

PD 1116

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 19, 2019

Jack George
Akerman LLP
71 South Wacker Dr., 47th Floor
Chicago, IL 60606

Re: Minor change request for PD No. 1116, Sub area B, Loading dock addition between 171 N. Wabash and 63 E. Lake (PD 851)

Dear Mr. George:

Please be advised that your request for a minor change to Sub area B of Residential Business Planned Development No. 1116, ("PD 1116"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1116.

Your client, CCA MDA II LLC, is seeking a minor change to allow for the relocation of the loading dock from the NE corner of the proposed building at 171 N. Wabash to the adjacent private alley separating this building and an existing building at 63 E. Lake St. and which is in PD 851. As a result, half of the addition will be located in PD 1116 and half will be located in PD 851. The proposed addition is shown on the attached First Floor Plan. A metal security gate will also be located at the front of the property to restrict access to the private alley and loading area. The other Sub area B property owner, Consolidated Equity III, LLC, has provided their consent to this request. Additionally, you have submitted an alley easement agreement dated January 10, 2019, along with a separate minor change request for PD 851.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed addition will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. While the enclosed loading dock will now be located in both planned developments, how loading and unloading functions in the private alley between the two buildings remains unchanged from what was recently approved in the 2018 PD 1116 amendment.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1116, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Patrick Murphey
Zoning Administrator

C: Mike Marmo, Erik Glass, Fernando Espinoza, Main file

19557

5/25/2018

REPORTS OF COMMITTEES

78333

Page 11 contains large signs over 100 square feet in area, 24 feet above grade.

Page 11 also contains one landmark designation.

I hereby move for passage of the proposed substitute ordinances transmitted herewith.

Respectfully submitted,

(Signed) DANIEL S. SOLIS,
Chairman.

On motion of Alderman Solis, the said proposed substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Hopkins, Dowell, King, Sawyer, Mitchell, Harris, Beale, Thompson, Cárdenas, Quinn, Lopez, Foulkes, D. Moore, Curtis, O'Shea, Brookins, Muñoz, Zalewski, Scott, Solis, Burnett, Ervin, Taliaferro, Reboyras, Santiago, Mell, Ramirez-Rosa, Villegas, Mitts, Sposato, Laurino, O'Connor, Napolitano, Reilly, Smith, Tunney, Cappleman, Osterman, J. Moore -- 40.

Nays -- None.

Alderman Beale moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke abstained from voting pursuant to Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map No. 1-E
(As Amended)
(Application No. 19557)
(Common Address: 171 N. Wabash Ave.)

ABPD1116,99

[SO2018-1906]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, Chicago Zoning Ordinance, be amended by changing all the Residential-Business Planned Development Number 1116 symbols and indications as shown on Map Number 1-E in the area bounded by:

East Lake Street; North Garland Court; East Benton Place; North Wabash Avenue; a line 64.85 feet north of and parallel to East Benton Place; and a line 100.48 feet west of and parallel to North Garland Court,

to the designation of Residential-Business Planned Development Number 1116, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached herewith and made a part thereof and to no others.

SECTION 2. This ordinance shall take effect upon its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 1116, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 1116, as amended, consists of property commonly known as 73 East Lake Street and 171 North Wabash Avenue, Chicago Illinois (the "Property"). The Property consists of Subarea A of approximately 17,120 square feet and Subarea B of approximately 7,795 square feet for a total net site area of 24,915 square feet (0.5719 acre). The Property in Subarea B is owned, controlled or zoning consent has been received by the Applicant, CCA MDA II LLC. This amendment only makes changes with respect to Subarea B.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different then to the owners of record title to all of the Property and to any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this

Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. An agreement among property owners or a covenant binding property owners may designate the authorized party for any future amendment, modification or change. Provided, however, that after the adoption of an ordinance wherein the Property is divided into specifically delineated subareas, each having its own bulk and density standards, or similar subarea specific development controls or requirements, the owners of or designated controlling party for each subarea may seek amendments, changes, or modifications for that subarea without the consent of the owners or designated controlling party of the other subareas.

4. This plan of development consists of 18 Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; Existing Land-Use Map; a Planned Development Boundary and Property Line and Subarea Map; a Site Plan; Landscape Plan, a Roof Plan, 6th Floor Bridge Connection Plan; and Building Elevations prepared by Hartshorne Plunkard Architecture dated April 19, 2018. Full size sets of the Site Plan, Landscape Plan, Roof Plan and Building Elevations are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area herein delineated as Subarea A of the Residential-Business Planned Development Number 1116, as amended: residential, commercial, retail, accessory parking, and related uses and services, and all uses permitted in the commercial use group of the D-X Downtown Mixed-Use District. The following uses shall be prohibited in Subarea A: hotel, animal services, undertaking, entertainment cabaret, uses permitted under the vehicle sales and service, and industrial uses. The following uses shall be permitted within the area herein delineated as Subarea B of the Residential-Business Planned Development Number 1116, as amended: residential, business support services (excluding day labor employment agency), financial services (excluding payday/title secured loan stores and pawn shops), general retail sales, eating and drinking establishments, food and beverage retail sales (excluding package liquor stores), office, medical service, personal service, religious assembly and related facilities and accessory uses. The following uses shall be prohibited in Subarea B: hotel, animal services, undertaking, entertainment cabaret, and uses permitted under the vehicle sales and service, and industrial uses.
6. On-premises Business Identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development. No off-premises signs shall be permitted.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation Bureau of Traffic, and the Department of Planning and Development. All work proposed in the Public Way must be designed and constructed in

accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. The Subarea A Applicant will reimburse the City for the cost to retrofit existing traffic signals with up to four pedestrian countdown signals at the intersection of Lake Street and Michigan Avenue.

8. For the purposes of measuring height, the definition in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of the building and any appurtenance thereto prescribed in this Planned Development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of Floor Area Ratio (FAR) calculations, the definitions in the Chicago Zoning Ordinance shall apply. The maximum permitted floor area ratio ("FAR") shall be in accordance with the attached Bulk Regulations and Data Table. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of 24,915 square feet, a base FAR of 16.0 and an additional Floor Area Bonus, as follows:

Description	FAR
Base FAR	16.00
Affordable Housing Bonus	2.40
Total FAR	18.40

The calculation of the additional floor area ratio ("FAR") obtained through the proposed Affordable Housing Bonus is as follows:

$$\text{FAR} = 16 \times 0.15 = 2.40 \text{ FAR}$$

$$2.40 \times 24,915 \text{ square feet} = 59,796 \text{ square feet.}$$

$$59,796 \text{ square feet} \times \$31.00 \text{ per square foot} \times .80 = \text{a } \$1,482,941.00 \text{ contribution.}$$

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.

11. The improvements shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Notwithstanding any statement to the contrary, this Planned Development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this Planned Development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this Planned Development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
12. The terms, conditions and exhibits of this Planned Development ordinance may be modified administratively pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance by the Zoning Administrator of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Zoning Administrator that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The buildings to be constructed in Subarea A shall be constructed under the Leadership in Energy and Environmental Design (LEED) Green Building Rating System. With respect to the buildings in Subarea A, the Applicant shall provide a vegetated ("green") roof on at least fifty percent (50%) of the building's net roof area. Subarea A will provide a green roof with (5,522) square feet. "Net roof area" is defined as total roof area minus any required perimeter setbacks, rooftop structures, and roof-mounted equipment. For Subarea B, the Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

15. Pursuant to Section 17-4-1004 of the Zoning Ordinance, the Applicant has asked for an increase in the floor area ratio for Subarea A of the Property, as set forth in the bonus worksheet required under Section 17-4-1003-D ("Bonus Worksheet"). Projects receiving an affordable housing floor area bonus must either provide on-site affordable housing units or make a cash payment to the City's Affordable Housing Opportunity Fund in accordance with formulas set forth in Section 17-4-1004-D. The Applicant has elected to make a cash payment in lieu of providing on-site affordable housing units. In accordance with the formulas set forth in Section 17-4-1004-D and the Bonus Worksheet, the Applicant acknowledges and agrees that it must make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$1,482,941.00 ("Cash Payment"). The Applicant must make the required Cash Payment before the issuance of building permits for the construction of the building in Subarea A, and must comply with all applicable affordable housing standards and requirements set forth in Section 17-4-1004, the terms of which are incorporated herein by this reference.

16. As to Subarea B only, the Applicant acknowledges and agrees that the rezoning of the Property from Residential-Business Planned Development Number 1116 to Residential-Business Planned Development Number 1116, as amended, to add 21 additional residential units, triggers the requirements of Section 245-115 of the Municipal Code of Chicago (Affordable Requirements Ordinance or ARO) as to the 21 additional residential units. Any developer of a residential housing project within the meaning of the ARO must: (i) set aside 10 percent of the housing units in the residential housing project (Required Units) as affordable units, or with the Commissioner of the Department of Planning and Development's (DPD) approval, provide the Required Units in an approved off-site location; (ii) pay a fee in lieu of the development of the Required Units; or, (iii) any combination of (i) and (ii); provided, however, that residential housing projects with 20 or more units must provide at least 25 percent of the Required Units on-site or off-site. If the developer elects to provide affordable units off-site, the off-site affordable units must be located within a two-mile radius from the residential housing project and in the same or a different higher income area or downtown district. The Property is located in a downtown district, within the meaning of the ARO, and the project has a total of 21 additional units. As a result, the Applicant's affordable housing obligation is 2 affordable units (10 percent of 21 rounded down), one of which is a Required Unit (25 percent of 2, rounded up). Applicant has agreed to satisfy its affordable housing obligation by providing 2 affordable units in the rental building to be constructed in the P.D., as set forth in the Affordable Housing Profile Form attached hereto as Exhibit A. The Applicant agrees that the affordable units must be affordable to households earning no more than 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago. If the Applicant subsequently reduces (or increases) the number of housing units in the P.D., or build a for-sale project instead, the Applicant shall update and resubmit the Affordable Housing Profile Form to DPD for review and approval; DPD may adjust the requirements and number of required Affordable Units without amending the P.D.. Prior to the issuance of any building permits for any residential building in the P.D., including, without limitation, excavation or foundation permits, the Applicant must make the required Cash Payment and/or execute and record an affordable housing agreement in

accordance with Section 2-45115(L). The terms of the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against the P.D., or the applicable portion thereof, and will constitute a lien against such property. The Commissioner of DPD may enforce remedies for any breach of this Statement 16, including any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.

17. As to Subarea B only, the Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the Applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the Applicant's submission for Part II permit review for the project or any phase thereof, the Applicant must submit to DPD (a) updates (if any) to the Applicant's preliminary outreach plan, (b) a description of the Applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the Applicant's outreach efforts, and (d) updates (if any) to the Applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

* Editor's Note: Numbering sequence error; (i) missing in original document.

18. Unless substantial construction on Subarea B has commenced within six (6) years following adoption of this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire. If this Planned Development expires under the provisions of this section, then the zoning of Subareas A and B of the Planned Development shall automatically revert to Residential-Business Planned Development Number 1116, as amended on June 22, 2016.

[Existing Land-Use Map; Existing Zoning Map; Boundary and Subarea Map; Site Plan; North, South, East and West Building Elevations; Landscape and Roof Plans; First, Second, Third and Sixth Floor Plans; and Typical Floor Plan referred to in these Plan of Development Statements printed on pages 78342 through 78359 of this *Journal*.]

Bulk Regulations and Data Table, 2015 ARO Affordable Housing Profile Form (AHP) and ARO Web Form referred to in these Plan of Development Statements read as follows:

Residential-Business Planned Development No. 1116, As Amended.

Bulk Regulations And Data Table.

Gross Site Area:	39,482 square feet (0.9064 acre)
Area in Adjoining Right-of-Way:	14,567 square feet (0.335 acre)
Net Site Area:	24,915 square feet (0.5710 acre)
Subarea A:	17,120 square feet (0.3930 acre) (68.71 percent of Net Site Area)
Subarea B:	7,795 square feet (0.1789 acre) (31.29 percent of Net Site Area)
Floor Area Ratio and Buildable Area	
Overall Maximum FAR:	18.4
Overall Maximum Buildable Area:	458,436 square feet (24,915 Net Site Area by 18.40 FAR)
Subarea A:	
Maximum FAR Buildable Square Footage Assigned to Subarea A:	402,000 square feet
Maximum FAR:	23.5

Subarea B:

Maximum FAR Buildable Square Footage Assigned to Subarea B:	56,436 square feet
Maximum FAR:	7.24

Maximum Height by Subarea:

Subarea A:	494 feet (as measured by Chicago Zoning Ordinance)
Subarea B:	99 feet (as measured by Chicago Zoning Ordinance)

Maximum Number of Residential Units:

Subarea A:	332 Units
Subarea B:	81 Units
Efficiency Units:	81
Dwelling Units:	0

Setbacks:

Subarea A:	None
Subarea B:	None

Parking Spaces:

Subarea A:	183 accessory parking spaces
Subarea B:	None

Loading Berths:

Subarea A:	2 (10 feet by 25 feet) berths and 1 (10 feet by 50 feet) loading berth
Subarea B:	1 (10 feet by 25 feet) loading berth

FORM FOR PUBLICATION

2015 ARO Affordable Housing Profile Form (AHP)

Submit this form for projects that are subject to the 2015 ARO (all projects submitted to City Council after October 13, 2015). More information is online at www.cityofchicago.org/ARO.

This completed form should be returned to: Kara Breems, Department of Planning & Development (DPD), 121 N. LaSalle Street, Chicago, IL 60602. E-mail: kara.breems@cityofchicago.org

DEVELOPMENT INFORMATION

Development Name: MDA II

Development Address: 171 N. Wabash Avenue

Zoning Application Number, if applicable: 19557

Ward: 42nd

If you are working with a Planner at the City, what is his/her name? Fernando Espinoza

Type of City Involvement
check all that apply City Land Planned Development (PD) Financial Assistance Transit Served Location (TSL) project Zoning increase

REQUIRED ATTACHMENTS: the AHP will not be reviewed until all required docs are received

- ARO Web Form completed and attached - or submitted online on April 4, 2018
- ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (Excel)
- If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (pdf)
- If ARO units proposed are off-site, required attachments are included (see next page)
- If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (pdf)

DEVELOPER INFORMATION

Developer Name CCA MDA II LLC

Developer Contact Jonathan Weiss

Developer Address 328 S Jefferson St Ste 570, 60661

Email jweiss@cityclubapts.com

Developer Phone 312-971-6610

Attorney Name John J. George / Chris A. Leach

Attorney Phone 312-870-8022

TIMING

Estimated date marketing will begin June 2019

Estimated date of building permit* October 2018

Estimated date ARO units will be complete November 2019

*the in-lieu fee and recorded covenant are required prior to the issuance of any building permits, including the foundation permit

PROPOSED UNITS MEET REQUIREMENTS (to be executed by Developer & ARO Project Manager)

Kara Breems, DPD

Date

Jonathan Weiss
Developer/Project Manager4-16-18
04/05/2018

Date



AFFORDABLE REQUIREMENTS ORDINANCE

Last updated March 12, 2018

FOR PUBLICATION



ARO Web Form

Applicant Contact Information
 Name: CCA MDA II LLC
 Email: jholtzman@cityclubapts.com

Development Information
 Are you rezoning to downtown?: No
 Is your project subject to the ARO Pilots?: 2015 ARO REQUIREMENTS APPLY

Address **Submitted Date: 04/04/2018**

Number From :171 Number To: N/A Direction: N
 Street Number:Wabash Avenue Postal Code: 60601

Development Name
 MDA II

Information
 Ward :42 ARO Zone: Downtown

Details
 ARO trigger :Downtown Planned Development
 Total units: 21
 Development type: Rent
 TSL Project : TSL-or FAR doesn't exceed 3.5
 Submitted date: ~~04/04/2018~~ 2-28-2018 (PB)

Requirements

Affordable units :2 *On-site aff. Units: 1

How do you intend to meet your required obligation

On-Site: 2 Off-Site: 0

On-Site to CHA or Authorized agency: 0 Off-Site to CHA or Authorized agency: 0

Total Units: 2 In-Lieu Fee Owed: 0

Project Name: 171 N Wabash
 Zoning Application Number, if applicable: 19173
 Address: 171 N. Wabash
 Intended Use: For Sale or Rental Project? Rental
 Anticipated average per rent/price? \$1,222

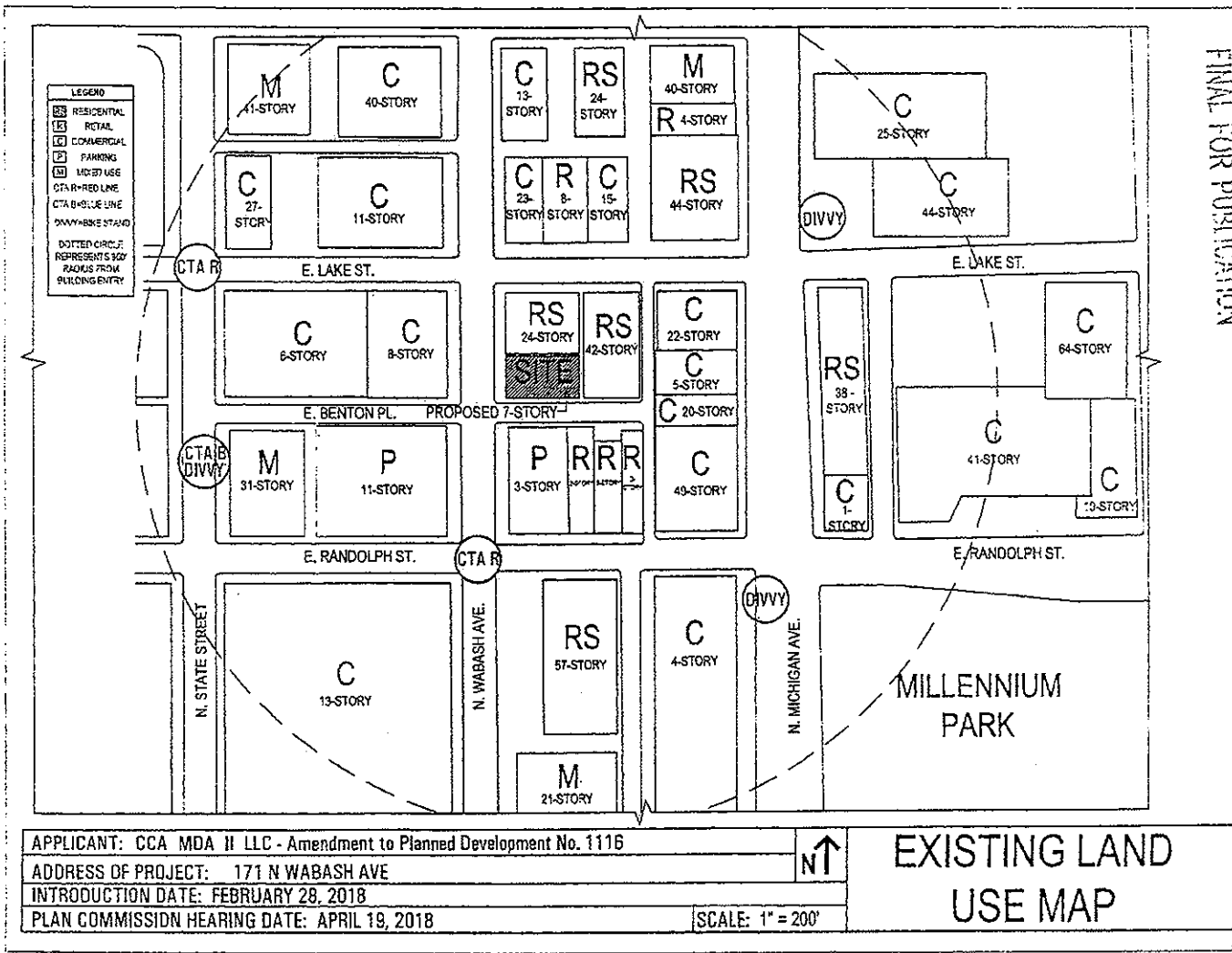
Total Units in Project: 21
 Total Affordable Units: 2

	market rate			affordable		
	how many?	% of total	avg. square footage	how many?	% of total	avg. square footage
convertible n	1	5%	555	1	50%	555
studio w	2	11%	377	0	0%	n/a
studio s	10	53%	395	0	0%	n/a
studio n	6	32%	370	1	50%	370

	Market Rate Units	Affordable Units
Parking	TOD No Parking	TOD No Parking
Laundry	W/D In-Unit	W/D In-Unit
Appliances		
Refrigerator age/EnergyStar/size/make/color	New, Summit FF1425S Energy Star, Stainless Steel	New, Summit FF1425S Energy Star, Stainless Steel
Dishwasher age/EnergyStar/size/make/color	None	None
Cooktop age/EnergyStar/size/make/color	New, Summit Appliance 15" CR2210WH, White	New, Summit Appliance 15" CR2210WH, White
Microwave/Convection Oven age/EnergyStar/size/make/color	New, Whirlpool Countertop WMAH76719CS, Stainless Steel	New, Whirlpool Countertop WMAH76719CS, Stainless Steel
Bathroom(s) how many? Half bath? Full bath?	1 full-size Bathroom per unit	1 full-size Bathroom per unit
Kitchen countertops material	Granite	Granite
Flooring material	Luxury Vinyl Tile	Luxury Vinyl Tile
HVAC	Water Source Heat Pump	Water Source Heat Pump
Other		





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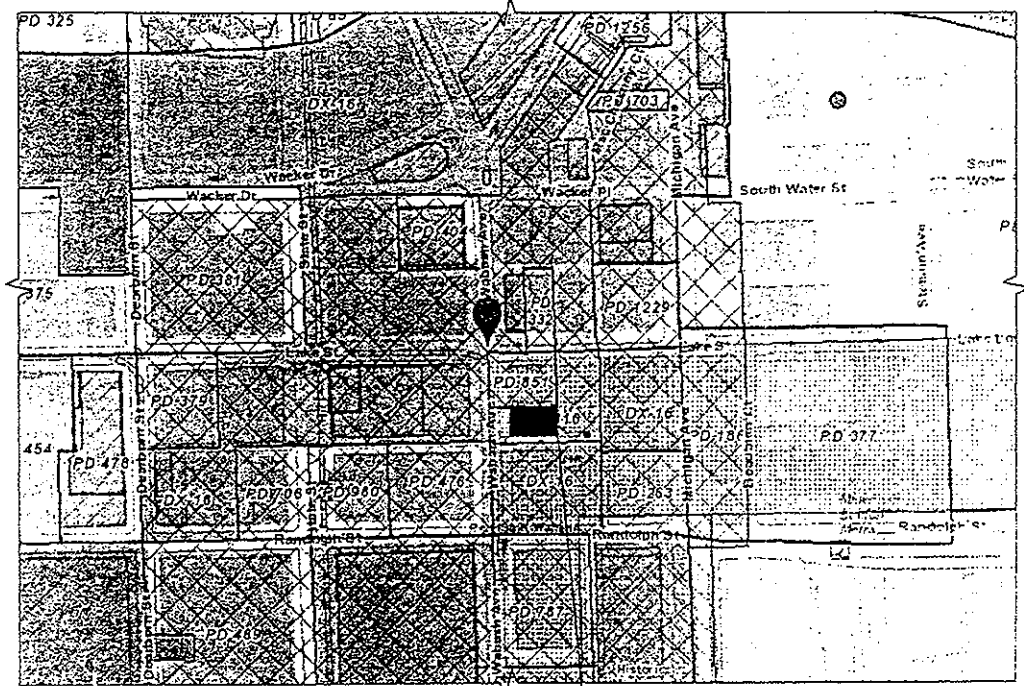
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LEGEND

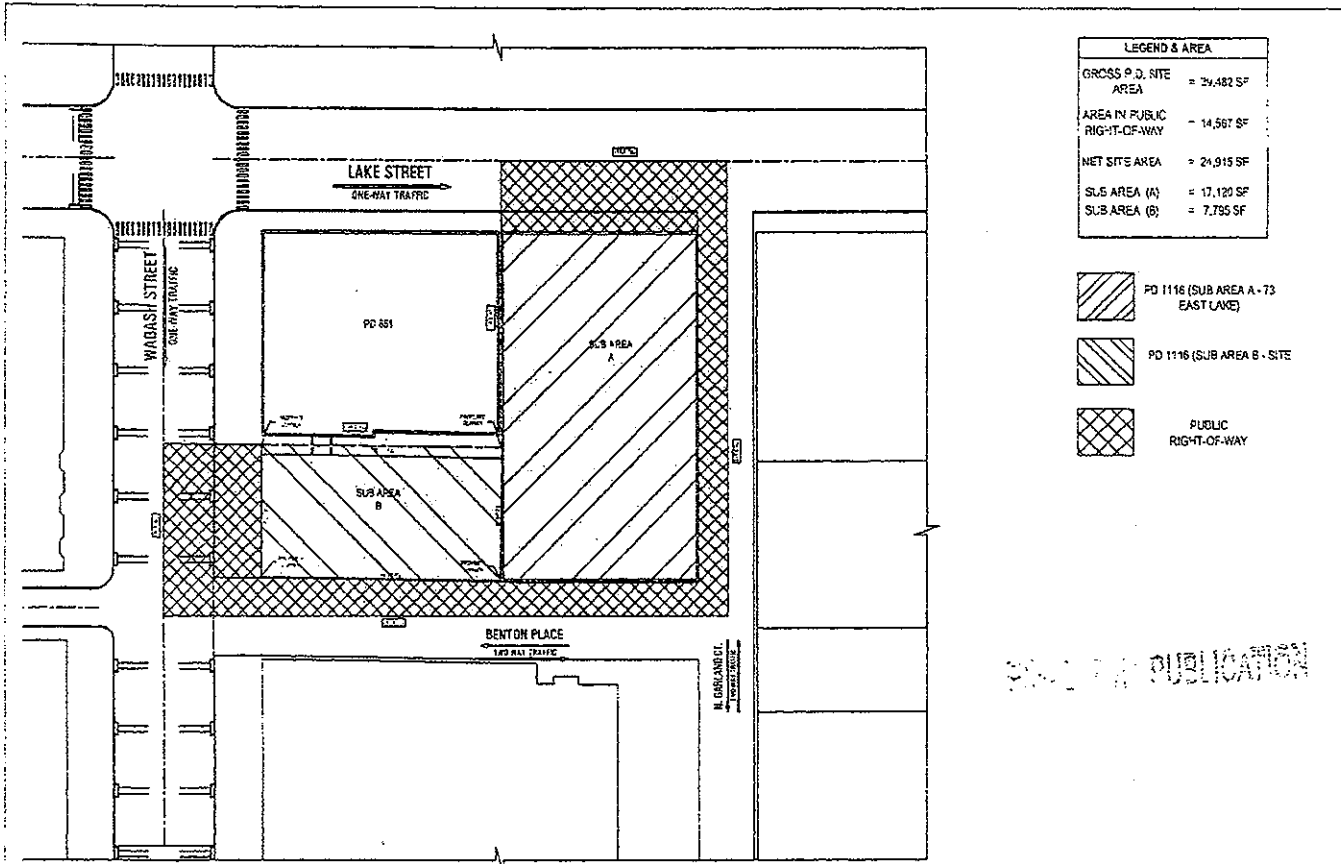
-  SPECIAL DISTRICT
-  CHICAGO LANDMARK
-  LANDMARK DISTRICT
-  LAKEFRONT



171 N WABASH
 PROPOSED 7-STORY
 BUILDING

APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116	↑ N
ADDRESS OF PROJECT: 171 N WABASH AVE	
INTRODUCTION DATE: FEBRUARY 28, 2018	SCALE: 1" = 200'
PLAN COMMISSION HEARING DATE: APRIL 19, 2018	

EXISTING ZONING MAP



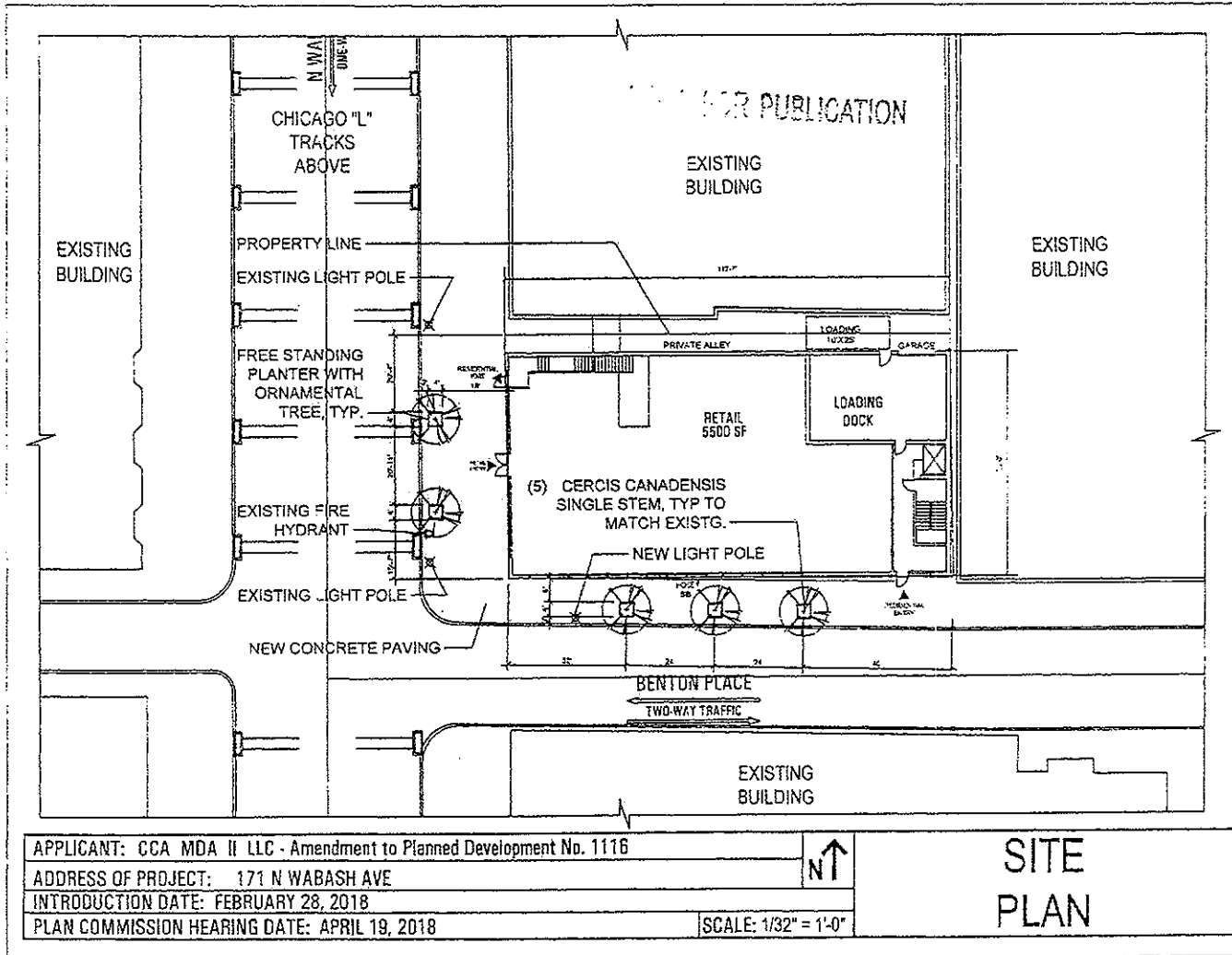
SCALE 7/8" = 1'-0"

APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116
 ADDRESS OF PROJECT: 171 N WABASH AVE
 INTRODUCTION DATE: FEBRUARY 28, 2018
 PLAN COMMISSION HEARING DATE: APRIL 19, 2018



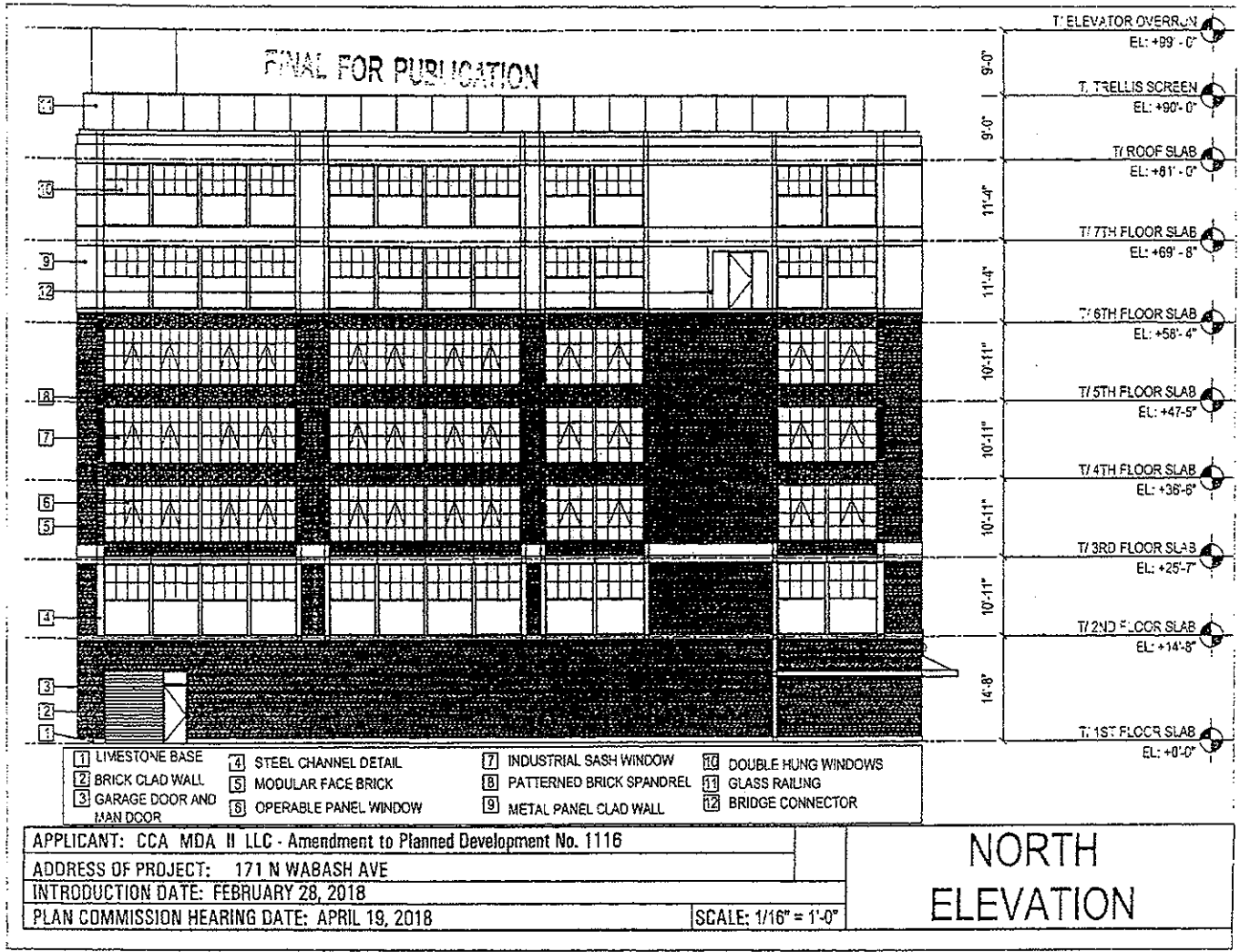
SCALE: 1/64" = 1'-0"

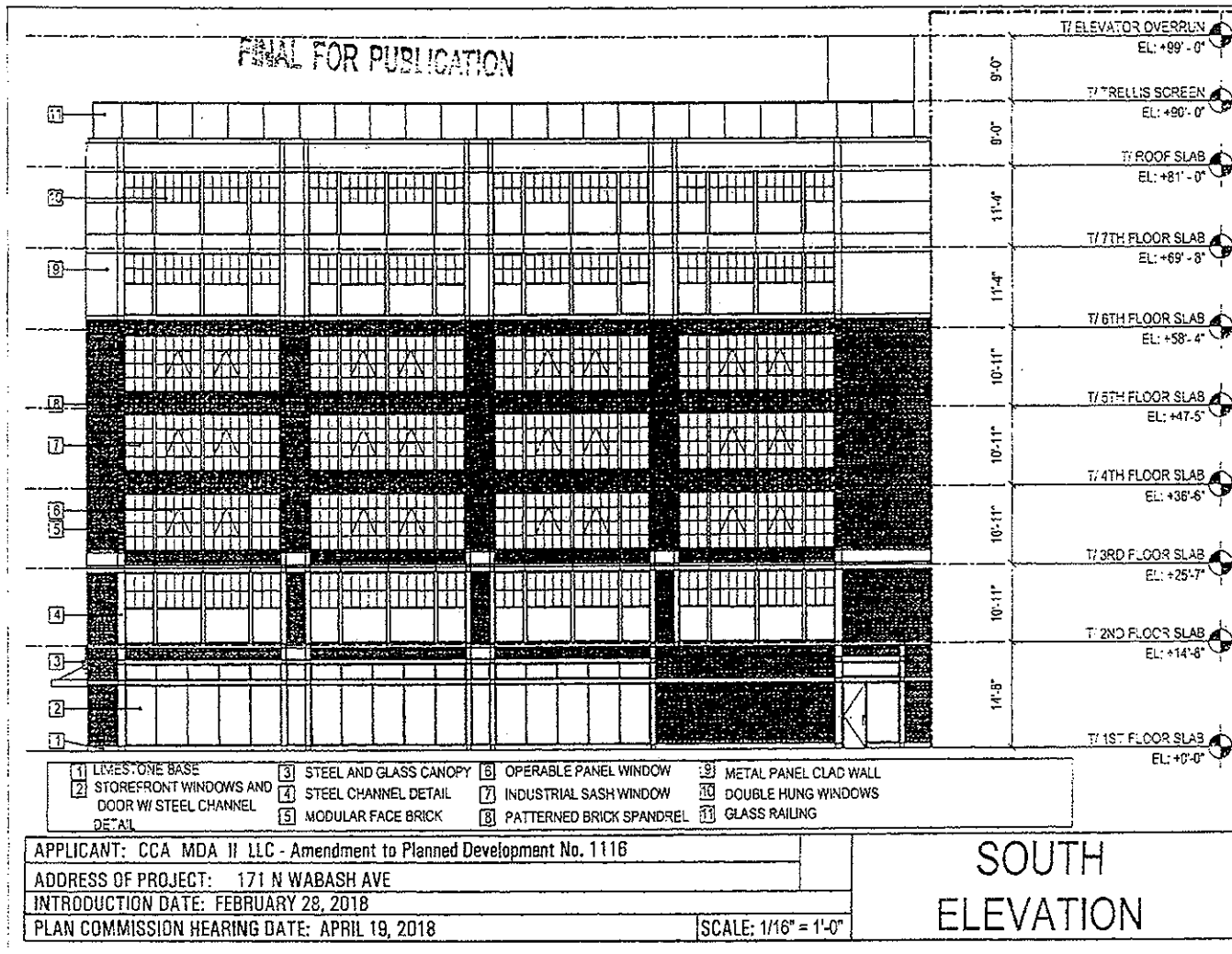
PD BOUNDARY AND SUB AREA MAP



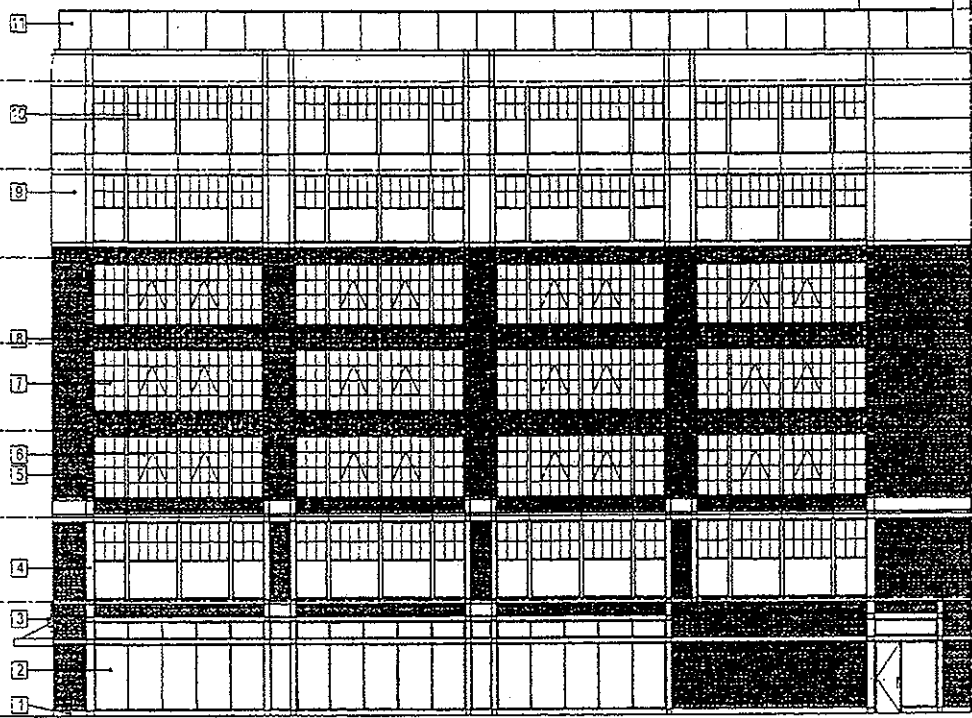
APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116	↑ N
ADDRESS OF PROJECT: 171 N WABASH AVE	
INTRODUCTION DATE: FEBRUARY 28, 2018	SCALE: 1/32" = 1'-0"
PLAN COMMISSION HEARING DATE: APRIL 19, 2018	

SITE PLAN





FINAL FOR PUBLICATION



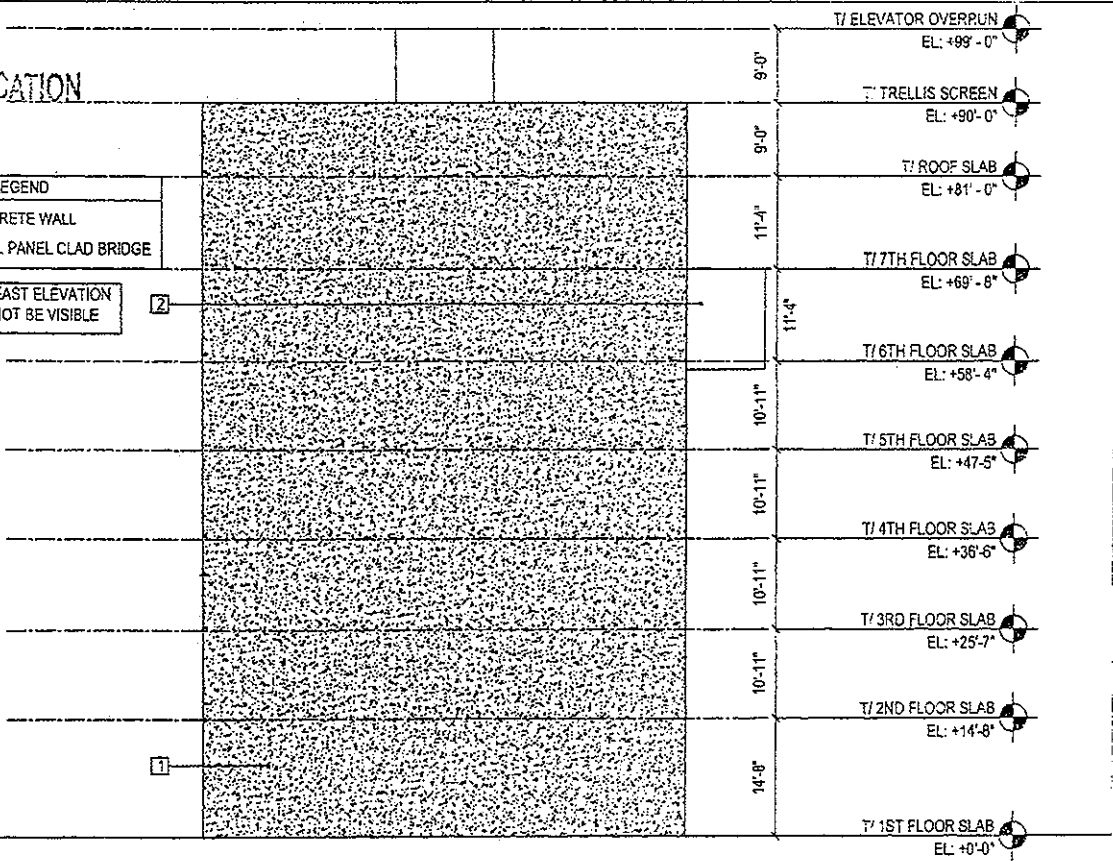
- 1 LIVES ONE BASE
- 2 STOREFRONT WINDOWS AND DOOR W/ STEEL CHANNEL DETAIL
- 3 STEEL AND GLASS CANOPY
- 4 STEEL CHANNEL DETAIL
- 5 MODULAR FACE BRICK
- 6 OPERABLE PANEL WINDOW
- 7 INDUSTRIAL SASH WINDOW
- 8 PATTERNED BRICK SPANDREL
- 9 METAL PANEL CLAD WALL
- 10 DOUBLE HUNG WINDOWS
- 11 GLASS RAILING

APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116	
ADDRESS OF PROJECT: 171 N WABASH AVE	
INTRODUCTION DATE: FEBRUARY 28, 2018	
PLAN COMMISSION HEARING DATE: APRIL 19, 2018	SCALE: 1/16" = 1'-0"

SOUTH ELEVATION

NOT FOR PUBLICATION

LEGEND	
1	CONCRETE WALL
2	METAL PANEL CLAD BRIDGE
NOTE: EAST ELEVATION WILL NOT BE VISIBLE	



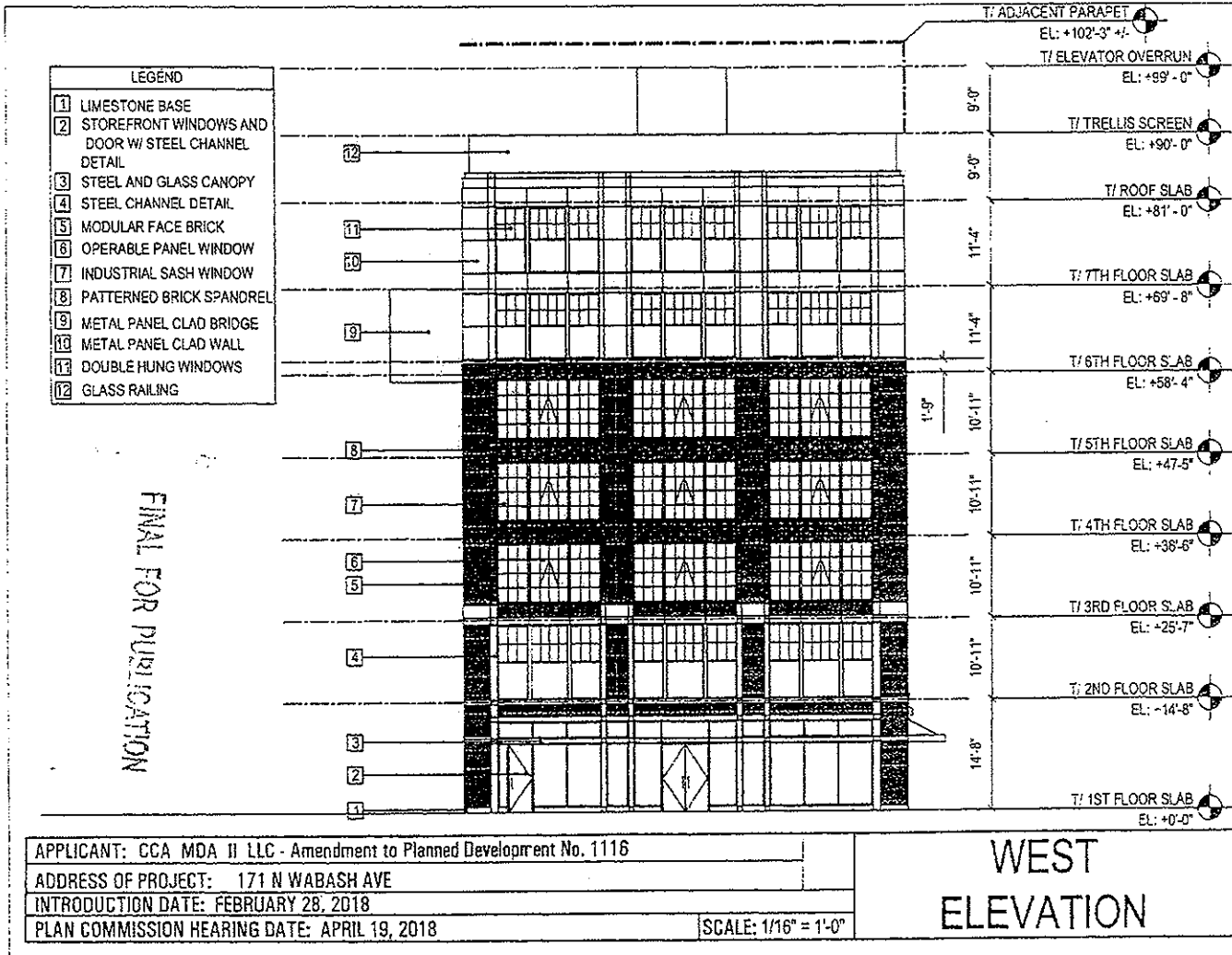
APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116	
ADDRESS OF PROJECT: 171 N WABASH AVE	
INTRODUCTION DATE: FEBRUARY 28, 2018	
PLAN COMMISSION HEARING DATE: APRIL 19, 2018	SCALE: 1/16" = 1'-0"

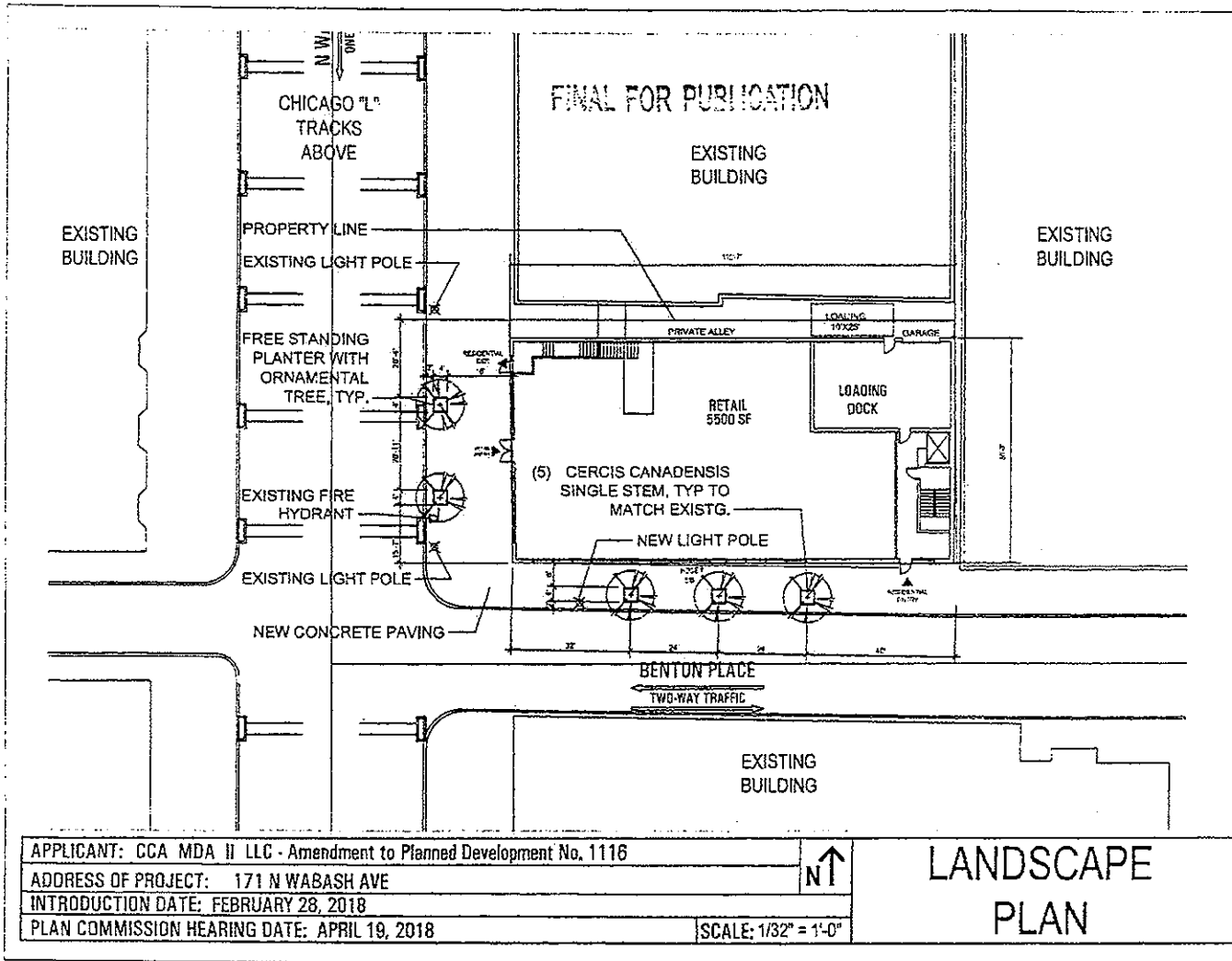
EAST
ELEVATION

5/25/2018

REPORTS OF COMMITTEES

78351





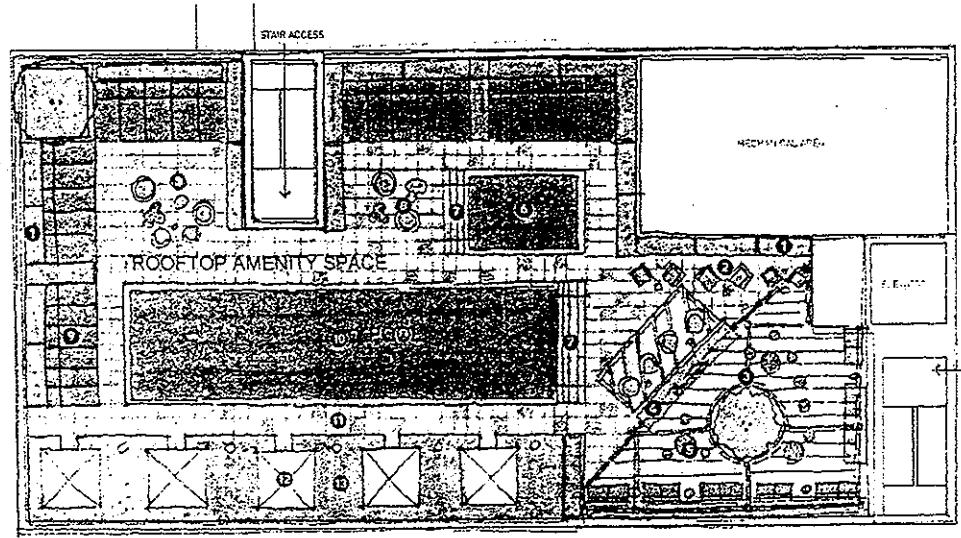
site

FINAL FOR PUBLICATION

MDA ANNEX LAKE AND WABASH APARTMENTS, CHICAGO, ILLINOIS
Roofing Deck Concept, Project Number: 9996
January 24th, 2018

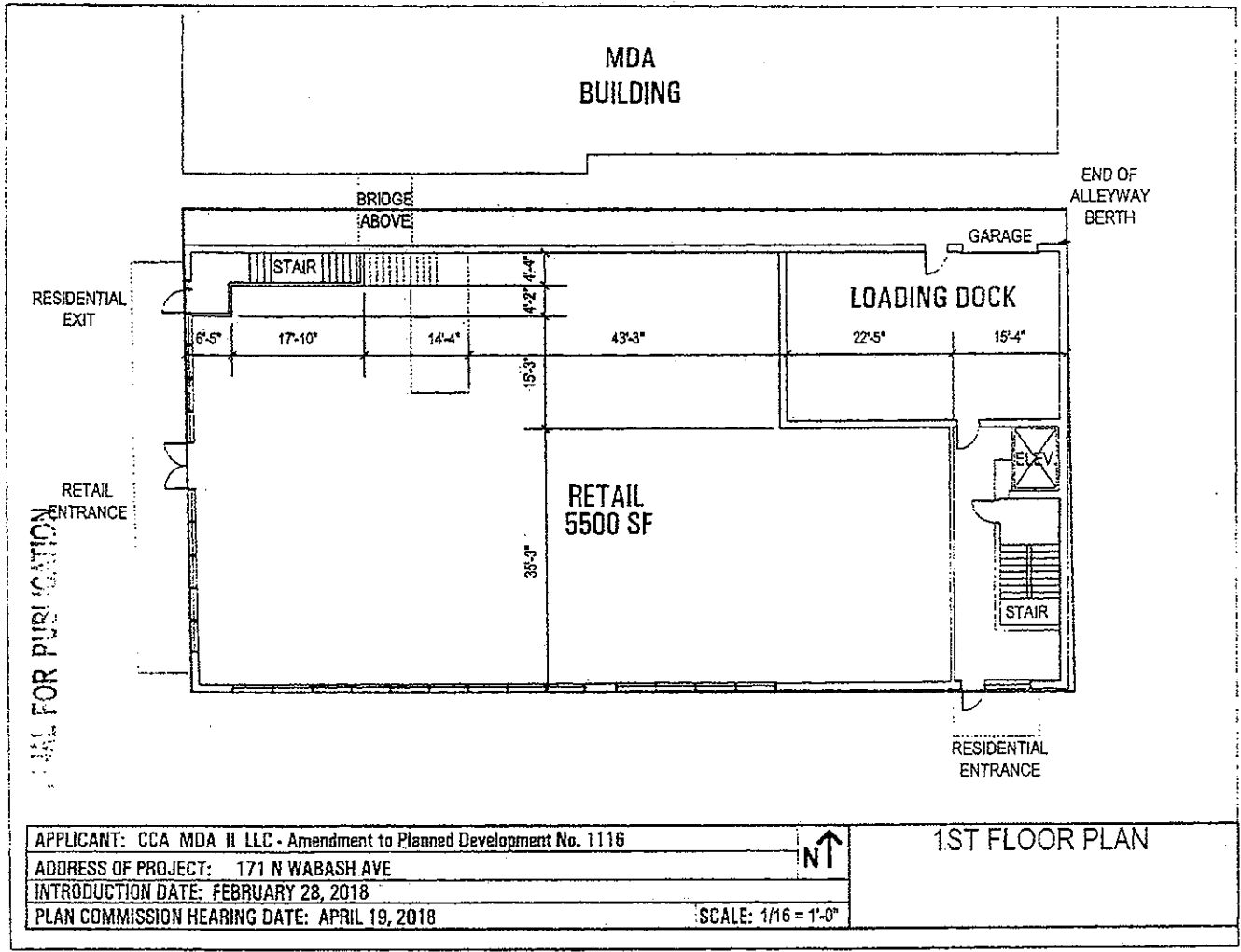
ROOF TOP SUMMARY	
GROSS ROOF AREA	6800 SF
MECHANICAL AREA	875 SF
POOL AREA	717 SF
NET ROOF AREA	5208 SF
GREEN ROOF AREA	1250 SF
ROOFTOP AMENITY SPACE	3958 SF

- LEGEND:
- 1 RAISED PLANTER
 - 2 LOUNGE SEATING
 - 3 TRELLIS
 - 4 FEATURE WALL WITH FIRE PLACE
 - 5 GROUP SEATING
 - 6 HOT TUB
 - 7 STEPS
 - 8 FREE-STANDING PLANTER
 - 9 BUILT-IN LOUNGE CHAIRS
 - 10 POOL
 - 11 PEDESTAL PAYER
 - 12 CABANAS
 - 13 LOW LANDSCAPE DECK



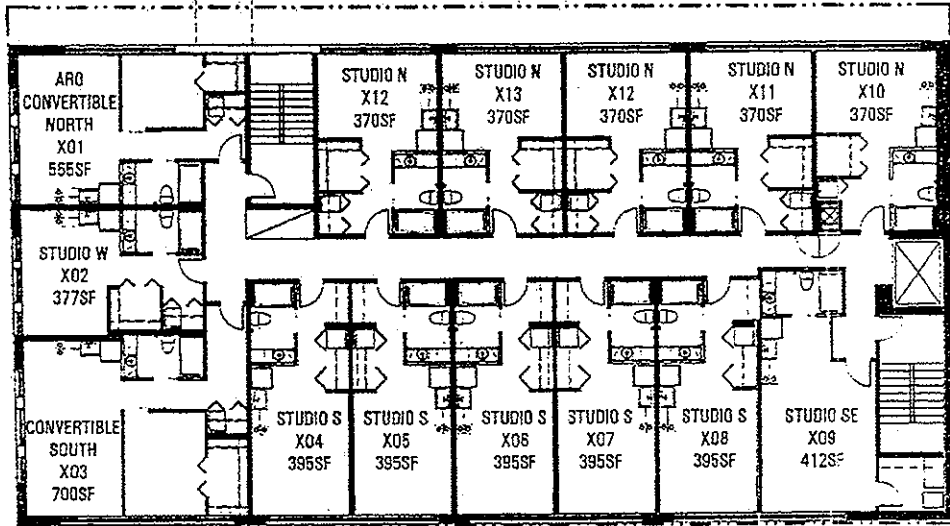
ROOF DECK PLAN
SCALE: 1"=10'

APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116	N ↑	ROOF PLAN
ADDRESS OF PROJECT: 171 N WABASH AVE		
INTRODUCTION DATE: FEBRUARY 28, 2018	SCALE: 1" = 10'-0"	
PLAN COMMISSION HEARING DATE: APRIL 19, 2018		



FINAL FOR PUBLICATION

FINAL FOR PUBLICATION



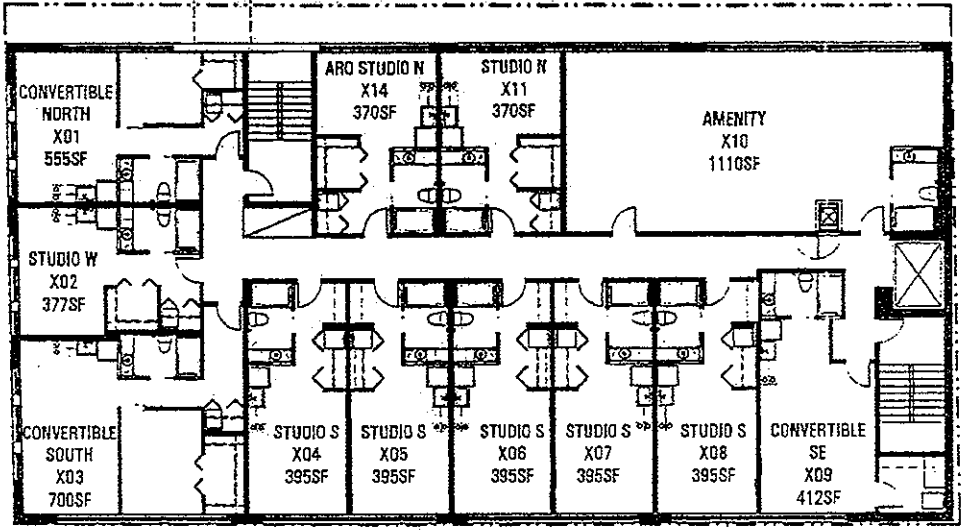
APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116
ADDRESS OF PROJECT: 171 N WABASH AVE
INTRODUCTION DATE: FEBRUARY 28, 2018
PLAN COMMISSION HEARING DATE: APRIL 19, 2018



2ND FLOOR PLAN

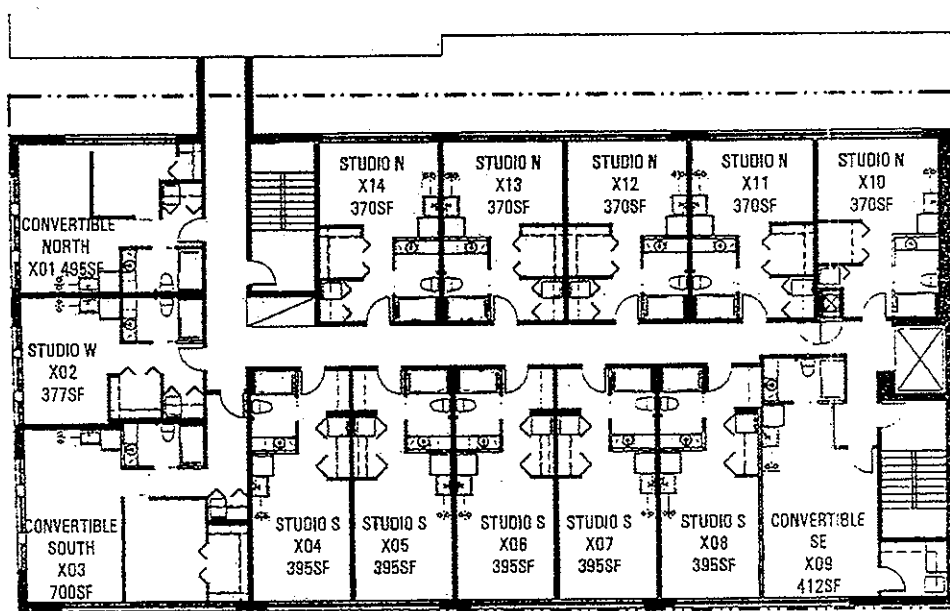
SCALE: 1/16" = 1'-0"

FINAL FOR PUBLICATION



APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116	↑ N	3RD FLOOR PLAN
ADDRESS OF PROJECT: 171 N WABASH AVE		
INTRODUCTION DATE: FEBRUARY 28, 2018		
PLAN COMMISSION HEARING DATE: APRIL 19, 2018		
SCALE: 1/16" = 1'-0"		

FINAL FOR PUBLICATION



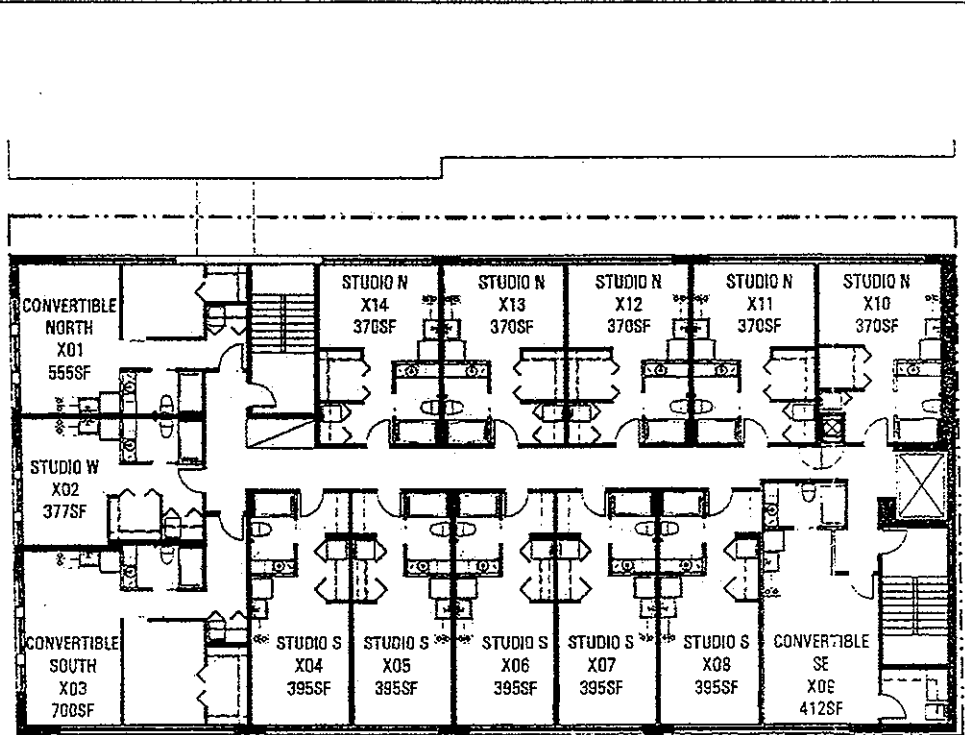
APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116
ADDRESS OF PROJECT: 171 N WABASH AVE
INTRODUCTION DATE: FEBRUARY 28, 2018
PLAN COMMISSION HEARING DATE: APRIL 19, 2018



6TH FLOOR PLAN

SCALE: 1/16" = 1'-0"

FINAL FOR PUBLICATION



APPLICANT: CCA MDA II LLC - Amendment to Planned Development No. 1116	
ADDRESS OF PROJECT: 171 N WABASH AVE	
INTRODUCTION DATE: FEBRUARY 28, 2018	
PLAN COMMISSION HEARING DATE: APRIL 19, 2018	

TYPICAL FLOOR PLAN

SCALE: 1/16" = 1'-0"

Alderman Burke abstained from voting pursuant to Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map No. 1-E.
(As Amended)
(Application No. 18509)
(Common Address: 171 N. Wabash Ave.)

RBPD 1116, AA

[SO2015-6399]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the Residential Business Planned Development Number 1116 symbols and indications as shown on Map Number 1-E in the area bounded by:

East Lake Street; North Garland Court; East Benton Place; North Wabash Avenue; a line 64.85 feet north of and parallel to East Benton Place; and a line 100.48 feet west of and parallel to North Garland Court,

to the designation of Residential Business Planned Development Number 1116, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached herewith and made a part thereof and to no others.

SECTION 2. This ordinance shall take effect upon its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 1116, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Residential Business Planned Development Number 1116, as amended, consists of property commonly known as 73 East Lake Street and 171 North Wabash Avenue, Chicago Illinois ("the Property"). The Property consists of Subarea A of approximately 17,120 square feet and Subarea B of approximately 7,795 square feet for a total net site area of 24,915 square feet (0.5719 acre). The property in Subarea B is owned, controlled or zoning consent has

been received by the applicant, RZRLLC Wabash. This amendment only makes changes with respect to Subarea B.

2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different then to the owners of record title to all of the Property and to any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the city for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. An agreement among Property owners or a covenant binding property owners may designate the authorized party for any future amendment, modification or change. Provided, however, that after the adoption of an ordinance wherein the Property is divided into specifically delineated subareas, each having its own bulk and density standards, or similar subarea specific development controls or requirements, the owners of or designated controlling party for each subarea may seek amendments, changes, or modifications for that subarea without the consent of the owners or designated controlling party of the other subareas.
4. This plan of development consists of 16 Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; Existing Land-Use Map; a Planned Development Boundary and Property Line and Subarea Map; a Site Plan/Landscape Plan, a Roof Plan, Building Section Plan and Building Elevations prepared by William Warman dated May 19, 2016. Full-size sets of the Site Plan, Landscape Plan, Roof Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area herein delineated as Subarea A of the Residential Business Planned Development Number 1116, as amended: residential, commercial, retail, accessory parking, and related uses and services, and all uses permitted in the Commercial use group of the DX Downtown Mixed-Use District. The following uses shall be prohibited in Subarea A: hotel, animal services, undertaking, entertainment cabaret, uses permitted under the vehicle sales and service,

and industrial uses. The following uses shall be permitted within the area herein delineated as Subarea B of the Residential Business Planned Development Number 1116, as amended: residential, business support services (excluding day labor employment agency), financial services (excluding payday/title secured loan stores and pawn shops), general retail sales, eating and drinking establishments, food and beverage retail sales (excluding package liquor stores), office, medical service, personal service, religious assembly and related facilities and accessory uses. The following uses shall be prohibited in Subarea B: hotel, animal services, undertaking, entertainment cabaret, and uses permitted under the vehicle sales and service, and industrial uses.

6. On-premises Business Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development. No off-premises signs shall be permitted.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation Bureau of Traffic and the Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. The Subarea A applicant will reimburse the City for the cost to retrofit existing traffic signals with up to four pedestrian countdown signals at the intersection of Lake Street and Michigan Avenue.
8. For the purposes of measuring height, the definition in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of Floor Area Ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply. The maximum permitted floor area ratio (FAR) shall be in accordance with the attached Bulk Regulations and Data Table. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of 24,915 square feet, a base FAR of 16.0 and an additional Floor Area Bonus, as follows:

Description	FAR
Base FAR	16.00
Affordable Housing Bonus	2.40
Total FAR:	18.40

The calculation of the additional floor area ratio ("FAR") obtained through the proposed Affordable Housing Bonus is as follows:

$$\text{FAR} = 16 \times 0.15 = 2.40 \text{ FAR.}$$

$$2.40 \times 24,915 \text{ square feet} = 59,796 \text{ square feet.}$$

$$59,796 \text{ square feet} \times \$31.00 \text{ per square foot} \times .80 = \text{a } \$1,482,941.00 \text{ contribution.}$$

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
11. The improvements shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
12. The terms, conditions and exhibits of this planned development ordinance may be modified administratively pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance by the Zoning Administrator of the Department of Planning and Development, upon the application for such a modification by the applicant and after a determination by the Zoning Administrator that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The buildings to be constructed on each of Subarea A and Subarea B shall be constructed under the Leadership in Energy and Environmental Design (LEED) Green Building Rating System. With respect to the buildings on each of Subarea A and Subarea B, the applicant shall provide a vegetated ("green") roof on at least fifty percent (50%) of the building's net roof area. Subarea A will provide a green roof with (5,522) square feet. Subarea B will provide a green roof with

(3,150) square feet. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment.

14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. Pursuant to Section 17-4-1004 of the Zoning Ordinance, the applicant has asked for an increase in the floor area ratio for Subarea A of the Property, as set forth in the bonus worksheet required under Section 17-4-1003-D ("Bonus Worksheet"). Projects receiving an affordable housing floor area bonus must either provide on-site affordable housing units or make a cash payment to the city's Affordable Housing Opportunity Fund in accordance with formulas set forth in Section 17-4-1004-D. The applicant has elected to make a cash payment in lieu of providing on-site affordable housing units. In accordance with the formulas set forth in Section 17-4-1004-D and the Bonus Worksheet, the applicant acknowledges and agrees that it must make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$1,482,941.00 ("Cash Payment"). The applicant must make the required Cash Payment before the issuance of building permits for the construction of the building in Subarea A and must comply with all applicable affordable housing standards and requirements set forth in Section 17-4-1004, the terms of which are incorporated herein by this reference.
16. Unless substantial construction on Subarea B has commenced within six years following adoption of this planned development and unless completion is thereafter diligently pursued, then this planned development shall expire. If this planned development expires under the provisions of this section, then the zoning of Subareas A and B of the planned development shall automatically revert to Residential Business Planned Development Number 1116, as amended on February 15, 2012.

[Bonus Worksheet referred to in these Plan of Development
Statements unavailable at time of printing.]

[Existing Zoning Map; Existing Land-Use Map; Boundary, Property and
Subarea Map; Roof Plan; Planting Details; North, South, East and
West Elevations; and Composite South Elevation referred
to in these Plan of Development Statements printed
on pages 27513 through 27522 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

6/22/2016

REPORTS OF COMMITTEES

27511

Residential-Business Planned Development No. 1116, As Amended.

Bulk Regulations And Data Table.

Site Area:

Gross Site Area:	39,482 square feet (0.9064 acre)
Net Site Area:	24,915 square feet (0.5710 acre)
Public Right-of-Way:	14,567 square feet (0.335 acre)
Subarea A:	17,120 square feet (0.3930 acre) (68.71 percent of Net Site Area)
Subarea B:	7,795 square feet (0.1789 acre) (31.29 percent of Net Site Area)

Floor Area Ratio and Buildable Area

Overall Maximum FAR:	18.4
Overall Maximum Buildable Area:	458,436 square feet (24,915 Net Site Area by 18.40 FAR)
Subarea A:	
Maximum FAR Buildable Square Footage Assigned to Subarea A:	402,000 square feet
Maximum FAR:	23.5
Subarea B:	
Maximum FAR Buildable Square Footage Assigned to Subarea B:	56,436 square feet
Maximum FAR:	7.24

Maximum Height:

Subarea A:	494 feet (as measured by Chicago Zoning Ordinance)
Subarea B:	90 feet (as measured by Chicago Zoning Ordinance)

Maximum Number of Residential Units:

Subarea A:	332 Units
Subarea B:	60 Units
Efficiency:	30
Dwelling Units:	30

Setbacks:

Subarea A:	None
Subarea B:	None

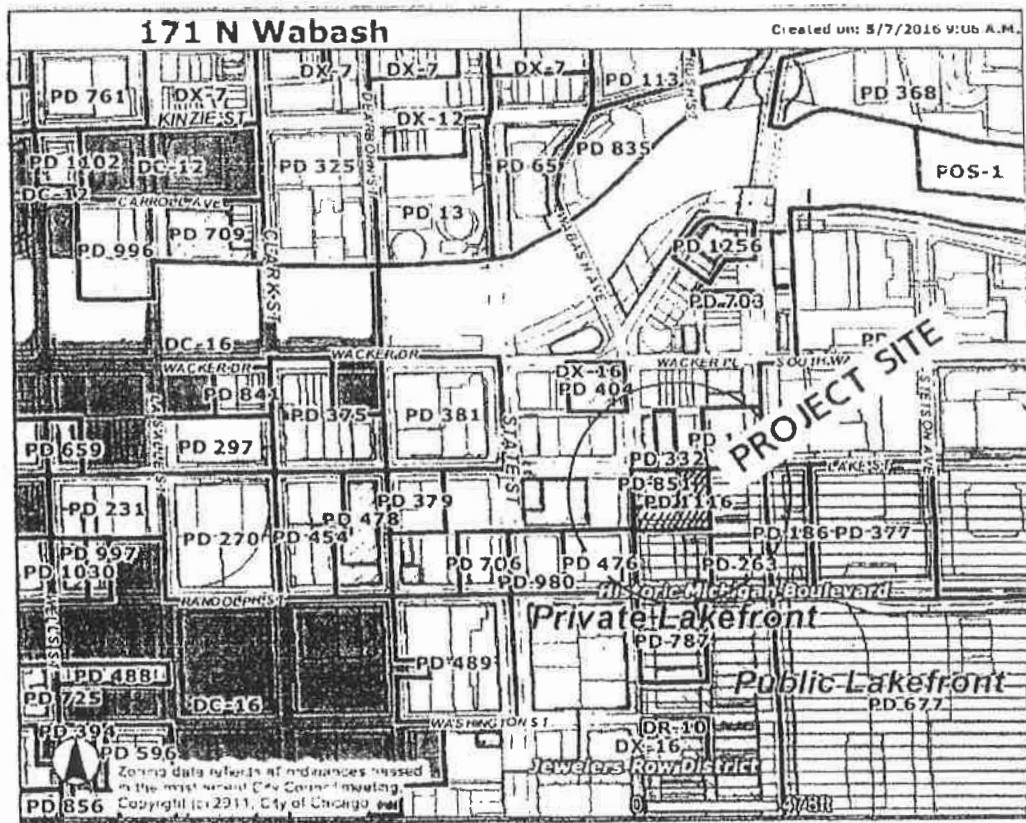
Parking Spaces:

Subarea A:	183 accessory parking spaces
Subarea B:	None

Loading Berths:

Subarea A:	2 (10 feet by 25 feet) loading berths and (10 feet by 50 feet) loading berth
Subarea B:	1 (10 feet by 25 feet) loading berth

FINAL FOR PUBLICATION



EXISTING ZONING MAP

APPLICANT RZR LLC, WABASH
 ADDRESS 171 NORTH WABASH
 DATE SEPTEMBER 24, 2015
 CPC DATE MAY 19 2016

FINAL FOR PUBLICATION

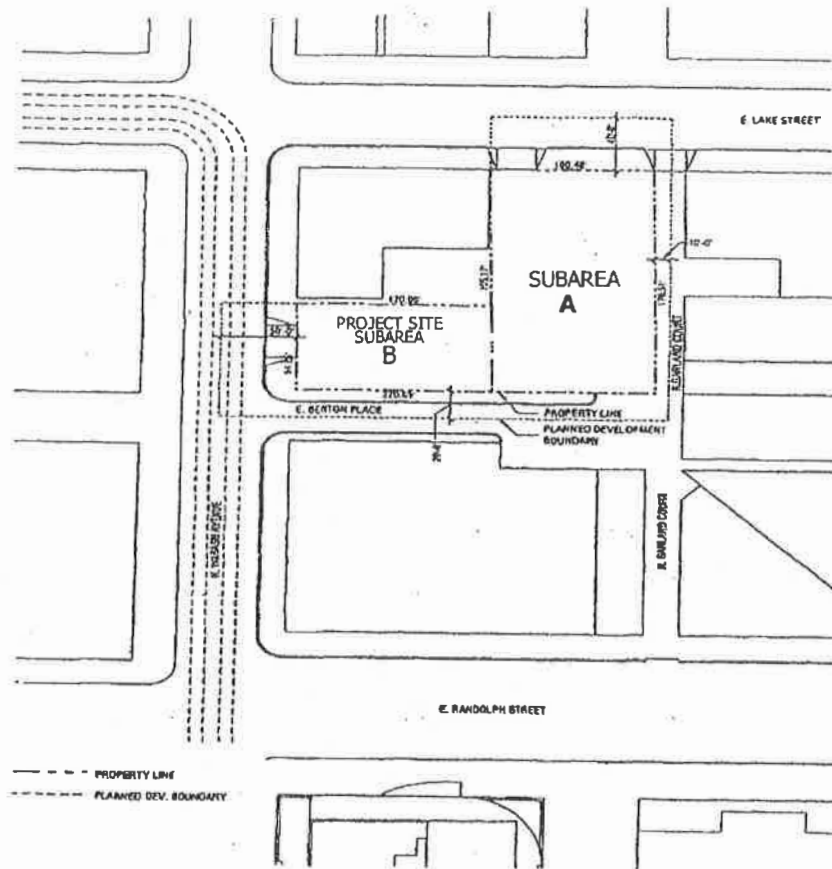


EXISTING LAND USE MAP



APPLICANT: RZR LLC, WABASH
ADDRESS: 171 NORTH WABASH
DATE: SEPTEMBER 24, 2015
CPC DATE: MAY 19, 2016

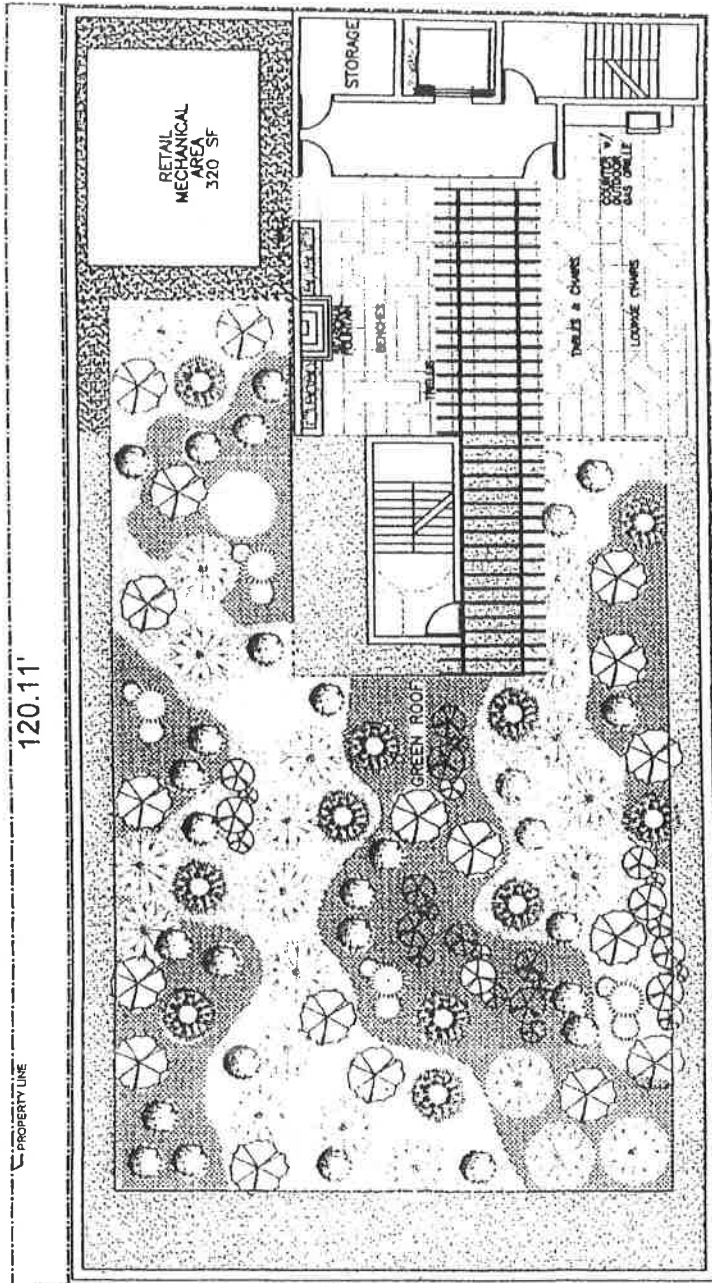
FINAL FOR PUBLICATION



PLANNED DEVELOPMENT BOUNDARY, AND PROPERTY AND SUBAREA MAP

APPLICANT: RZR LLC, WABASH
ADDRESS: 171 NORTH WABASH
DATE: SEPTEMBER 24, 2015
CPC DATE: MAY 19, 2016





FINAL FOR PUBLICATION

CALCULATIONS FOR GREEN ROOF

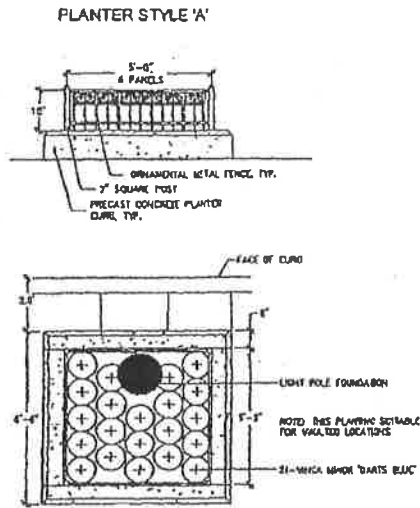
SUB AREA 'B'	
GROSS ROOF AREA	6,536 SF
NET ROOF AREA	6,216 SF
TOTAL ACCESSIBLE GREEN ROOF AREA	3,108 SF
TOTAL GREEN ROOF AREA PROVIDED	3,150 SF

ROOF PLAN

APPLICANT:RZR LLC, WABASH
 ADDRESS:171 NORTH WABASH
 DATE:SEPTEMBER 24, 2015
 CPC DATE: MAY 19, 2016

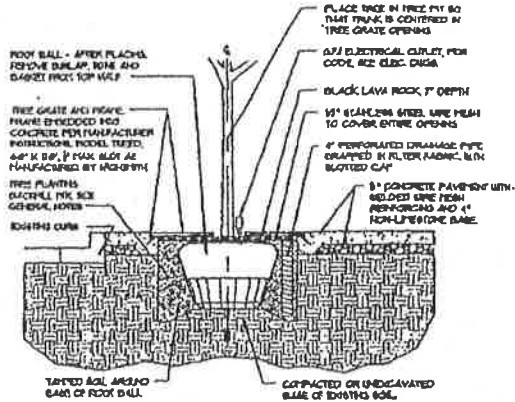
COMMON ROOF DECK 1,530 SF

FINAL FOR PUBLICATION



DETAIL 2 / NEW LOW PROFILE PLANTERS AT WABASH AVE SIDEWALK

LOCATE ALL UNEXPOSED UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE IDENTIFIED 6' AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TRIM TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. REMOVE ALL DEAD, DROOPY OR DAMAGED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES OVER 4" CALIPER, REMOVE APPROXIMATELY 25-30% OF THE OVERALL BRANCHING. LOCATE ROOT PLANE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT PLANE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING PIT THOROUGHLY, WHILE KEEPING THE TREE PLUMP. BE AWARE THAT TREE SETTLING OCCURS. SALVA CELL AND OTHER DEEP ROOT PRODUCTS ARE AVAILABLE THROUGH LANDSCAPE PRODUCTS (404-784-7878).



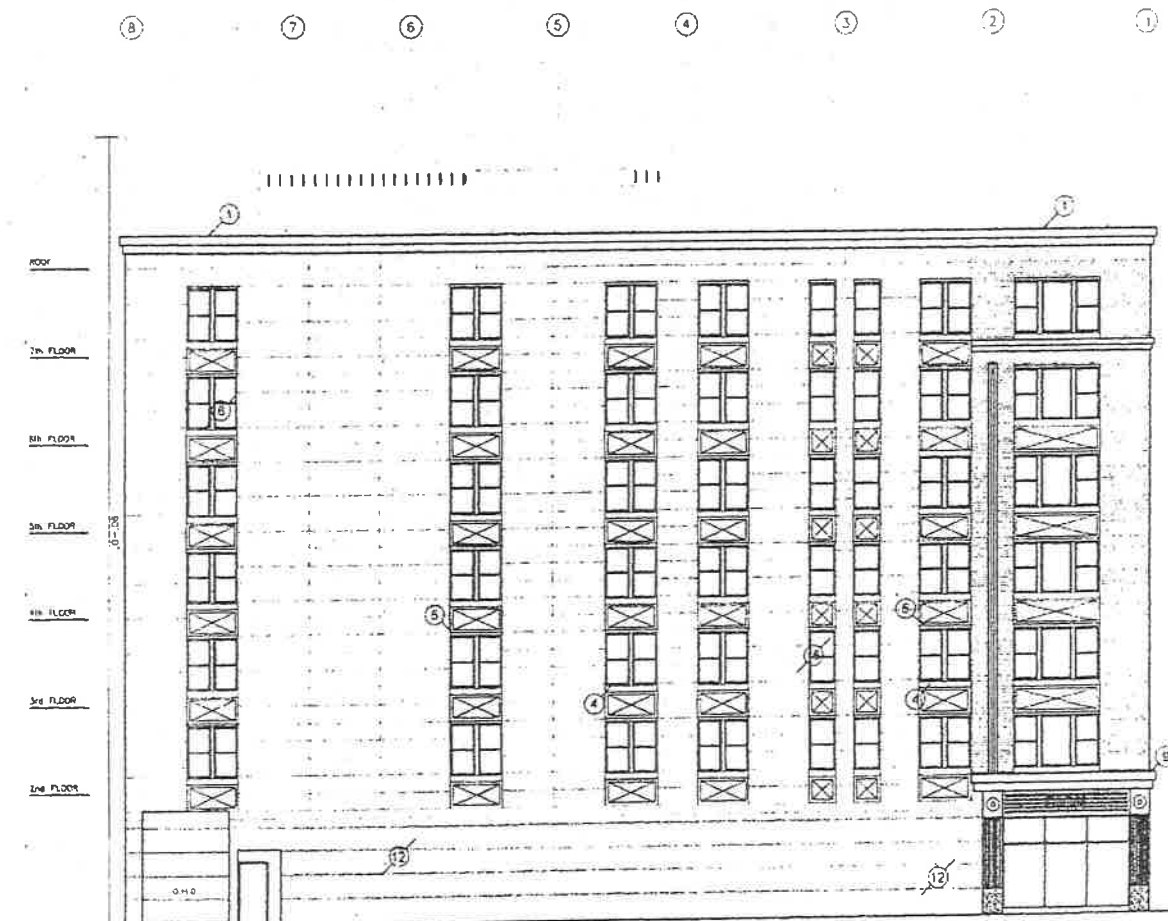
PLAN LIST	DESCRIPTION	DATE	BY	SCALE	DATE
20150924	NEW TREE PLANTING	09/24/15	JL	AS SHOWN	09/24/15
20150924	NEW TREE PLANTING	09/24/15	JL	AS SHOWN	09/24/15

DETAIL 1 / NEW TREES AND TREE GRATES AT SIDEWALK

PLANTING DETAILS

APPLICANT: RZR LLC, WABASH
 ADDRESS: 171 NORTH WABASH
 DATE: SEPTEMBER 24, 2015
 CPC DATE: MAY 19, 2016

FINAL FOR PUBLICATION



NORTH ELEVATION

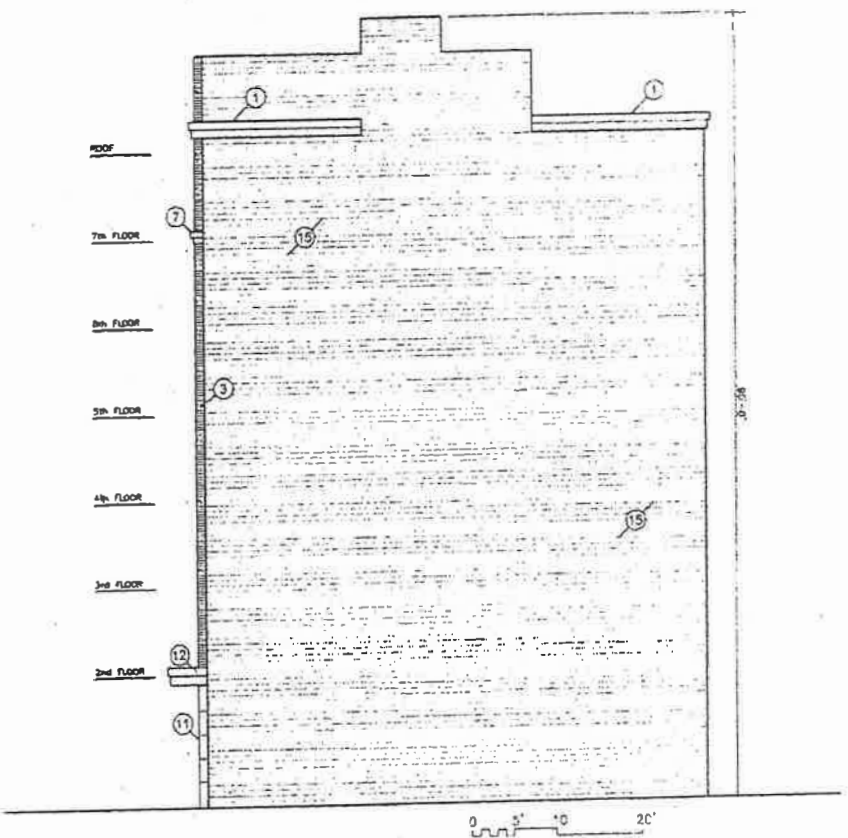
APPLICANT RZR LLC, WABASH
ADDRESS 171 NORTH WABASH
DATE SEPTEMBER 24, 2015
CPC DATE MAY 19, 2016



SOUTH ELEVATION

APPLICANT RZR LLC, WABASH
ADDRESS 171 NORTH WABASH
DATE SEPTEMBER 24, 2015
CPC DATE MAY 19, 2016

FINAL FOR PUBLICATION

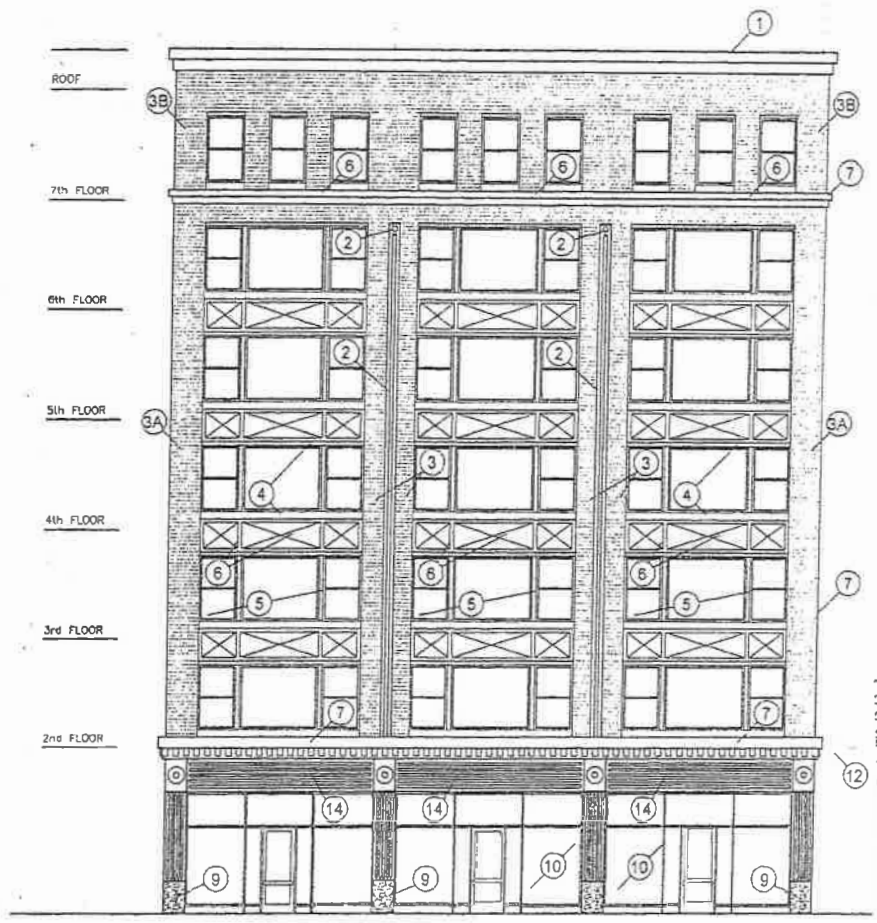


EAST ELEVATION

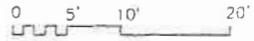
APPLICANT: RZR LLC, WABASH
ADDRESS: 171 NORTH WABASH
DATE: SEPTEMBER 24, 2015
CPC DATE: MAY 19, 2016

WEST ELEVATION

- MATERIAL LEGEND**
- ① DECORATIVE ALUMINUM COPING
 - ② CAST STONE ACCENT
 - ③ RED BRICK MASONRY
 - ④ ACCENT BRICK MASONRY
 - ⑤ CAST STONE WINDOW SILL/LINTEL
 - ⑥ BRONZE ALUMINUM WINDOWS
 - ⑦ CAST STONE DIMENSIONAL SPANDREL PANELS
 - ⑧ CAST STONE CORNICE
 - ⑨ PREFINISHED DECORATIVE ALUMINUM CORNICE w/ DECORATIVE DENTILS
 - ⑩ GRANITE BASE
 - ⑪ ALUMINUM STOREFRONT & ENTRY
 - ⑫ PAINTED CONCRETE w/ DECORATIVE REVEALS
 - ⑬ PROJECTING BUILDING ENTRY CANOPY
 - ⑭ HORIZONTAL CEMENT FIBER SIDING
 - ⑮ BRICK WITH ACCENT BANDS
 - ⑯ MASONRY CAVITY WALL



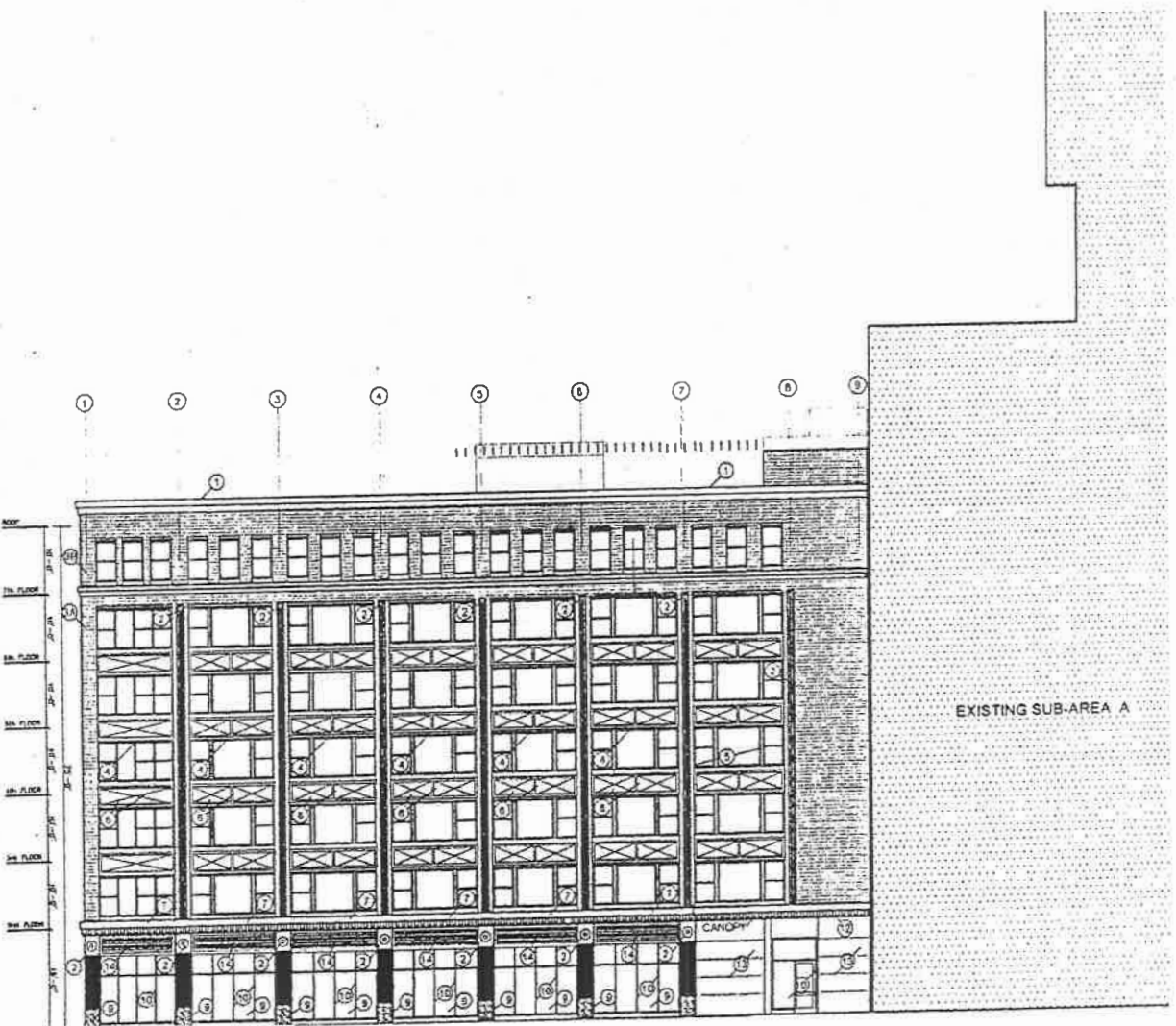
WEST ELEVATION



FINAL FOR PERMITTING

APPLICANT: RZR LLC, WABAS
 ADDRESS: 171 NORTH WABAS
 DATE: SEPTEMBER 24, 20
 CPC DATE: MAY 19, 20

FINAL FOR PUBLICATION



COMPOSITE SOUTH ELEVATION

APPLICANT: RZR LLC, WABASH
ADDRESS: 171 NORTH WABASH
DATE: SEPTEMBER 24, 2015
CPC DATE: MAY 19, 2016

17347

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1 Section 17-2-0402 of Title 17 of the Municipal Code, the Chicago Zoning Ordinance, is hereby amended by deleting the language struck through and by inserting the language underscored, as follows:

17-2-0402 Access To Off-Street Parking.

17-2-0402-A. In all R districts except RS1 and RS2, all off-street parking must be accessed off the abutting ~~alley~~ except that direct street access to off-street parking is allowed in the following cases:

1. when the subject zoning lot lacks access to an improved alley;
2. when the street access leads to a common parking area for a townhouse development or row of townhouse units;
3. when the street access leads to a multi-level parking garage in a multi-unit residential building;
4. when the subject zoning lot is located in an RS3 District and is ~~a corner lot with an existing side driveway~~ improved with a single-unit detached house; or
5. when the use is a permitted public or civic use.

(Omitted text is unaffected by this ordinance.)

SECTION 2 This ordinance shall take effect upon passage and approval

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF AREA SHOWN ON MAP NO. 1-E.

(As Amended)
(Application No. 17347)
(Common Address 73 E. Lake St.)

R B P D 1116, 99

[SO2011-7046]

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, February 15, 2012

To the President and Members of the City Council

Reporting for your Committee on Zoning, Landmarks and Building Standards, for which a meeting was held on January 26, 2012, I beg leave to recommend that Your Honorable Body pass various ordinances transmitted herewith for the purpose of reclassifying particular areas

I beg leave to recommend the approval of two text amendments, both of which were amended and corrected in their amended forms. They are as follows: TAD-479 which further regulates signs and signboards, and TAD-476 regarding nonconforming signs

I beg leave to recommend the approval of text amendment Number 477 which regulates access to off-street parking

I beg leave to recommend the passage of seven ordinances which were corrected and amended in their amended form. They are Application Numbers A-7784, A-7781, A-7771, 17393, 17309, 17347, and 17290.

I beg leave to accept applications for 32 business identification signs, which are subject to zoning review and over 100 square feet, and 24 feet above grade. They are Document Numbers: Or2011-1148, Or2011-1139, Or2012-35, Or2012-36, Or2012-37, Or2012-38, Or2012-39, Or2012-40, Or2012-41, Or2012-42, Or2012-43, Or2012-44, Or2012-45, Or2012-46, Or2012-47, Or2012-48, Or2012-51, Or2012-34, Or2011-1144, Or2012-16, Or2011-1138, Or2012-15, Or2011-1147, Or2011-1149, Or2011-1150, Or2011-1151, Or2011-1152, Or2011-1143, Or2012-29, Or2011-1142, Or2011-1140, and Or2011-1147.

Also, please let the record reflect that the following applications for signs, also subject to zoning review, were passed as amended. They are Document Numbers: O2011-9764, O2012-99, O2012-97, O2012-93 and O2012-91

I beg leave to also let the record reflect the passage of two advertising signs. They are Document Numbers: Or2011-1140 and Or2011-1147.

Please also note that Application Number 17390 is a Type 1 application, and all renderings, plans, and drawings must be published

I beg leave to recommend the waiver of building permit fees for the property located at 2130 North Fremont Street (Document Number O2012-61), 3014 West Palmer Boulevard (Document Number Or2011-1145), and 3734 North Harding Avenue (Document Number Or2011-1176).

At this time, I move for passage of the proposed substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) DANIEL S. SOLIS,
Chairman

On motion of Alderman Solis, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows.

Yeas -- Aldermen Moreno, Fioretti, Dowell, Burns, Hairston, Sawyer, Harris, Beale, Pope, Baicer, Cárdenas, Quinn, Foulkes, Thompson, Thomas, Lane, O'Shea, Cochran, Brookins, Muñoz, Zalewski, Chandler, Solis, Maldonado, Burnett, Ervin, Graham, Reboyras, Suarez, Waguespack, Mell, Austin, Colón, Sposato, Mitts, Cullerton, Laurino, P. O'Connor, M. O'Connor, Reilly, Smith, Tunney, Arena, Cappleman, Pawar, Osterman, Moore, Silverstein -- 48.

Nays -- None

Alderman Pope moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to this ordinance in previous and unrelated matters.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago,

RBPD 1116, aa

SECTION 1 That the Chicago Zoning Ordinance be amended by changing all of the Residential-Business Planned Development Number 1116 symbols and designations as shown on Map Number 1-E in the area bounded by

East Lake Street; North Garland Court; East Benton Place; North Wabash Avenue; a line 64 85 feet north of and parallel to East Benton Place; and a line 100 48 feet west of and parallel to North Garland Court.

to the designation of Residential Business Planned Development Number 1116, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No 1116, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development Number 1116, as amended, consists of property commonly known as 73 East Lake Street and 171 North Wabash Avenue, Chicago, Illinois (the "Property"). The Property consists of Subarea A of approximately 17,120 square feet and Subarea B of approximately 7,795 square feet for a total net site area of 24,915 square feet (0.5719 acres). The Property is owned or controlled by co-applicants, M&R Development, LLC, Developer of Subarea A and Consolidated Equity III, LLC, an Illinois limited liability company, Developer of Subarea B (collectively referred to herein as "Applicant")
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustment of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different then to the owners of record title to all of the Property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. An agreement among property owners or a covenant binding property owners may designate the authorized party for any future amendment, modification or change. Provided, however, that after the adoption of an ordinance wherein the Property is divided into specifically delineated subareas, each having its own bulk and density standards, or similar subarea specific development controls or requirements, the owners of or designated controlling party for each subarea may seek amendments, changes, or modifications for that subarea without the consent of the owners or designated controlling party of the other subareas.

4. This plan of development consists of seventeen (17) statements, a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Site Plan; a Landscape Plan, a Roof Plan; Typical Floor Plans and Building Elevations prepared by Solomon Cordwell Buenz dated December 15, 2011. Full size sets of the Site Plan, Landscape Plan, Roof Plan and Building Elevations are on file with the Department of Housing and Economic Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area herein delineated as Subarea A of commercial, retail, accessory parking, and related uses and services and all uses permitted in the commercial use group of the DX Downtown Mixed-Use District. The following uses shall be prohibited in Subarea A: hotel, animal services, undertaking, entertainment cabaret, uses permitted under the vehicle sales and service and industrial uses.

The following uses shall be permitted within the area herein delineated as Subarea B of the Residential Business Planned Development Number 1116, as amended: office, business, commercial, retail, accessory parking, and related uses and services, all uses permitted in the commercial use group of the DX Downtown Mixed-Use District and a non-accessory surface parking lot as an interim use. The following uses shall be prohibited in Subarea B: hotel, animal services, undertaking, entertainment cabaret, and uses permitted under the vehicle sales and service and industrial uses.
6. On-premises business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Housing and Economic Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Housing and Economic Development. No off-premises signs shall be permitted.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation Bureau of Traffic, and the Department of Housing and Economic Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. The Subarea A Applicant will reimburse the City for the cost to retrofit existing traffic signals with up to four pedestrian countdown signals at the intersection of Lake Street and Michigan Avenue.
8. For the purposes of measuring height, the definition in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.

- 9 For purposes of floor area ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply. The maximum permitted floor area ratio ("FAR") shall be in accordance with the attached Bulk Regulations and Data Table. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of 24,915 square feet, a base FAR of 16.0 and an additional Floor Area Bonus, as follows:

Description	FAR
Base FAR	16.00
Affordable Housing Bonus	2.40
Total FAR:	18.40

The calculation of the additional floor area ratio ("FAR") obtained through the proposed Affordable Housing Bonus is as follows:

$$\text{FAR} = 16 \times 0.15 = 2.40 \text{ FAR}$$

$$2.40 \times 24,915 \text{ square feet} = 59,796 \text{ square feet.}$$

$$59,796 \text{ square feet} \times \$31.00 \text{ per square foot} \times .50 = \text{a } \$1,482,941.00 \text{ contribution}$$

- 10 Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
11. Prior to the Part II Approval (per Section 17-13-0610 of the Zoning Ordinance) for Subarea B, the Applicant shall submit a site plan, landscape plan and building elevations for Subarea B for review and approval by the Department of Housing and Economic Development. Review and approval by the Department of Housing and Economic Development is intended to assure that specific development components substantially conform with the planned development and to assist the City in monitoring ongoing development. Subarea B Site Plan Approval Submittals need only include that portion of the Property for which approval is being sought by the Applicant. The site plan provided shall include all dimensioned and planned street rights-of-way.

No Part II Approval for any portion of Subarea B shall be granted until Site Plan approval has been granted. If the Subarea B Site Plan Approval Submittals

substantially conform to the provisions of the planned development, the Department of Housing and Economic Development shall approve the submittal in a prompt and timely manner. Following approval by the Department of Housing and Economic Development, the approved Subarea B Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the planned development. After approval of the Subarea B Site Plan, changes or modifications may be made pursuant to the provisions of Statement 13. In the event of any inconsistency between approved plans and the terms of the planned development, the terms of the planned development shall govern. Any Subarea B Site Plan Approval Submittals shall, at a minimum, provide the information described in Section 17-13-0802-B.

Subarea B Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the planned development and the following building guidelines:

1. Street walls: build out new structures to the property line.
 2. New facades, to the extent possible, should reinforce the historic character of the district in terms of materials, scale, proportion, color and architectural details.
 3. The materials and architectural elements of the adjacent Subarea A residential tower should reflect on the design of the new Subarea B building design.
12. The improvements shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Subarea B, once approved by the Department of Housing and Economic Development, shall conform to site plan and approved landscape plans. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this Planned Development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
13. The terms, conditions and exhibits of this planned development ordinance may be modified administratively pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance by the Zoning Administrator of the Department of Housing and Economic Development, upon the application for such a modification by the Applicant and after a determination by the Zoning Administrator that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such

modification of the requirements of this statement by the Commissioner of the Department of Housing and Economic Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The buildings to be constructed on each of Subarea A and Subarea B shall be constructed under the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. With respect to the buildings on each of Subarea A and Subarea B, the Applicant shall provide a vegetated ("green") roof on at least fifty percent (50%) of the building's net roof area. Subarea A will provide a green roof with (5,522) square feet. The green roof for Subarea B will be determined once the design of the building is completed and the Applicant has submitted and received approval via a formal Site Plan Review and Lakefront Protection Ordinance application. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures and roof-mounted equipment.
15. The Applicant acknowledges that it is in the public interest to design, construct, and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. Pursuant to Section 17-4-1004 of the Zoning Ordinance, the Applicant has asked for an increase in the floor area ratio for Subarea A of the Property, as set forth in the bonus worksheet required under Section 17-4-1003-D ("Bonus Worksheet"). Projects receiving an affordable housing floor area bonus must either provide on-site affordable housing units or make a cash payment to the city's Affordable Housing Opportunity Fund in accordance with formulas set forth in Section 17-4-1004-D. The Applicant has elected to make a cash payment in lieu of providing on-site affordable housing units. In accordance with the formulas set forth in Section 17-4-1004-D and the Bonus Worksheet, the Applicant acknowledges and agrees that it must make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$1,482,941.00 ("Cash Payment"). The Applicant must make the required Cash Payment before the issuance of building permits for the construction of the building in Subarea A, and must comply with all applicable affordable housing standards and requirements set forth in Section 17-4-1004, the terms of which are incorporated herein by this reference.
17. Unless substantial construction on either Subarea A or Subarea B has commenced within three (3) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire. If this planned development expires under the provisions of this section, then the zoning of Subareas A and B of the planned development shall automatically revert to the underlying DX-16 Downtown Mixed-Use District.

[Existing Zoning Map, Existing Land-Use Map, Planned Development Boundary and Property Line Map; Site/Landscape Plan; Roof Plan; Subarea A -- Typical Residential Plan Lower Tier -- Floors 11 -- 30, Subarea A -- Typical Residential Plan Upper Tier -- Floors 31 -- 41; North, South, East and West Elevations; Section Looking North, Comparison of Heights of Surrounding Buildings, and Planting Details referred to in these Plan of Development Statements printed on pages 20922 through 20935 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows.

Residential-Business Planned Development No. 1116, As Amended.

Bulk Regulations And Data Table

Site Area.

Gross Site Area	39,482 square feet (0.9064 acre)
Net Site Area:	24,915 square feet (0.5719 acre)
Public Right-of-Way.	14,567 square feet (0.335 acre)
Subarea A	17,120 square feet (0.3930 acre) (68.71% of Net Site Area)
Subarea B	7,795 square feet (0.1789 acre) (31.29% of Net Site Area)

Floor Area Ratio and Buildable Area

Overall Maximum FAR:	18.40
Overall Maximum Buildable Area:	458,436 square feet (24,915 net site area by 18.40 FAR)

Subarea A

Maximum FAR Buildable square footage assigned to Subarea A:	402,000 square feet
Maximum FAR:	23.50

Subarea B:

Maximum FAR Buildable square footage assigned to Subarea B:	56,436 square feet
Maximum FAR:	7.24

Maximum Height:

Subarea A:	494 feet (as measured by Chicago Zoning Ordinance)
Subarea B:	80 feet (as measured by Chicago Zoning Ordinance)

Maximum Number of Residential Units:

Subarea A:	332
Subarea B:	None

Setbacks:

Subarea A:	None
Subarea B:	None

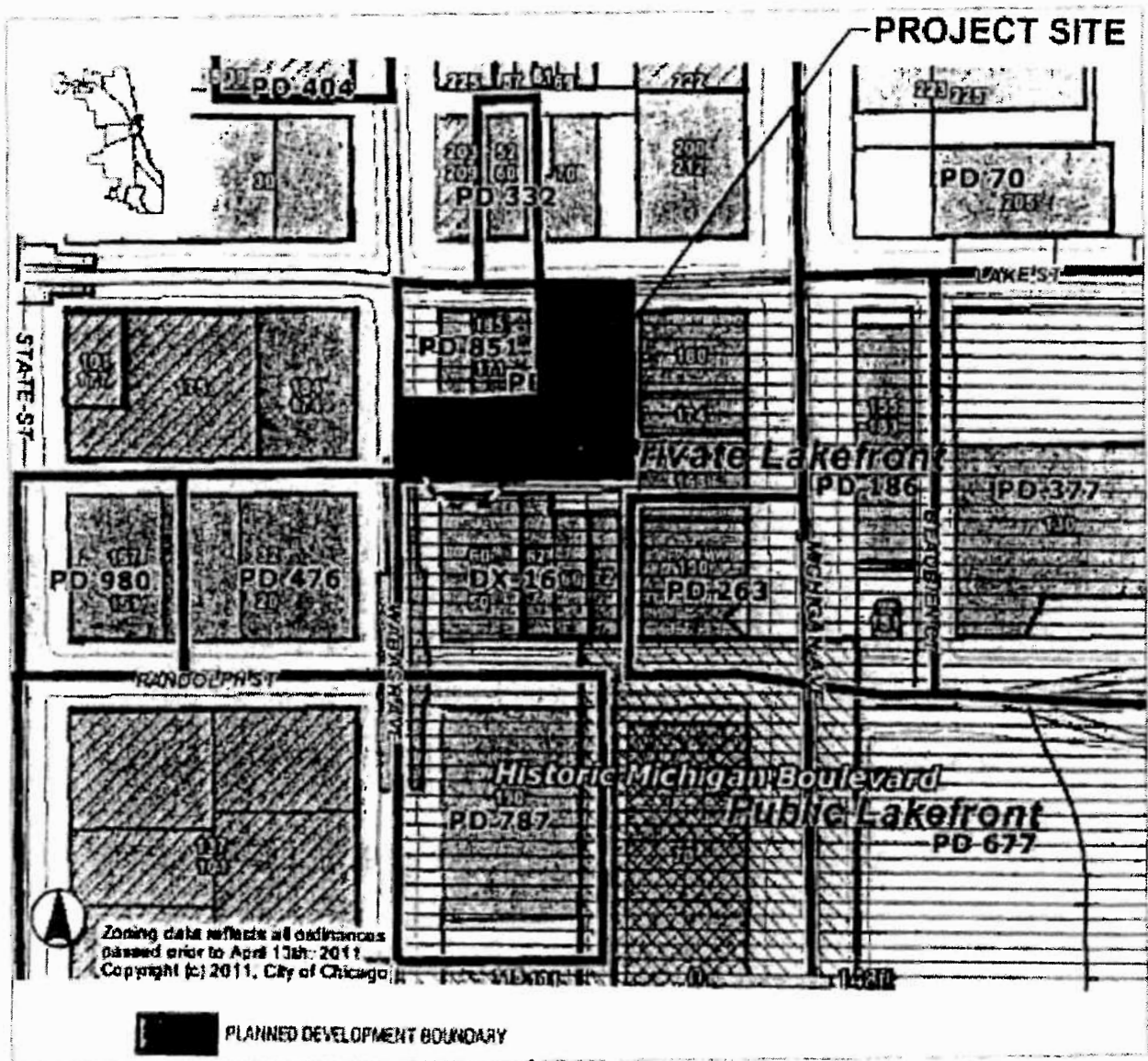
Parking Spaces:

Subarea A:	183 accessory parking spaces
Subarea B:	Maximum of 56 accessory parking spaces

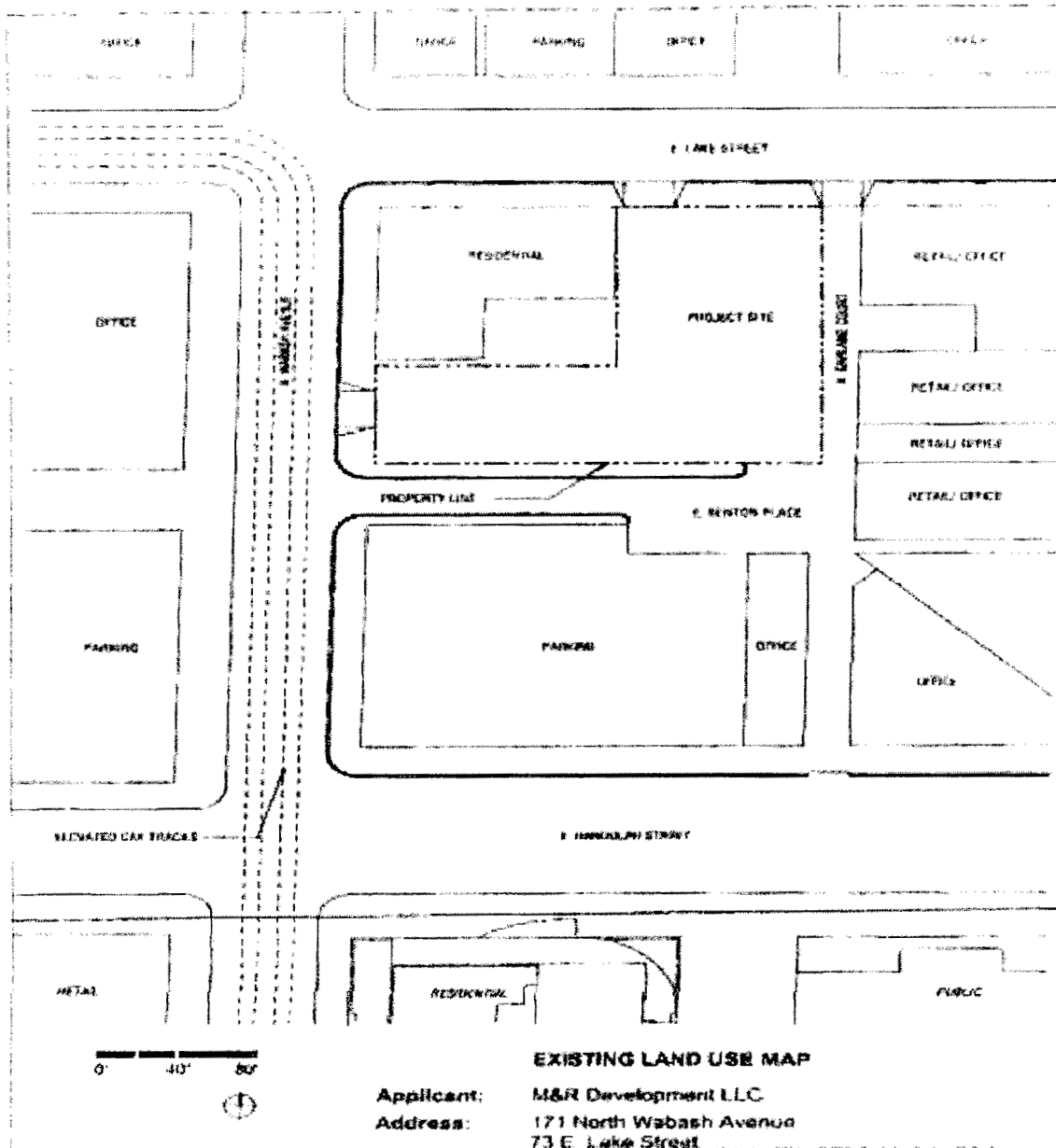
Loading Berths:

Subarea A:	2 (10 feet by 25 feet) loading berths and 1 (10 feet by 50 feet) loading berth
Subarea B:	Determined upon site plan approval for Subarea B

Existing Zoning Map.



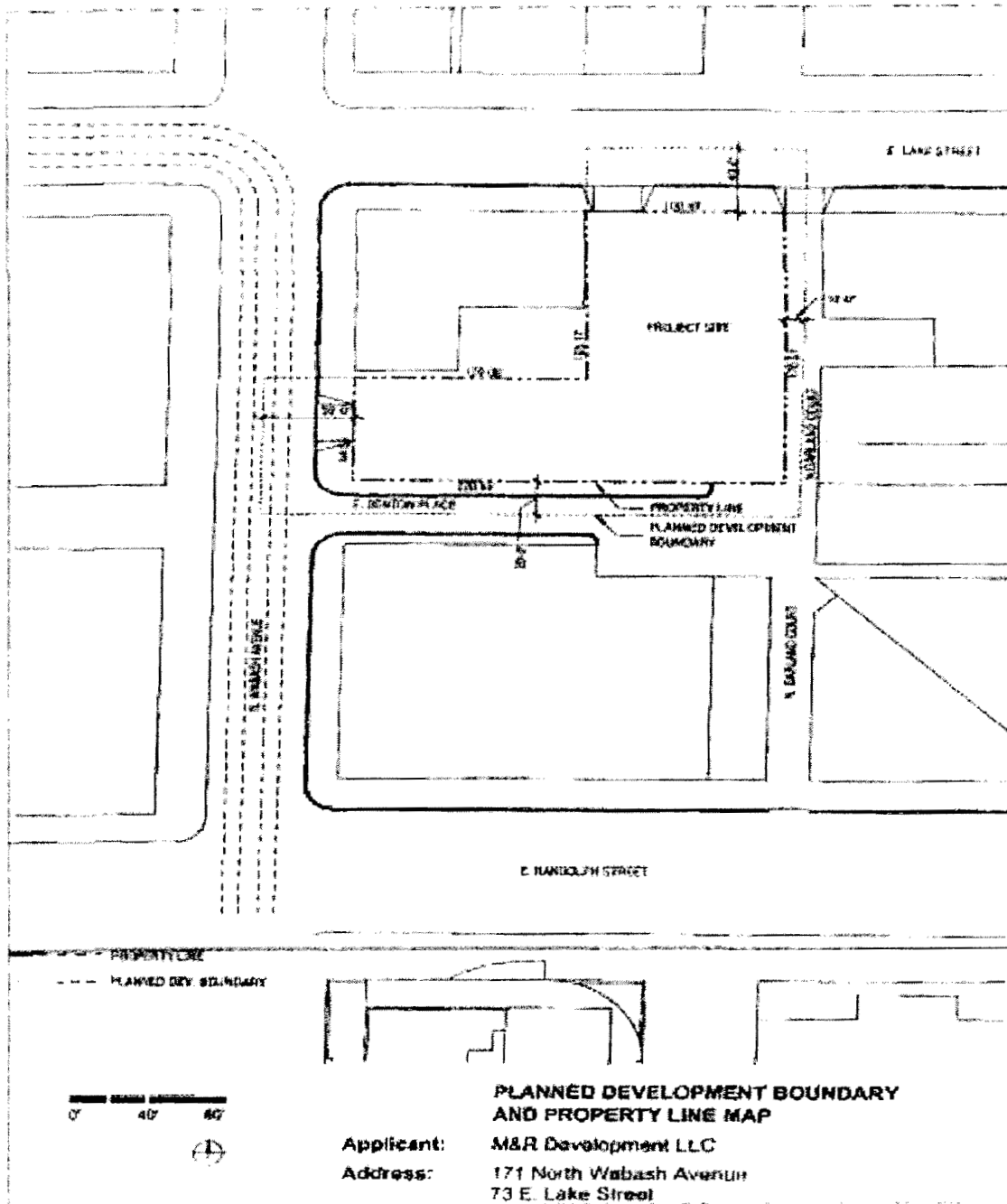
Existing Land-Use Map



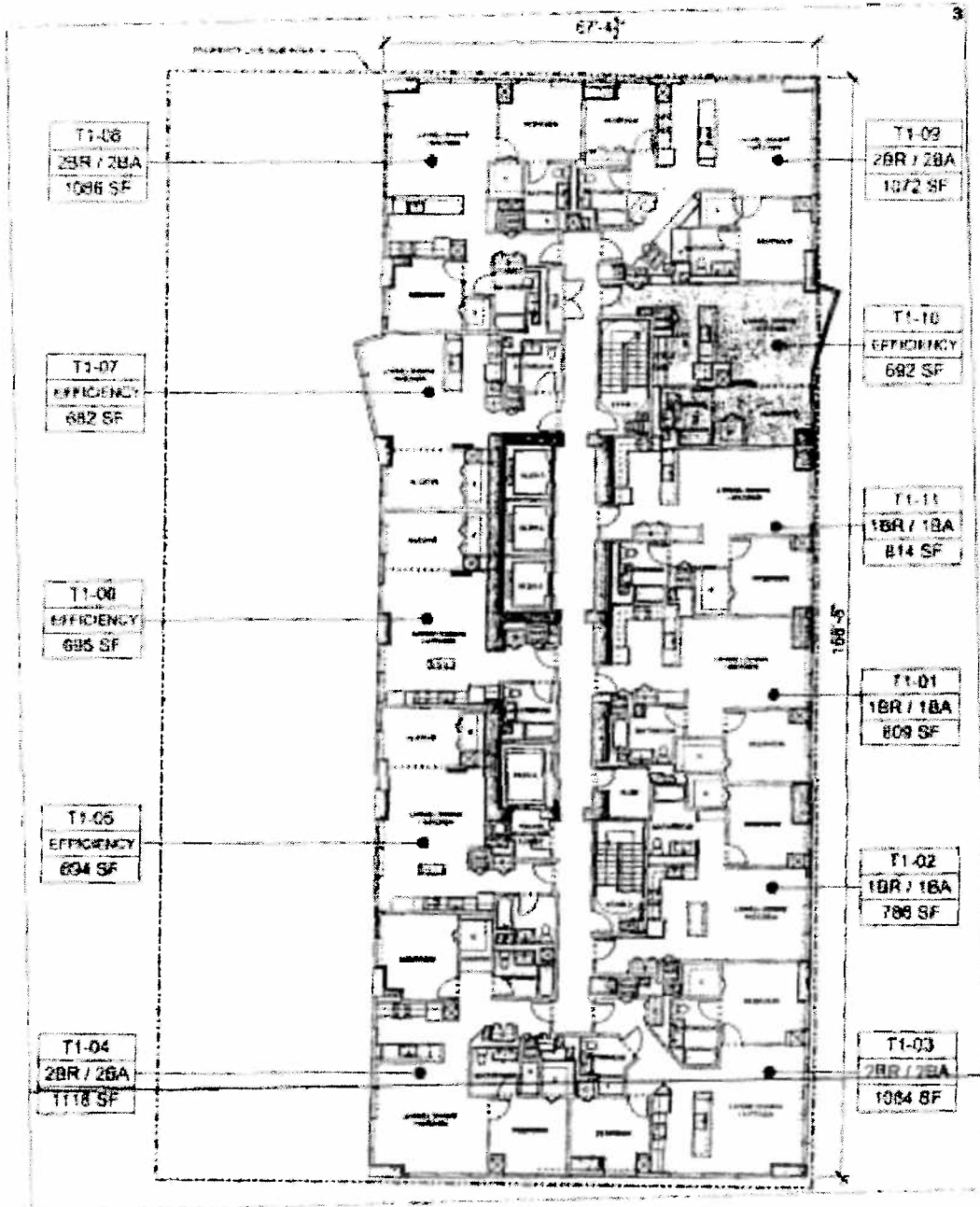
EXISTING LAND USE MAP

Applicant: M&R Development LLC
Address: 171 North Wabash Avenue
73 E. Lake Street

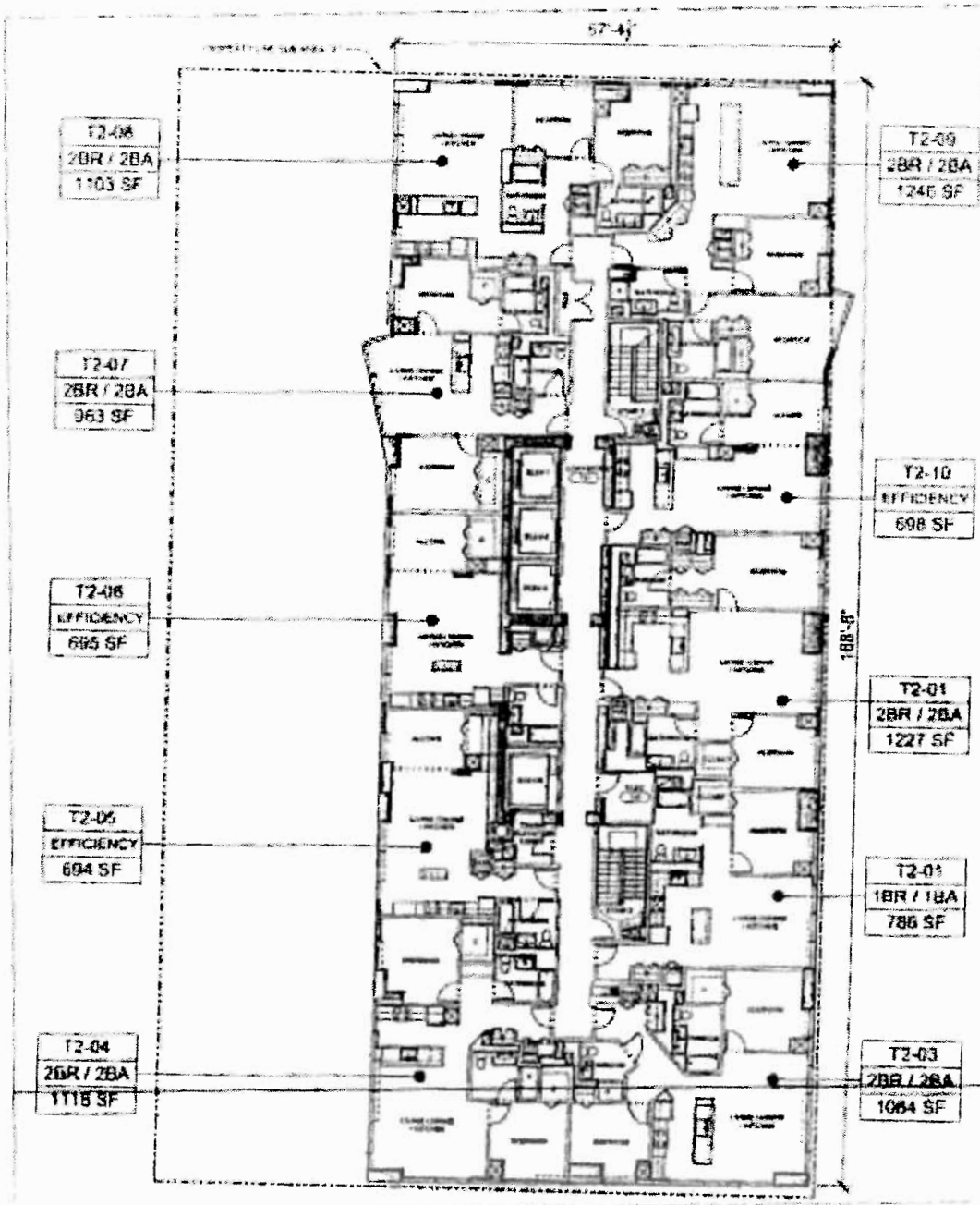
Planned Development Boundary And Property Line Map



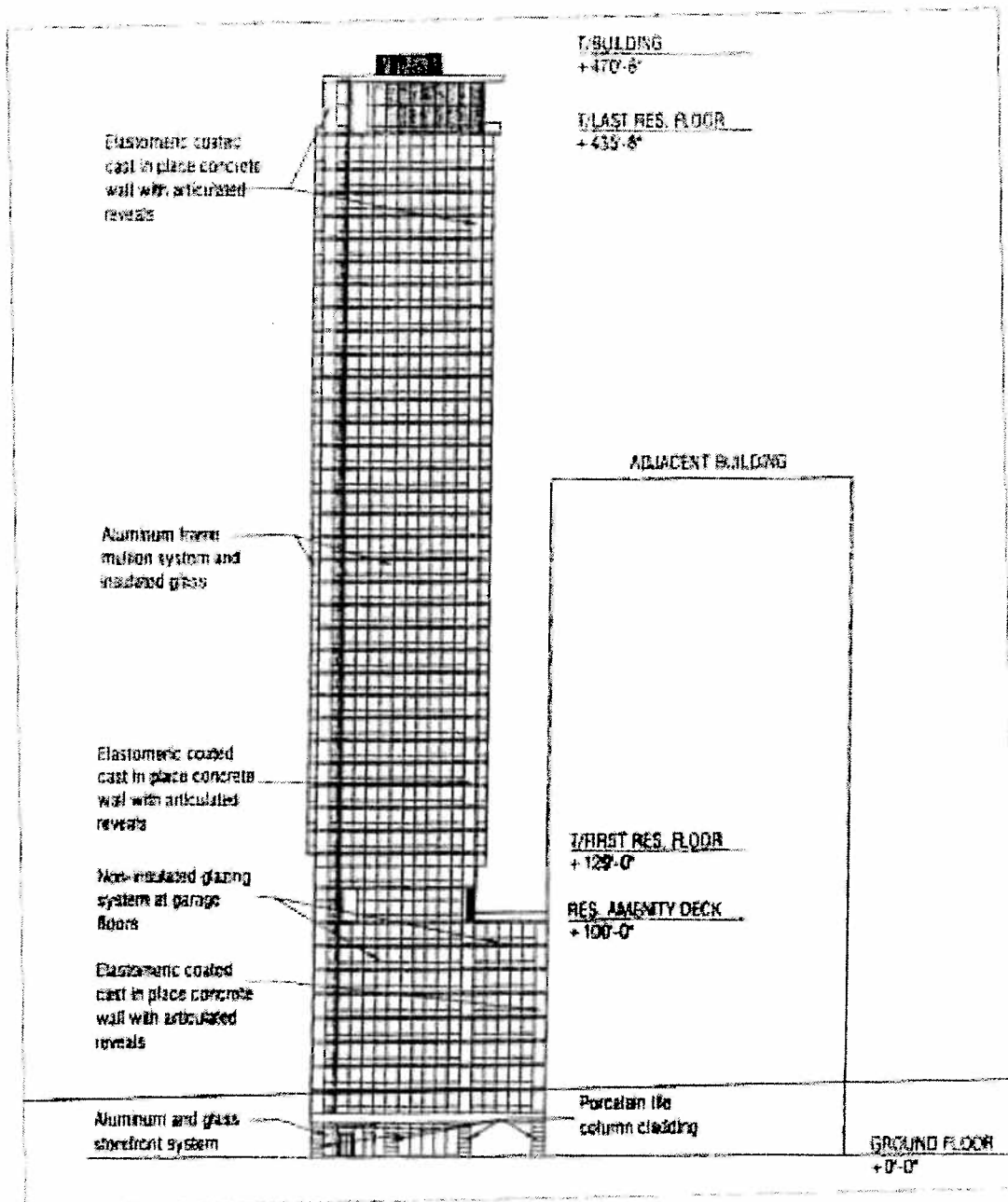
Subarea A -- Typical Residential Plan
Lower Tier -- Floors 11 To 30



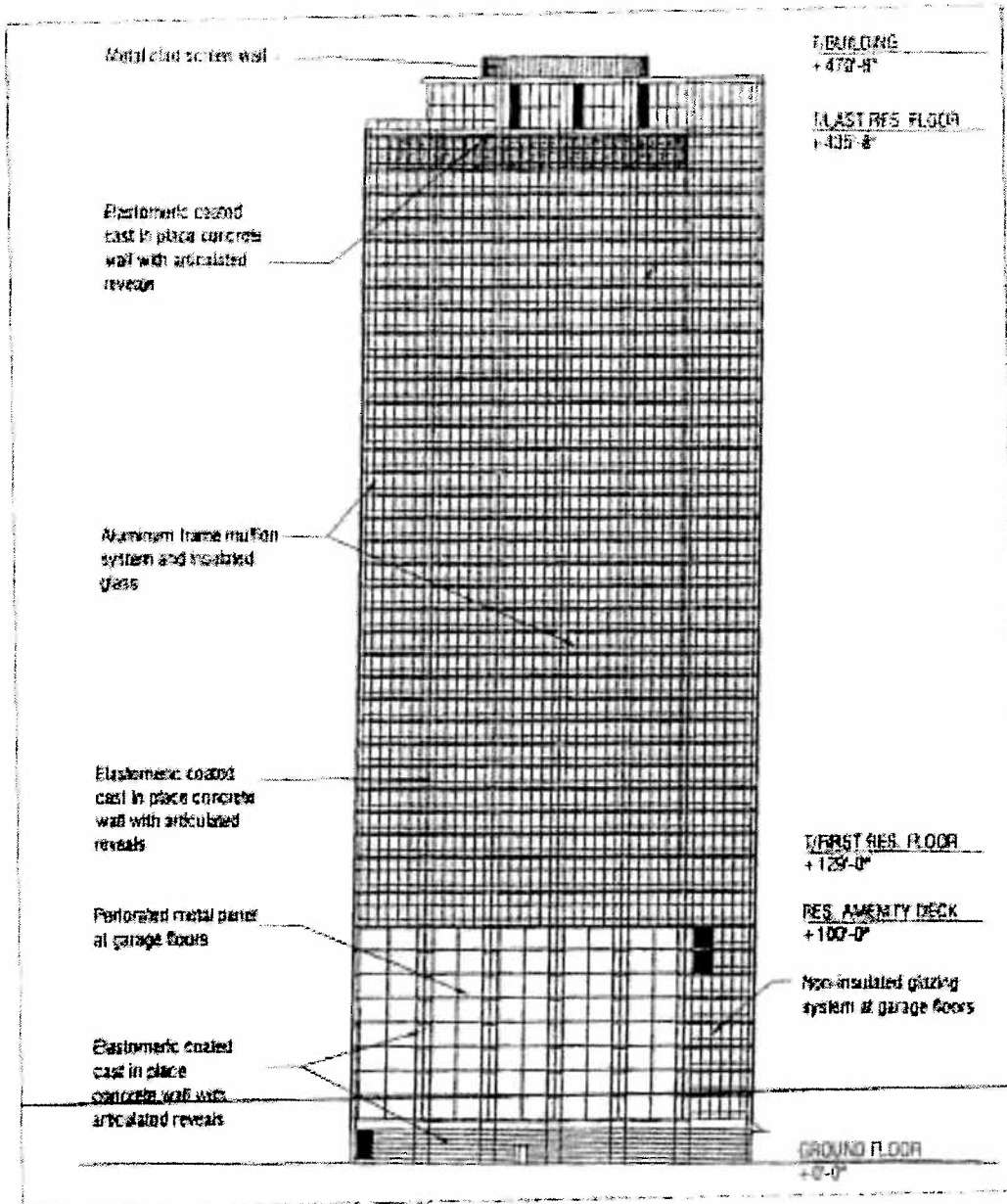
Subarea A -- Typical Residential Plan
Upper Tier -- Floors 31 To 41.



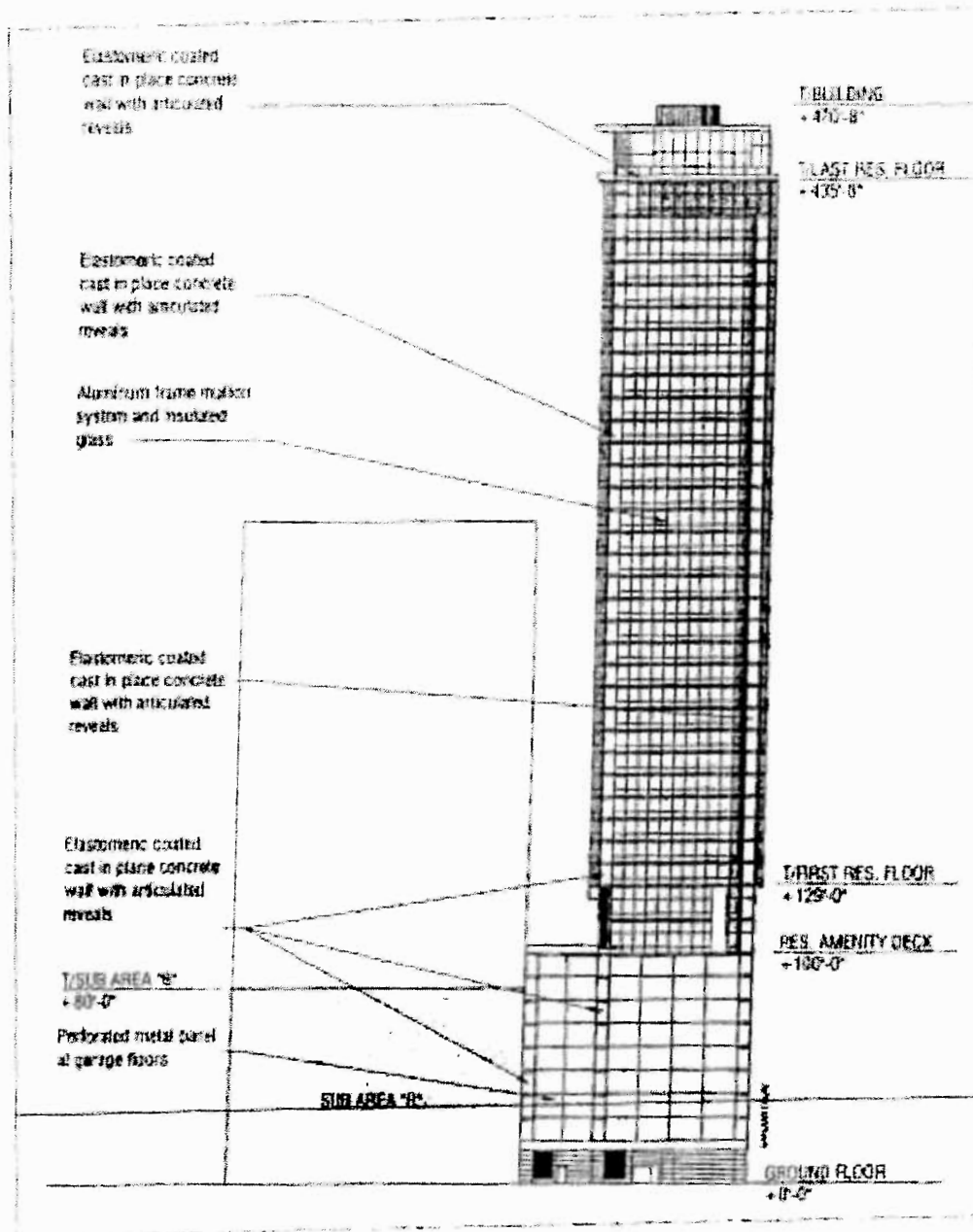
North Elevation



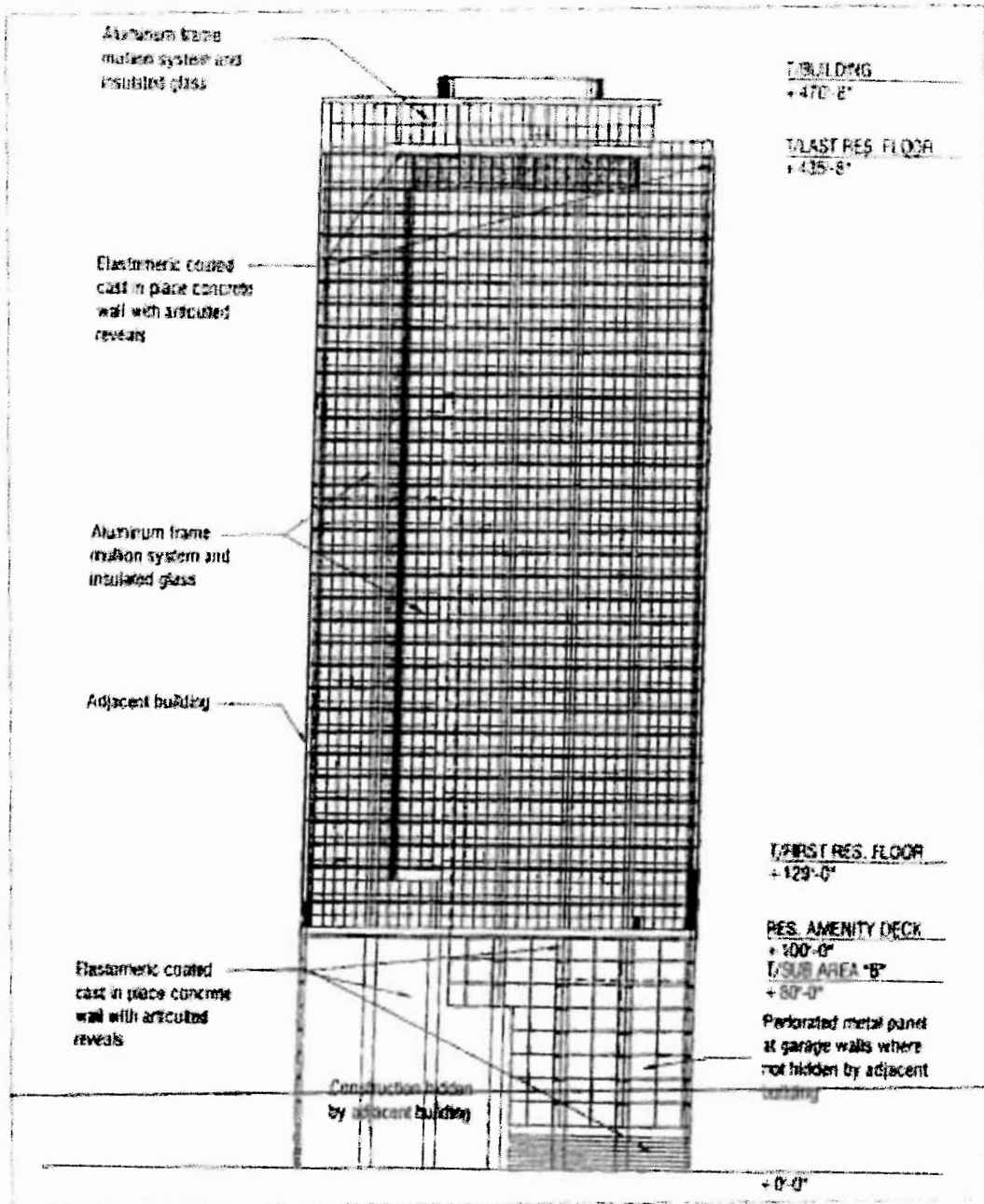
East Elevation



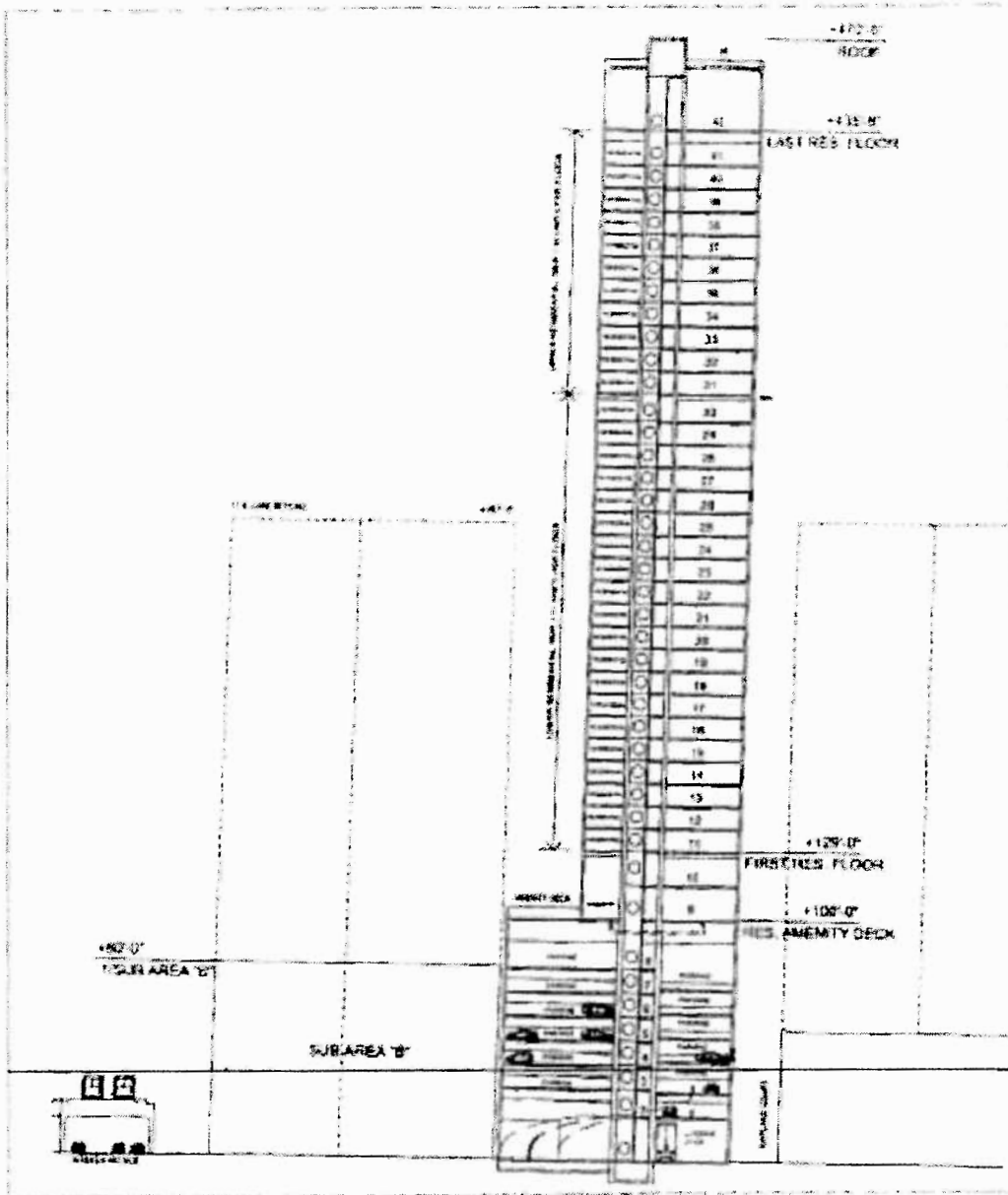
South Elevation



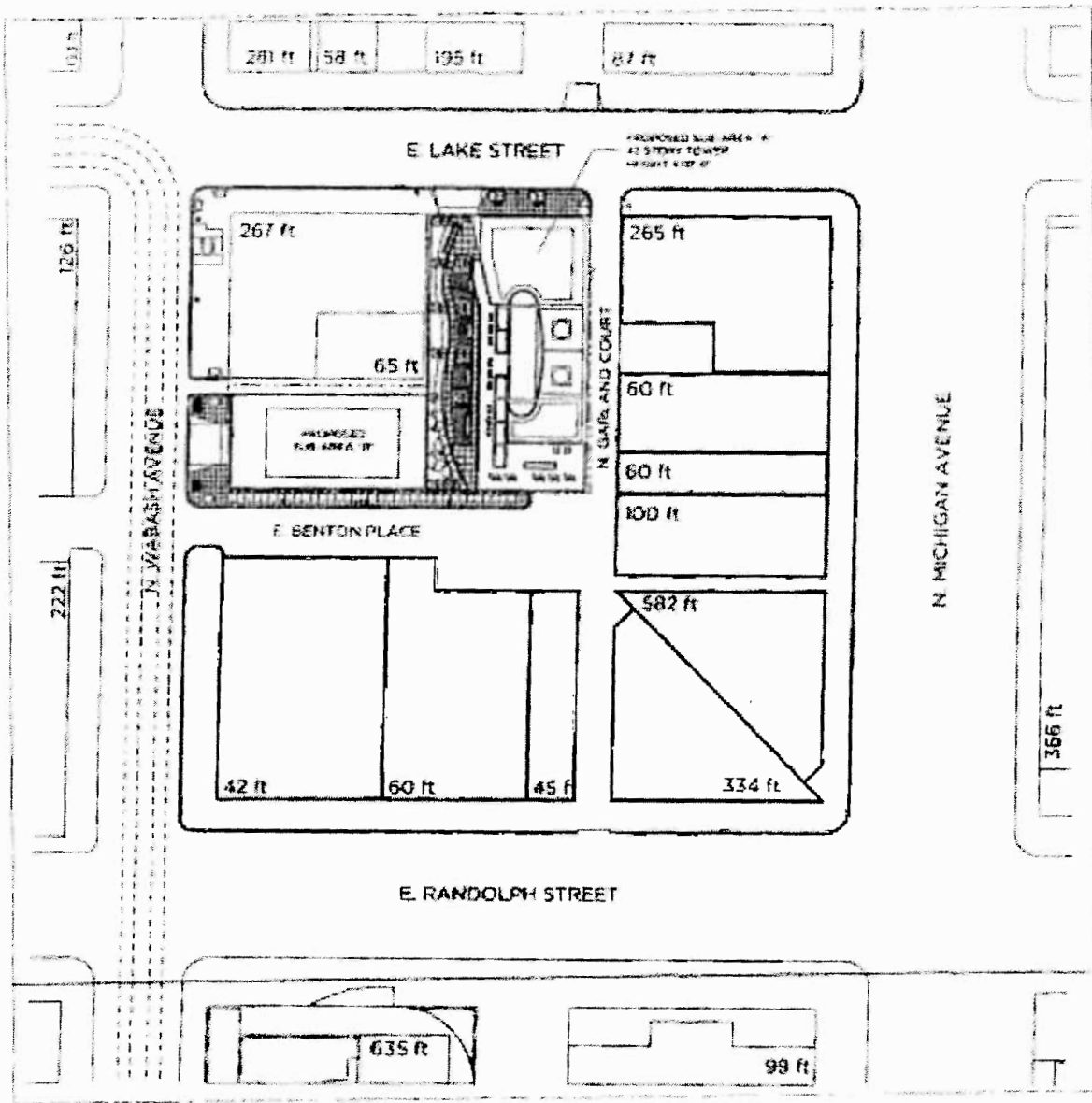
West Elevation



Section Looking North.

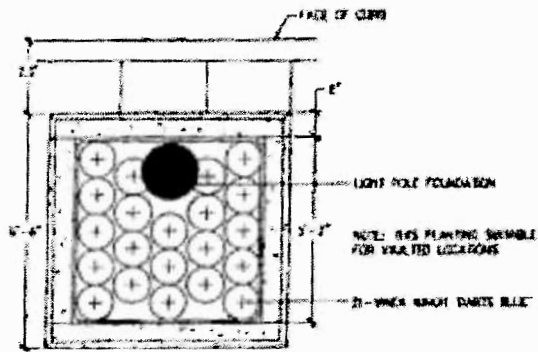
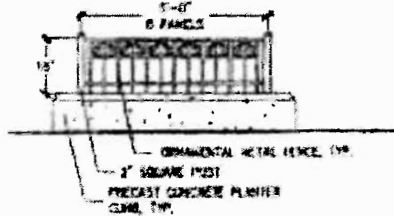


Comparison Of Heights Of Surrounding Buildings.

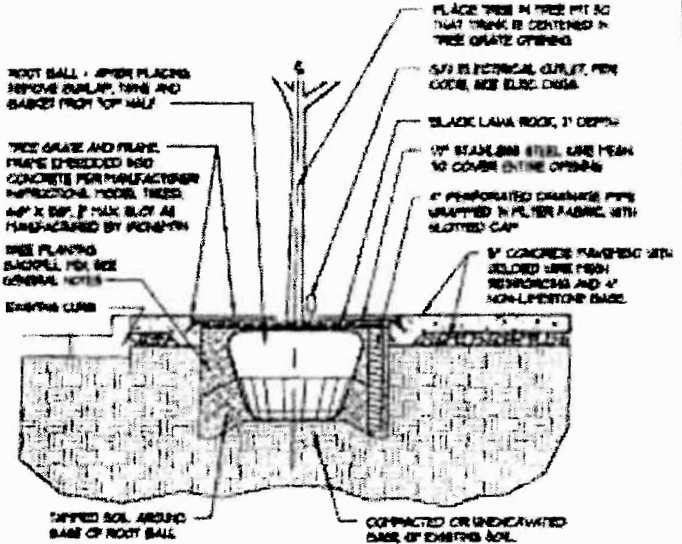


Planting Details.

PLANTER STYLE 'A'



LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 6" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES OVER 4" CALIPER, REMOVE APPROXIMATELY 25-30% OF THE OVERALL BRANCHING. LOCATE ROOT PLANE IN ROOT BALL AND SET TREE HEIGHT TO 2" ABOVE ROOT PLANE IS PLUSH WITH FINISH GRADE. BARK IN THE PLANTING PIT SHOULD BE FULLY EXPOSED. STRAIGHTEN TREE 8 FEET, AND LOCATE SALVA CELL AND OTHER DEEP ROOT PRODUCTS ARE AVAILABLE THROUGH BASSO/PRODOT.COM 1.800.761.7388.



PLAN LIST	NO.	DESCRIPTION	DATE	BY	CHK.	APPROVED
1	1	NEW TREES AND TREE GRATES AT LAKE STREET SIDEWALK				

DETAIL 2 / NEW LOW PROFILE PLANTERS AT WABASH AVE SIDEWALK

DETAIL 1 / NEW TREES AND TREE GRATES AT LAKE STREET SIDEWALK

Yeas -- Aldermen Flores, Fioretti, Dowell, Preckwinkle, Hairston, Lyle, Jackson, Harris, Beale, Pope, Balcer, Cárdenas, Olivo, Burke, Foulkes, Thompson, Thomas, Lane, Rugai, Cochran, Brookins, Muñoz, Zalweski, Dixon, Solis, Ocasio, Burnett, E. Smith, Carothers, Reboyras, Suarez, Waguespack, Mell, Austin, Banks, Mitts, Allen, Laurino, O'Connor, Doherty, Reilly, Daley, Tunney, Levar, Shiller, Schulter, M. Smith, Stone -- 48.

Nays -- None.

Alderman Carothers moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map Number 1-E.
(As Amended)
(Application Number 16321)*

RBP 1116

Be It Ordained by the City Council of the City Of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the DX-16 Downtown Mixed-Use District symbols and indications as shown on Map Number 1-E in the area bounded by:

beginning at a point on East Lake Street; North Garland Court; East Benton Place; North Wabash Avenue; a line 64.85 feet north of and parallel to East Benton Place running a distance of 120.06 feet; and a line 100.48 feet west of and parallel to North Garland Court running a distance of 105.17 feet to the point of beginning,

to those of Residential-Business Planned Development and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Residential-Business Planned Development Number 1116

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 1116 ("Planned Development") consists of a net site area of approximately twenty-four thousand two hundred (24,200) square feet of real property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property"), and is owned or controlled by the applicant, M & R Development, L.L.C. ("Applicant") for purposes of this Residential-Business Planned Development.

2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assigns or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this Planned Development shall be binding upon the Applicant, its successors and assigns and if different than the Applicant, the owners of all the property within the Planned Development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the Planned Development, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any modification or change thereto (administrative, legislative or otherwise) shall be made by or authorized by all the owners of all the property within the Planned Development and any ground lessors of the Property and any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the Planned Development. Moreover, where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. No amendment may be sought without written approval by the condominium association unless the right to do so has been retained by Applicant and its successors in title documents. Notwithstanding the foregoing, nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interest or obligation therein.
4. This plan of development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Site/Landscape Plan; a Roof Plan; and Building Elevations (North, South, East and West), all dated August 21, 2008, prepared by SCB Architects, which are all incorporated herein. Full-size sets of the Site Plan/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code in Chicago) and all requirements thereof and satisfies the established criteria for approval of a Planned Development. These and no other zoning controls shall apply to the area delineated herein. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The following uses shall be permitted within the areas delineated herein:
- Multi-unit residential; ground floor commercial and business uses; accessory parking; non-accessory parking; accessory uses; and related uses; excluding hotel uses.
6. Identification and on-premise business signs shall be permitted within the Planned Development subject to the provisions of the State Street/Wabash Avenue Corridor Special Sign District (Section 17-12-1103 of the Zoning Ordinance) and to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the Planned Development subject to review and approval of the Department of Planning and Development. Off-premises signs shall not be permitted in the Planned Development.
7. Off-street parking and loading facilities shall be in compliance with this Planned Development, subject to the review and approval of the Departments of Transportation and Planning and Development.
8. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in accordance with the Municipal Code of the City of Chicago.
9. For purposes of height measurement and determination, the definitions in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of any building or any appurtenance attached thereto the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply. The permitted F.A.R. identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of twenty-four thousand two hundred (24,200) square feet, a base F.A.R. of 16.0 and an additional Floor Area Bonus, as follows:

Description	F.A.R.
Base F.A.R.	16.00
Affordable Housing Bonus	2.40
Total F.A.R.:	18.40

The calculation of the additional floor area ratio ("F.A.R.") obtained through the proposed Affordable Housing Bonus is as follows:

$$\text{F.A.R.} = 16 \times 0.15 = 2.40 \text{ F.A.R.}$$

$$2.40 \times 24,200 \text{ square feet} = 58,050 \text{ square feet.}$$

$$58,050 \text{ square feet} \times \$31.00/\text{square feet} \times 0.80 = \$1,440,384.00 \text{ contribution}$$

11. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable square feet (floor area). The Part II Review Fee will be assessed by the Department of Planning and Development during the actual Part II Review. The fee as determined by the Department of Planning and Development staff at that time is final and binding on the Applicant and must be paid to the Department of Planning and Development prior to the issuance of any Part II approval.
12. Improvements of the property, including on-site exterior landscaping and the landscaping along the adjacent rights-of-way, and all entrances and exits shall be designed, installed and maintained in substantial conformance with the Site Plan Landscape Plan, Building Elevations and the Bulk Regulations and Data Table attached hereto and made a part hereof. A dog run shall be installed in the location indicated on the plans. Landscaping shall be installed and maintained at all times in accordance with the Site Plan and the Parkway Tree Provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Notwithstanding any statement to the contrary, this Planned Development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of the Planned Development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this Planned Development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner that promotes, enables and maximizes universal access throughout the Property. Therefore, at the time when building permits are sought, the plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The terms conditions and exhibits of this Planned Development ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development, that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this Planned Development. Any such modification of the requirements of this Planned Development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.

15. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. All buildings located on the Property shall be Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System certified.

The Applicant shall provide a vegetated ("green") roof on at least fifty percent (50%) of the net roof area, approximately eight thousand seven hundred thirty-five (8,735) square feet, of the building to be constructed within this Planned Development. "Net roof area" is defined as total roof area minus any required perimeter setbacks, rooftop structures, and roof-mounted equipment.

If City financial assistance is sought in connection with development within this Planned Development, then relevant City policy in effect at the time such assistance is sought regarding vegetated ("green") roofs and other environmental requirements shall apply.

16. Pursuant to the Affordable Housing provision of the City of Chicago Zoning Ordinance, Title 17 Chapter 17-4-1004, et seq. ("Zoning Ordinance") the Applicant has asked for an increase in the floor area ratio of the Property. The Applicant hereby acknowledges that according to Section 17-4-1004D of the Zoning Ordinance, the total floor area devoted to affordable housing units must equal at least twenty-five percent (25%) of the total increase in floor area allowed under the Affordable Housing Zoning Bonus or a cash payment must be made to the City of Chicago Affordable Housing Opportunity Fund based on the increase in allowable floor area by eighty percent (80%) of the median cost of land per buildable square foot. Based on Section 17-4-1004D the Applicant has agreed to provide all market-rate units and no affordable units and to provide a cash payment to the City of Chicago Affordable Housing Opportunity Fund in the amount of One Million Four Hundred Forty Thousand Three Hundred Eighty-four and no/100 Dollars (\$1,440,384.00) prior to the issuance of a building permit. The Applicant must comply with all of the applicable sections of the Affordable Housing Provision of the Zoning Ordinance which sections are hereby incorporated into this Planned Development. The Affordable Housing agreement required by Section 17-4-1004-E9 is also incorporated into this Planned Development.
17. Unless substantial construction of the project has commenced within the Planned Development within six (6) years of the passage of the Residential-Business Planned Development, the zoning of the property shall revert to the DX-16 Downtown Mixed-Use District. The six (6) year period may be extended for one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that there is good cause for such an extension.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Site/Landscape Plan; Roof Plan; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 37448 through 37456 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

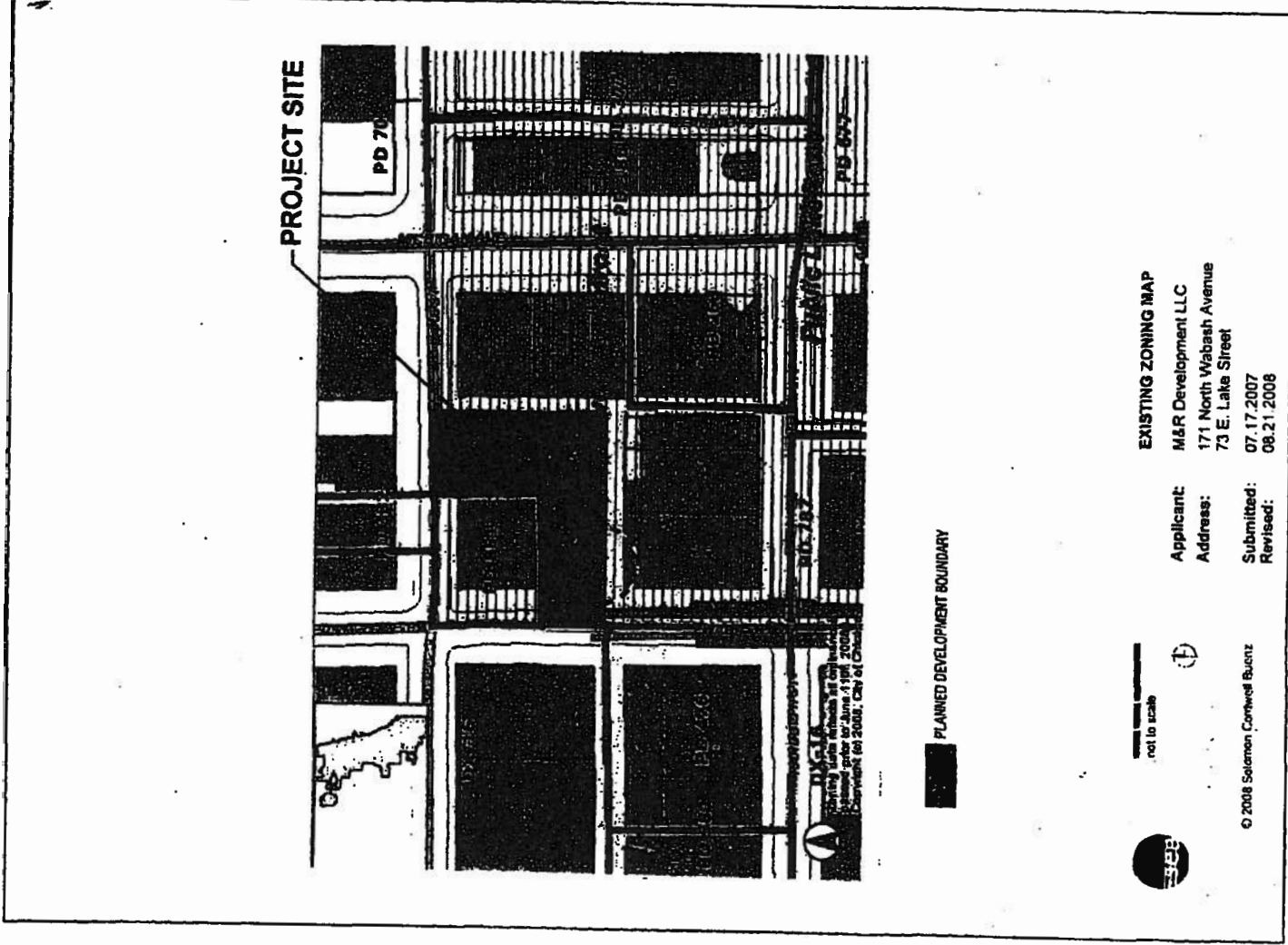
Residential-Business Planned Development Number 1116

Bulk Regulations And Data Table.

Gross Site Area: 38,767 square feet (0.89 acre) = Net Site Area (24,200 square feet) plus area of adjoining right-of-way (14,567 square feet)

Net Site Area:	24,200 square feet (0.56 acre)
Base Floor Area Ratio:	16
Bonus Floor Area Ratio:	2.4 (Calculated with the inclusion of 15% Affordable Housing Bonus)
Total Floor Area Ratio:	18.4
Base F.A.R. Area:	387,200 square feet
Total F.A.R. Area including Bonus:	445,280 square feet
Permitted Uses:	Multi-unit residential; ground floor commercial and business uses; accessory parking; accessory uses; and related uses
Maximum Number of Dwelling Units: (including effective bases on 15% MLA reduction to 85 square feet MLA/residential unit and 55.25 square feet MLA/efficiency unit):	321
Total Parking Spaces:	431 cars
Residential Parking:	176 (Note: In the event fewer units are constructed fewer parking spaces may be provided so long as 0.55 to 1 ratio is maintained)
Retail/Rental Car Parking:	75 cars
Non-Accessory Parking:	180 cars
Maximum Building Height (based on average sidewalk elevations):	500 feet
Minimum Number of Off-Street Loading Berths:	2 (10 feet by 25 feet) spaces and 1 (10 feet by 50 feet) space
Minimum Number of Bicycle Spacing:	50
Minimum Building Setbacks:	0 feet

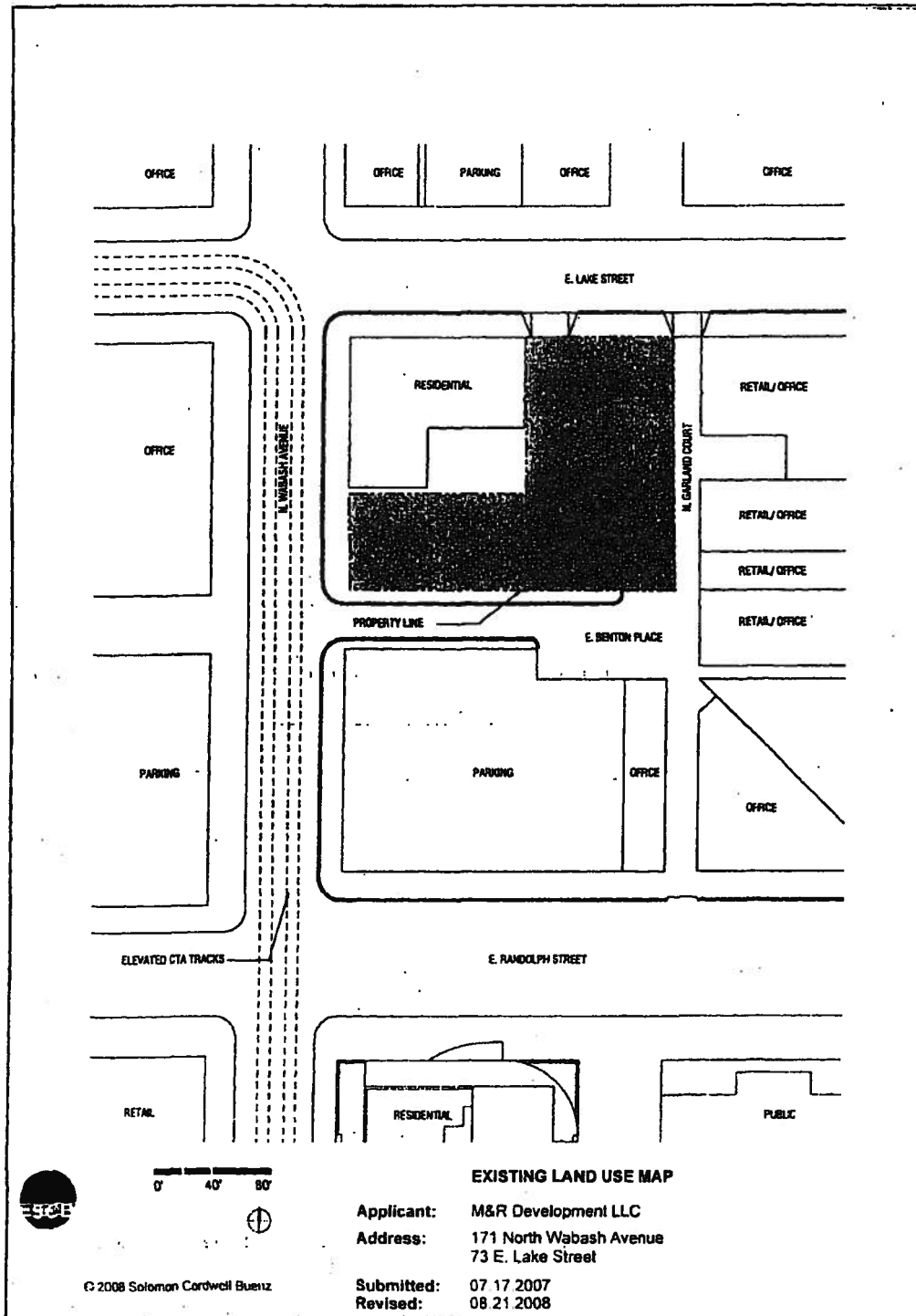
Existing Zoning Map.



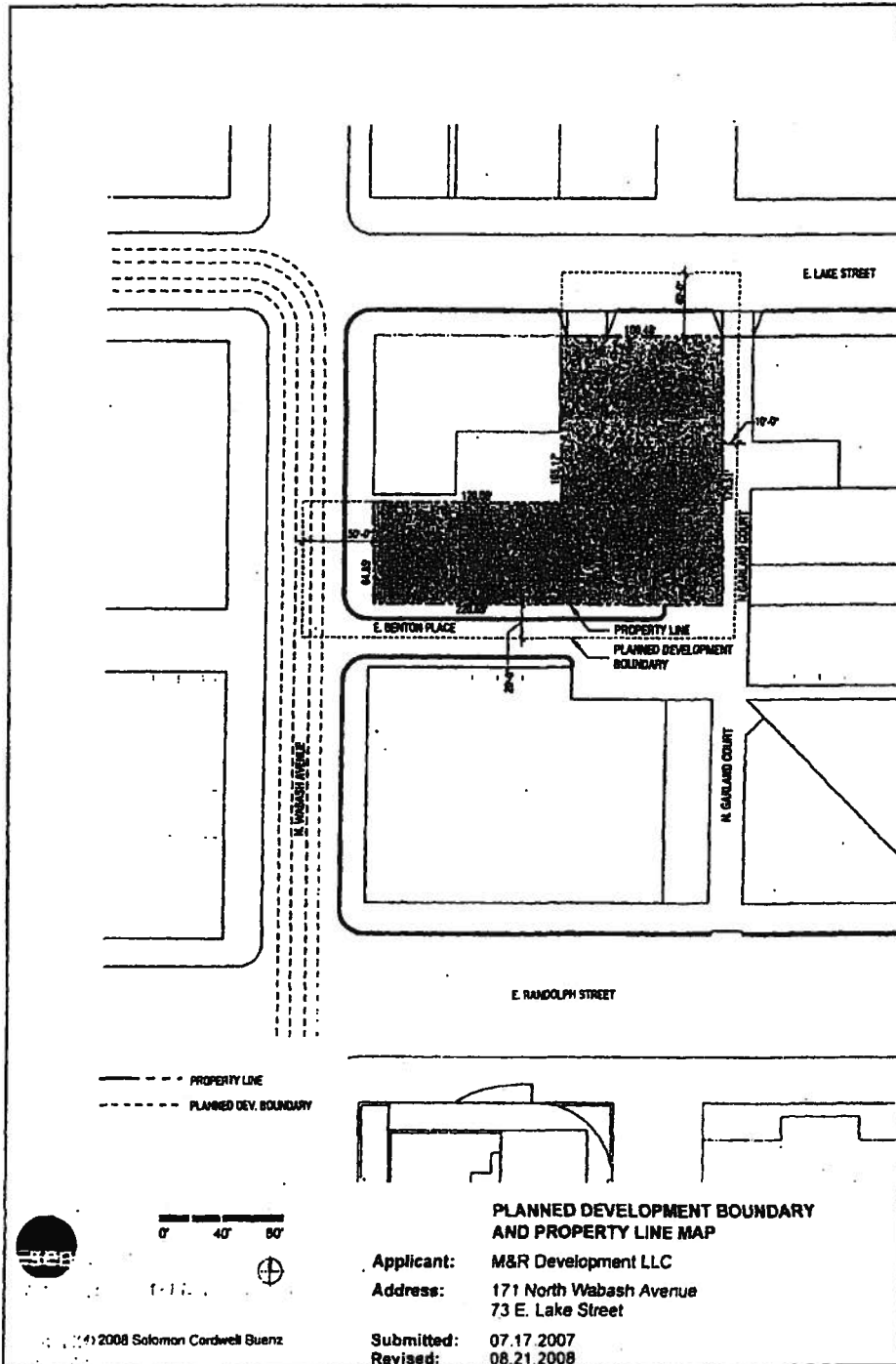
EXISTING ZONING MAP
 Applicant: M&R Development LLC
 Address: 171 North Wabash Avenue
 73 E. Lake Street
 Submitted: 07.17.2007
 Revised: 08.21.2008



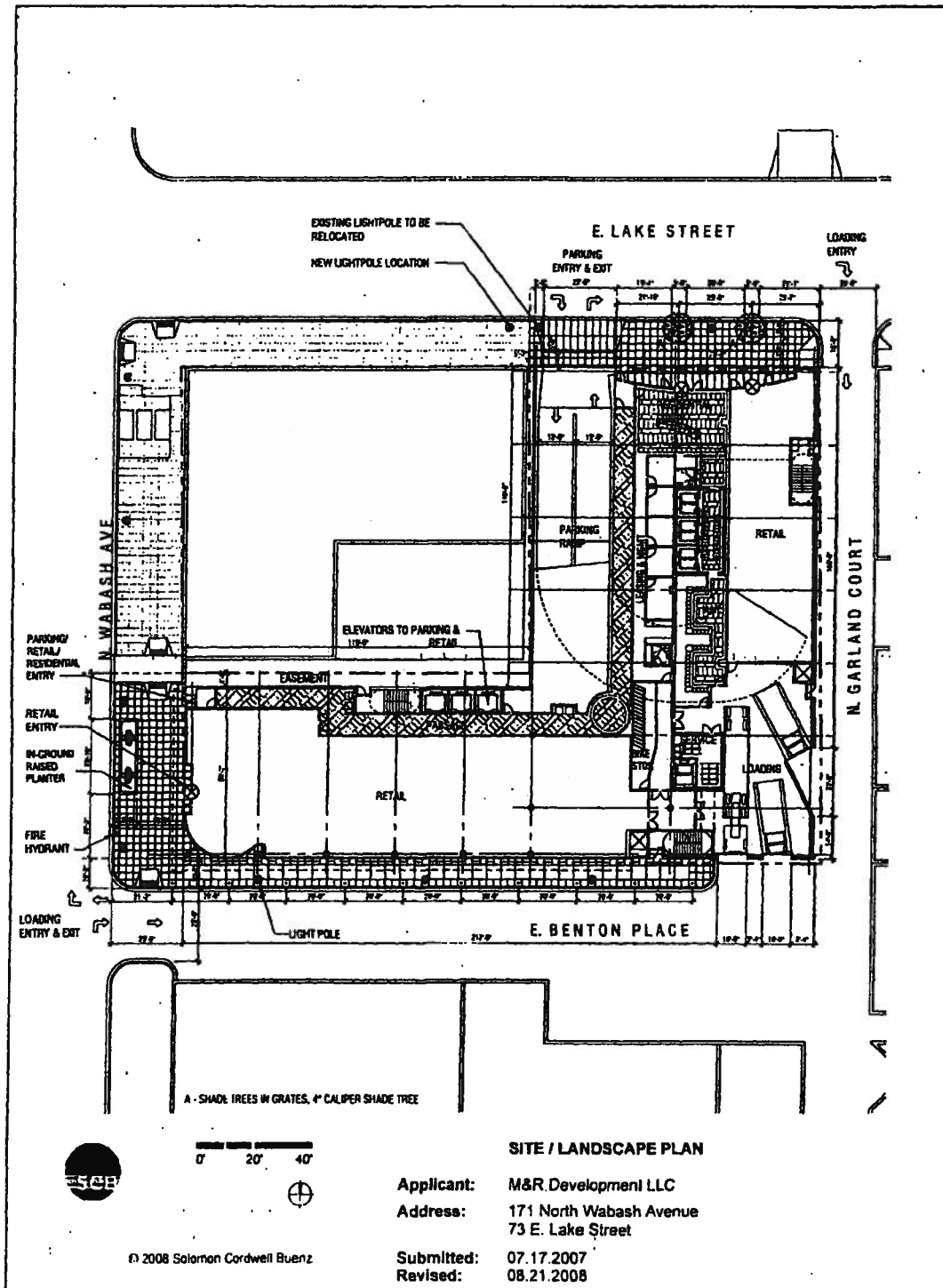
Existing Land-Use Map.



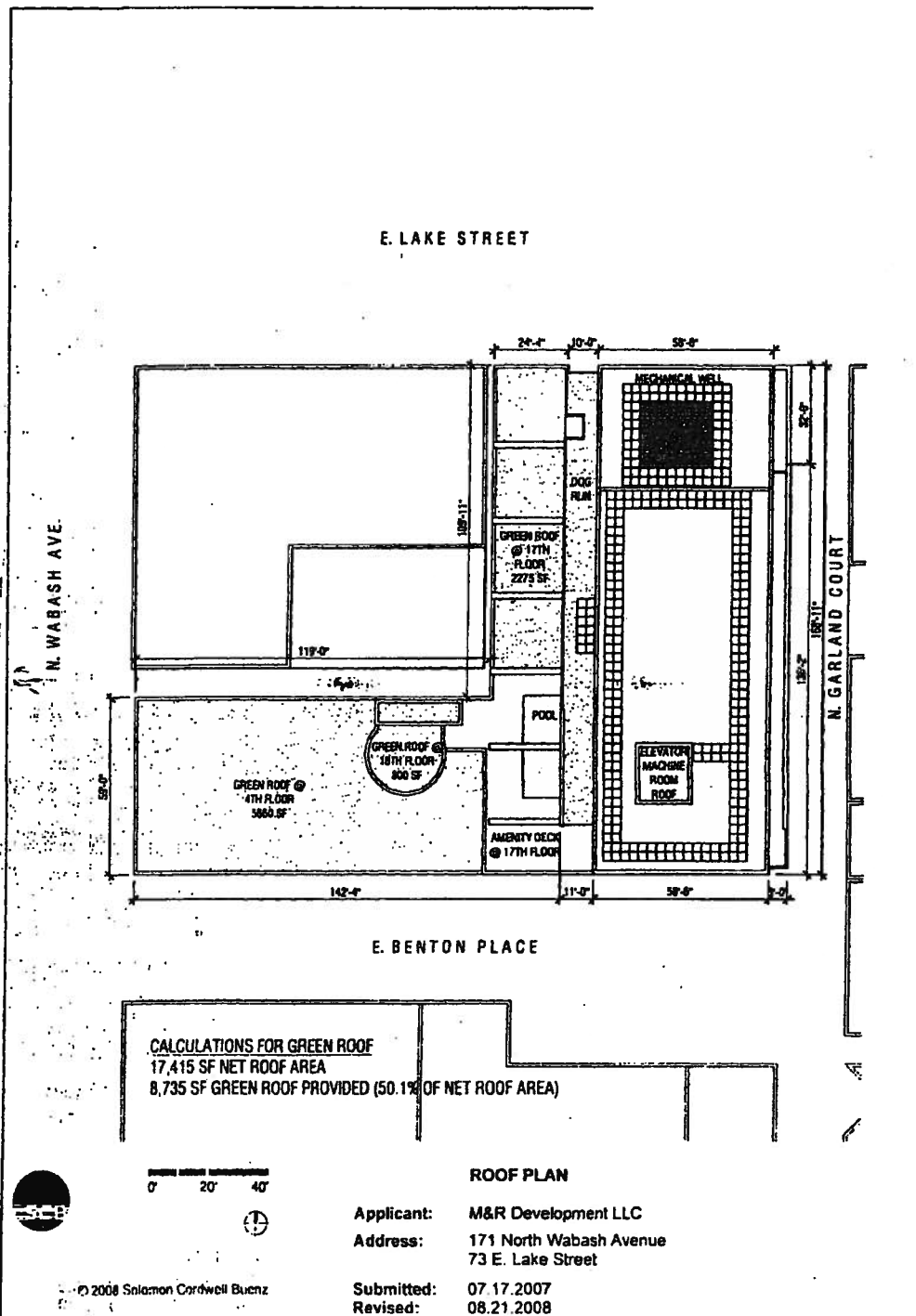
Planned Development Boundary
And Property Line Map.



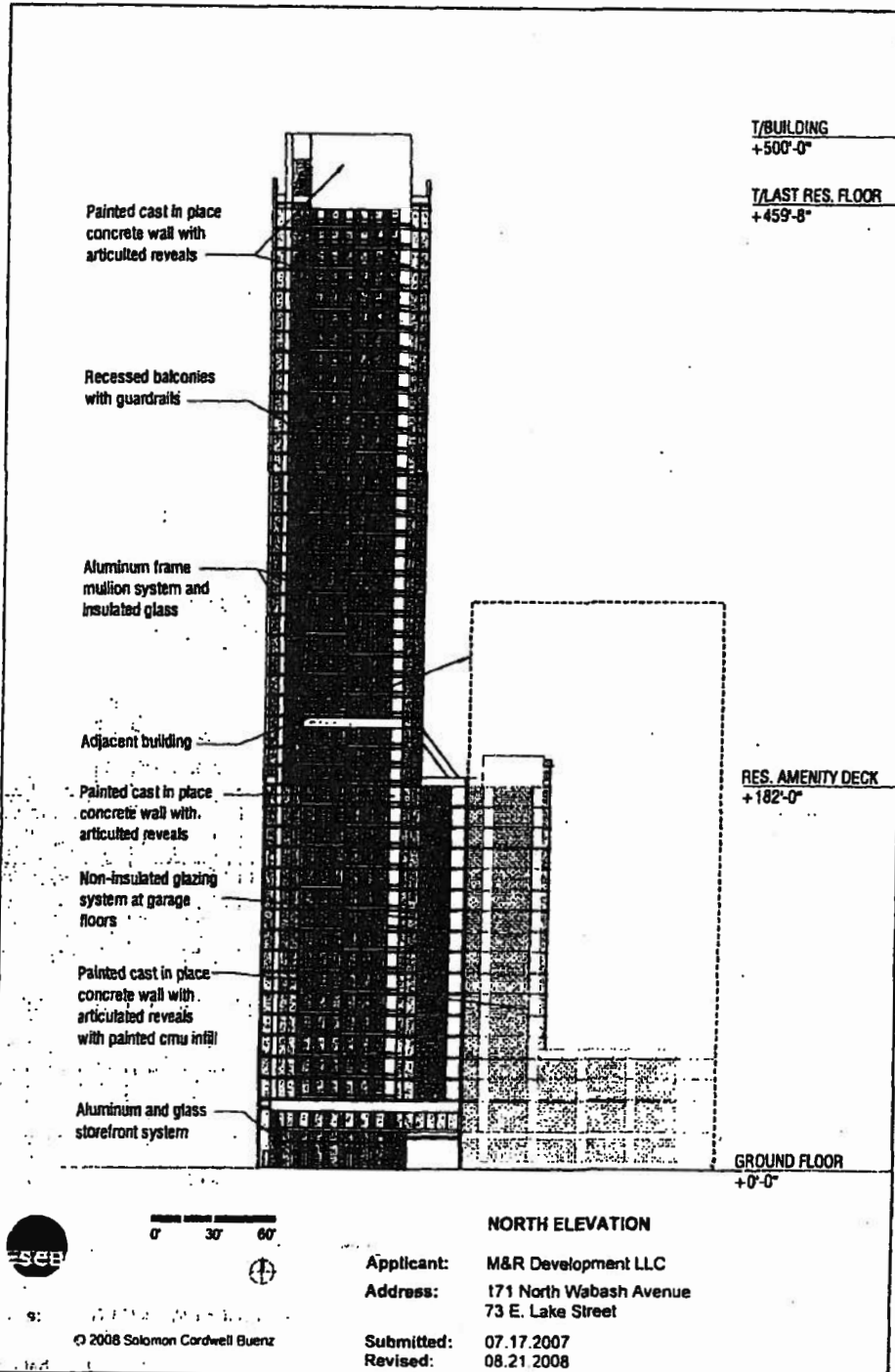
Site/Landscape Plan.



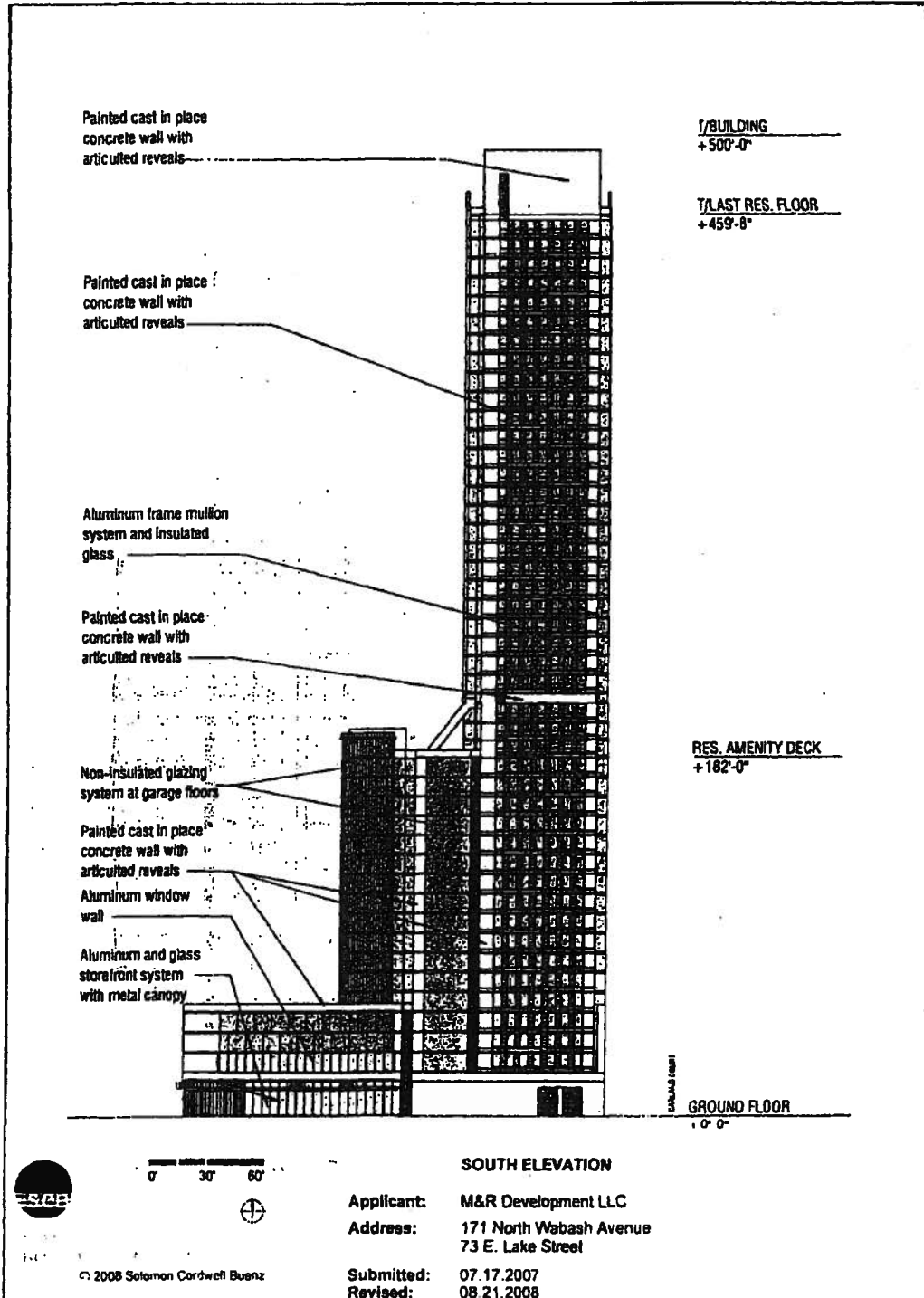
Roof Plan.



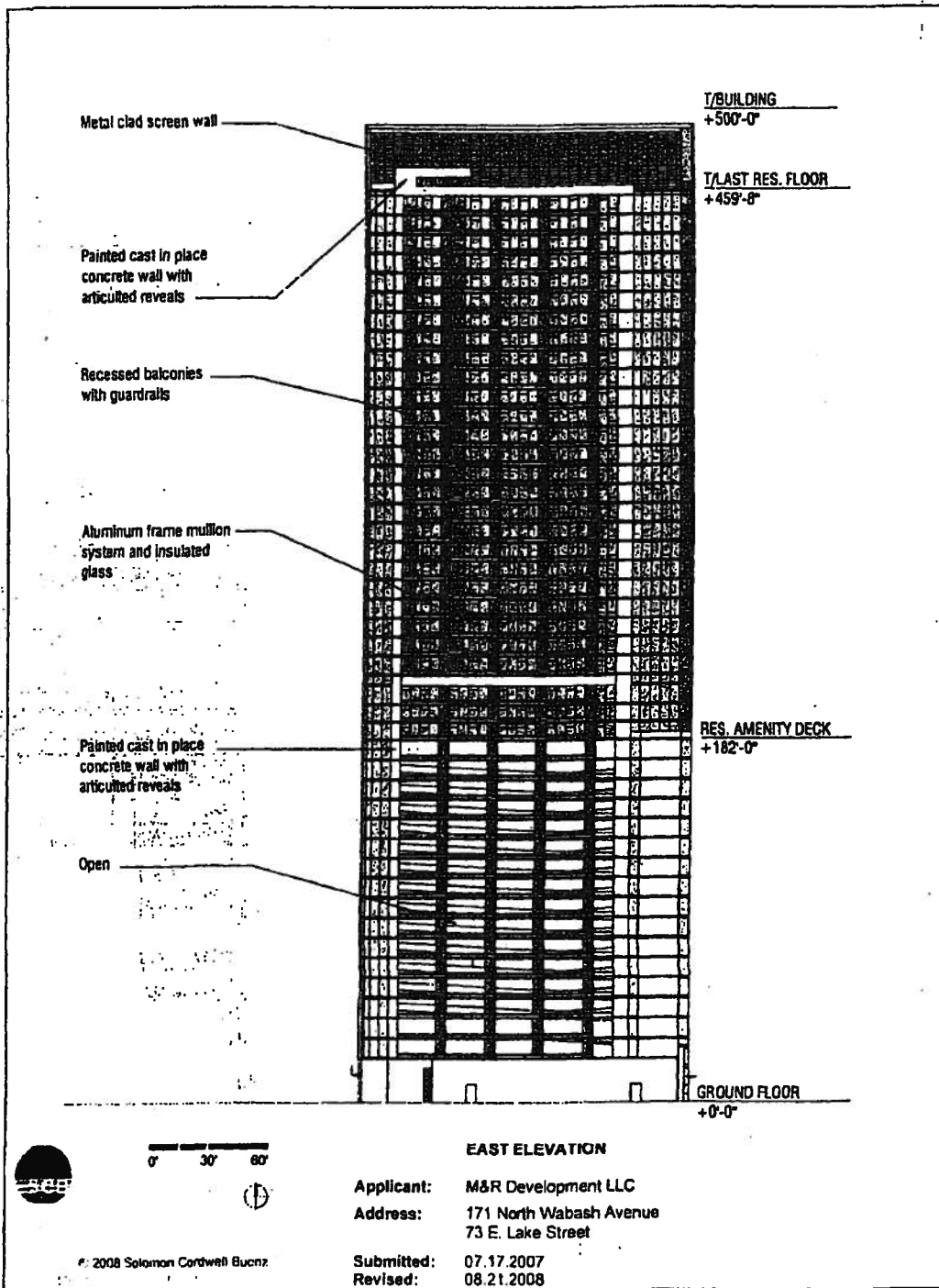
Building Elevations – North.



Building Elevations - South.



Building Elevations -- East.



Building Elevations - West.

