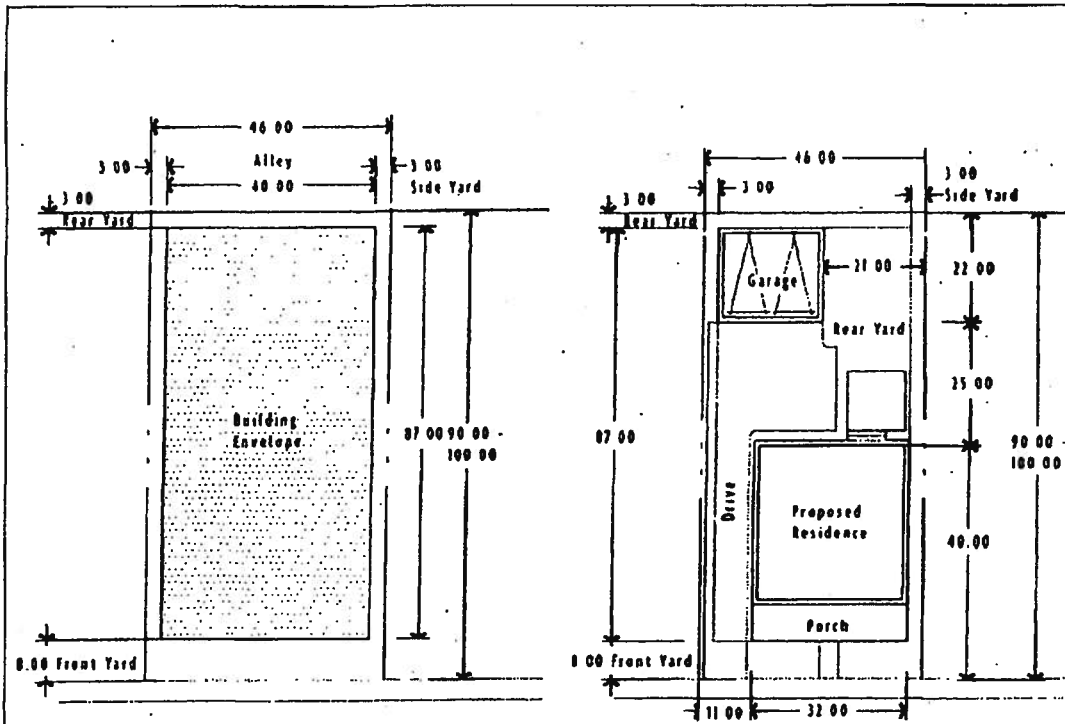
DATE: June 19, 2007
REVISED: August 21, 2008

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BSB Design, Inc
EXHIBIT 8g

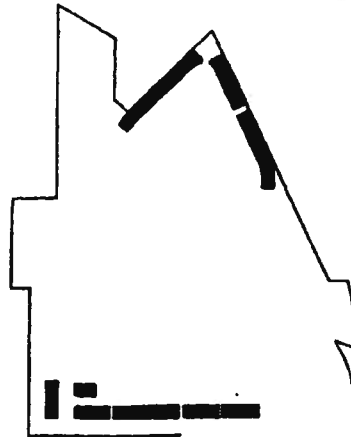


Single-Family Type 3A – Typical Lot Diagram.



Single Family - Type 3A

Minimum Lot Square Feet	4,370 sf
Front Yard Setback	8'
Rear Yard Setback	3' from alley
Side Yard Setback	3'
Corner Side at Street	8'
Typical House Square Feet	1,650 sf
Minimum Off-Street Parking	2 stalls per unit
Rear Yard Open Space	980 (22%)



NOT TO SCALE

Single Family Type 3A - Typical Lot Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 14TH STREET
CHICAGO, ILLINOIS

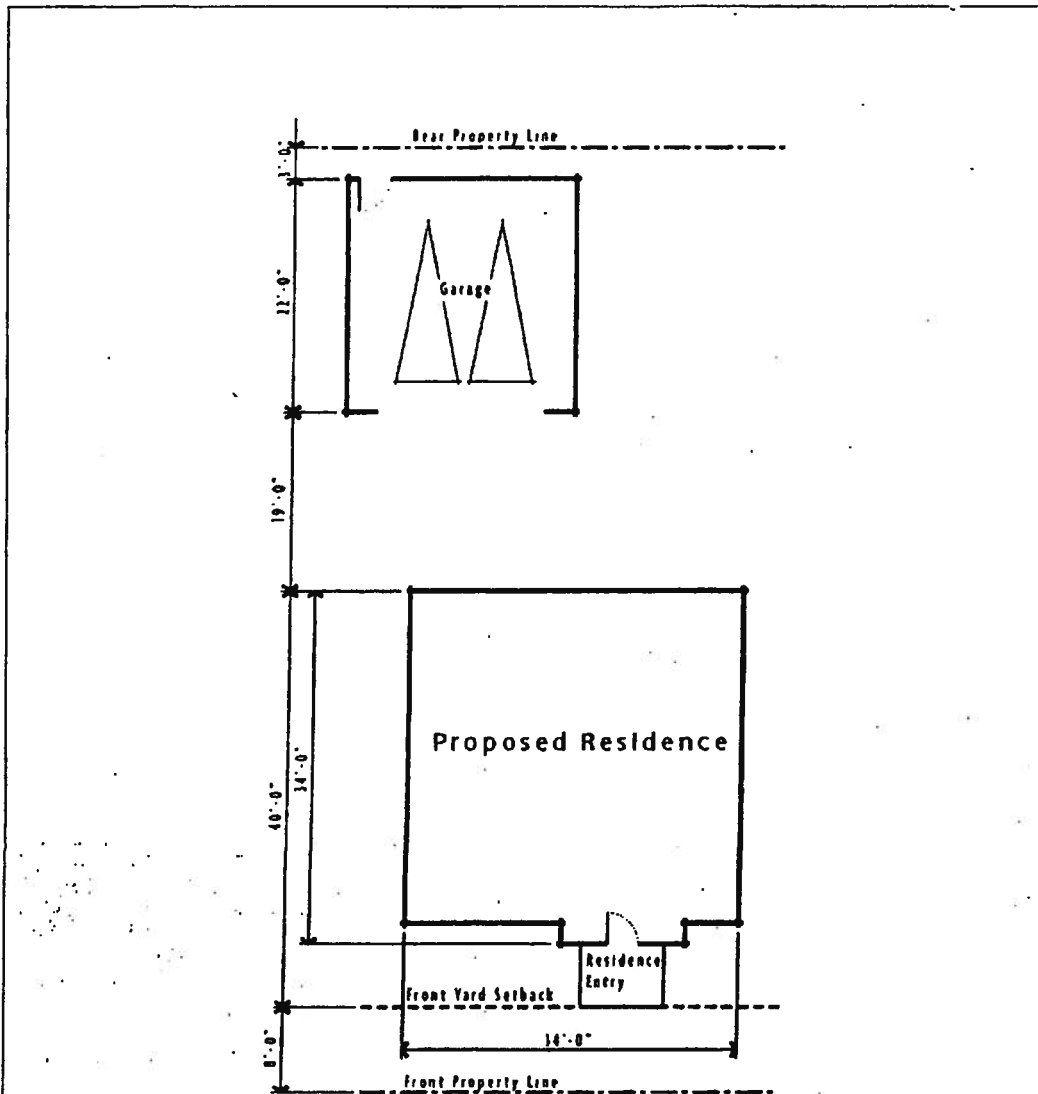
DATE: June 19, 2007
August 21, 2008

THE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT OF RECORD AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SHOWN HEREON. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.

0858 Design, Inc
EXHIBIT 8h



Single-Family Type 3A -- Typical Footprint Diagram.



Single Family Type 3A - Typical Footprint Diagram

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

DATE: July 19, 2007

THE PLANS AND SPECIFICATIONS AS SUBMITTED ARE THE PROPERTY OF HARBOR 4000 EAST, LLC AND SHALL REMAIN THEIR OWN. PLANS AND SPECIFICATIONS ARE SUBJECT TO CHANGE BASED UPON FINAL CITY PLAN REVIEW, APPLICABLE CODES, AND STANDARD AND MAP DESIGN OF CHICAGO.

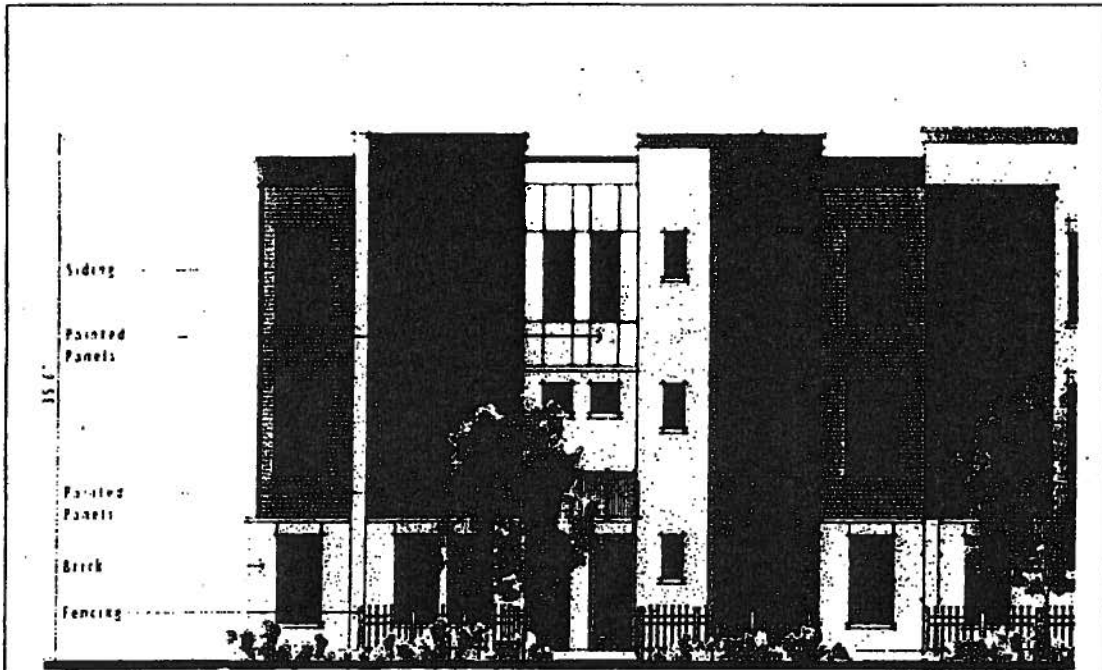
©BSB Design, Inc.

EXHIBIT 81

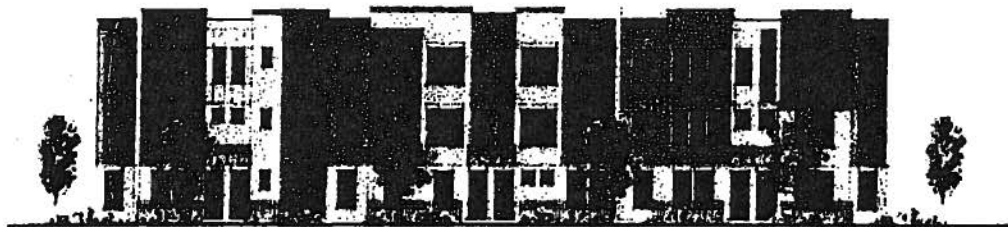


RSB

Building Elevations -- Townhouse B1.



Townhouse B1



Townhouse B1

Building Elevations

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 14TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISION: August 21, 2008

ARCHITECT: [Faint text]

EXHIBIT 8J



Building Elevations – Townhouse B1 -- Typical
Rear Elevation – Street Exposure.



Townhome B1 - Typ Rear Elevation
Street Exposure



Townhome B1 - Typ Rear Elevation
Building Elevations

NOT TO SCALE

APPLICANT: HARROR 4000 EAST, LLC

ADDRESS: 4000 EAST 134th STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
August 21, 2008

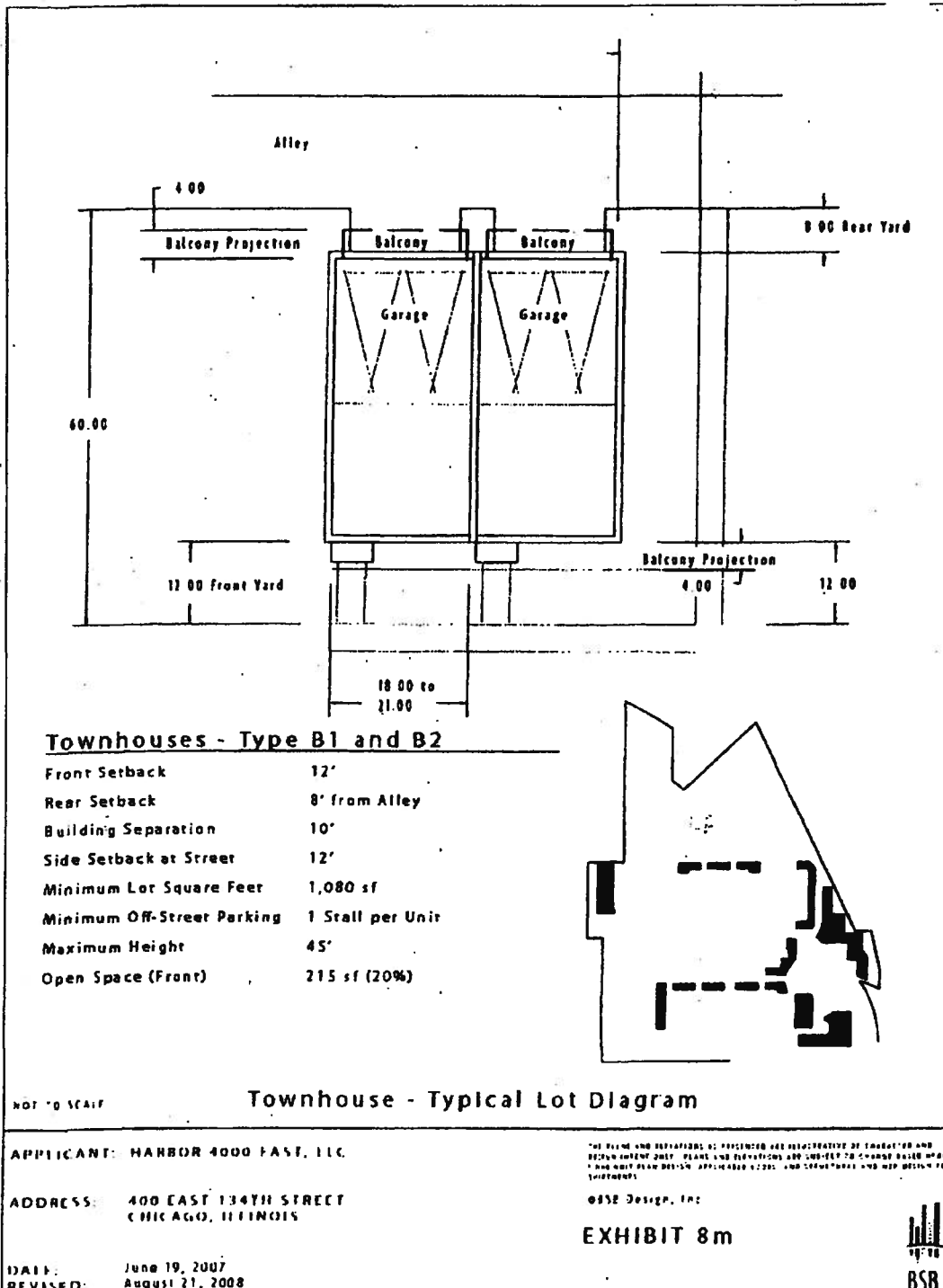
THE PLANS AND SPECIFICATIONS PREPARED ARE THE PROPERTY OF CHICAGO AND
SHOULD BE KEPT IN THE OFFICE AND NOT BE LOANED TO ANY OTHER PERSON
WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND THE DESIGNER OF
STRUCTURE.

BSB Design, Inc.

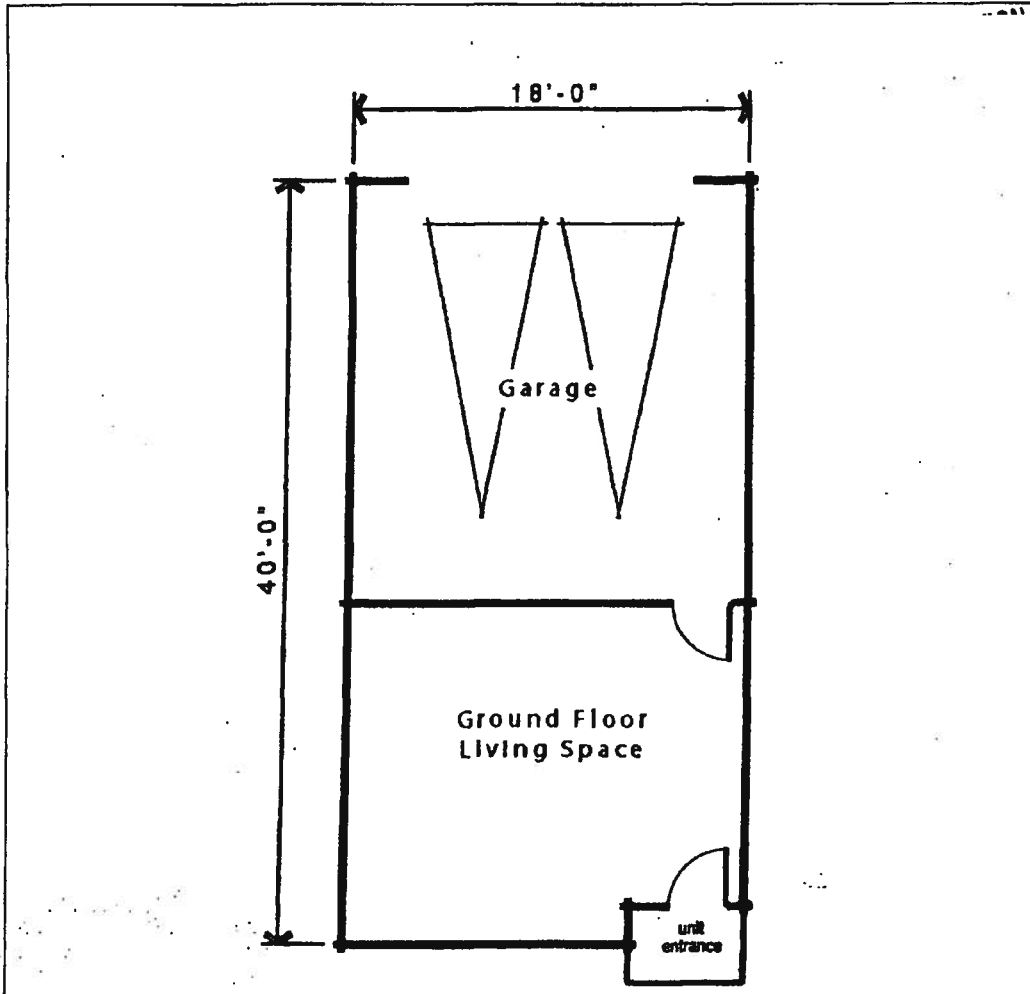
EXHIBIT 8k



Townhouse – Typical Lot Diagram.



Townhouse Type B1 - Typical
Footprint Diagram.



NOT TO SCALE

Townhome Type B1 - Typical Footprint Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

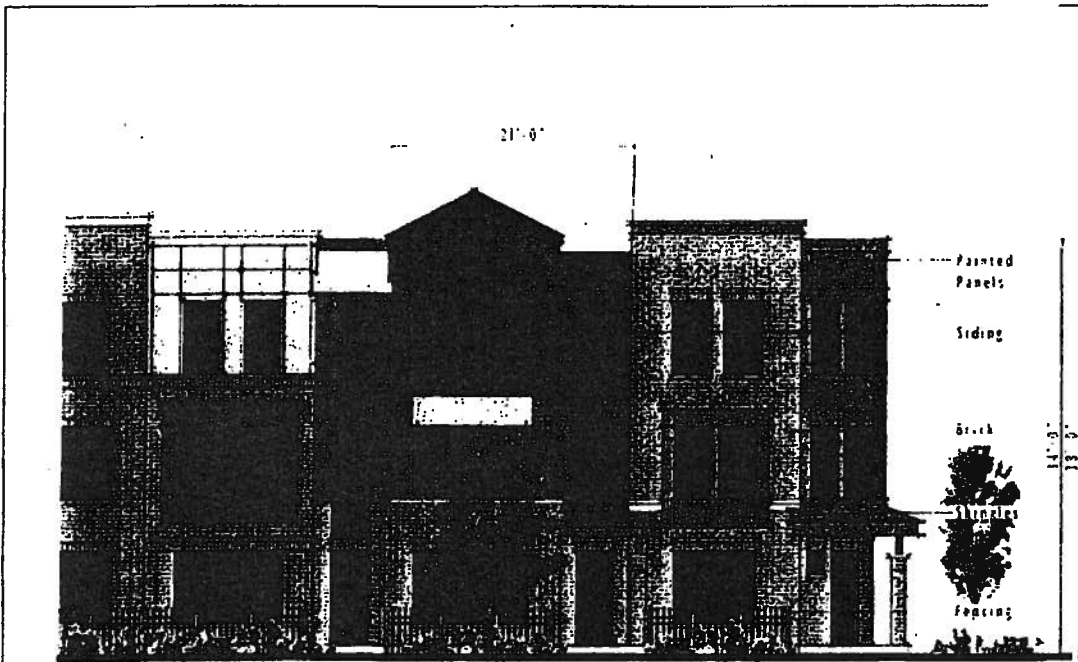
THE PLANS AND ILLUSTRATIONS IS PREPARED AND SUBMITTED BY ENGINEER AND ARCHITECT UNDER CONTRACT AND REFERENCED TO THE CITY OF CHICAGO, ILLINOIS, AND THE ILLINOIS BUILDING CODE, ILLINOIS, AND THE ILLINOIS ZONING ORDINANCES, ILLINOIS, AND THE ILLINOIS SUBDIVISION ACT, ILLINOIS.

BSB Design, Inc.

EXHIBIT 8n



Building Elevations – Townhouse B2.



Townhouse B2



Townhouse B2

Building Elevations

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

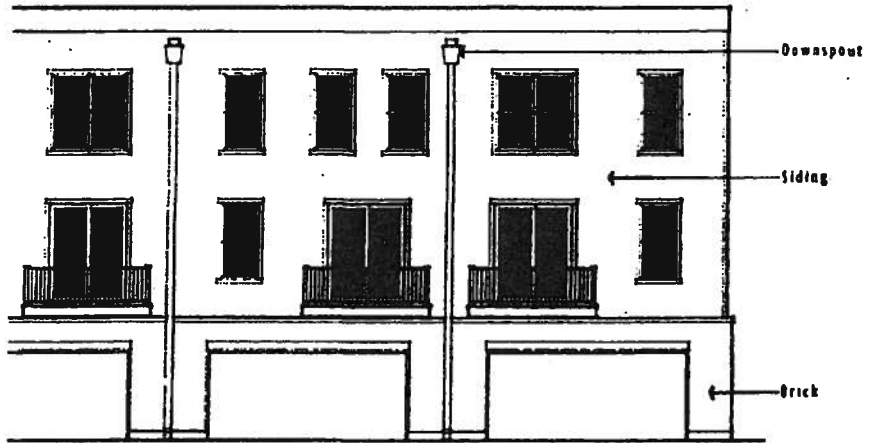
DATE: June 10, 2007
REVISED: August 21, 2008

Architectural drawing showing building elevations and material callouts.

EXHIBIT 80



Townhouse B2 -- Typical Rear Elevation --
Street Exposure.



Townhome B2 - Typ Rear Elevation
Street Exposure



Townhome B2 - Typ Rear Elevation

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 834TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: 08/04/08

THE PLANS AND SPECIFICATIONS AS PRESENTED HERETO, DRAWN BY CHARLES E. BISHOP AND
DESIGNED BY BISHOP DESIGN, ARCHITECTS AND ENGINEERS, ARE SUBJECT TO CHANGE WITHOUT
NOTICE AND WITHOUT LIABILITY TO BISHOP DESIGN, ARCHITECTS AND ENGINEERS.

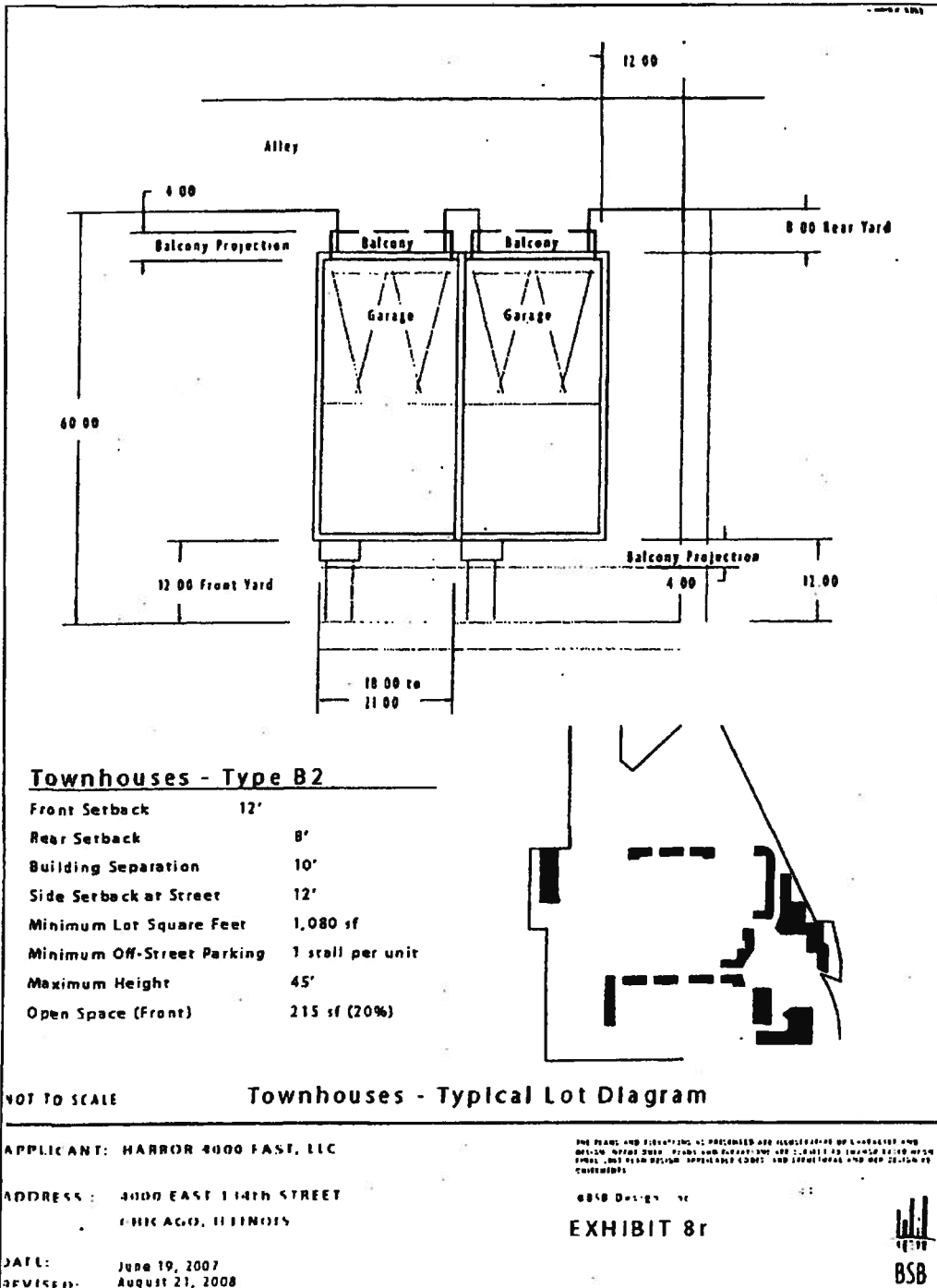
BSB Design, Inc.

EXHIBIT 8p

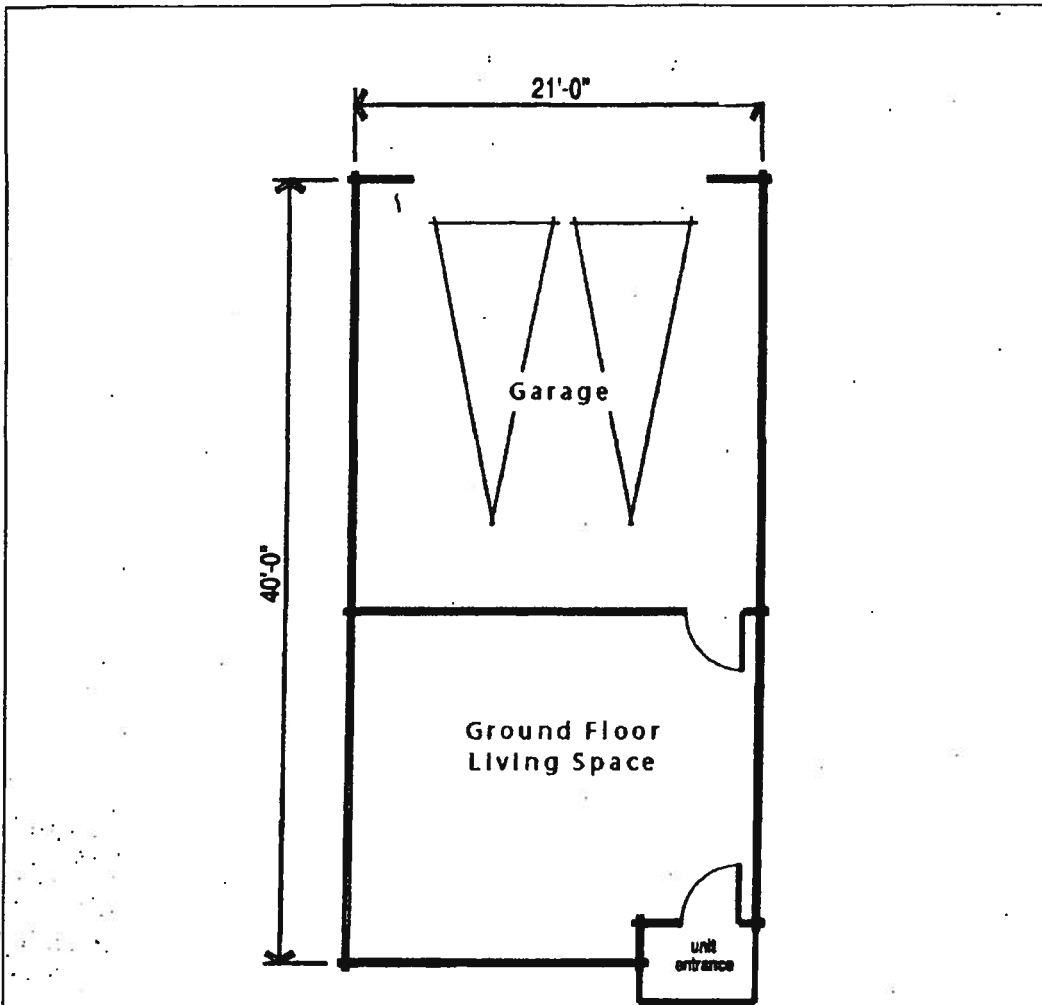


BSB

Townhouses -- Typical Lot Diagram.



Townhome Type B2 - Typical
Footprint Diagram.



NOT TO SCALE

Townhome Type B2 - Typical Footprint Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: AUGUST 21, 2008

THE PLANS AND SPECIFICATIONS AS PRESENTED ARE THE PROPERTY OF ENGINEER AND DESIGNER AND SHALL REMAIN THEIR PROPERTY AND NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER AND DESIGNER.

BSB Design, Inc.

EXHIBIT 8s



Green Roof Planting Area, Curb Containment, Deck,
Roof Top Access, Emergency Access
Stair And Pathway Diagram.

31'-0"

Shingles

Siding

Brick

10'-0"

31'-0"

Shingles

Siding

Shingles

10'-0"

Three Flat 1

Three Flat 2

31'-6"

Siding

Brick

Shingles

10'-0"

NOT TO SCALE

Three Flat 3

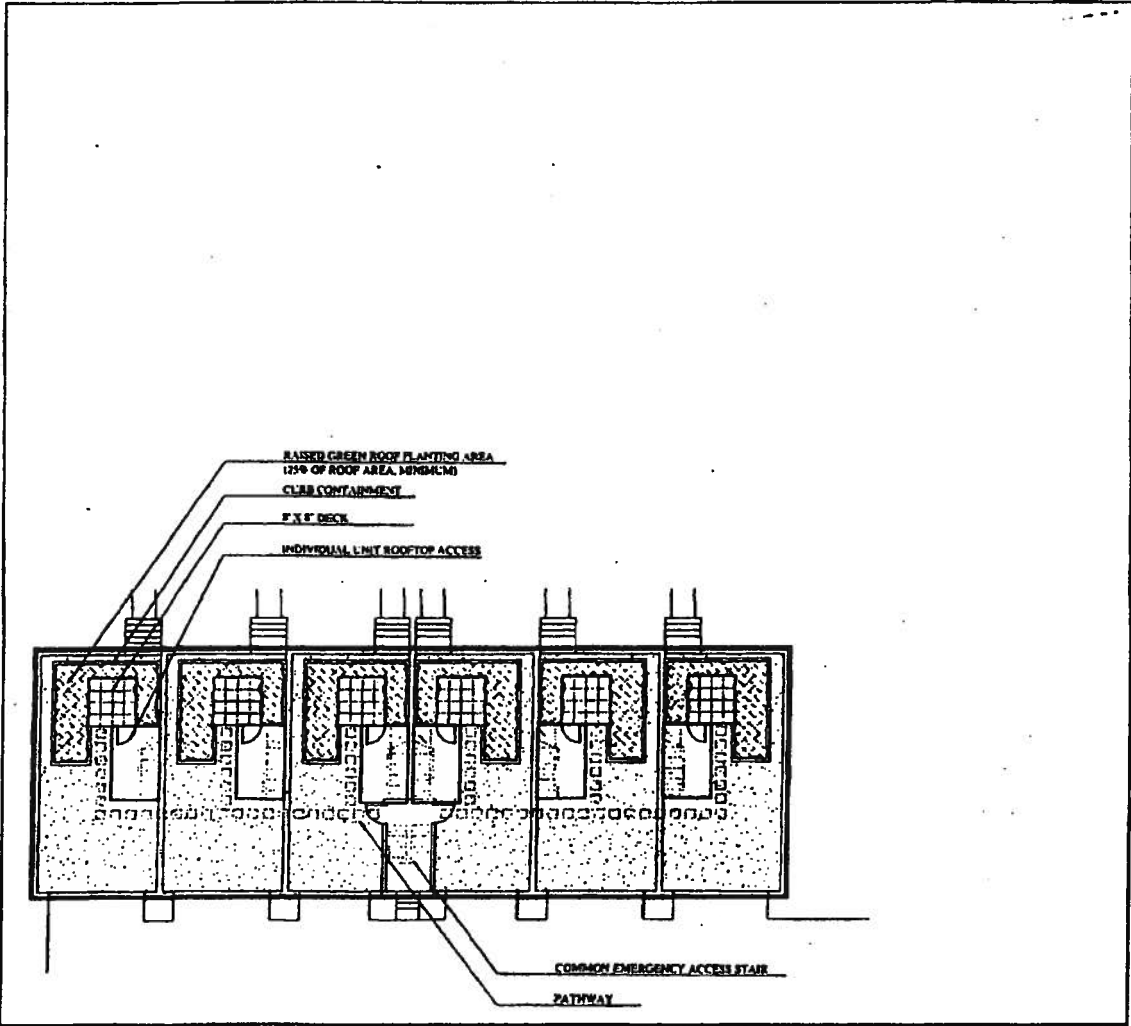
APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST LEXINGTON STREET
CHICAGO, ILLINOIS

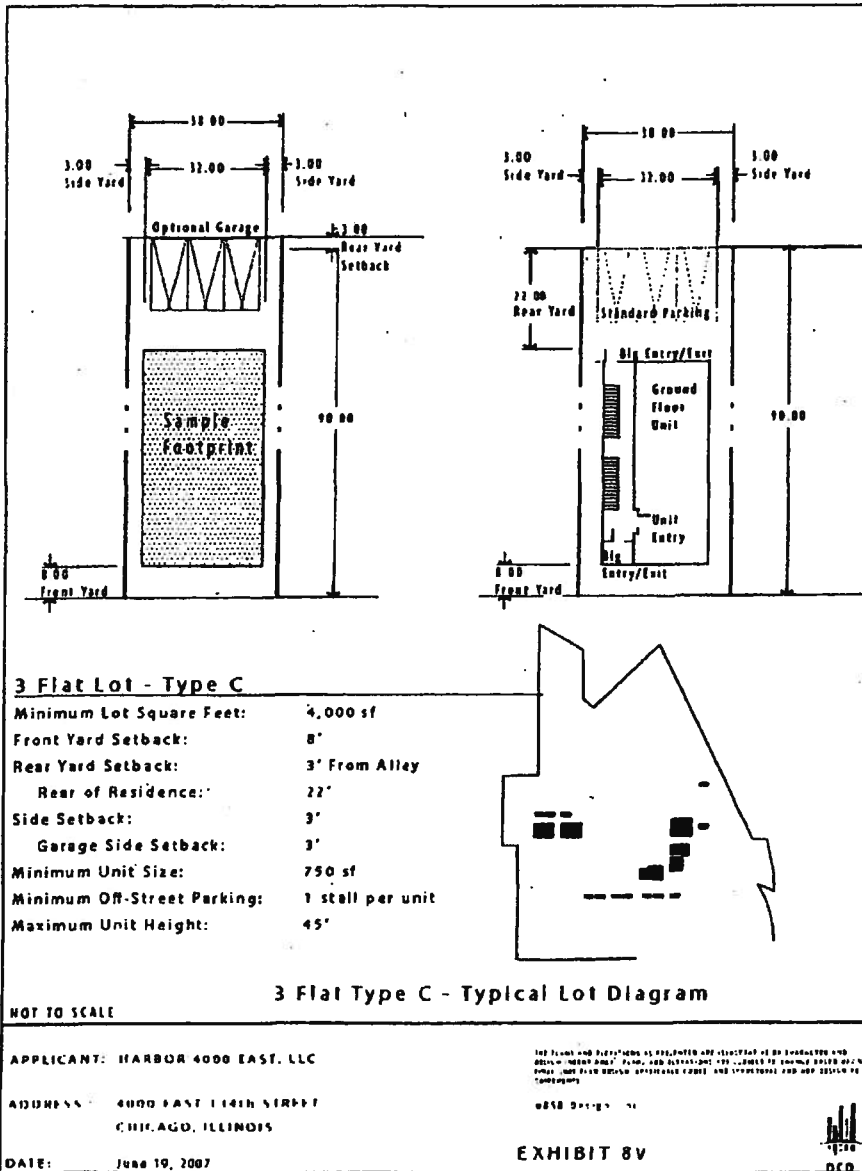
DATE: June 19, 2007
REVISED: August 23, 2008

EXHIBIT 8u

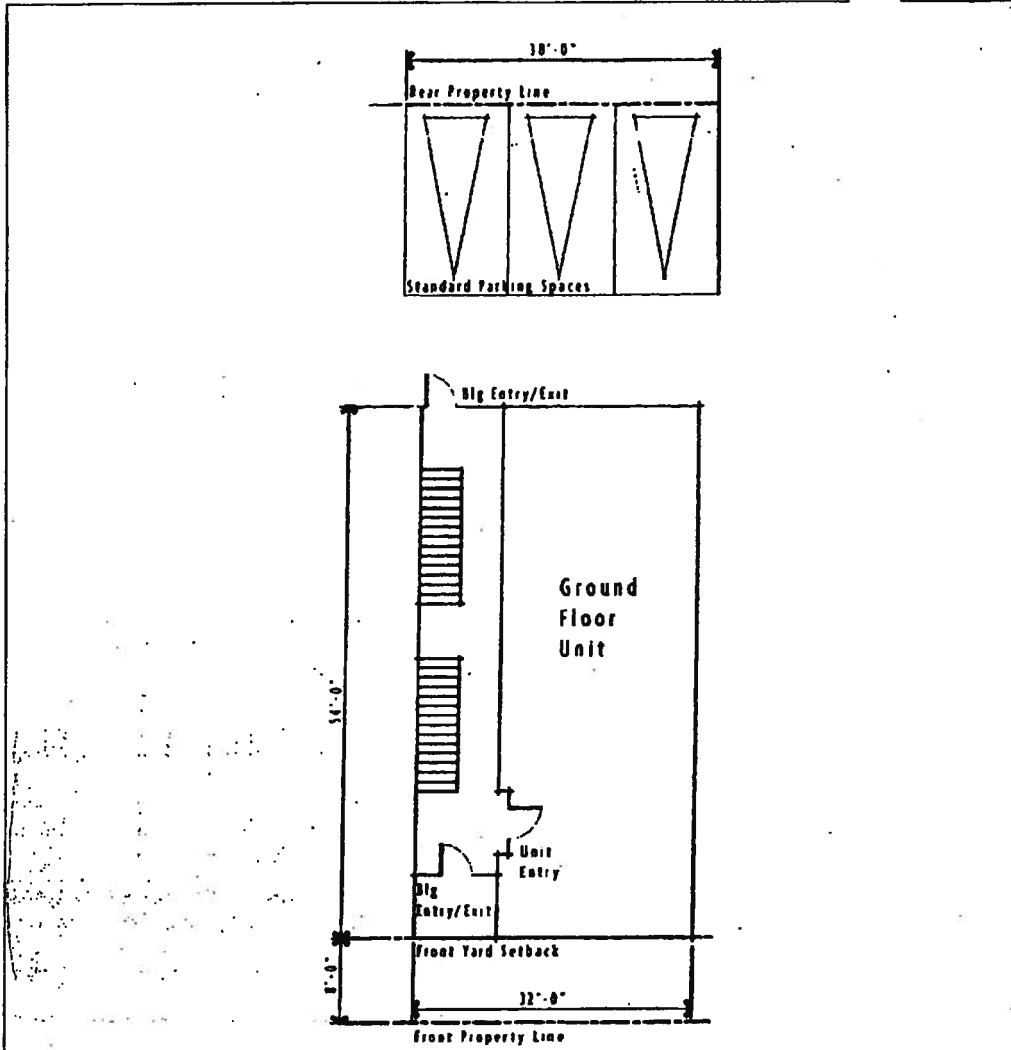
Three Flats 1, 2 And 3.



Three Flat Type C – Typical Lot Diagram.



Three Flat Type C -- Typical Footprint Diagram.



NOT TO SCALE

3 Flat Type C - Typical Footprint Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 114th STREET
CHICAGO, ILLINOIS

DATE: June 10, 2007
REVISED: August 21, 2008

THE PLANS AND SPECIFICATIONS PRESENTED ARE REPRESENTATIVE OF CONCEPTS AND DESIGN INTENT ONLY. TERMS AND CONDITIONS ARE SUBJECT TO TERMS PAID FOR THIS AND ALL OTHER DESIGN SERVICES CONTRACTS AND MODIFICATIONS AND MAY BE SUBJECT TO CHANGE.

BSB Design, Inc.
EXHIBIT 8w



Building Elevations Six Flats 1 And 2.

47'-0"

18'-0"
15'-6"

Siding
Brick
Shingles

Six Flat 1

47'-0"

18'-0"

Siding
Brick

Six Flat 2

NOT TO SCALE

Building elevations

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 144TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

EXHIBIT 8x

Six Flat 3.

47'-0"

41'-0"

Brick

Siding

Painted Panels

Six Flat 3

NOT TO SCALE

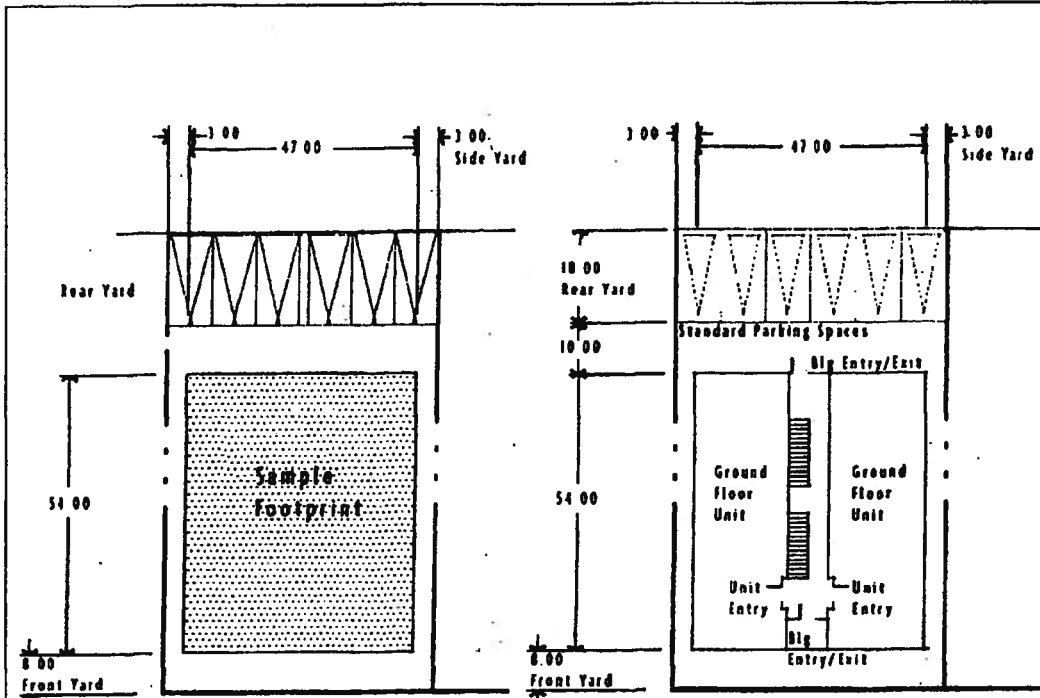
APPLICANT: HARBOR 1000 EAST LLC

ADDRESS: 4000 EAST CUBA STREET
CHICAGO, ILLINOIS

DATE: June 10, 2007
REVISED: August 21, 2008

EXHIBIT 8y

Six Flat Type C – Typical Lot Diagram.



6 Flat Lot - Type C

- Minimum Lot Square Feet: 5,000.sf
- Front Yard Setback: 8'
- Rear Yard Setback: 5' From Alley
- Rear of Residence: 28'
- Side Setback: 4'
- Corner at Side Street: 8'
- Minimum Unit Size: 750 sf
- Minimum Off-Street Parking: 1 stall per unit
- Maximum Height: 45'



NOT TO SCALE

6 Flat Type C - Typical Lot Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 134th STREET
CHICAGO, ILLINOIS

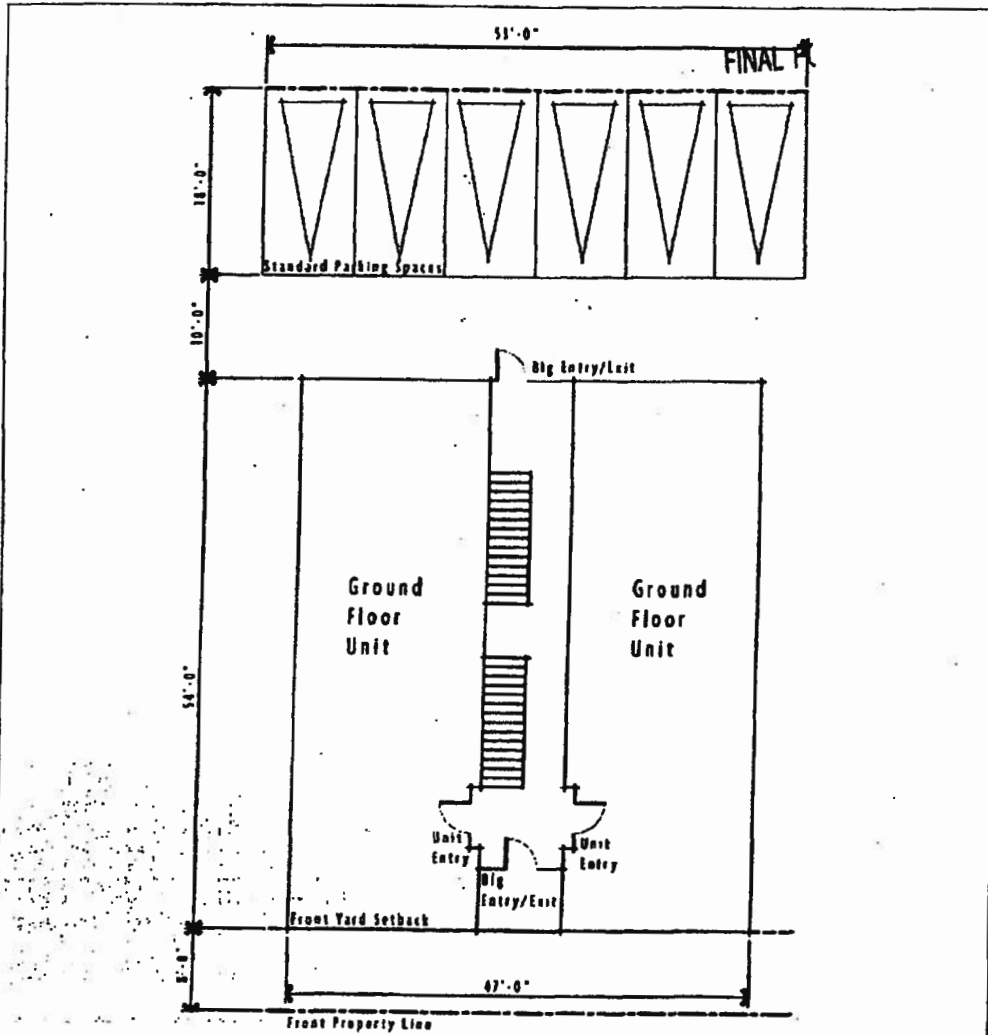
DATE: June 19, 2007
August 21, 2008

THE PLANS AND SPECIFICATIONS AS PRESENTED ARE REPRESENTATIVE OF INFORMATION AND DESIGN INTENT ONLY. PLANS AND SPECIFICATIONS ARE THE PROPERTY OF HARBOR 4000 EAST AND SHALL REMAIN THE PROPERTY OF HARBOR 4000 EAST. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY HARBOR 4000 EAST AND SHALL BE THE PROPERTY OF HARBOR 4000 EAST.

BSB Design, Inc.
Exhibit 8z



Six Flat Type C - Typical Footprint Diagram.



NOT TO SCALE

6 Flat Type C - Typical Footprint Diagram

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 114TH STREET
CHICAGO, ILLINOIS

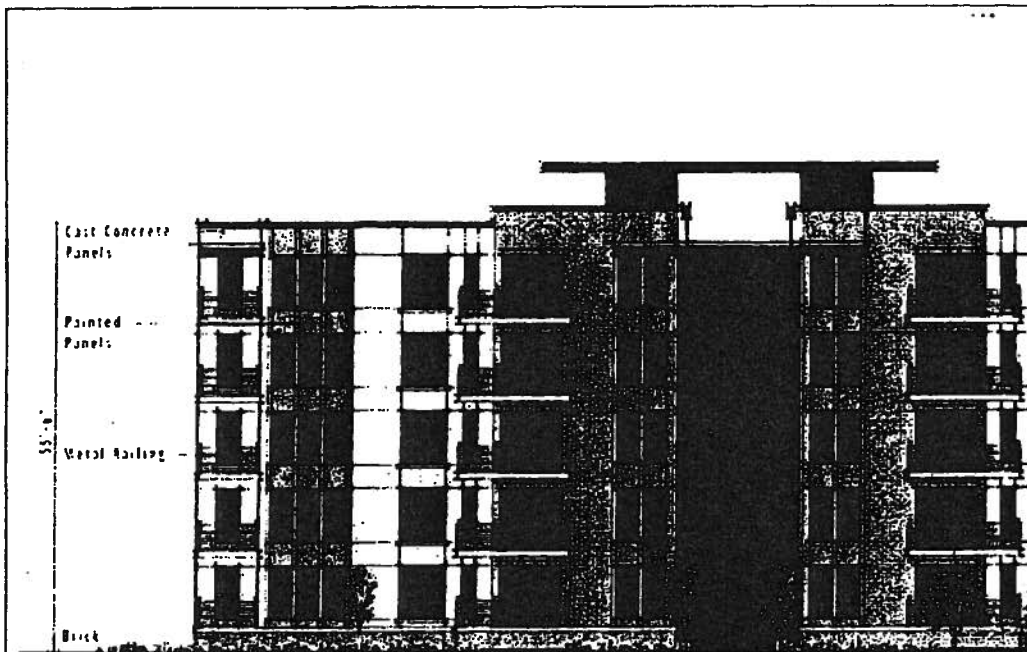
DATE: June 19, 2007
Revised 23 2008

THE FRONT AND REAR OF THIS AS SHOWN ARE CONSIDERED BY CONTRACTOR AND ARCHITECT TO BE THE SAME. THE ARCHITECT HAS CONDUCTED VISUAL CHECKS OF THE MODEL AND FROM DESIGN APPLICABLE LOCAL AND STATE CODES AND HAS REVIEWED BY 06/09/08

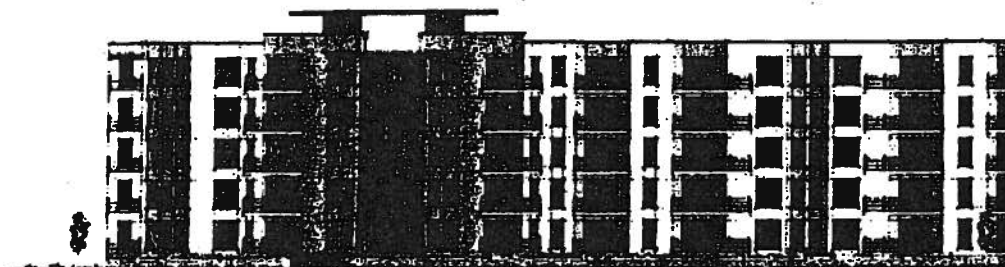
RSR Cos., Inc.
EXHIBIT8aa



Condominium Type D1.



Condominium Type D1



Condominium Type D1

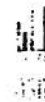
NOT TO SCALE

APPLICANT: HARRISH 4000 EAST, LLC

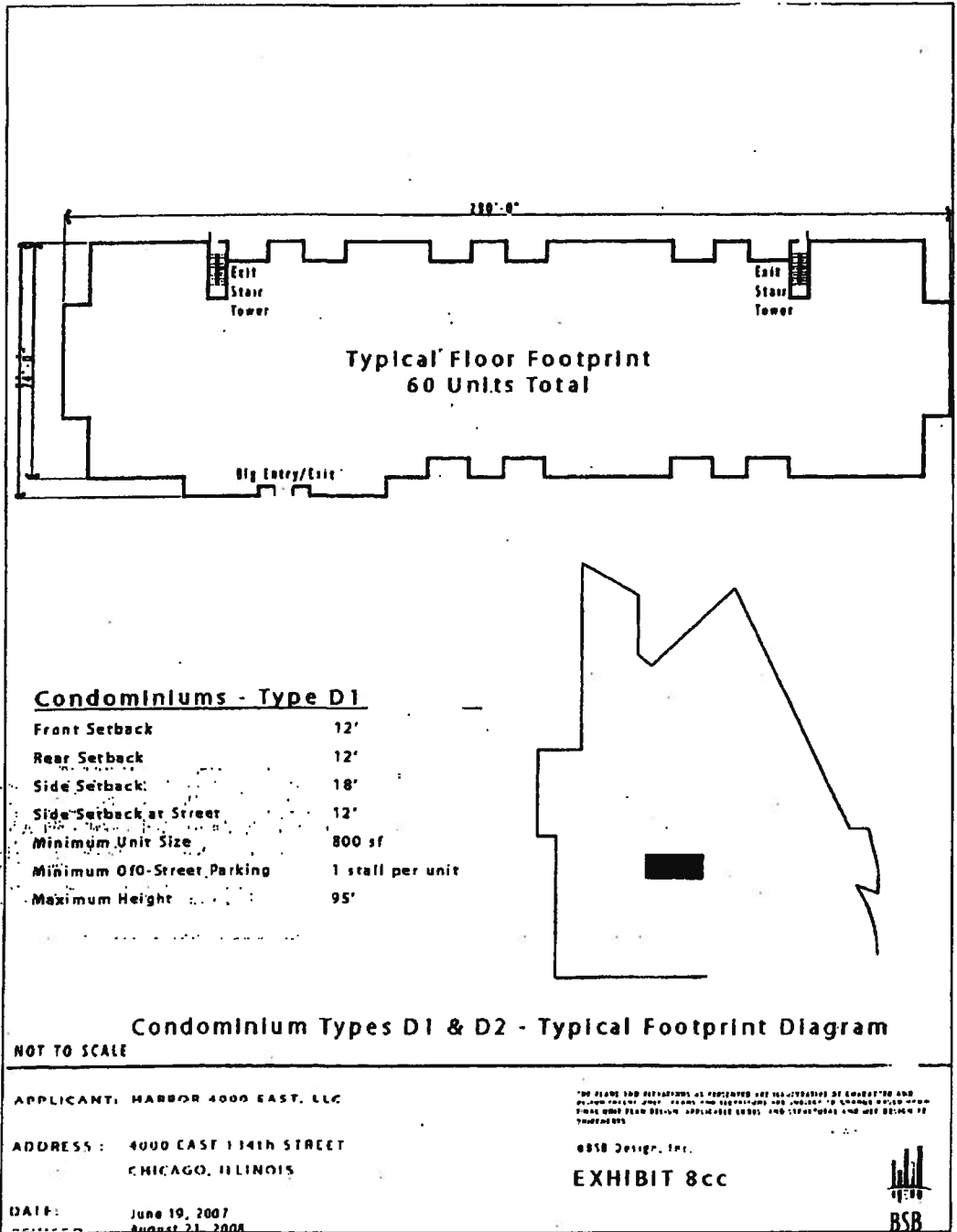
ADDRESS: 4000 EAST 114TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISION: August 21, 2008

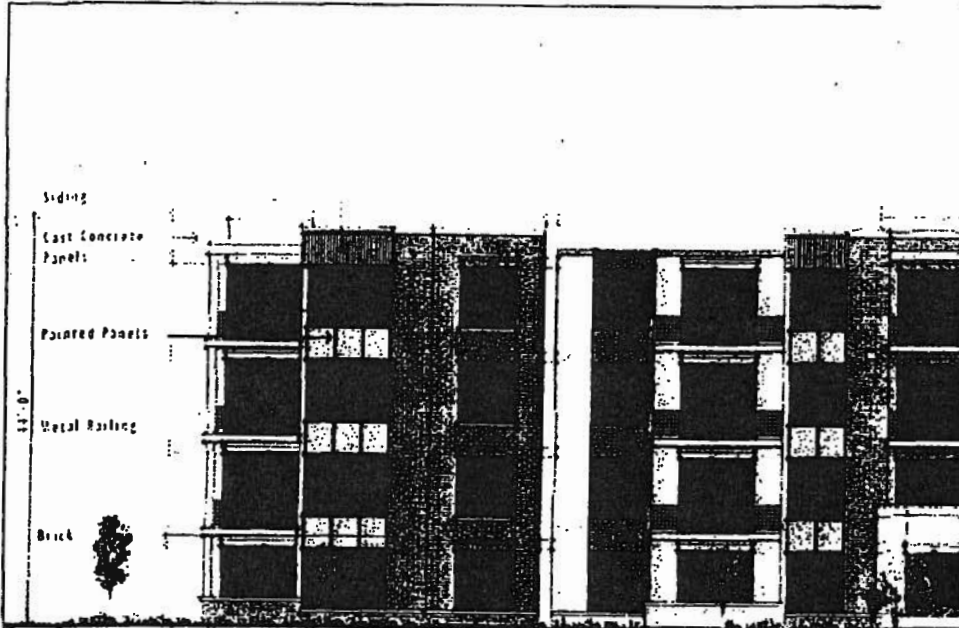
EXHIBIT 8bb



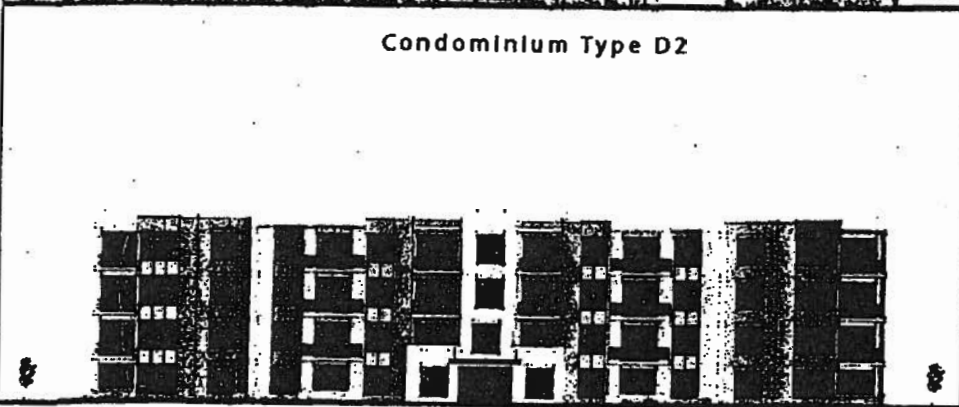
Condominium Types D1 And D2 --
Typical Footprint Diagram.



Building Elevations – Condominium
Type D2.



Condominium Type D2



Condominium Type D2

Building Elevations

NOT TO SCALE

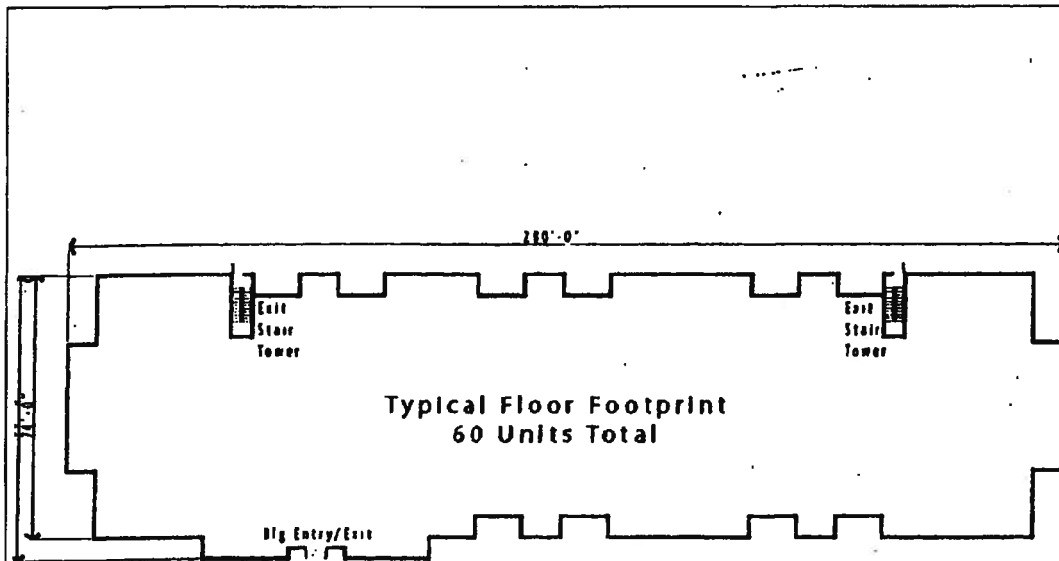
APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS: 4000 EAST 140TH STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

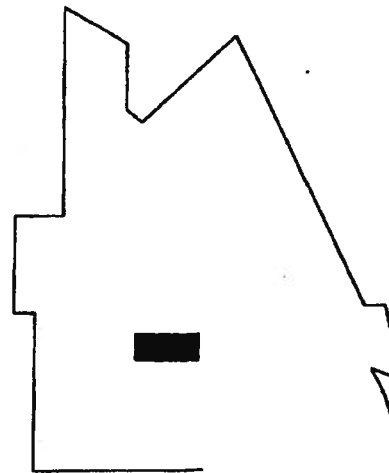
EXHIBIT 8 dd

Condominium Type F - Typical Footprint Diagram.



Condominiums - Type D1

Front Setback	12'
Rear Setback	12'
Side Setback	18'
Side Setback at Street	12'
Minimum Unit Size	800 sf
Minimum Off-Street Parking	1 stall per unit
Maximum Height	95'



Condominium Types D1 & D2 - Typical Footprint Diagram

NOT TO SCALE

APPLICANT: HARBOR 4000 EAST, LLC

ADDRESS : 4000 EAST 114TH STREET
CHICAGO, ILLINOIS

DATE: June 10, 2007
August 21, 2008

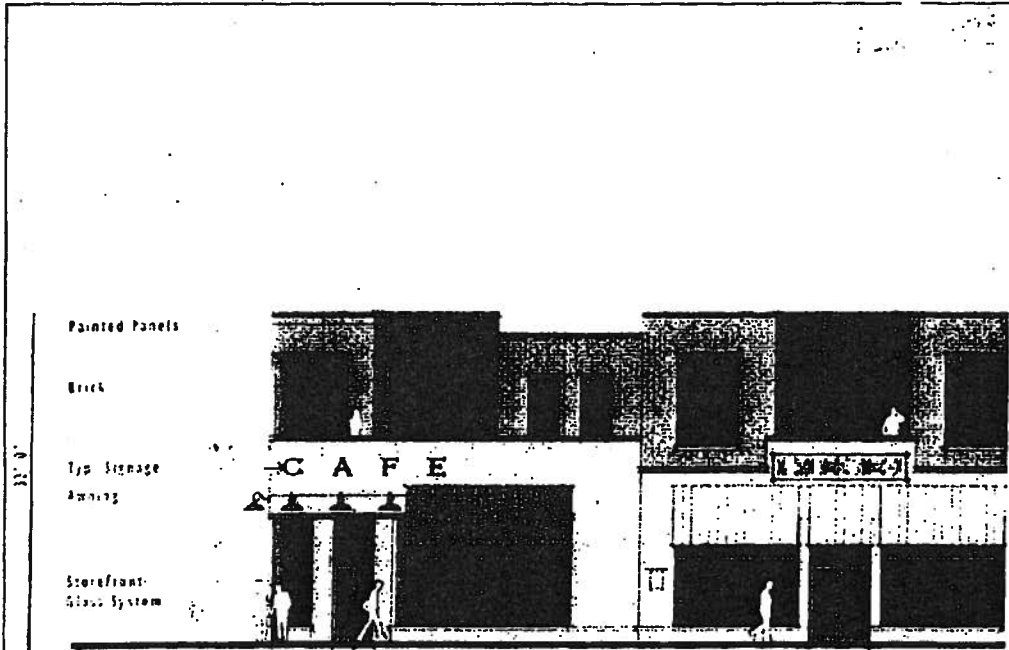
THE PLANS AND SPECIFICATIONS AS REPRESENTED ARE THE PROPERTY OF ENGINEER AND DESIGNER AND SHALL REMAIN THEIR PROPERTY AND CONFIDENTIAL AND NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND DESIGNER.

BSB Design, Inc.

EXHIBIT 8cc



Building Elevations – Mixed-Used
Type E.



Mixed Use - Type E



Mixed Use - Type E

NOT TO SCALE

Building Elevations

APPLICANT: HARBOR 200 EAST LLC

ADDRESS: 4000 EAST LEXINGTON STREET
CHICAGO, ILLINOIS

DATE: June 19, 2007
REVISED: August 21, 2008

EXHIBIT 8ff