

PD 1107

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

June 13, 2022

Scott R. Borstein
Neal & Leroy, LLC
20 S. Clark Street
Suite 2050
Chicago, IL 60603

**Re: Minor Change to Institutional Planned Development No. 1107
Hernandez Middle School, 3510 W. 55th Street**

Dear Mr. Borstein:

Please be advised that your request for a minor change to Institutional Planned Development No. 1107 ("PD 1107"), has been considered by the Department of Planning and Development, pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 16 of PD 1107.

Regarding your request, the Department of Planning and Development has determined that allowing the replacement of the originally contemplated grass area with a new turf field for soccer and volleyball as depicted in the attached Location Map (C-1.01), Survey, (C1.00), Overall Site Plan (G-0.01), and Site Plan (C-1.05), will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density of the site, and will not change the character of the development, and therefore, constitutes a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1107, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

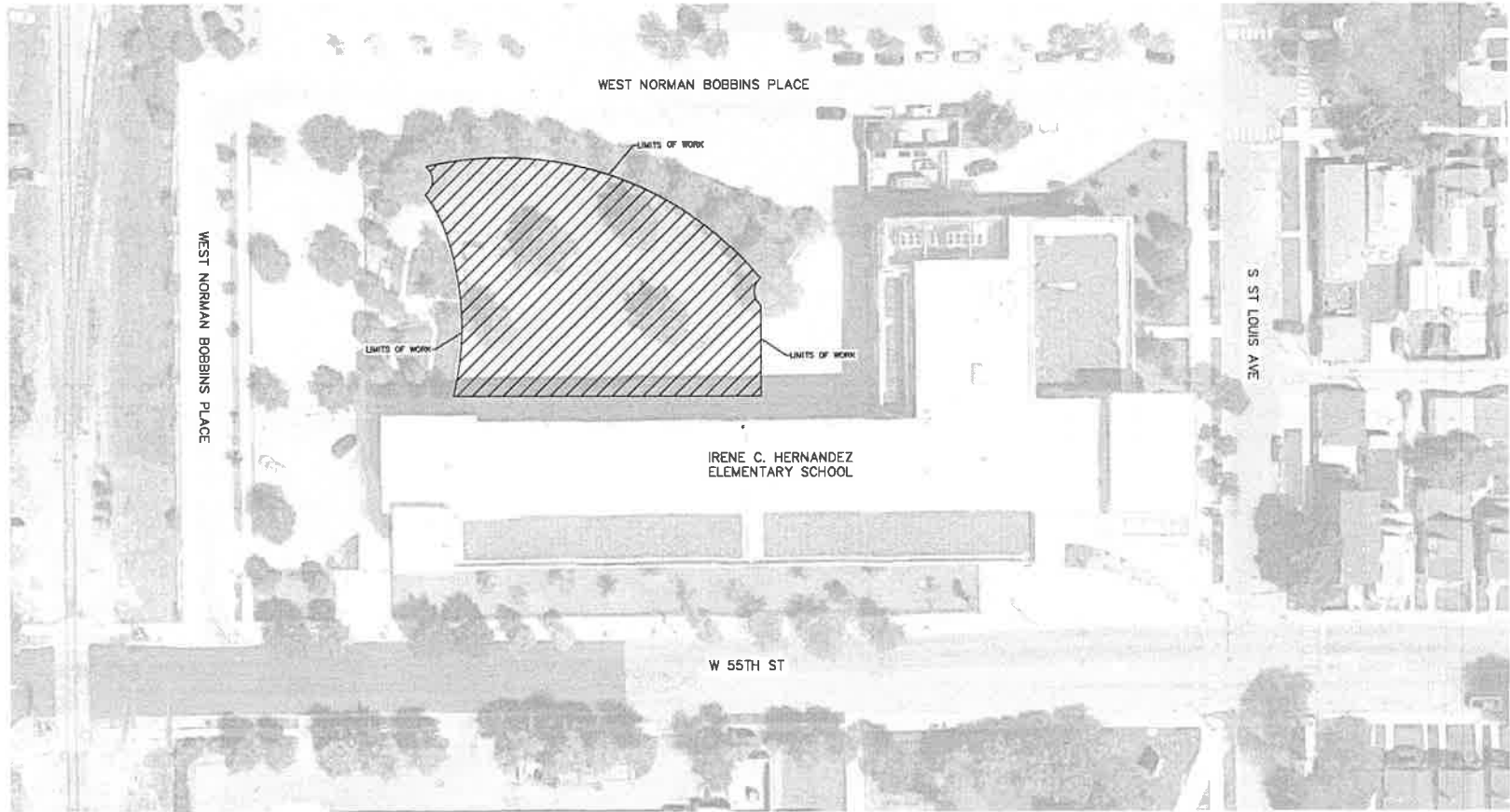
This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Steven Valenziano
Assistant Zoning Administrator

SV:nz

C: Mike Marmo, Teresa McLaughlin, Noah Szafraniec, Nolan Zaroff, main file



1 LOCATION MAP
 (1:81) SCALE: 1" = 30'

FOR DEPARTMENT OF BUILDINGS STAMP - DO NOT REMOVE OR REINSTATE UPON THIS AREA
 DELETE THESE NOTES PRIOR TO PRINTING



DEPARTMENT OF CAPITAL PLANNING AND CONSTRUCTION

PROJECT OF RECORD INFORMATION

CONTRACT OF RECORD INFORMATION

PROFESSIONAL OF RECORD STAMP

IRENE C. HERNANDEZ MIDDLE SCHOOL

3510 W 55TH ST
 CHICAGO, ILLINOIS 60632

PROJECT NO. 2022-22441-NPL

REVISIONS		
NO.	DATE	DESCRIPTION
01	02/28/2021	REV 02
02	04/14/2022	REV 10
03	04/14/2022	REV 10

DRAWN BY: VLN
 SCALE: 1" = 30'
 JOB: 2022-22441-NPL
 FILE:



NET PLAN
 SHEET TITLE
 IRENE C. HERNANDEZ MIDDLE SCHOOL LOCATION MAP

DRAWING NO.
C-1.01

1. IRREMOVABLE PORTABLE CONTAINERS (BARRIERS) SHALL BE SET UP AS SHOWN ON THE DRAWING OR HISTORIC ARCHITECTURAL PLAN IS AVAILABLE IN THE OFFICE FOR REVIEW UNDER REVIEW. NO PORTABLE CONTAINERS SHALL BE USED UNLESS THEY PROVIDE A CLEARLY IDENTIFIED AND CORRECTLY MARKED AND ACCURATELY MARKED LIMITS OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. IF OTHER EXISTING UTILITIES ARE IDENTIFIED IN THE FIELD BY THE CONTRACTOR FROM THE PROJECT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES AND STRUCTURES TO REMAIN.

2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CONTRACTOR TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS OF THE STATE OF ILLINOIS, LATEST EDITION, AND ANY AMENDMENTS THEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES AND STRUCTURES TO REMAIN.

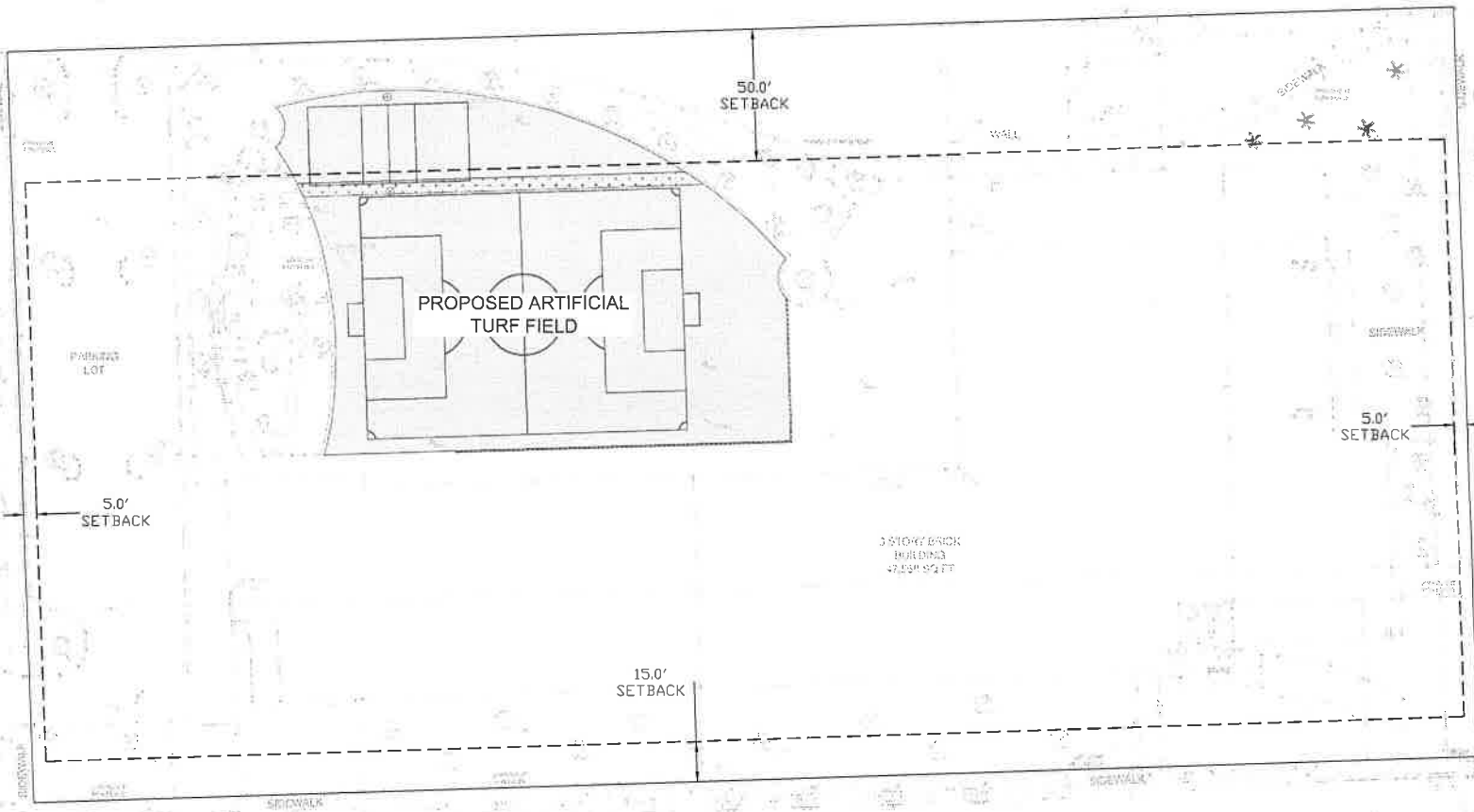
FOR ALL BUILDING REQUIREMENTS, THE CONTRACTOR SHALL FULFILL THE APPLICABLE REQUIREMENTS FOUND IN APPLICABLE PROJECT SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO, TO PREVENT AND MINIMIZE ANY OF THE FOLLOWING OR TO OTHER PARTS OF THE BUILDING:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CONTRACTOR TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS OF THE STATE OF ILLINOIS, LATEST EDITION, AND ANY AMENDMENTS THEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES AND STRUCTURES TO REMAIN.
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W NORMAN R BOBINS PL

S CENTRAL PARK AVE

S SAINT LOUIS AVE

W 55TH ST



FOR DEPARTMENT OF BUILDINGS STAMP - DO NOT REMOVE OR INFRINGE UPON THIS AREA
DELETE THESE NOTES PRIOR TO PRINTING



DEPARTMENT OF CAPITAL PLANNING AND CONSTRUCTION

PROJECT OF RECORD INFORMATION

CONTRACT OF RECORD INFORMATION

PROFESSIONAL OF RECORD STAMP

IRENE C. HERNANDEZ MIDDLE SCHOOL

3510 W 55TH ST
CHICAGO, ILLINOIS 60632

PROJECT NO. 2022-22441-NPL

REVISIONS		
NO.	DATE	DESCRIPTION
1	12/16/2021	REVISED
2	01/11/2022	REVISED
3	05/04/2022	REVISED

DRAWN BY: VLN
SCALE: 1" = 20'
JOB: 2022-22441-NPL



SHEET TITLE
IRENE C. HERNANDEZ MIDDLE SCHOOL
OVERALL SITE PLAN

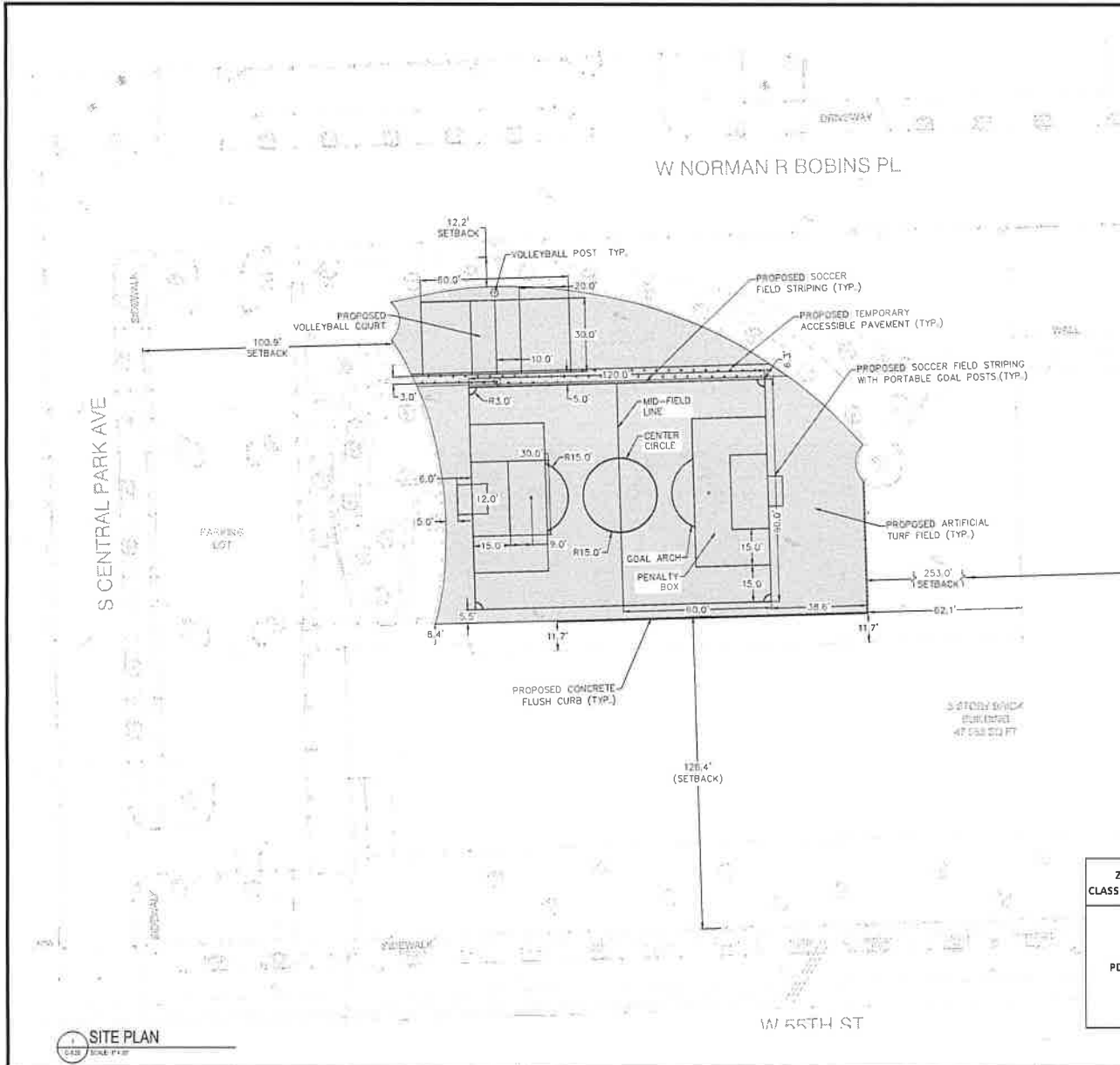
DRAWING NO.
G-0.01

OVERALL SITE PLAN
SCALE: 1" = 20'




BUILDING RECORDS SECTION
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHICAGO BUILDING DEPARTMENT REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO BUILDING DEPARTMENT.

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LEGEND

-  PROPOSED ARTIFICIAL TURF FIELD (SEE DETAIL 6 SHEET C-2.01)
-  PROPOSED TEMPORARY ACCESSIBLE PAVEMENT (SEE NOTE-5)
-  PROPOSED 6" CONCRETE FLUSH CURB 18" DEEP (SEE DETAIL 3 SHEET C-2.01)

NOTES:

1. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE THROUGHOUT PROJECT AREA, AND ENSURE THERE IS NO WATER PONDING.
2. EXISTING UTILITIES AND SITE FEATURES AS SHOWN INDICATE APPROXIMATE LOCATIONS AS DETERMINED BY RECORD DRAWINGS, SURVEY AND FIELD OBSERVATIONS. CPS ASSUMES NO RESPONSIBILITY TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN IN THE PLANS. THE CONTRACTOR, AT HIS/HER OWN EXPENSE, SHALL FURNISH ALL LABOR AND MATERIALS TO EITHER VERIFY AND SUBSTANTIATE THE LOCATIONS AS SHOWN ON THE PLANS OR ESTABLISH THE EXACT LOCATION OF UTILITIES/FACILITIES.
3. SEE DETAIL 1, SHEET C-2.04 FOR VOLLEYBALL NETTING AND POSTS.
4. SEE DETAIL 2, SHEET C-2.03 FOR PORTABLE SOCCER FIELD GOAL POSTS.
5. CONTRACTOR TO PROVIDE MOBI-MAT (BY DESCHAMPS -OR APPROVED EQUAL) RECPATH AFK (BLUE JAY) AND MOBI-ROLL'N STOW BASIS OF DESIGN: PART 208 488 DESCHAMPS MATS SYSTEMS INC. 218 LITTLE FALLS ROAD UNIT #12 CEDAR GROVE, NJ 07009 (973) 928.3040

ZONE CLASSIFICATION	SETBACK LOCATION	REQUIRED SETBACK (FT.)	PROPOSED SETBACK (FT.) TURF FIELD
PD 1107	SETBACK FROM SOUTH PROPERTY LINE OF W 55TH ST	15	126.4
	SETBACK FROM NORTH PROPERTY LINE OF W NORMAN R BOBINS PL	50	12.2
	SETBACK FROM EAST PROPERTY LINE OF S ST LOUIS AVE	5	253
	SETBACK FROM WEST PROPERTY LINE OF S CENTRAL PARK AVE	5	100.9

SITE PLAN
SCALE: 1"=20'

FOR DEPARTMENT OF BUILDINGS STAMP - DO NOT REMOVE OR TRAPLINE UPON THIS AREA
DELETE THESE NOTES PRIOR TO PRINTING



DEPARTMENT OF CAPITAL PLANNING AND CONSTRUCTION

ARCHITECT OF RECORD INFORMATION

ENGINEER OF RECORD INFORMATION

PROFESSIONAL OF RECORD STAMP

IRENE C. HERNANDEZ MIDDLE SCHOOL

3510 W 55TH ST
CHICAGO, ILLINOIS 60632
PROJECT NO. 2022-22441-NPL

REVISIONS	
NO.	DATE DESCRIPTION
01/24/2021	REV 03
01/24/2021	REV 04
01/24/2021	REV 05
01/24/2021	REV 06
01/24/2021	REV 07
01/24/2021	REV 08
01/24/2021	REV 09
01/24/2021	REV 10
01/24/2021	REV 11
01/24/2021	REV 12
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01/24/2021	REV 98
01/24/2021	REV 99
01/24/2021	REV 100



SHEET TITLE
IRENE C. HERNANDEZ MIDDLE SCHOOL SITE PLAN

DWGP NO.
C-1.05

BASIC INFORMATION
1. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE THROUGHOUT PROJECT AREA, AND ENSURE THERE IS NO WATER PONDING.
2. EXISTING UTILITIES AND SITE FEATURES AS SHOWN INDICATE APPROXIMATE LOCATIONS AS DETERMINED BY RECORD DRAWINGS, SURVEY AND FIELD OBSERVATIONS. CPS ASSUMES NO RESPONSIBILITY TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN IN THE PLANS. THE CONTRACTOR, AT HIS/HER OWN EXPENSE, SHALL FURNISH ALL LABOR AND MATERIALS TO EITHER VERIFY AND SUBSTANTIATE THE LOCATIONS AS SHOWN ON THE PLANS OR ESTABLISH THE EXACT LOCATION OF UTILITIES/FACILITIES.
3. SEE DETAIL 1, SHEET C-2.04 FOR VOLLEYBALL NETTING AND POSTS.
4. SEE DETAIL 2, SHEET C-2.03 FOR PORTABLE SOCCER FIELD GOAL POSTS.
5. CONTRACTOR TO PROVIDE MOBI-MAT (BY DESCHAMPS -OR APPROVED EQUAL) RECPATH AFK (BLUE JAY) AND MOBI-ROLL'N STOW BASIS OF DESIGN: PART 208 488 DESCHAMPS MATS SYSTEMS INC. 218 LITTLE FALLS ROAD UNIT #12 CEDAR GROVE, NJ 07009 (973) 928.3040

109924

JOURNAL--CITY COUNCIL--CHICAGO

17137
12/8/2010

Reclassification Of Area Shown On Map No. 12-J.
(As Amended)
(Application No. 17137)
(Common Address: 3510 W. 55th St.)

IPD 1107,00

[SO2010-5174]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the Institutional Planned Development Number 1107 District symbols and indications as shown on Map Number 12-J in the area bounded by:

a line 333.42 feet north of and parallel to West 55th Street; South St. Louis Avenue; West 55th Street; and a line 585.49 feet west of and parallel to South St. Louis Avenue,

to those of Institutional Planned Development Number 1107, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in this Plan of Development herewith attached and made a part and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 1107, As Amended.

Plan Of Development Statements.

1. The area delineated herein as an Institutional Planned Development Number 1107 as amended ("Planned Development") consists of approximately 152,552 square feet (3.50 acres) of net site area which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map. The property is controlled by the Chicago Board of Education and the Public Building Commission of Chicago (the "Applicant").
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or

re-subdivision of parcels, shall require a separate submittal on behalf of the Applicant or their successors, assignees, or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns, grantees and lessees and, if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder or any ground lessors. Furthermore, pursuant to the requirements of Article 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors, or by a governmental agency with the power of eminent domain which has designated the property for acquisition. An agreement among property owners, the board of directors of any property owners association, or covenant binding property owners, may designate the authorized party for any future amendment, modification or change. The Applicant shall retain single designated control and shall be deemed to be the authorized party for any future amendment, modification or change until the Applicant shall designate in writing the party or parties authorized to make application for any future amendment, modification or change.
4. This plan of development consists of the following eighteen (18) statements: a Bulk Regulations and Data Table; a Planned Development Boundary and Property Line Map; Site and Landscape Plan; and Public Right-of-Way Map prepared by GREC Architects, dated November 18, 2010. Full size sets of the Site/Landscape Plan are on file with the Department of Zoning and Land Use Planning. The Planned Development is applicable to the area delineated herein and these and no other zoning controls shall apply. The Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, the requirements thereof, and satisfies the established criteria for approval as a planned development.
6. The uses permitted within the area of delineation herein as "Institutional Planned Development" shall be educational and recreational facilities, offices, accessory parking and related uses incidental and relating thereto and public transit facilities.

7. Identification signs, including but not limited to temporary construction signs, public announcement and notice signs, may be permitted within the Institutional Planned Development, subject to the review and approval by the Department of Planning and Development. No off-premise signs shall be permitted in the Planned Development.
8. Off-street parking and off-street loading facilities shall be provided in compliance with this Planned Development, subject to review and approval of the Departments of Transportation and Zoning and Land Use Planning. A minimum of two percent (2%) of all required parking spaces shall be designated for parking for the handicapped.
9. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
10. In addition to the maximum height of the building and any appurtenance thereto prescribed in this Planned Development, the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
11. The maximum permitted floor area ratio ("FAR") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of FAR calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
12. The City of Chicago established a Part II Review Fee in the amount \$0.25 per square feet for the total buildable square feet (floor area ratio). The Part II Fee will be assessed by DZLUP during the actual Part II Review. The fee as determined by DZLUP staff at that time is final and binding on the Applicant and must be paid to the Department of Zoning and Land Use Planning prior to the issuance of any Part II Approval.
13. The Applicant shall obtain the applicable official reviews, approvals and permits from the various City Departments and or Committees regarding the use of the public way for any encroachments of public way space including encroachments on, over or under the street, sidewalk, parkway or alley. Such approval and permits shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes that conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the subject property in a manner

generally consistent with the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. Copies of these standards may be obtained from the Department of Zoning and Land Use Planning.

15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the building and all other improvements in a manner that promotes, enables and maximizes universal access throughout the subject property. Plans for all buildings and improvements on subject property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote a high standard of accessibility. No building permit shall be issued by the Department of Construction and Permits until the Director of MOPD has approved detailed construction drawings for the building or improvement proposed.
16. The terms, conditions and exhibits of this Planned Development ordinance may be modified administratively by the Commissioner of the Department of Zoning and Land Use Planning upon the application for such a modification by the Applicant and after a determination is made by the Commissioner of the Department of Zoning and Land Use Planning that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Zoning and Land Use Planning shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
17. The Applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of Streets and Sanitation, the Commissioner of Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
18. Unless substantial new construction on the property has commenced within six years following adoption of this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the property shall automatically revert back to its B3-1 and M2-2 Light Industry District.

[Institutional Planned Development Boundary and Project Line Map;
Property Line and Right-of-Way Adjustment Map; and Site
and Landscape Plan referred to in these Plan
of Development Statements printed
on pages 109929 through 109931
of this *Journal*.]

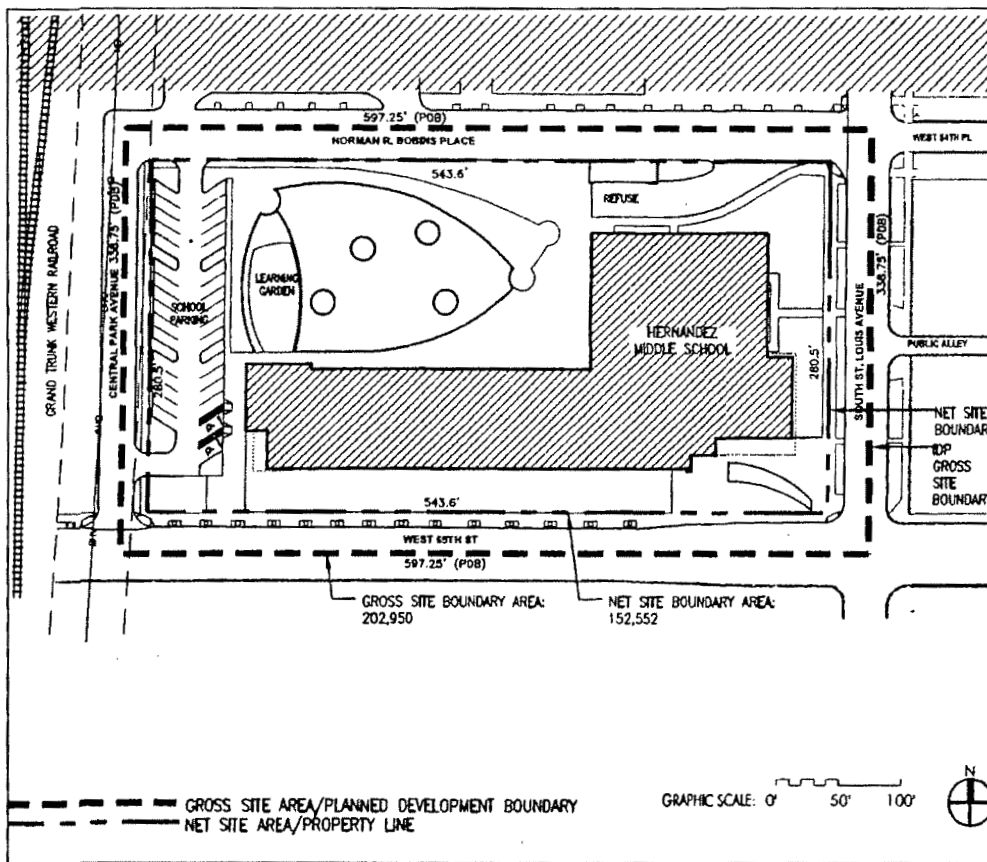
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development No. 1107, As Amended.

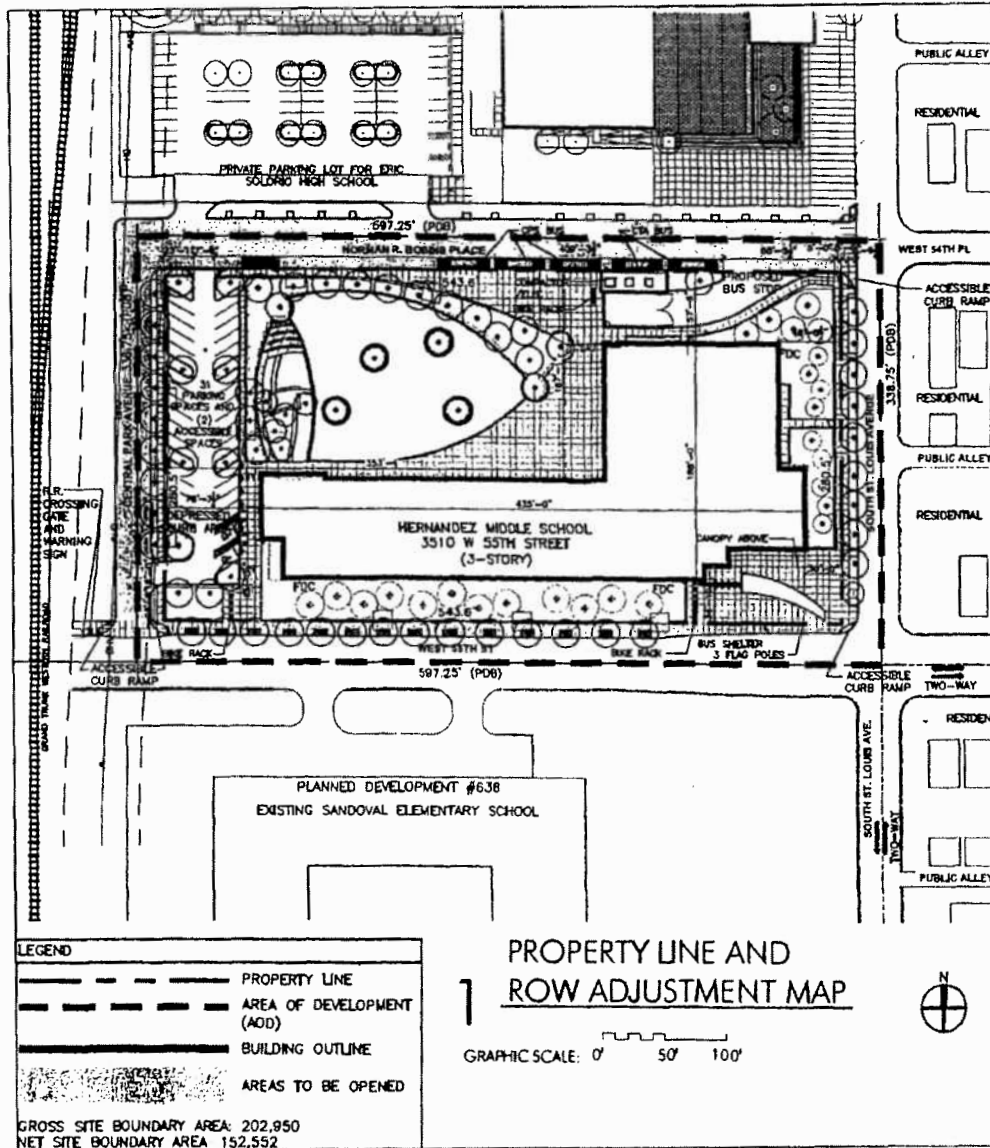
Bulk Regulation And Data Table.

Gross Site Area:	202,950 square feet (4.65 acres)
Net Site Area:	152,552 square feet (3.50 acres)
Public Area Right-of-Way:	50,398 square feet
Maximum Floor Area Ratio:	1.2
Minimum Number of Off-Street Loading Spaces:	1
Minimum Number of Off-Street Parking Spaces:	30 (including 2 accessible spaces)
Minimum Number of Bicycle Parking Spaces:	72
Maximum Building Height	60 feet (as measured in accordance with the Chicago Zoning Ordinance excluding penthouse mechanical)
Minimum Required Setback	In accordance with the Site Plan
Maximum Percent of Site Setback	In accordance with the Site Plan

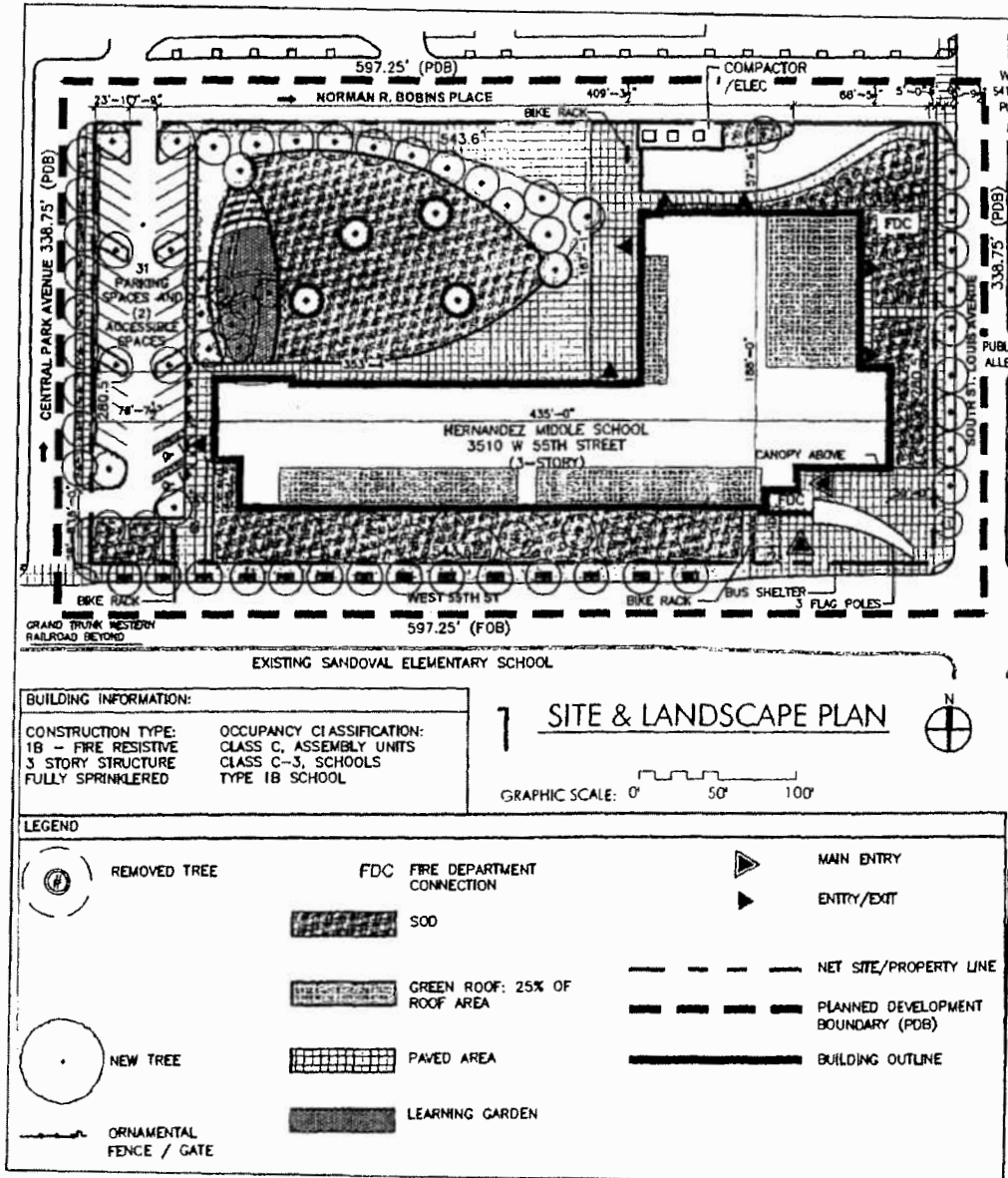
Institutional Planned Development Boundary
And Property Line Map.



Property Line And Right-Of-Way Adjustment Map.



Site And Landscape Plan.



5/14/2008

REPORTS OF COMMITTEES

A-7321
28237

~~the alley next north of and parallel to West Waveland Avenue; a line 61.38 feet east of and parallel to North Seminary Avenue; West Waveland Avenue; and a line 36.38 feet east of and parallel to North Seminary Avenue,~~

~~to those of an RM5 Residential Multi-Unit District and a corresponding use district is hereby established in the area above described.~~

~~SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.~~

*Reclassification Of Area Shown On Map Number 12-J.
(As Amended)*

(Application Number A-7321) *IPD 1107*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M.P.D. Number 545 Manufacturing Planned Development District symbols and indications as shown on Map Number 12-J in the area bounded by:

a line 333 feet, 5 inches north of and parallel to West 55th Street; South St. Louis Avenue; West 55th Street; and a line 585 feet, 4 inches west of and parallel to South St. Louis Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District and a corresponding use district is hereby established in the area described above.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications established in Section 1 above to the designation of an Institutional Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 3. This ordinance shall be in full force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 1107

Plan Of Development Statements.

1. The area delineated herein as an Institutional Planned Development consists of approximately four and forty-eight hundredths (4.48) acres or one hundred ninety-five thousand three hundred thirty-four (195,334) square feet net site area which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and which is owned or controlled by the Board of Education of the City of Chicago. The Public Building Commission of Chicago ("Applicant") has been retained by the owner to construct a new Southwest Area Middle School on the Property.
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this planned development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or their successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns, grantees and Lessees, if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder or any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean the party who is authorized by the Applicant, its successors and assigns or any property owner association formed to succeed the Applicant for purposes of seeking approval of this planned development or any other amendment, modification or change thereto.
4. This planned development consists of seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; and a Site/Landscape Plan and Building Elevations prepared by GREC Architects, dated April 17, 2008. Full size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated herein and these and no other zoning controls shall apply.

5. The planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, the requirements thereof, and satisfies the established criteria for approval as a planned development.
6. The uses permitted within the area of delineation herein as "Institutional Planned Development" shall be educational and recreational facilities, offices, accessory parking and related uses incidental and relating thereto and public transit facilities.
7. Identification signs, including but not limited to temporary construction signs, public announcement and notice signs, may be permitted within the Institutional Planned Development, subject to the review and approval by the Department of Planning and Development no off-premise signs shall be permitted in the planned development.
8. Off-street parking and off-street loading facilities shall be provided in compliance with this planned development, subject to review and approval of the Departments of Transportation and Planning and Development. A minimum of two percent (2%) of all parking spaces shall be designated for accessible parking.
9. Service drives or other means of ingress or egress, including for emergency vehicles shall be adequately designed and paved in accordance with the Municipal Code and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking within such paved areas or fire lanes. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All proposed in the Public Way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for work in the public way and in compliance with the Municipal Code of the City of Chicago.
10. In addition to the maximum height of any building or any appurtenance thereto, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
11. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
12. The City of Chicago established a Part II Review fee in the amount of twenty-five cents (\$0.25) per square feet for the total buildable square feet (floor area ratio). The Part II fee will be assessed by D.P.D. during the actual Part II Review. The fee

as determined by D.P.D. staff at that time is final and binding on the Applicant and must be paid to the Department of Planning and Development prior to the issuance of any Part II approval.

13. Improvements on the Property, including landscaping, all entrances and exits to the parking area, shall be designed and installed in substantial conformance with the Site/Landscape Plan, Building Elevations and the Bulk Regulations and Data Table attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the attached Site/Landscape Plan.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The Applicant will incorporate a partial eleven thousand seven hundred (11,700) green roof covering twenty-five percent (25%) of the net roof area, use recycled materials with the goal of obtaining L.E.E.D. silver level certification.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
17. Unless substantial new construction on the property has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert back to its RT4 designation.

5/14/2008

REPORTS OF COMMITTEES

A-7321
28241

[Zoning Map; Existing Land-Use Map; Institutional Planned Development Boundary and Property Line Map; Site and Landscape Plan; North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 28242 through 28247 of this *Journal*.]

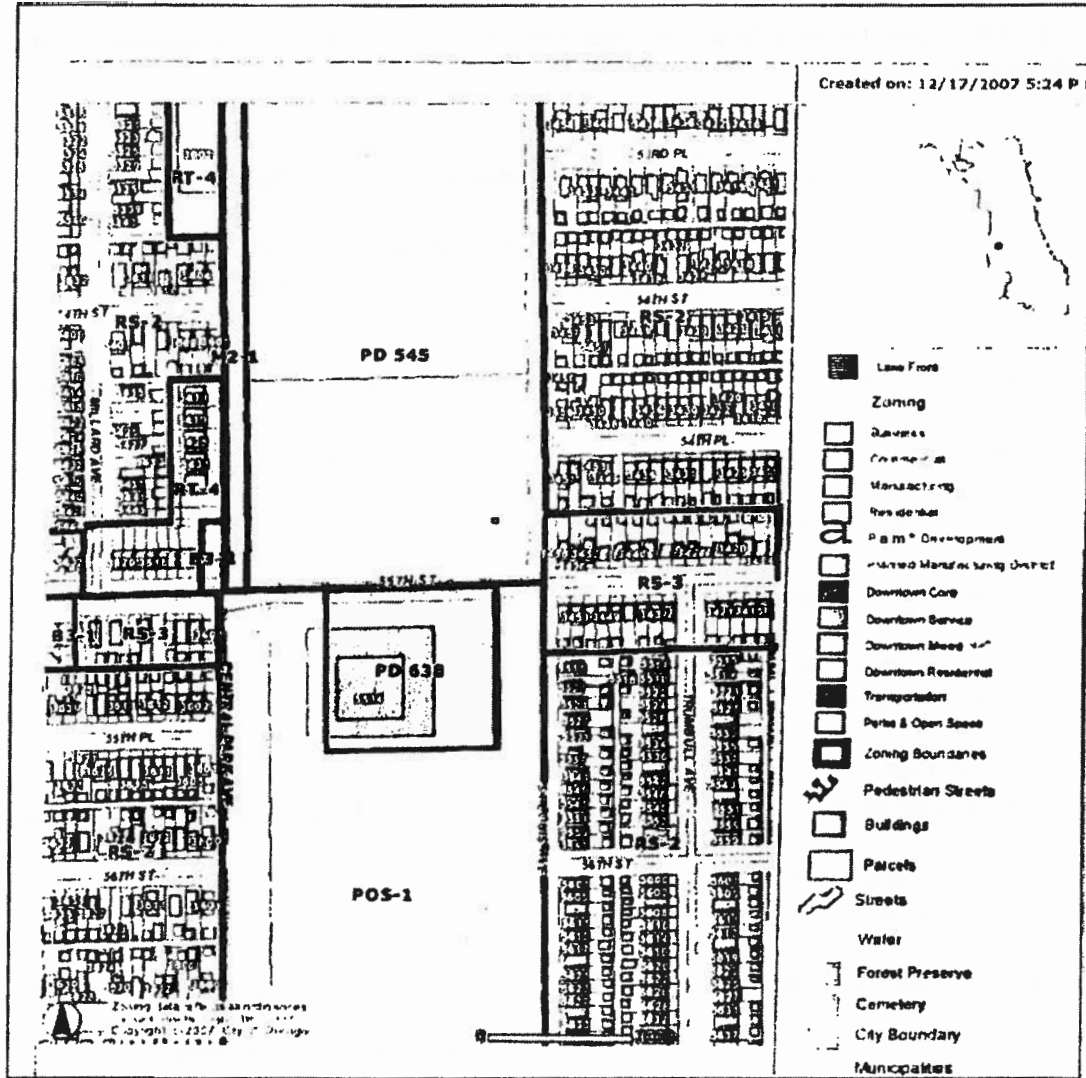
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development Number 1107

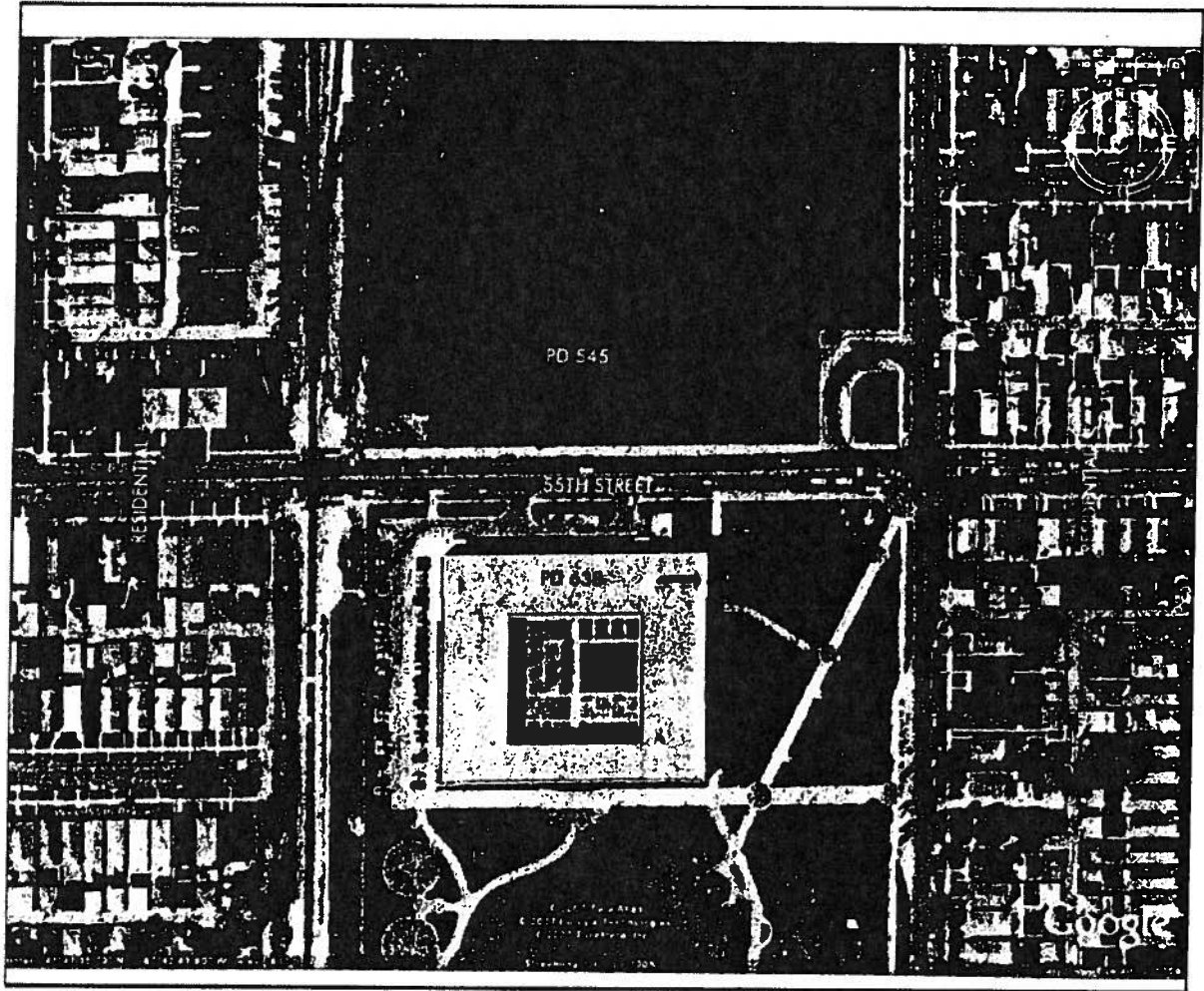
*Southwest Area Middle School
Bulk Regulations And Data Table.*

Gross Site Area:	226,741 square feet (5.21 acres)
Net Site Area:	195,334 square feet (4.48 acres)
Public Area Right-of-way:	31,407 square feet (0.72 acres)
Maximum Floor Area Ratio:	1.2
Minimum Number of Off-Street Loading Spaces:	1
Minimum Number of Off-Street Parking Spaces:	33 (including 2 accessible spaces)
Minimum Number of Bicycle Parking Spaces:	60
Maximum Building Height:	60 feet (as measured in accordance with the Chicago Zoning Ordinance, excluding penthouse mechanical)
Minimum Required Setback:	In accordance with the Site Plan
Maximum Percent of Site Coverage:	In accordance with the Site Plan

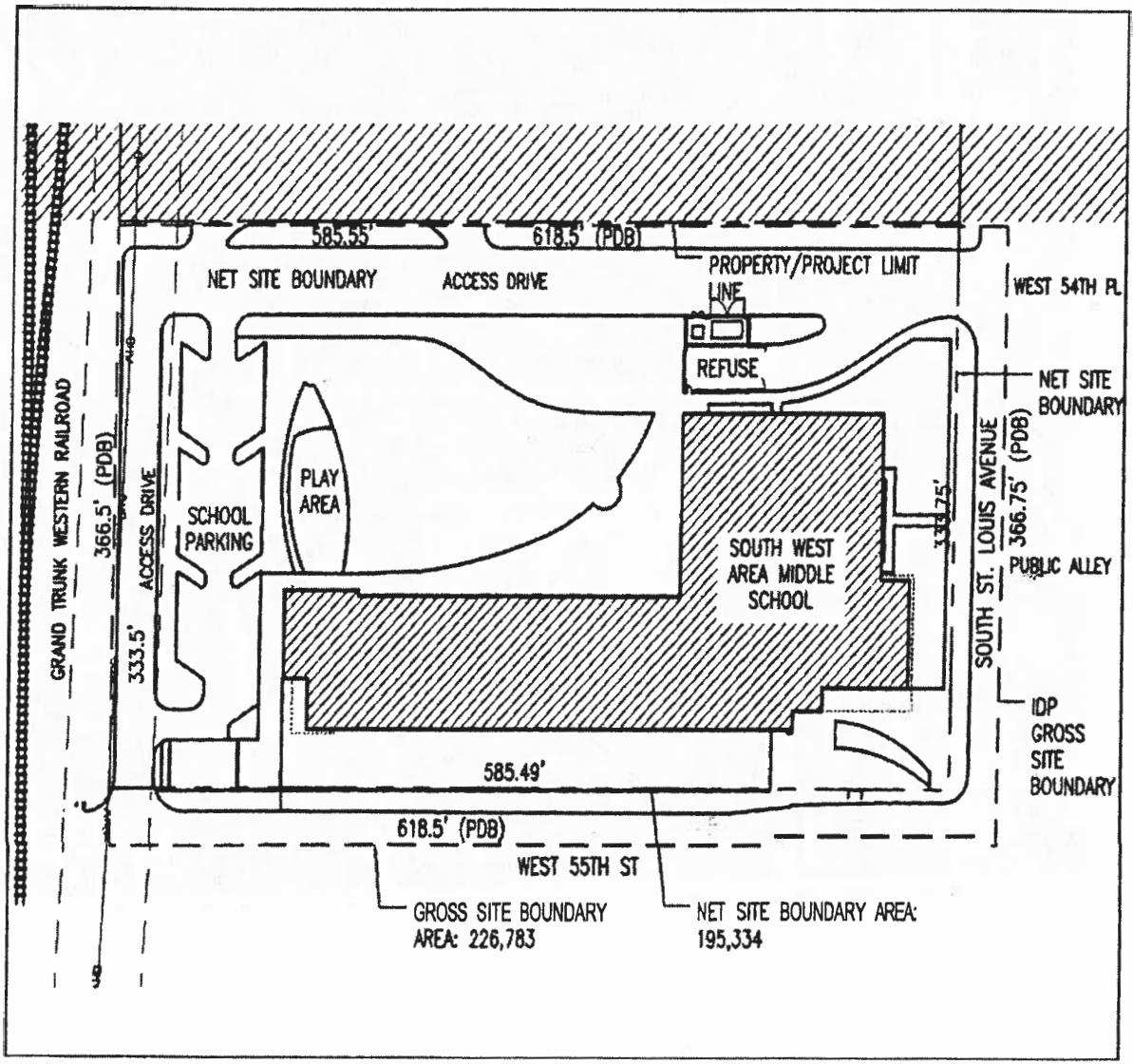
Zoning Map.



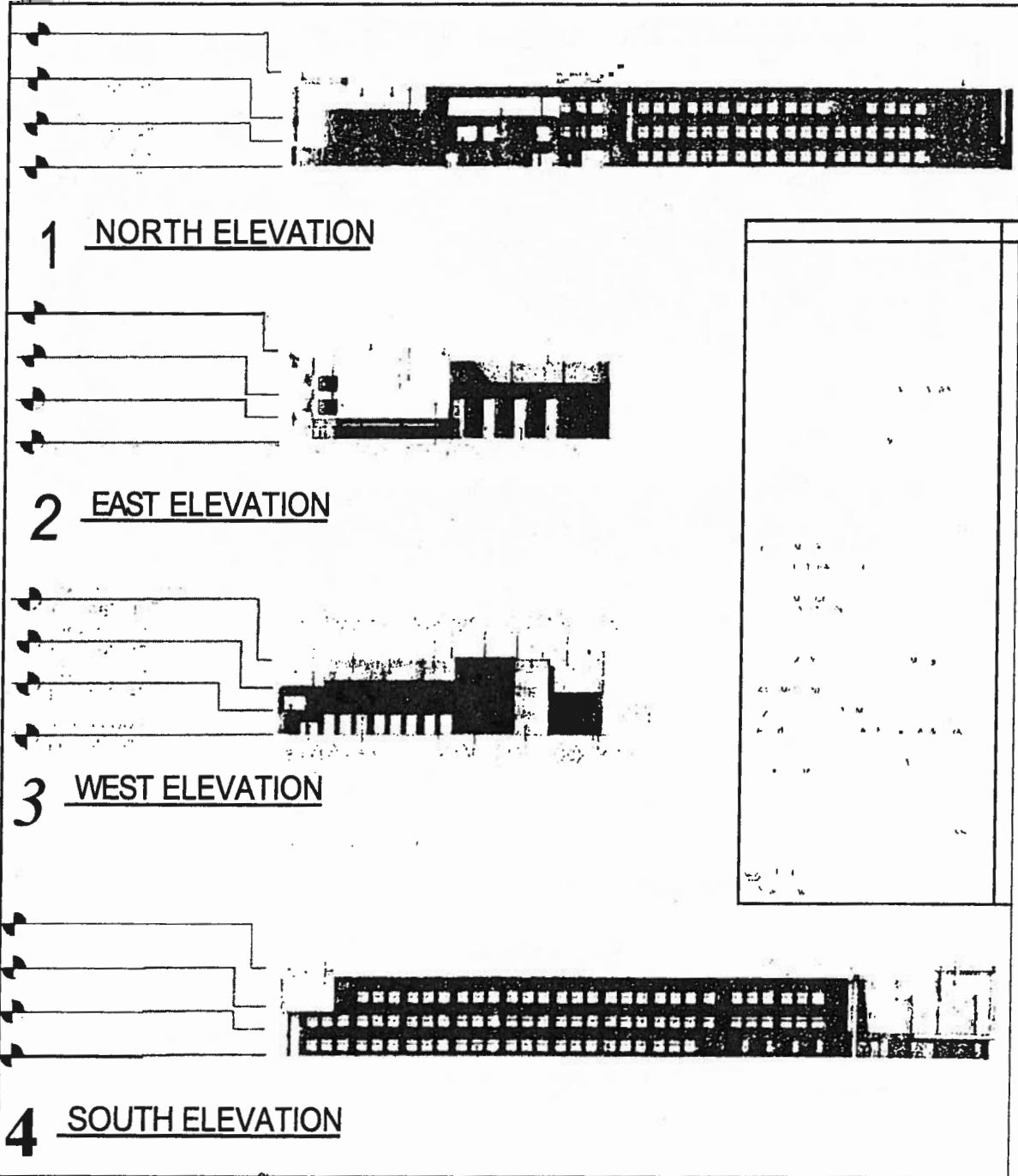
Existing Land-Use Map.



Institutional Planned Development Boundary
And Property Line Map.



Building Elevations.



Landscape Plan.

