

PD 1075

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 9, 2020

Steven D. Friedland
Applegate & Thorne-Thomsen, P.C.
626 West Jackson Boulevard
Suite 400
Chicago, IL 60661

Re: Minor Change and Site Plan Approval for PD 1075, Subarea D
Applicant: Schiller Place LP

Dear Mr. Friedland:

Please be advised that your request for a minor change to Planned Development No. 1075 ("PD 1075") Subarea D and site plan approval has been considered by the Department of Planning and Development ("Department") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1075. The property owner of Subarea D, 1515 N. Halsted L.L.C., has provided consent to your request.

Subarea D was originally approved for two, 7-story residential buildings containing a total of 84 units. On May 14, 2019 a minor change was approved to replace this development with a 5-story, 60 unit building with 30 parking spaces. Your client is now proposing three 4-story buildings, each containing 16 units for a total of 48 units. The proposed unit mix will be comprised of 50% Chicago Housing Authority rental assistance units, at least 20% affordable units and at least 10% Section 811 units. All remaining units will be market rate.

As approved in the 2019 minor change, you are again seeking to elimination of the green roof requirement, and replace that requirement by achieving 100 points in compliance with the City's Sustainable Development Policy. You are also seeking a parking reduction from 24 spaces to 18 spaces based on the site's proximity to public transportation. The additional 18 spaces will result in an increase in the total number of parking spaces within the PD from 1,057 to 1,075 spaces.

With regard to your request for a minor change, the Department has determined that allowing the proposed change in development and authorized decrease in parking will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development. Therefore, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

In regard to your request for site plan approval, the Department has reviewed the attached plans and drawings noted below and finds that they satisfy the requirements of PD 1075. Accordingly, this site plan approval is hereby approved. The revised site plan was also approved by CDOT, the Fire Prevention Bureau and MOPD. The following exhibits are attached to this minor change and sit plan approval: Unit Mix Matrix, Site Geometry Plan, Architectural Site Plan, Planting Plan, Landscape Details, Floor Plans, B3 Floor Plan + Leasing Office, Exterior Elevations, and Halsted St. Rendering.

This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

A handwritten signature in black ink, appearing to read 'SAV', with a long horizontal line extending to the right.

Steven Valenziano
Assistant Zoning Administrator

C: Mike Marmö, Erik Gläss, Fernandó Espiñosa, Rón Däyë, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 2, 2020

Steven D. Friedland
Applegate & Thorne-Thomsen, P.C.
626 West Jackson Boulevard
Suite 400
Chicago, IL 60661

Re: Minor Change and Site Plan Approval for PD 1075, Subarea D
Applicant: Schiller Place LP

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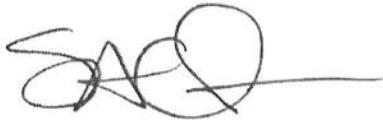
As approved in the 2019 minor change, you are again seeking to elimination of the green roof requirement, and replace that requirement by achieving 100 points in compliance with the City's Sustainable Development Policy. You are also seeking a parking reduction from 24 spaces to 21 spaces based on the site's proximity to public transportation. The additional 21 spaces will result in an increase in the total number of parking spaces within the PD from 1,057 to 1,078 spaces.

With regard to your request for a minor change, the Department has determined that allowing the proposed change in development and authorized decrease in parking will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development. Therefore, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

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Sincerely,

A handwritten signature in black ink, appearing to read 'SACQ', with a long horizontal line extending to the right.

Steven Valenziano
Assistant Zoning Administrator

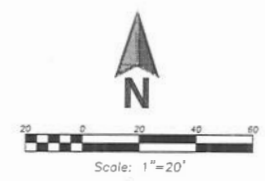
C: Mike Marmo, Erik Glass, Fernando Espinoza, Ron Daye, Main file

Schiller
 SEPTEMBER 28, 2020

Unit Mix Matrix:
 GROSS SQUARE FOOTAGE

Bailey Edward

	Unit #	GSF		Unit #	GSF		Unit #	GSF	BD	BA	TOTAL
BLDG #1			BLDG #2			BLDG #3					
	1-101	645		2-101	645		3-101	645	1	1	
	1-102	880		2-102	880		3-102	880	2	2	
	1-103	880		2-103	880		3-103	880	2	2	
	1-104	658		2-104	658		3-104	658	1	1	
	1-201	654		2-201	654		3-201	654	1	1	
	1-202	936		2-202	936		3-202	936	2	2	
	1-203	934		2-203	934		3-203	934	2	2	
	1-204	658		2-204	658		3-204	658	1	1	
	1-301	654		2-301	654		3-301	654	1	1	
	1-302	936		2-302	936		3-302	936	2	2	
	1-303	934		2-303	934		3-303	934	2	2	
	1-304	658		2-304	658		3-304	658	1	1	
	1-401	654		2-401	654		3-401	654	1	1	
	1-402	936		2-402	936		3-402	936	2	2	
	1-403	934		2-403	934		3-403	934	2	2	
	1-404	658		2-404	658		3-404	658	1	1	
TOTALS		12,609			12,609			12,609			37,827



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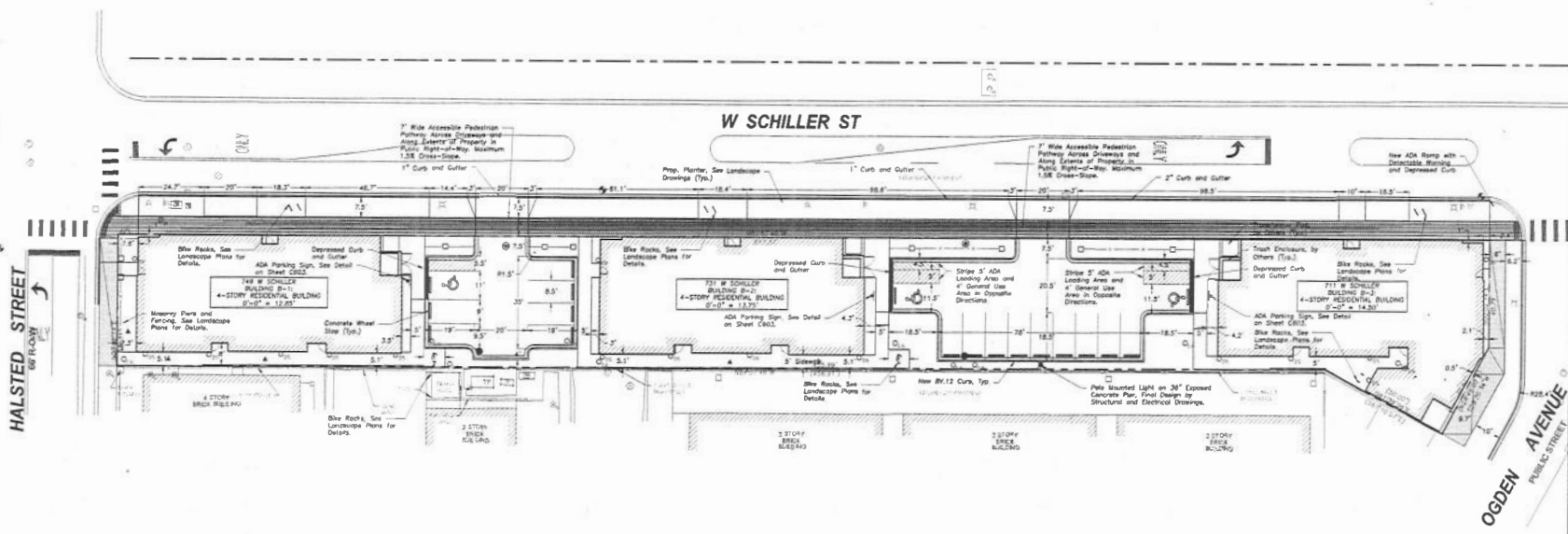
60229 Bailey Edward Design
Design Firm License No. 184-001952

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Chicago, IL 60607
312-941-0255

Owner
SCHILLER PLACE LP
566 W. Lake St.
Suite 400
Chicago, IL 60661



GEOMETRY NOTES

- All Dimensions Contained Herein Reference Back of Curb, Face of Retaining Wall, Edge of Pavement, Center of Structure and Outside Face of Building Foundation Unless Otherwise Noted.
- All Permanent Striping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Walk Striping Shall Be 4" x 2'-0" Centers.
- All Accessible Parking Signs (87-5) Must Be Placed at the Center of the Space and Within 5 Feet of the Space. Sign Shall Be Installed 5' Above Grade.
- Refer to Architectural Drawings for Exact Locations of All Buildings.
- Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
- Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-in./1.25 Gauge Steel, Constructed 12" Minimum into Ground.

ACCESSIBLE PATHWAYS



GENERAL NOTES

- The Location of Existing Underground Utilities, Such as Watermain, Sewers, Gas Lines, Etc., as Shown on the Plans, Has Been Determined From the Best Available Information and is Given for the Convenience of the Contractor. However, the Owner and the Engineer do not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That the Actual Location of Those which are Shown may Be Different From the Location as Shown on the Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown on the Drawings.
- Notify the Engineer Without Delay of Any Discrepancy Between the Drawings and Existing Field Conditions.
- Notify the Owner, Engineer and the City of Chicago Utility Alert Network at 312-744-7000 a Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown herein, or as Required in Contract Condition to the Satisfaction of the Owner or the Additional Cost to the Owner. It is Important Upon Contractor to Show That Disturbed Areas Have Not Subsided by Construction Operations.
- These Drawings Assume That the Contractor Will Utilize an Electronic Drawing File (EDF) and State All Site Improvements Accordingly.
- No Permit May Utilize the Information Contained Within These Drawings Without Written Approval from Craven Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes as a Convenience to the Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings for Construction Purposes, the User of These Drawings Shall Verify All Dimensions and Locations of Buildings with the Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items, if Conflicts Exist the User of This Information Shall Contact the Engineer Immediately.
- Provide An As-built Survey Prepared by A Licensed Professional Geomatics Surveyor in accordance with the Authority Having Jurisdiction which Shall Include As a Minimum all Dimensions and Locations of All Structures, Elevation, Slope, and Level Elevations, Final Detention Volume Calculations for The Basin(s), Watermain and Valve and Appearance Locations.
- The Study Department of Transportation Standard Specifications for Road and Bridge Construction Latest Edition, and all Applicable Technical Specifications, The Ordinances and Permit Rules Under This Contract Unless Noted Otherwise.

LEGEND

EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Man	Man
Area Drain	Area Drain
Open Out	Open Out
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Water	Overhead Water
Overhead Gas	Overhead Gas
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Water Valve	Water Valve
Blue Box	Blue Box
Demarcation	Demarcation
Valve	Valve
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
Can't Measure	Can't Measure
Head Hole	Head Hole
Light Pole	Light Pole
Light Pole w/ Mail Box	Light Pole w/ Mail Box
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Structure	Telephone Structure
Sign	Sign
Flag	Flag
Accessible Parking Sign	Accessible Parking Sign
Curb & Curb	Curb & Curb
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Signal Station	Signal Station
Permanent Obstruction	Permanent Obstruction
Demarcation	Demarcation
Signal Station	Signal Station
Top of Retaining Wall	Top of Retaining Wall
Center Line	Center Line

SCHILLER PLACE - AFFORDABLE HOUSING

W. SCHILLER STREET AND N. HALSTED STREET

SITE GEOMETRY PLAN

10/14/2020 ISSUED FOR PERMIT
09/04/2020 PERMIT CORRECTIONS
08/20/2020 PERMIT CORRECTIONS
10/15/2020 PERMIT CORRECTIONS
10/09/2020 LENDER REVIEW

10/14/2020

19041

CF

LMR

2/00



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Structural Engineer
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Owner
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556 W. Lake St.
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Date	Description
07/14/2020	ISSUED FOR PERMIT
07/24/2020	ADDENDUM 1
08/25/2020	ADDENDUM 2
08/25/2020	PERMIT REV. 1
08/28/2020	FIRE DEPARTMENT SITE REVIEW
08/14/2020	PLAN REV. 3
09/23/2020	DPD REVIEW 5
10/21/2020	LENDER REVIEW
10/27/2020	DPD REVIEW

SCHILLER PLACE

740 W. SCHILLER STREET
731 W. SCHILLER STREET
711 W. SCHILLER STREET

ARCHITECTURAL
SITE PLAN

Revision Date: 11-18-2021

Project: 19041

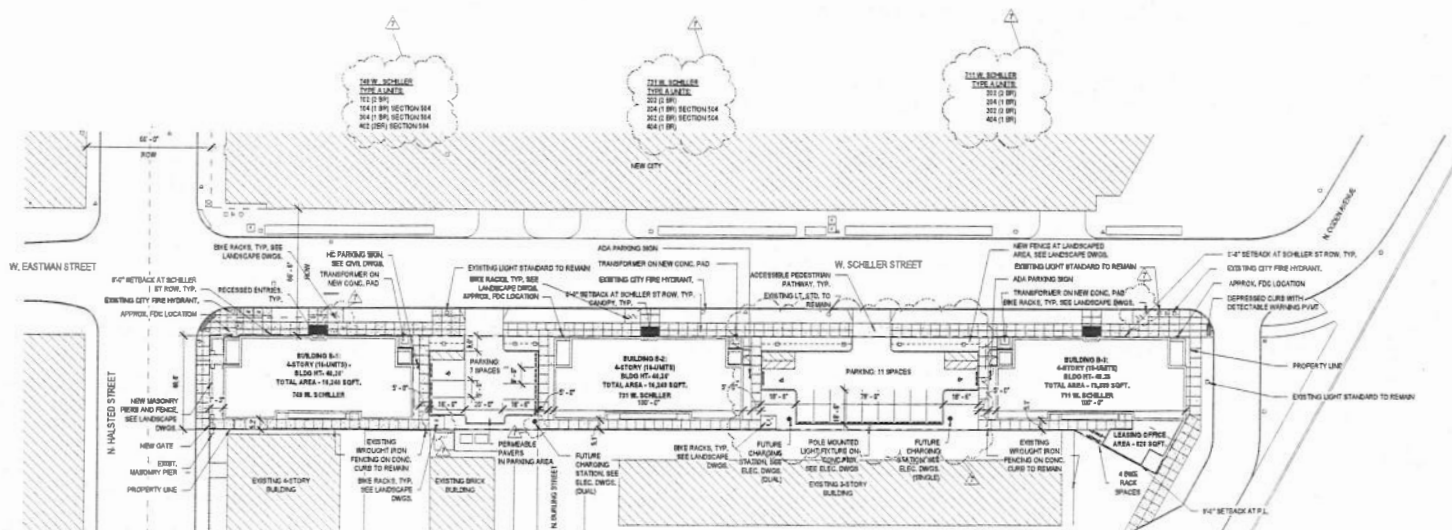
Scale: As Shown

Author: J. J. J. J.

Checker: J. J. J. J.

Project No: A010

Professional Seal



1 ARCHITECTURAL SITE PLAN

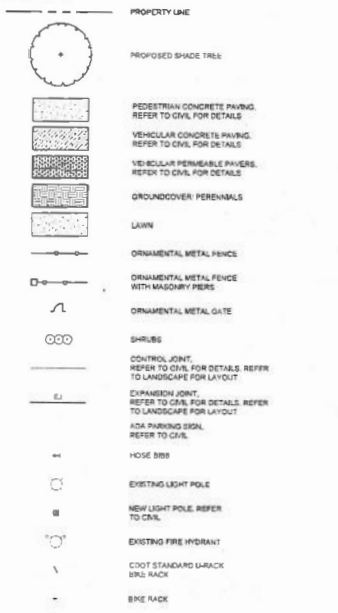
1" = 30'-0"



NOTES

1. ALL BUILDINGS IN THE SCOPE ARE TYPE VA CONSTRUCTION.
2. OCCUPANT TYPE R-2 FOR ALL BUILDINGS IN THE SCOPE.
3. ALL NEW SIGNS IN SCOPE TO BE FULLY SPARKLED.
4. ALL BUILDINGS WILL HAVE FIRE ALARM SYSTEMS WITH AN ANNUNCIATOR PANEL LOCATED IN THE ENTRY VESTIBULE.
5. FOR PUBLIC STREET PARKING ALLOWED ON THOMAS STREET, SCHILLER ST SHALL HAVE 18 FIRE LANE.
6. SEE CIVIL PLAN FOR SITE SECURITY.
7. SEE LANDSCAPE PLANS FOR ALL PLANTINGS AND FENCING DETAILS, INCLUDING MAINTENANCE YARD.

LEGEND



PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHADE TREES						
AE.FL	1	<i>Aesculus flava</i>	Yellow Buckeye	DBS	4" cal	matching heads; 6-7' min. clear branch height
CA.SP	2	<i>Cornus speciosa</i>	Northern Cornice	DBS	4" cal	matching heads; 6-7' min. clear branch height
CS.OC	2	<i>Celtis occidentalis</i>	Common Hackberry	DBS	4" cal	matching heads; 6-7' min. clear branch height
GL.PR	6	<i>Ginkgo biloba 'Princeton Sentry'</i>	Princeton Sentry Ginkgo Biloba	DBS	4" cal	male only, matching heads; 6-7' min. clear branch height
GL.SK	4	<i>Gleditsia triacanthos var. javanica 'Skyline'</i>	Skyline Honeylocust	DBS	4" cal	matching heads; 6-7' min. clear branch height
GY.ES	2	<i>Gymnocladus dioica 'Express'</i>	Express Kentucky Coffeetree	DBS	4" cal	matching heads; 6-7' min. clear branch height
QU.M	3	<i>Quercus embotricata</i>	String Oak	DBS	4" cal	matching heads; 6-7' min. clear branch height
TADI	1	<i>Taxodium distichum</i>	Bald Cypress	DBS	4" cal	matching heads; 6-7' min. clear branch height
TLMC	3	<i>Tilia americana 'MCKSentry'</i>	American Sentry Linden	DBS	4" cal	matching heads; 6-7' min. clear branch height
UL.NE	3	<i>Ulmus 'New Horizon'</i>	New Horizon Elm	DBS	4" cal	matching heads; 6-7' min. clear branch height

EAST PARKING LOT VEHICULAR USE AREA CALCULATIONS	
11 SPACE PARKING LOT INCLUDING 7 ACCESSIBLE SPACES	3,800 SF
TOTAL VEHICULAR USE AREA:	5% x 3,800 + 192 SF
REQUIRED INTERNAL LANDSCAPED AREA:	1,835 SF
ACTUAL LANDSCAPED AREA:	1,931 SF
REQUIRED INTERNAL TREE PLANTING:	1931 SF ÷ 2
ACTUAL TREE PLANTING:	965

WEST PARKING LOT VEHICULAR USE AREA CALCULATIONS	
7 SPACE PARKING LOT INCLUDING 1 ACCESSIBLE SPACES	2,983 SF
TOTAL VEHICULAR USE AREA:	NA
REQUIRED INTERNAL LANDSCAPED AREA:	831 SF
ACTUAL LANDSCAPED AREA:	NA
REQUIRED INTERNAL TREE PLANTING:	NA
ACTUAL TREE PLANTING:	4

The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape plan and construction details shown on the attached landscape plan(s) for the property at W. Schiller St & Halsted St., Chicago, IL 60610 has, to the best of the undersigned applicant's knowledge, been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the "Guide to the Chicago Landscape Ordinance".

R. G. G. G. 09/27/2021
 REGISTERED LANDSCAPE ARCHITECT DATE

The undersigned acknowledges that the landscape plan(s) shown on the landscape plan(s) for the property at W. Schiller St & Halsted St., Chicago, IL 60610 to the best of the undersigned applicant's knowledge has been designed and will be installed, maintained, and replaced, as required, by current and subsequent owners in accordance with the requirements of Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the "Guide to the Chicago Landscape Ordinance".

[Signature] 9/21/20
 OWNER DATE

PLANTING TIME BY June 20, 2021
 EXISTING PWY & INTERIOR TREES/FENCING TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED IF DAMAGED BY CONTRACTOR

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Structural Engineer
 TGRWA
 600 W Van Buren Street, Suite 900
 Chicago, IL 60607
 312-341-0555

Owner
 Schiller Place LP
 366 W. Lake St.
 Suite 402
 Chicago, IL 60661

Date	By	Description
07/14/2020	ISSUED FOR PERMIT	
09/10/2020	DPD REVIEW	
09/13/2020	DPD REVIEW	
10/01/2020	DPD REVIEW	
10/16/2020	FOR CONSTRUCTION DELTA 7	
10/27/2020	DPD REVIEW	

SCHILLER PLACE
 W. SCHILLER STREET & N. HALSTED STREET

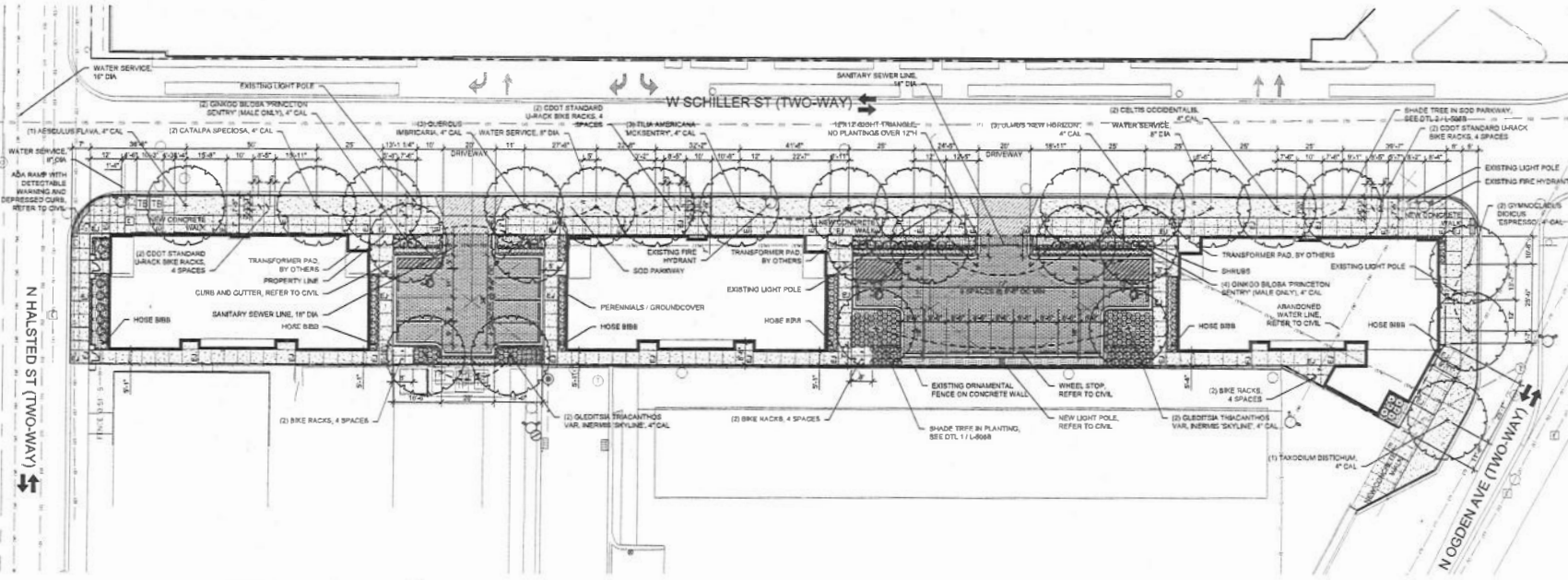
PLANTING PLAN

Scale: 1" = 20'-0"

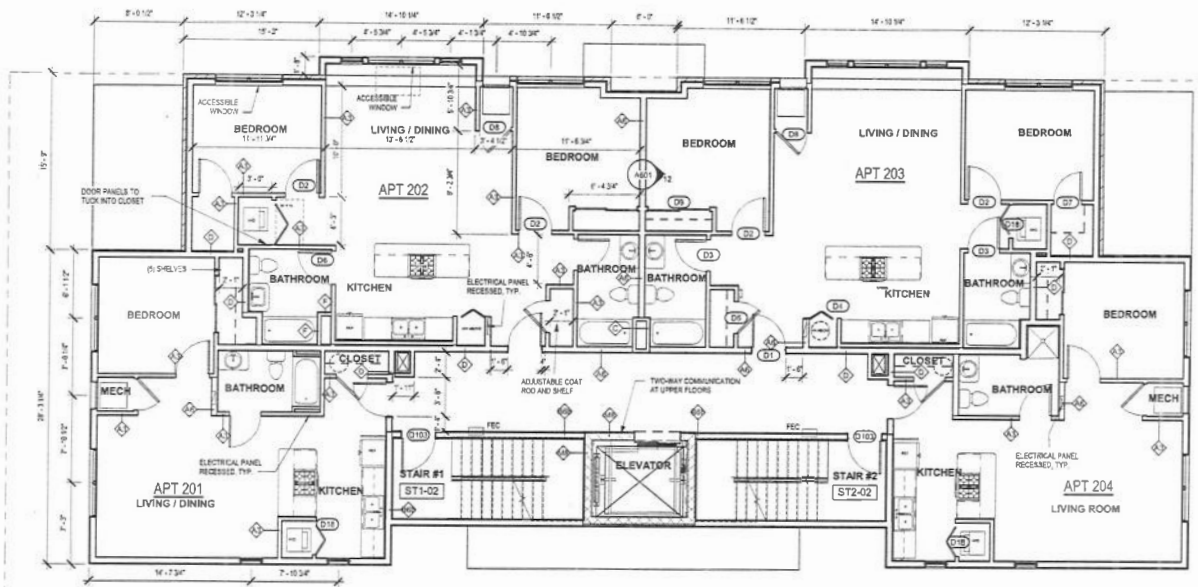
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GG02

L-106



1 PLANTING PLAN
 1" = 20'-0"



2 UPPER FLOOR PLAN, TYPICAL
3/16" = 1'-0"

GENERAL NOTE: ALL PARTITIONS ARE TO BE TYPE N UNLESS NOTED OTHERWISE

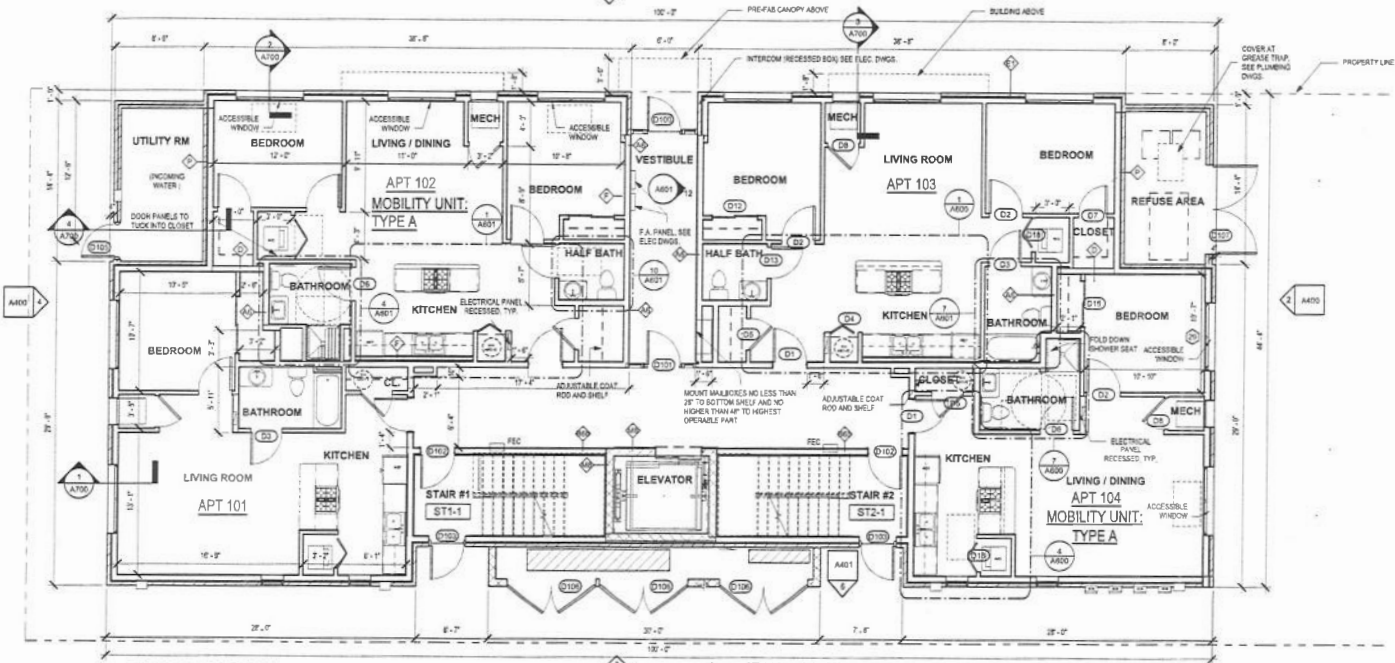
NEW WORK PLAN LEGEND

- PROPERTY LINE
- == NEW WALL
- - - NEW DOOR AND FRAME

GENERAL PLANS NOTES

1. ALL INTERIOR WALLS TO BE TYPE N UNLESS OTHERWISE NOTED.

PLAN KEYNOTES



1 FIRST FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTE: ALL PARTITIONS ARE TO BE TYPE N UNLESS NOTED OTHERWISE



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312-341-0055

Owner:
Schiller Place LP
566 W. Lake St.
Suite 400
Chicago, IL 60661

07/14/2020	ISSUED FOR PERMIT

SCHILLER PLACE

W. SCHILLER STREET
W. SCHILLER STREET
W. SCHILLER STREET

FLOOR PLANS

Scale: See Detail 1/8" = 1'-0" 1/8" = 1'-0"

DATE: 07/14/2020

Author: [Signature]

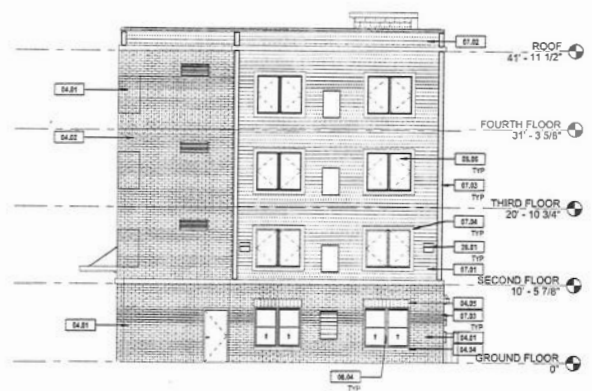
Checked: [Signature]

Project No: A100

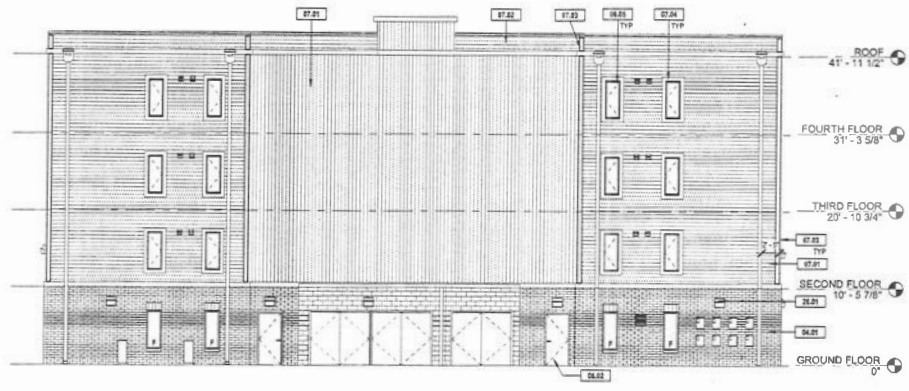
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ELEVATION KEYNOTES

- 04.01 EXTERIOR BRICK WALL, 4" UTILITY BRICK TYPE 1
- 04.02 EXTERIOR BRICK WALL, 4" UTILITY BRICK TYPE 1
- 04.03 CORT STONE, SL, HEAVY
- 04.04 4" UTILITY BRICK, SOLID EN COURSE
- 04.05 ROLLER COORNE
- 07.01 EXTERIOR FIBER CEMENT LAP SIDING HARDE 1
- 07.02 EXTERIOR FIBER CEMENT LAP SIDING HARDE 2
- 07.03 EXTERIOR FIBER CEMENT HARDE TRIM
- 07.04 EXTERIOR FIBER CEMENT HARDE WINDOW TRIM
- 08.01 H.M. DOOR, PAINT, SEE DOOR SCHEDULE
- 08.02 SINGLE HINGED DOUBLE V-H-L WINDOW, SEE WINDOW SCHEDULE
- 08.03 FIXED SINGLE VIEW WINDOW, SEE WINDOW SCHEDULE
- 08.04 FIXED DOUBLE CASHEMPT WINDOW, SEE WINDOW SCHEDULE
- 08.05 PAINTED STL GATES, WITH ACCESSIBLE ELEVATOR ACCESS AND 90 DEGREE SWING
- 08.06 ELEC. LIGHT FIXTURES, SEE ELEC. DWGS



④ 04 - WEST - ELEVATION
 1/8" = 1'-0"
 BUILDING 01, 02, BUILDING 03, SIMILAR.




③ 03 - SOUTH - ELEVATION
 1/8" = 1'-0"
 BUILDING 01, 02, SIMILAR.



② 02 - EAST - ELEVATION
 1/8" = 1'-0"
 BUILDING 01, 02, BUILDING 03, SIMILAR.



① 01 - NORTH - ELEVATION
 1/8" = 1'-0"
 BUILDING 01, 02, BUILDING 03, SIMILAR.



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Structural Engineer:
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Owner:
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 Chicago, IL 60661

07/14/2020	ISSUED FOR PERMIT
07/24/2020	ADDENDUM 1
08/05/2020	ADDENDUM 2
08/05/2020	PERMIT REV.
08/14/2020	DPD REVIEW

SCHILLER PLACE

W. SCHILLER STREET
 # W. SCHILLER STREET
 # W. SCHILLER STREET

EXTERIOR ELEVATIONS

Licensee: Jane of Paul - 18-0028

Project No. 19041

Scale: 1/8" = 1'-0"

Author

Checker

A400



C:\Users\james\OneDrive\Documents\2020_10\11_News\GIS\01_Bldg_04\EXTERNAL_04\040401.dwg
 6/25/2023 5:38:47 PM



N OGDEN AVE

HALSTED ST



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

June 26, 2019

Chris A. Leach
Akerman LLP
71 S. Wacker Drive, 47th Floor
Chicago, IL 60606

Re: Minor change request for PD No. 1075, Residential parking reduction for Subarea B and within Subarea E, 1457 N. Halsted St.

Dear Mr. Leach:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1075 ("PD 1075"), Subarea B and Subarea E, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1075.

Your client, and the property owner of Subarea B and E, 1515 N. HALSTED LLC, is seeking a minor change to reduce the number of residential parking spaces within the parking garage in Subarea E which serve the residential building within Subarea B. Per PD 1075, a minimum of 958 and a maximum of 1,250 parking spaces are required. Further, the PD permitted a maximum of 280 residential units (196 in Subarea B and 84 in Subarea D) and identified 280 parking spaces for the maximum number of dwelling units allowed. Per a minor change approved on February 6, 2013, the number of dwelling units in Subarea B was increased from 196 to 199 and on May 14, 2019, a minor change was approved for Subarea D to be improved with 60 residential units and 30 parking spaces.

According to your request letter, the Subarea E parking garage contains 1,000 parking spaces, slightly less than the 1,057 spaces identified in our Part II approval letter dated March 6, 2014. The parking garage serves the residential and commercial uses located within Subareas A, B, and C. When the New City development was subdivided last year, 155 spaces were designated and assigned to the Subarea B residential building and the remaining 845 spaces were designated and assigned to the commercial uses in Subareas A, B and C.

You are seeking to reduce the required parking for the 199 Subarea B residential units to 155 spaces within the Subarea E parking garage. Under the current Zoning Ordinance, the property would qualify as a Transit-Served Location since it is located approximately 418 feet from the North/Clybourn CTA Station. Additionally, only 98 of the 155 parking spaces are currently being used by the 199 residential units. As a result of this proposed parking reduction and upon completion of the Subarea D building referenced above, PD 1075 will contain a total of 259 dwelling units (199 in Subarea B + 60 in Subarea D), 185 residential parking spaces (155 in Subarea E + 30 in Subarea D) and 845 commercial parking spaces (all in Subarea E).

With regard to your request, the Department of Planning and Development has determined that allowing the parking reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patrick Murphey
Zoning Administrator

PM:tm

C: Mike Marmo, Erik Glass, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 14, 2019

Mariah F. DiGrino
DLA Piper LLP
444 W. Lake St., Suite 900
Chicago, IL 60606-0089

Re: Minor change for PD No. 1075, Subarea D, Building's D1 and D2, 1433 N. Halsted St.

Dear Ms. DiGrino:


Please be advised that your request for a minor change to Residential Business Planned Development No. 1075 ("PD 1075"), Subarea D, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1075.

Your client, New City Affordable L.P., with the consent of the sole property owner of Subarea D, 1515 N. Halsted LLC, is seeking a minor change to the proposed residential buildings to be located at 1433-1515 N. Halsted. Your client is replacing the two proposed, 7-story buildings (84 units in total) with a single, 5-story, 60 unit building. The proposed mixed-income development will consist of 50% CHA units, 10-20% affordable units, and remaining market rate units. A total of 30 parking spaces for the 60 units will be provided. In place of a green roof, the project will achieve 100 points, as now permitted by the City's Sustainable Development Policy. Attached are the following revised drawings: Overall Site Plan, First Floor Plan (showing expanded lobby with sitting area), Landscape Plan, Planting Details and Site Furnishings, and Overall Exterior Elevations. The revised Site Plan has also been approved by CDOT.

With regard to your request, the Department of Planning and Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

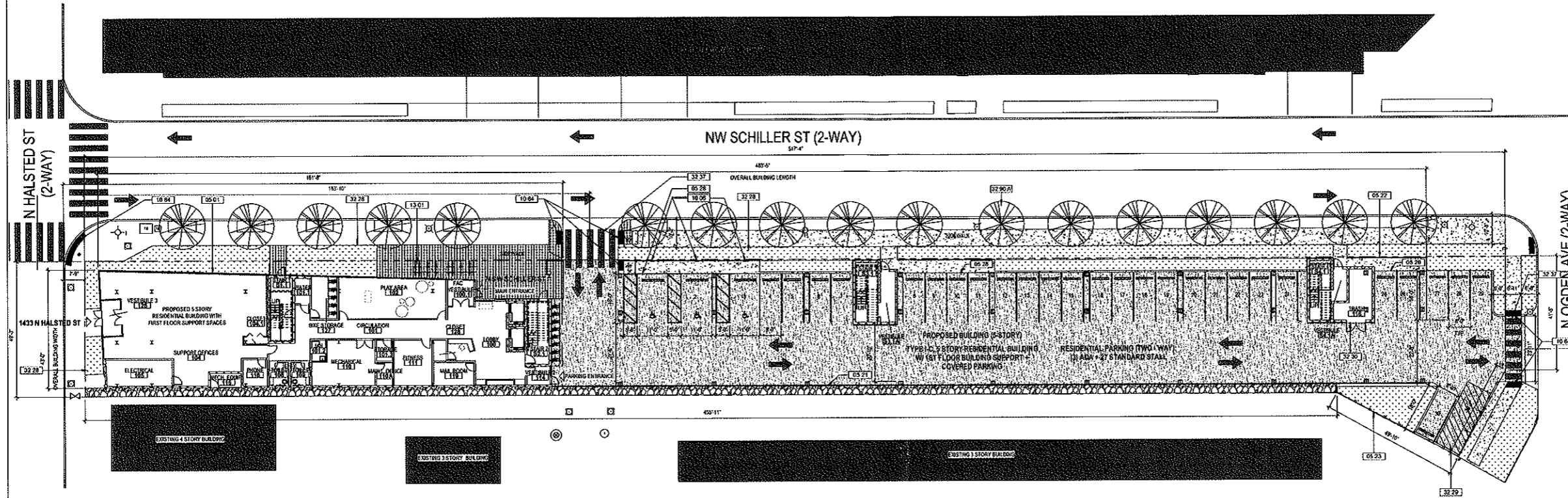
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

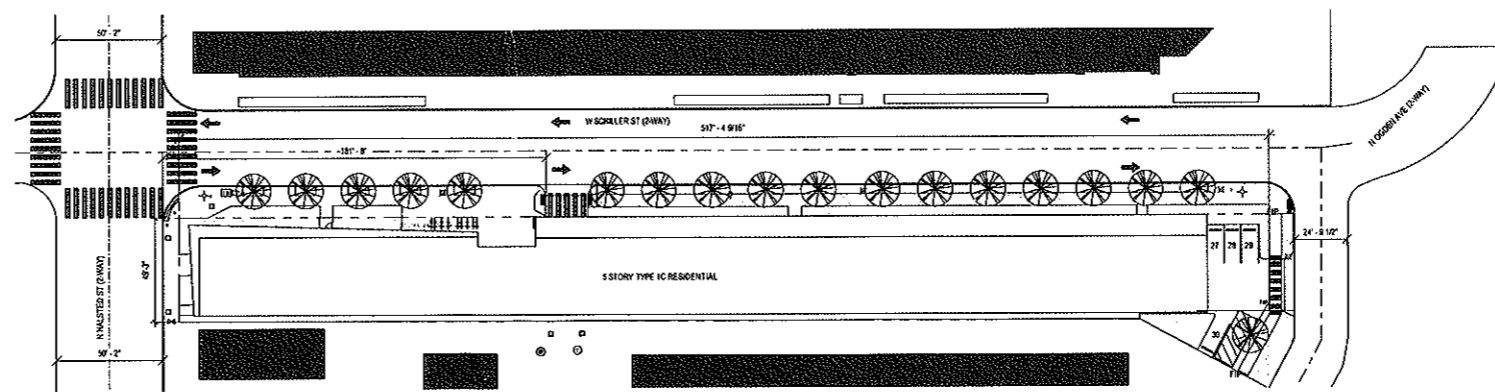

Patrick Murphy
Zoning Administrator

PM:tm

C: Fernando Espinoza, Mike Marmo, Erik Glass, Ron Daye, Michael Berkshire, Erika Selke, Main file



1 OVERALL SITE PLAN
SCALE: 1/16" = 1'-0"



2 OVERALL SITE KEYPLAN
SCALE: 1/32" = 1'-0"

IHDA PID#: 11260 - New City Affordable Housing



11.30.2018	ISSUE FOR PERMIT
11.16.2018	CDOT REVIEW
11.02.2018	MOPO REVIEW
10.29.2018	FIRE PREVENTION REVIEW
DATE	ISSUED FOR

CLIENT
NEW CITY AFFORDABLE LIMITED PARTNERSHIP
4707 S. Marshfield Ave.
Chicago, IL 60609

DESIGN TEAM
UrbanWorks
ARCHITECTURE INTERIORS PLANNING
ARCHITECT OF RECORD
125 S. Clark St.
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www.urbanworksarchitecture.com

cea a

Structural
CE Anderson & Associates
175 North Franklin Street, Suite 410
Chicago, IL 60610
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www.cea-so.com

DYNACEPT ENGINEERING, LTD.
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TERRA ENGINEERING LTD.

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Construction Management
STRUCTURE DEVELOPMENT
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Chicago, IL 60611
P: (312) 251-5775
www.stdev.com

PROJECT NAME
NEW CITY AFFORDABLE HOUSING
1433 N HALSTED ST, CHICAGO, IL 60642
745 W SCHILLER ST, CHICAGO, IL 60642

DRAWING TITLE
OVERALL SITE PLAN

ISSUE FOR PERMIT / IHDA 01.04.2019
SHEET #
A1.00

KEYNOTES

- 0501 ALUMINUM STOREFRONT SYSTEM
- 0502 8" HIGH PERFORATED METAL SCREEN AND STRUCTURE. PANEL THICKNESS = MIN. 1/8". PROVIDE 1/4" GAP BETWEEN ADJACENT PANELS (VERT. AND HORZ.). STAGGER PANELS 1 POST SPACE BETWEEN ROWS (1/2 PANEL SPACING, I.E. ROUNDRING BOARD).
- 0503 1/4" HIGH PERFORATED METAL SCREEN AND STRUCTURE. PANEL THICKNESS = MIN. 1/8". PROVIDE 1/4" GAP BETWEEN ADJACENT PANELS (VERT. AND HORZ.). STAGGER PANELS 1/2 POST SPACE BETWEEN SUCCEEDING ROWS (1/4 PANEL SPACING, I.E. 1/4 ROUNDRING BOARD).
- 0504 8" HIGH PERFORATED METAL PRIVACY SCREEN AND STRUCTURE. PANEL THICKNESS = MIN. 1/8".
- 0505 STEEL FRAME PERGOLA
- 1006 ACCESSIBLE PARKING SIGNAGE MOUNTED OUTSIDE OF FENCE PER SHEET G3 20
- 1004 DETECTABLE WARNING STRIP
- 1301 BIKE RACKS
- 3228 GRASS AREA
- 3229 LOADING ZONE STRIPE
- 3230 EXTERIOR CAN TRASH ENCLOSURE
- 3231 NEW PEDESTRIAN CROSSWALK STRIPES PER CDOT REQUIREMENTS
- 3230 A NEW TREE (EVL). SEE LANDSCAPE DIVISION

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF CHICAGO.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES.
8. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND THE ILLINOIS CONSTRUCTION CODE.

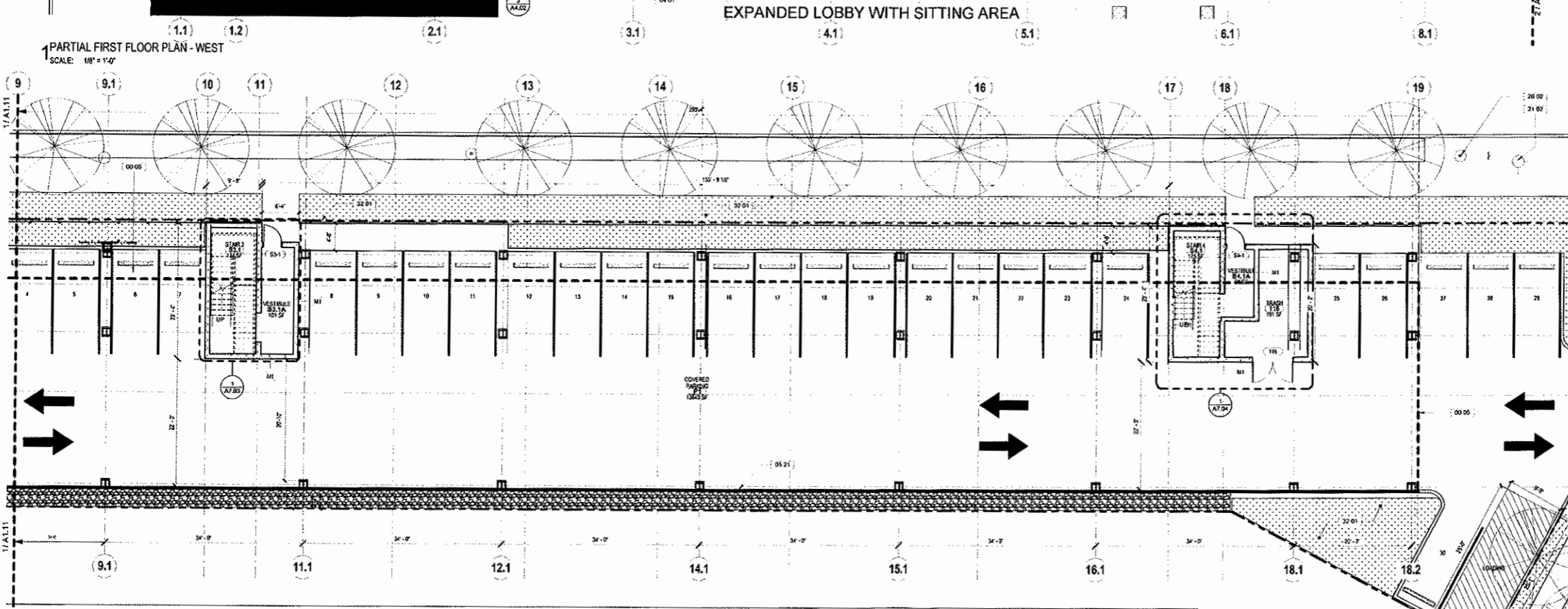
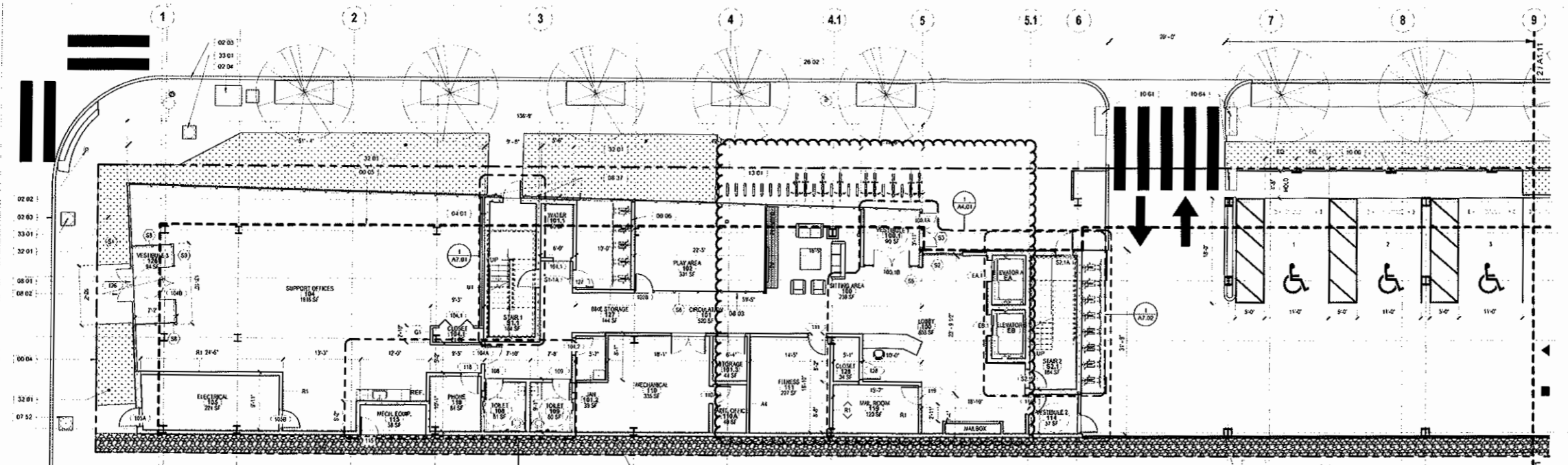
LEGEND

⊕ WATER VALVE VAULT	--- PROPERTY LINE	Y FED, SUMMER CONNECTION
⊗ GAS VALVE	▭ EXISTING BUILDING	x LIGHT POLE
⊙ LIGHT POLE	▭ BUILDING	○ FIRE HYDRANT
⊙ TRAFFIC POST WITH SIGN	▭ CONCRETE PAVEMENT AND BASE	▭ FENCE
⊙ FIRE HYDRANT	▭ ASPHALT	▭ FIRE ANNUNCIATOR PANEL
⊙ ELECTRIC MANHOLE	▭ SOFTSCAPE - GRASS AREA	
⊙ TRAFFIC CONTROL BOX	▭ CONCRETE WALK AND BASE	
⊙ TELEPHONE MANHOLE	▭ CONCRETE CURB AND OUTLET	
⊙ STORM INLET	▭ CONCRETE BARRIER CURB	
⊙ PROPERTY LINE	▭ DEPRESSED CURB	
	▭ MAIN ENTRY	
	▭ SECONDARY ENTRANCE	

KEYPLAN

SCALE: 0'-0" 1/16" = 1'-0"	SCALE: 0'-0" 1/8" = 1'-0"	SCALE: 0'-0" 1/4" = 1'-0"	SCALE: 0'-0" 3/8" = 1'-0"	SCALE: 0'-0" 1/2" = 1'-0"	SCALE: 0'-0" 3/4" = 1'-0"	SCALE: 0'-1" = 1'-0"	SCALE: 0'-1 1/2" = 1'-0"	SCALE: 0'-2" = 1'-0"
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ISSUE FOR PERMIT / IHDA 01.04.2019



1 PARTIAL FIRST FLOOR PLAN - WEST
SCALE: 1/8" = 1'-0"

2 PARTIAL FIRST FLOOR PLAN - EAST
SCALE: 1/8" = 1'-0"

KEYNOTES

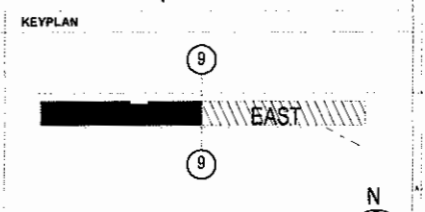
02 04	PROPERTY LINE
02 05	BUILDING LINE ABOVE
02 06	ARCH
02 07	EXISTING TRAFFIC LIGHT TO REMAIN
02 08	EXISTING TRAFFIC CONTROL BOX
02 09	EXISTING HOV PARKING SIGN
04 01	CURTAIN WALL BORING BOND, PAINTED. SEE STRUCTURAL DIVISION
05 21	6" HIGH PERFORATED METAL SCREEN AND STRUCTURE. PANEL HEIGHTS = 1' 10". PROVIDE 1/4" GAP BETWEEN ADJACENT PANELS OVER LAND AND HOVL. STAGGER PANELS 1" POST SPACE BETWEEN ROWS (1/2" PANEL SPACING I.E. PARKING BOND)
07 02	FIBER CEMENT WALL PANEL. SEE PANEL SCHEDULE
08 01	ALUMINUM STOREFRONT SYSTEM
08 02	ALUMINUM STOREFRONT DOOR, REF. TO WINDOW SCHEDULE
08 03	HOLLOW METAL DOOR ASSEMBLY, SEE DOOR SCHEDULE
08 04	INSULATED SPANDREL PANEL
10 04	ACCESSIBLE PARKING DESIGN AS INDICATED ON HEDGE OF FENCE PER SHEET 03 20
10 05	DETECTABLE WARNING STRIP
13 01	SHOE BUCKS
21 02	FIRE HYDRANT
26 02	EXTERIOR LIGHT POLE FEATURE
32 01	(N) LANDSCAPE. SEE LANDSCAPE DAYS
33 01	SEWER MANHOLE. SEE CIVIL DAYS

GENERAL NOTES

1. GRID LINES ENDING WITH 'L' REFER TO GROUND LEVEL COLUMNS
2. REFER TO ENLARGED UNIT PLANS, A1 SERIES FOR WALL TYPES
3. REFER TO SHEET A6 02 FOR WINDOW AND STOREFRONT SCHEDULE
4. REFER TO ARCHITECTURAL SITE PLAN AT 1/8" LANDSCAPE AND CIVIL DRAWINGS FOR ALL SITE ELEMENTS

LEGEND

W/INTERIOR WALL	1/4" = 1/8"	DOOR TAG
CLAD WALL	UNIT XXX	UNIT TAG
WINDOW	XXX SF	WINDOW SCHEDULE
DOOR	TYPE X-3000	ROOF TAG
METAL FENCE	Home 10' 100 SF	



NOTE - MEPP, ARCH, + STRUCT FRAMING COORDINATION:
CONTRACTOR SHALL PROVIDE AND COORDINATE ALL FLOOR AND ROOF DECK PENETRATION LOCATIONS AND DIMENSIONS AND RELIEVE COORDINATED OPENINGS IN THE CONCRETE AND STEEL FRAMING SHOP DRAWINGS. CONTRACTOR SHALL PROVIDE SUPPLEMENTAL ST. FRAMING AS NECESSARY TO MEET STRUCTURAL AND MEPP DESIGNER'S REQUIREMENTS. COORDINATE CLEARANCES WITH ALL TRADES AS NECESSARY. SEE ALSO DRAWINGS FOR REQUIRED FLOOR RATINGS AND ARCHITECTURAL DRAWINGS FOR FLOORING DETAILS.

IHDA PID#: 11260 - New City Affordable Housing



DRAFT - NOT FOR CONSTRUCTION

11.30.2018 ISSUE FOR PERMIT
11.16.2018 CDOT REVIEW
11.02.2018 MOPD REVIEW
10.29.2018 FIRE PREVENTION REVIEW
DATE ISSUED FOR

CLIENT
NEW CITY AFFORDABLE LIMITED PARTNERSHIP
4707 S. Marshfield Ave.
Chicago, IL 60609

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ARCHITECT OF RECORD
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cea a
Structural
CE Anderson & Associates
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www.ceaa.com

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MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROF.
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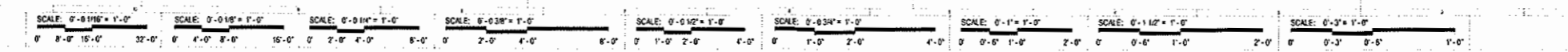
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www.sddev.com

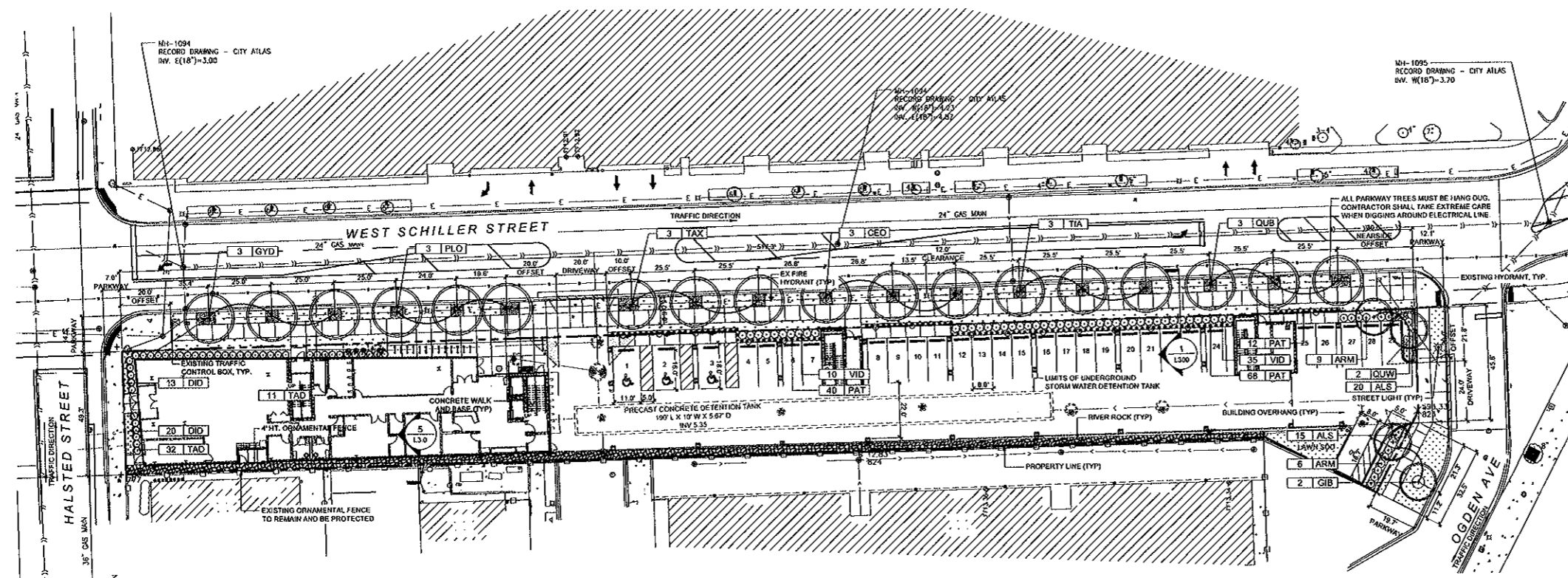
PROJECT NAME
NEW CITY AFFORDABLE HOUSING
1433 N. HALSTED ST., CHICAGO, IL 60642
745 W. SCHILLER ST., CHICAGO, IL 60642

DRAWING TITLE
FIRST FLOOR PLAN

ISSUE FOR PERMIT / IHDA
01.04.2019

SHEET #
A1.11





1 OVERALL LANDSCAPE PLAN
SCALE: 1" = 20'-0"

Landscape Ordinance Analysis

Parkway Trees Required	19
Existing Parkway Trees	0
Proposed Parkway Trees	19
TOTAL PARKWAY TREES PROVIDED	19
Note: the number of parkway trees provided may be less than the number of trees required due to locations of existing trees and required tree clearances from bus stops, light poles, driveways and intersections.	
Perimeter Trees Required (at 3 trees per 25' of perimeter landscape area)	3 Trees required
Existing perimeter trees	0
Proposed perimeter trees	3
TOTAL PERIMETER TREES REQUIRED	3

Plant Schedule
New City Affordable Housing

Qty	Key	Botanical name	Common name	Size	Notes
SHADE TREES					
3	CEO	Celtis occidentalis 'Chicagoan'	Chicagoan Hackberry	4" cal	B&B
2	GIB	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	4" cal	B&B
5	GYS	Gymnocladia dioica	Kentucky Cobra Tree	4" cal	B&B
3	PLO	Platanus acerifolia 'Morton Circle'	Excelsior London Plane	4" cal	B&B
3	QUB	Quercus bicolor	Swamp White Oak	4" cal	B&B
2	QUW	Quercus a. maritima 'Long'	Royal Prince Oak	4" cal	B&B
3	TAX	Taxodium distichum 'Shawnee Brave'	Shawnee Brave Bald Cypress	4" cal	B&B
3	TIA	Tilia americana 'Mak'Sentry'	American Sentry Linden	4" cal	B&B
EVERGREEN SHRUBS					
43	YAO	Yucca x media 'DonsBlanc'	Dens View	24" ht	B&B
DECIDUOUS SHRUBS					
15	ARM	Amelanchier alnifolia 'Morton'	Iniquity Beauty Chokeberry	24" ht	#1 Cont.
42	VLD	Viburnum dentatum 'Chicago Lustre'	Chicago Lustre Viburnum	36" ht	B&B
PERENNIALS					
35	ALS	Allium 'Summer Peak-a-Boo'	Summer Peak-a-Boo Onion	#1 Cont.	18" o.c.
GROUNDCOVER AND VINES					
33	DO	Dianthus barbatus 'Bridal Wreath'	Bridal Wreath Dianthus	#1 Cont.	18" o.c.
120	PAT	Parthenocissum bicolorata	Golston Ivy	#1 Cont.	2' o.c.
SOD AREAS					
		Sod	Quarries determined by Contractor		

SWORN STATEMENTS:

The undersigned acknowledges the landscape planning shown on the landscape plan for the property at:
1433 N Halsted St, Chicago, Illinois 60642
745 W Schiller St, Chicago, Illinois 60642

In the best of the undersigned applicant's knowledge has been designed and will be installed, maintained, and replaced, as required, by current and subsequent owners in accordance with the requirements of Chapter 32 of the Chicago Municipal Code, the landscaping standard of the Chicago Zoning Ordinance, and the "Guide to the Chicago Landscape Ordinance."

Existing parkway and on-site interior trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged.

Kevin Graham
Owner's Name and Signature

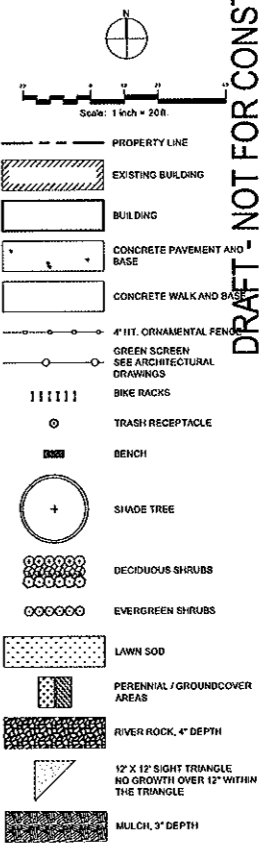
The undersigned LANDSCAPE ARCHITECT, registered in the State of Illinois, acknowledges that the landscape plan and construction details shown on the attached landscape plans for the property at:

1433 N Halsted St, Chicago, Illinois 60642
745 W Schiller St, Chicago, Illinois 60642

has been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance.

Kevin Graham
Kevin Graham FASLA, PLA
TERRA Engineering Ltd.
225 W. Ohio Street, Fourth Floor
Chicago, Illinois 60610
ph: 312.487.0123

*Estimated time of planting: December 15, 2019



DRAFT - NOT FOR CONSTRUCTION



02.25.2019	OPD COMMENT RESPONSES
02.21.2019	COOT COMMENT RESPONSES
02.08.2019	COOT/OPD REVIEW
11.30.2018	ISSUE FOR PERMIT
11.16.2018	COOT REVIEW
11.02.2018	MOPD REVIEW
10.29.2018	FIRE PREVENTION REVIEW

DATE	ISSUED FOR
------	------------

CLIENT
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4797 S. Marshfield Ave.
Chicago, IL 60609

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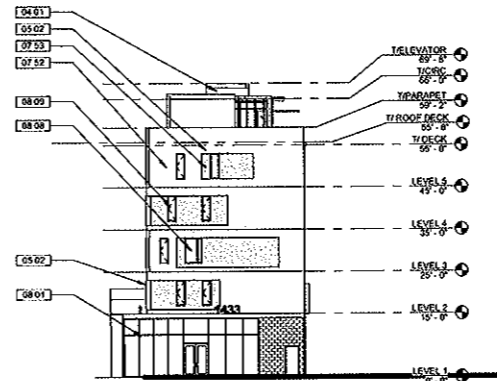
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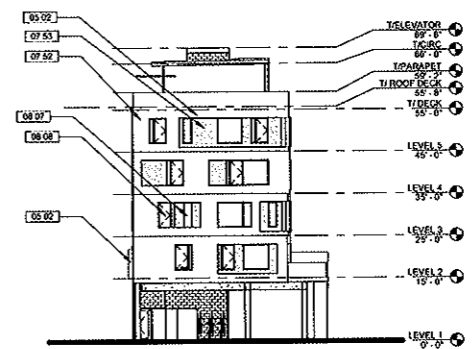
PROJECT NAME
New City Affordable Housing
1433 N HALSTED ST, CHICAGO, IL 60642
745 W SCHILLER ST, CHICAGO, IL 60642

DRAWING TITLE
Landscape Plan

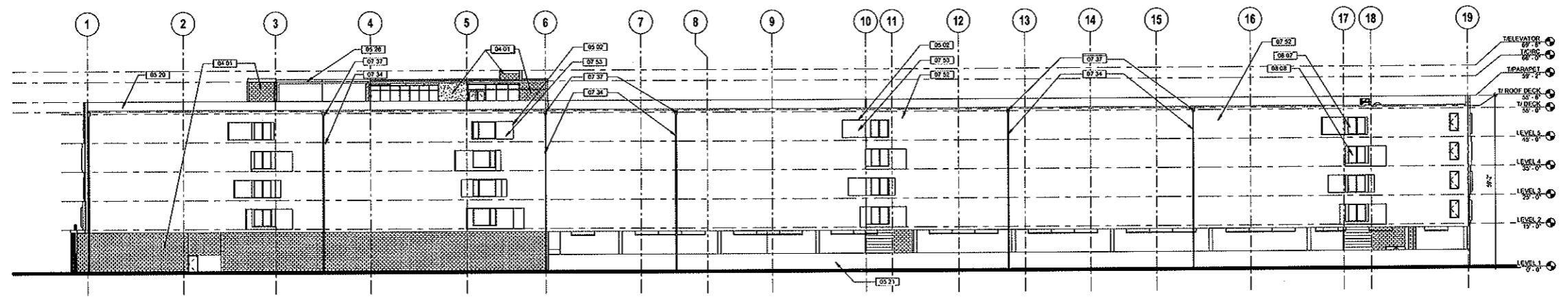
SHEET #
L1.00



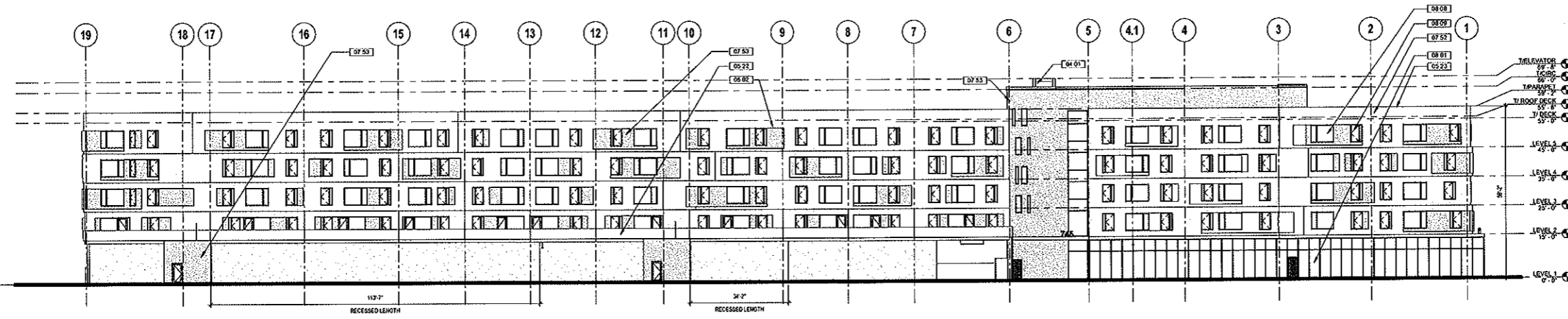
4 OVERALL WEST ELEVATION
SCALE: 1/16" = 1'-0"



3 OVERALL EAST ELEVATION
SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

KEYNOTES

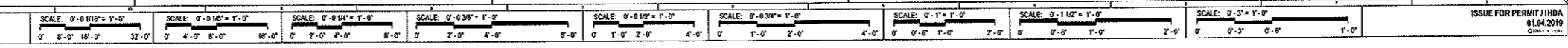
- 04 01 CLAD WALL, RUNNING BOND, PAINTED. SEE STRUCTURAL DIVS
- 05 02 1/2" THK ALUMINUM FRAME EXTRUSION. REFER TO ARCH/EXTERIOR ELEVATIONS
- 05 21 6" HIGH PERFORATED METAL SCREEN AND STRUCTURE. PANEL THICKNESS = MIN. 1/4". PROVIDE 1/4" GAP BETWEEN ADJACENT PANELS (VERT. AND HORL). STAGGER PANELS 1/2 POST SPACE BETWEEN ROWS (I.E. RUNNING BOND).
- 05 22 1/2" HIGH PERFORATED METAL SCREEN AND STRUCTURE. PANEL THICKNESS = MIN. 1/4". PROVIDE 1/4" GAP BETWEEN ADJACENT PANELS (VERT. AND HORL). STAGGER PANELS 1/2 POST SPACE BETWEEN SUCCEEDING ROWS (I.E. 1/4" RUNNING BOND).
- 05 23 6" HIGH PERFORATED METAL PRIVACY SCREEN AND STRUCTURE. PANEL THICKNESS = MIN. 1/4".
- 05 25
- 05 26
- 05 29 METAL GATE
- 07 34 ALUMINUM DOWNSPOUT
- 07 37 ROOF SCUPPER
- 07 52 FIBER CEMENT WALL PANEL. SEE PANEL SCHEDULE
- 07 53 FIBER CEMENT ACCENT WALL PANEL. SEE PANEL SCHEDULE
- 08 01 ALUMINUM STOREFRONT SYSTEM
- 08 07 STEEL CURTAINWALL ASSEMBLY
- 08 08 WINDOW FIXTURE. TYP. REF. SCHEDULE
- 08 09 WINDOW CASEMENT. TYP. REF. SCHEDULE

GENERAL NOTES

1. REFER TO WINDOW AND STOREFRONT SCHEDULE FOR GLAZING TYPES
2. REFER TO FIBER CEMENT PANEL SCHEDULE AND SPECIFICATIONS FOR PANEL TYPES
3. REFER TO TYPICAL EXTERIOR PANEL ELEVATIONS 342-33 FOR MORE INFORMATION

LEGEND

KEYPLAN



IHDA PID#:
11260 - New City Affordable Housing



11.30.2018	ISSUE FOR PERMIT
11.16.2018	COOT REVIEW
11.02.2018	MDPD REVIEW
10.29.2018	FIRE PREVENTION REVIEW
DATE	ISSUED FOR

CLIENT
**NEW CITY AFFORDABLE
LIMITED PARTNERSHIP**
4707 S. Marshfield Ave.
Chicago, IL 60609

DESIGN TEAM
UrbanWorks
ARCHITECTURE INTERIORS PLANNING
ARCHITECT OF RECORD
125 S. Clark St.
Suite 2070
Chicago, IL 60603
P: (312) 262-1200
www.urbanworksarchitecture.com

cea a
Structural
CE Anderson & Associates
175 North Franklin Street, Suite 410
Chicago, IL 60610
P: 312-750-1701;
www.ceas-a.com

DYNACEPT ENGINEERING, LTD.
Mechanical/Electrical/Plumbing/Fire Prot.
DYNACEPT, INC.
2250 E Devon Ave., Suite 218
Des Plaines, IL 60018
P: 847-299-4848
www.dynaceptinc.com

TERRA ENGINEERING LTD.
Civil/Landscape
Terra Engineering, LRD
225 W Ohio St., 4th Floor
Chicago, IL 60654
P: 847-299-4944;
www.terraengineering.com

Construction Management
STRUCTURE DEVELOPMENT
211 N. Clark St., Suite 303
Chicago, IL 60611
P: (312) 281-5775;
www.sdev.com

PROJECT NAME
NEW CITY AFFORDABLE HOUSING
1433 N. HALSTED ST., CHICAGO, IL 60642
745 W. SCHILLER ST., CHICAGO, IL 60642

DRAWING TITLE
**OVERALL EXTERIOR ELEVATIONS
(REFERENCE ONLY)**

ISSUE FOR PERMIT (I/HDA) 01.04.2019
SHEET #
A2.00



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 17, 2016

Joe DiGiacomo
Jones Lang LaSalle
200 East Randolph Drive
Chicago IL 60601

**Re: Administrative Relief request for Residential Business Planned Development No. 1075
Building A, Proposed Capital One at 1538 N. Clybourn Ave.**

Dear Mr. DiGiacomo:


Please be advised that your request for a minor change to Residential Business Planned Development No. 1075, ("PD 1075"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1075.

You are requesting administrative relief for a material change to the elevations of a proposed Capital One at 1538 N. Clybourn Ave., on behalf of the three owners of PD 1075, Bucksbaum Retail Properties, JPM Morgan Chase and Structured Development. You are seeking to replace a portion of the aluminum frame storefront window system with white glazed brick along the corner and extending partially onto Clybourn Ave. and Halsted St. This portion of Building A's façade was modified as shown on the attached Exterior Elevations to provide partial privacy and security for the tenant, Capital One.

With regard to your request, the Department of Housing and Economic Development has determined that allowing this material substitution will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

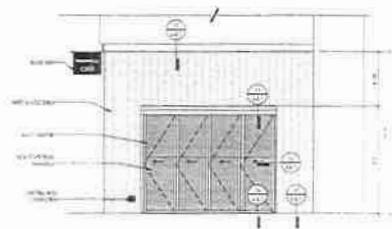
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

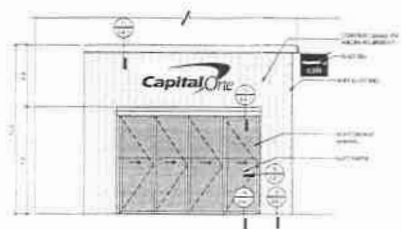


Patricia A. Scudiero
Zoning Administrator

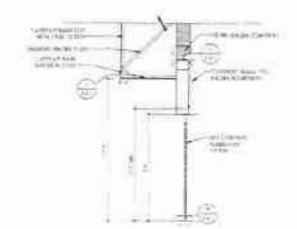
C: Scott Rolston, Jeff Berta, Fernando Espinoza, Mike Marmo, Erik Glass, Main file



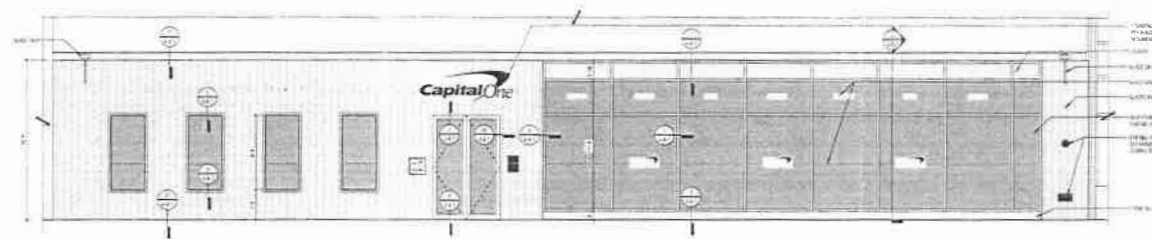
② NORTH EXTERIOR ELEVATION AT MULTIPURPOSE ENTRANCE
1/4" = 1'-0"



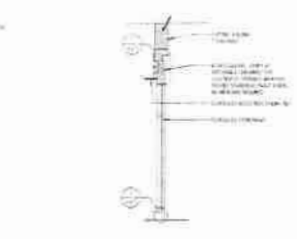
③ NORTH EXTERIOR ELEVATION AT CAFE ENTRANCE
1/4" = 1'-0"



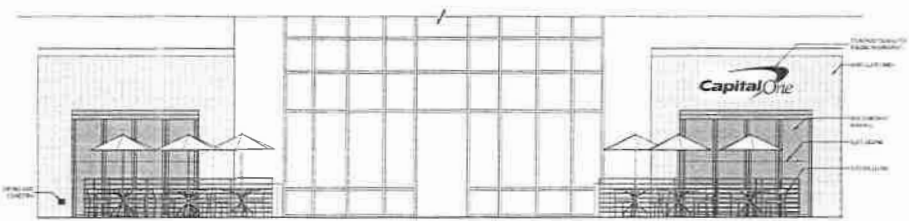
④ SECTION THROUGH CAFE SEATING NORTH STORE FRONT
1/4" = 1'-0"



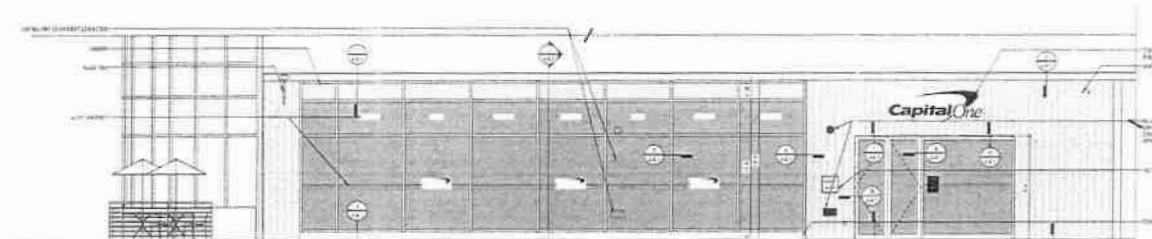
⑤ EAST CLYBOURN AVENUE EXTERIOR ELEVATION
1/4" = 1'-0"



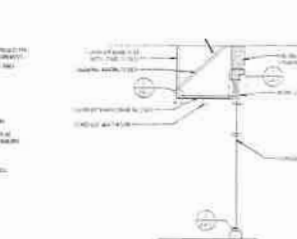
⑥ SECTION THROUGH MULTIPURPOSE ROOM STORE FRONT
1/4" = 1'-0"



⑦ NORTH HALSTED STREET & CLYBOURN AVENUE CORNER
1/4" = 1'-0"



⑧ WEST HALSTED STREET EXTERIOR ELEVATION
1/4" = 1'-0"



⑨ SECTION THROUGH WEST STORE FRONT
1/4" = 1'-0"



CAPITAL ONE
CHICAGO LINCOLN
PARK

1538 N CLYBOURN
CHICAGO IL 60642

WHEN
PRINTED AT
FULL SIZE
THIS SCALE
IS 1/4"



- 1. DATE: 08/18/2010
- 2. TIME: 10:00 AM
- 3. DRAWN BY: J. COOPER
- 4. CHECKED BY: J. COOPER
- 5. SCALE: AS SHOWN
- 6. PROJECT NO.: 10000000
- 7. SHEET NO.: 10000000
- 8. TOTAL SHEETS: 10000000
- 9. PROJECT NAME: CAPITAL ONE
- 10. PROJECT ADDRESS: 1538 N CLYBOURN, CHICAGO, IL 60642
- 11. PROJECT CONTACT: J. COOPER
- 12. PROJECT PHONE: 312-335-5000
- 13. PROJECT FAX: 312-335-5000

IA INTERIOR
ARCHITECTS

CHICAGO

104 SOUTH MICHIGAN AVENUE
SUITE 1200
CHICAGO, IL 60605
TEL: 312-485-6000 FAX: 312-485-6301

EXTERIOR
ELEVATIONS

A-6.0



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

July 17, 2013

Jeff Berta
Structured Development
211 N. Clinton
Suite 3S
Chicago, IL 60661

Re: Administrative Relief request for Residential Business Planned Development No. 1075, New City Mixed Use Development at North Clybourn Avenue and North Halsted Street, Building A Modifications and Parkway Landscaping

Dear Mr. Berta:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1075, as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development ("PD 1075").

On December 7, 2012, an administrative relief was granted for several changes to PD 1075 including design modifications and a height reduction to Building A from 120 feet to 72 feet. On February 6, 2013, an administrative relief was granted which included landscape changes to the proposed development.

You are now requesting a further height reduction and design modifications to Building A only and the addition of 16 parkway trees along N. Halsted St. and N. Clybourn Ave. Building A will be reduced from approximately four stories (72 feet) to two stories (predominantly 39 feet). Also, eight pairs of parkway trees as shown on the attached, revised Landscape Plan are proposed. The following drawings of Building A, prepared by OKW Architects, and dated June 28, 2013, shall be inserted into the main file: Lower Level Floor Plan, Ground Floor Plan, Second Floor Plan, Green Roof Plan, Clybourn Northeast Building Elevation, Halsted St. West Building Elevation, PROW Building Elevation (North), and two perspective renderings.

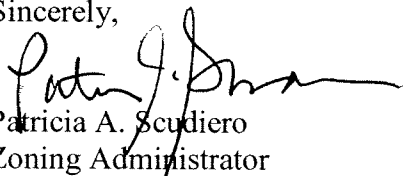
With regard to your request, the Department of Housing and Economic Development has determined that allowing these revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density,

will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

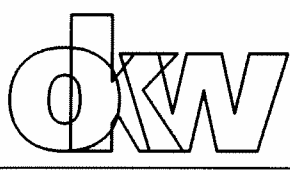
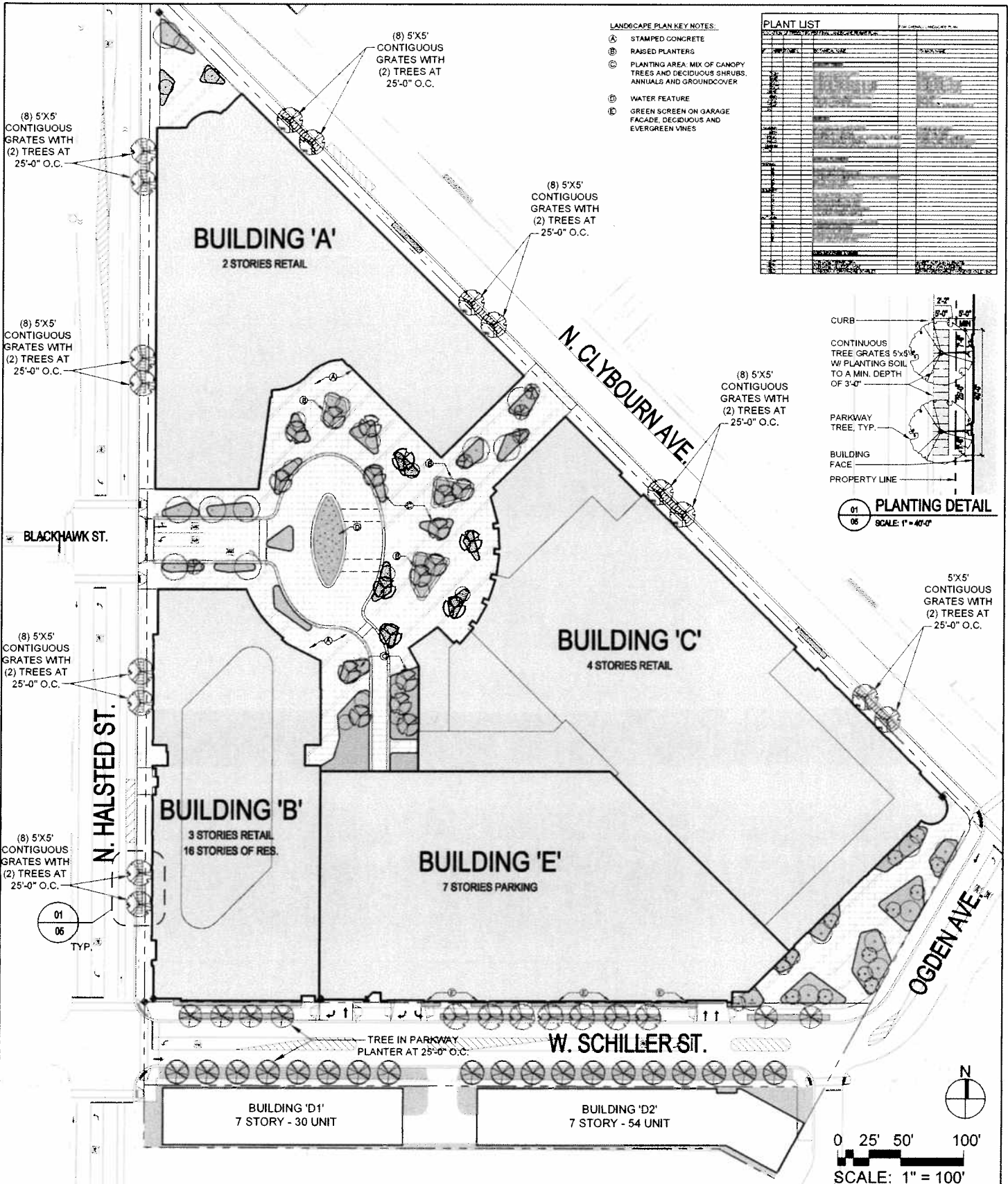
Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Fernando Espinoza, Mike Marmo, Erik Glass, Ron Daye, Main file



ARCHITECT:
OKW Architects
600 West Jackson Boulevard
Chicago, Illinois 60661
T 312.798.7700
F 312.798.7777
www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC
211 North Clinton #3S
Chicago, Illinois 60611

LANDSCAPE PLAN

THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1580 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
05

DATE:
06.28.2013

LEGEND	
LOADING SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	

PROPERTY LINE

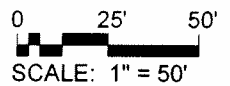
BUILDING ABOVE

UNEXCAVATED

N. CLYBOURN AVE.
(ABOVE)

N. HALSTED ST.
(ABOVE)

STORAGE
A001
7,313s.f.



ARCHITECT:
OKW Architects

600 West Jackson Boulevard
Chicago, Illinois 60661
T 312.798.7700
F 312.798.7777
www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC

211 North Clinton #3S
Chicago, Illinois 60611

BLDG A LOWER LEVEL FLOOR PLAN
(EL-19'.00')

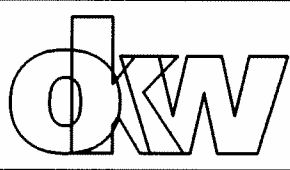
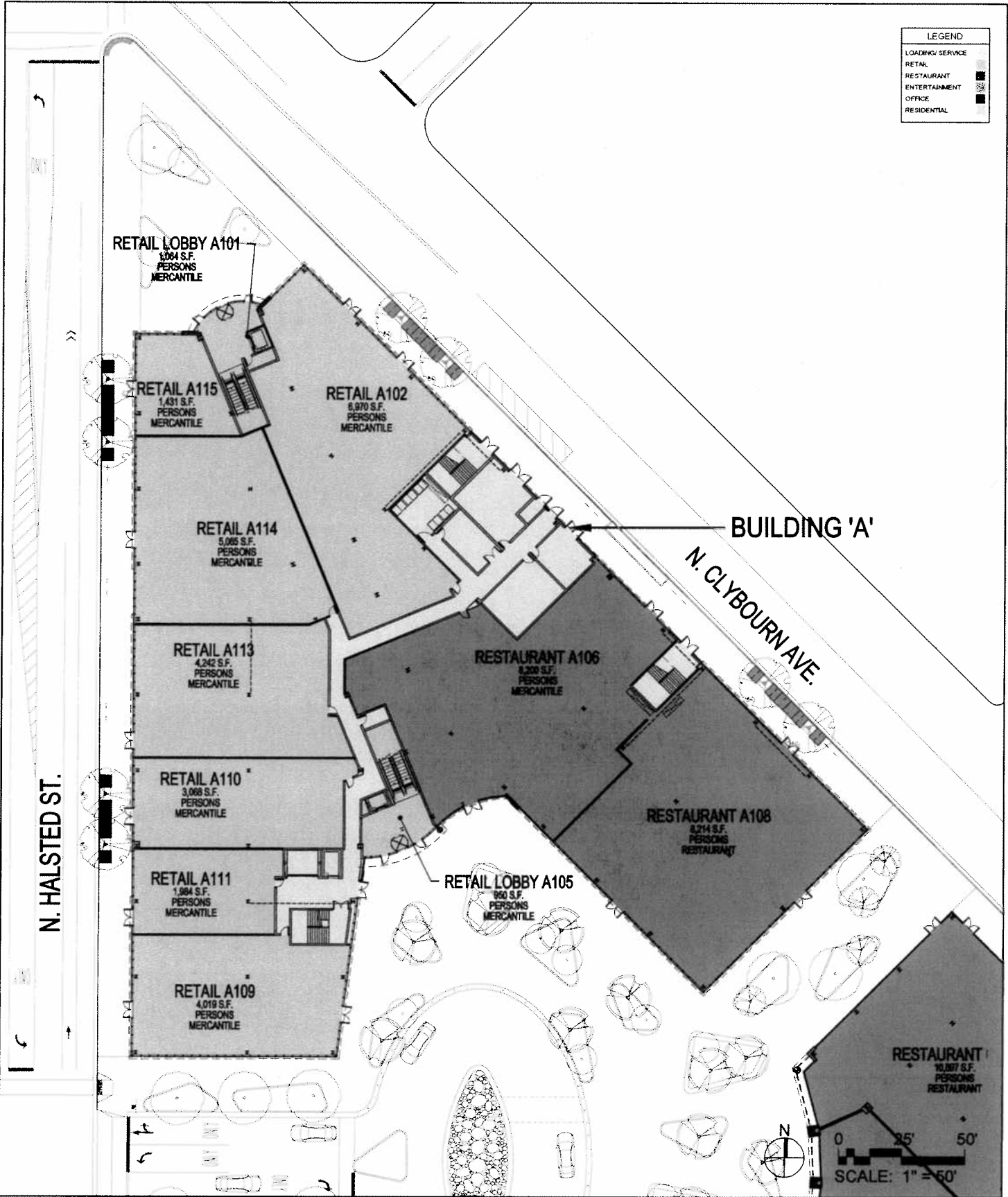
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:

06

DATE: 06.28.2013

LEGEND	
LOADING/ SERVICE	[Symbol]
RETAIL	[Symbol]
RESTAURANT	[Symbol]
ENTERTAINMENT	[Symbol]
OFFICE	[Symbol]
RESIDENTIAL	[Symbol]



ARCHITECT:
 OKW Architects
 600 West Jackson Boulevard
 Chicago, Illinois 60661
 T 312.798.7700
 F 312.798.7777
 www.okwarchitects.com

APPLICANT:
 1515 N. HALSTED LLC
 211 North Clinton #3S
 Chicago, Illinois 60611

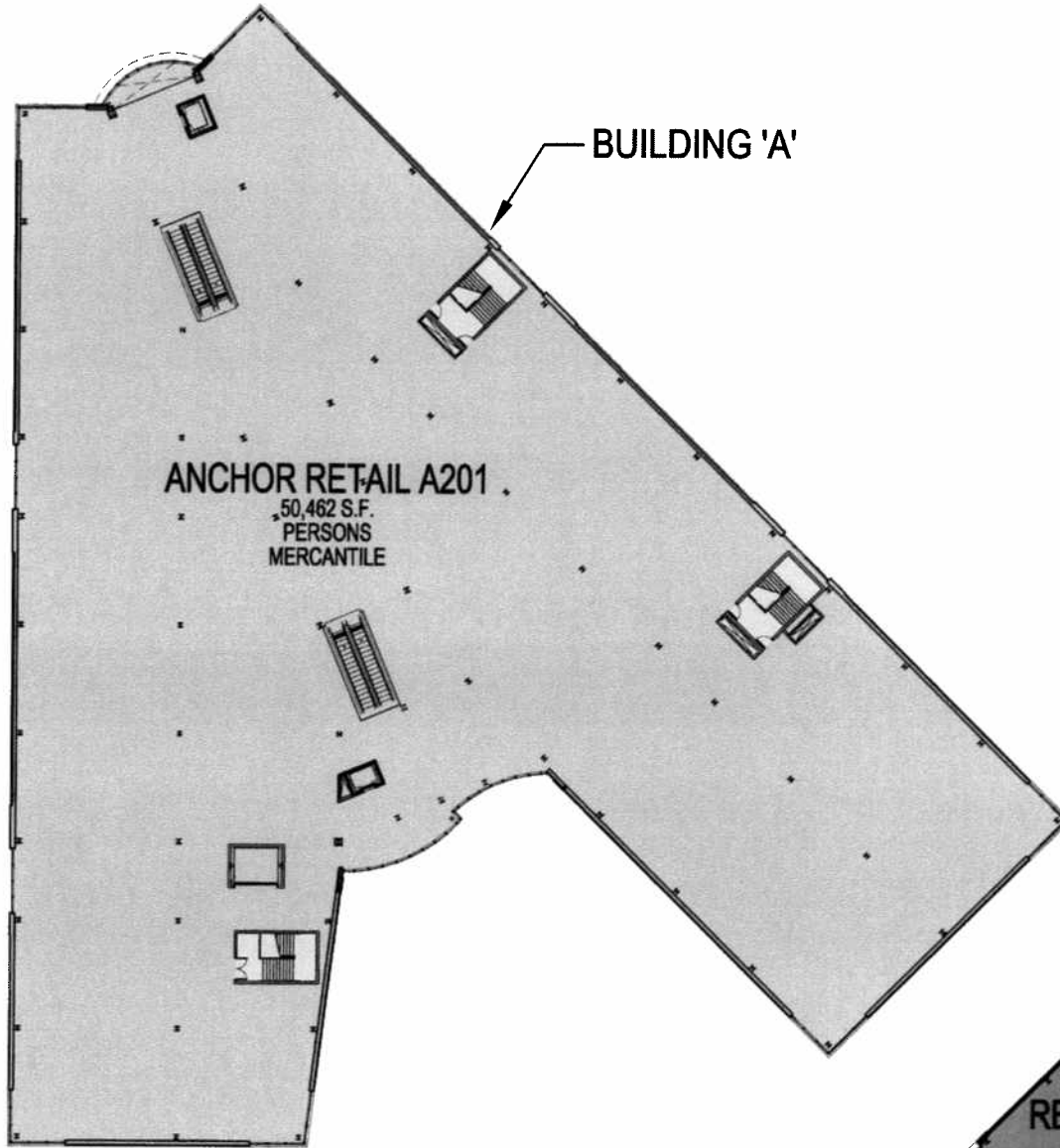
BLDG A
GROUND FLOOR PLAN (EL. +0.0')

THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1580 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
07

DATE:
 06.28.2013

LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	

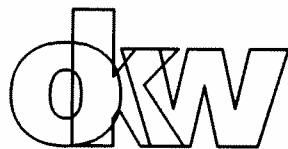
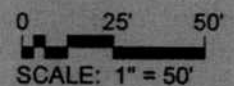


BUILDING 'A'

ANCHOR RETAIL A201
50,462 S.F.
PERSONS
MERCANTILE

RESTAURANT
9,848 S.F.
PERSONS
RESTAURANT

RETAIL C204



ARCHITECT:
OKW Architects

600 West Jackson Boulevard
Chicago, Illinois 60661
T 312.798.7700
F 312.798.7777
www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC

211 North Clinton #3S
Chicago, Illinois 60611

BLDG A
SECOND FLOOR PLAN (EL +18.00')

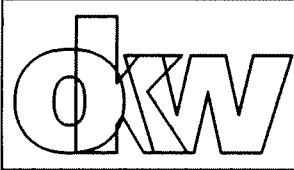
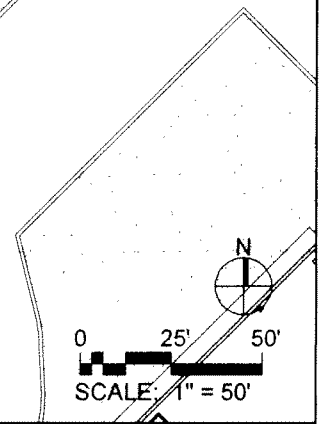
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:

08

DATE: 06.28.2013

BUILDING	LEVEL	GROSS ROOF AREA (SF)	NET ROOF AREA (SF)	GREEN ROOF AREA (SF)
BLDG A	RETAIL	50,411	32,767	32,175
BLDG B	RETAIL	32,481	21,113	19,378
	RESIDENTIAL	13,484	8,765	2,000
BLDG C	RETAIL	13,542	8,802	8,802
	CIRCULATION	7,309	4,751	3,448
	ENTERTAINMENT	58,603	38,092	3,556
BLDG D	RESIDENTIAL	19,963	12,976	12,976
BLDG E	PARKING	57,292	37,240	682
TOTALS		253,085	164,506	83,017
PERCENTAGE GREEN ROOF				50.46%



ARCHITECT:
 OKW Architects
 600 West Jackson Boulevard
 Chicago, Illinois 60661
 T 312.798.7700
 F 312.798.7777
 www.okwarchitects.com

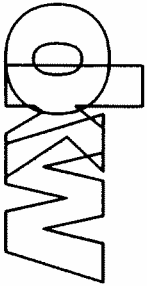
APPLICANT:
 1515 N. HALSTED LLC
 211 North Clinton #3S
 Chicago, Illinois 60611

**BLDG A
 GREEN ROOF PLAN**

THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1580 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
11

DATE: 06.28.2013

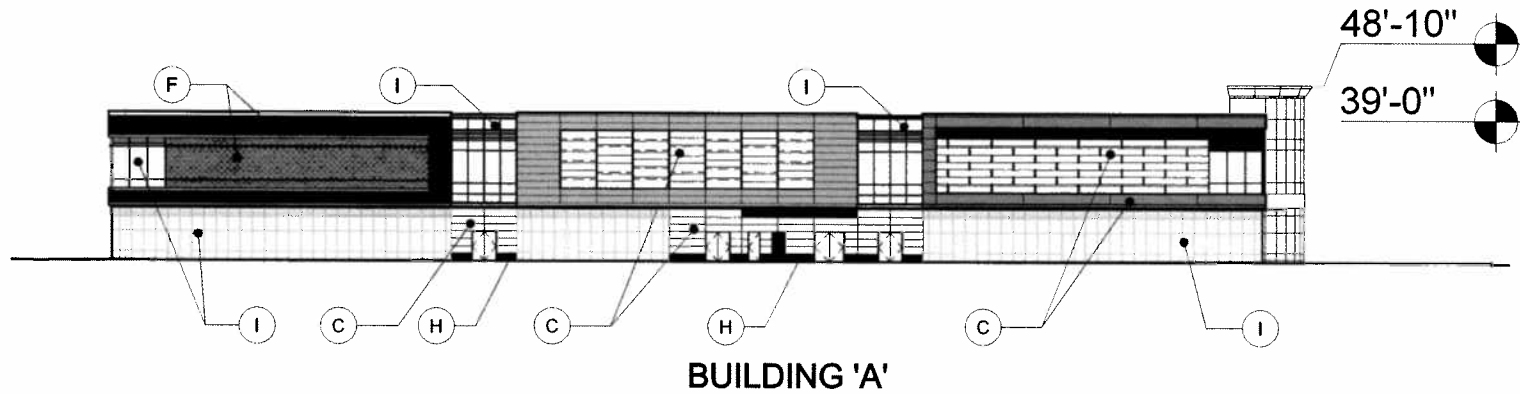


ARCHITECT:
OKW Architects
 800 West Jackson Boulevard
 Chicago, Illinois 60681
 T 312 798 7700
 F 312 798 7777
 www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC
 211 North Clinton #SS
 Chicago, Illinois 60611

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



BUILDING 'A'

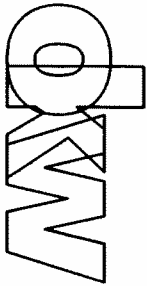
0 25' 50'
 SCALE: 1" = 50'

CLYBOURN NORTHEAST BUILDING A
 ELEVATION
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1590 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:

12

DATE:
 08.28.2013



ARCHITECT:
OKW Architects
 800 West Jackson Boulevard
 Chicago, Illinois 60661
 T 312.798.7700
 F 312.798.7777
 www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC

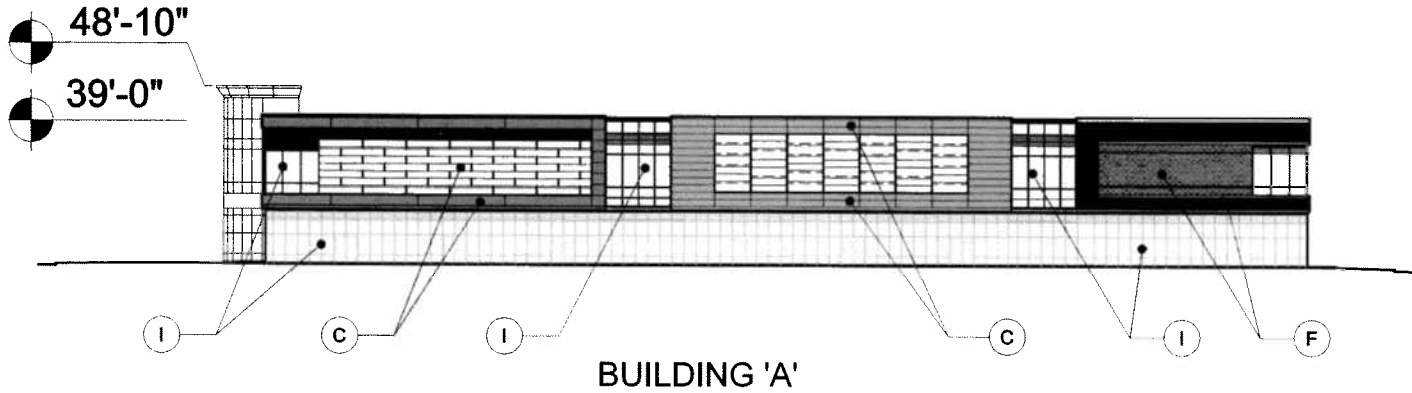
211 North Clinton #SS
 Chicago, Illinois 60611

HALSTED ST. WEST BUILDING A
 ELEVATION

THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1590 North Clybourn Avenue & 1431 - 1539 North Halsted Street

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS

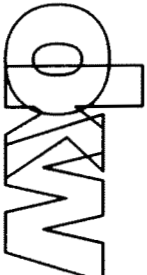


SHEET NO.:

14

DATE:

06.28.2013

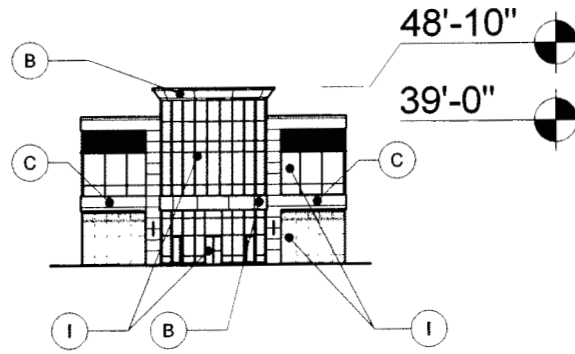


ARCHITECT:
OKW Architects
 800 West Jackson Boulevard
 Chicago, Illinois 60681
 T 312.798.7700
 F 312.798.7777
 www.okwarchitects.com

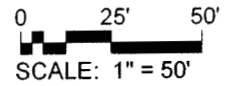
APPLICANT:
1515 N. HALSTED LLC
 2111 North Clinton #8S
 Chicago, Illinois 60611

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



BUILDING 'A'



**PROW BUILDING A ELEVATION
 (NORTH)**

THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1590 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:

18

DATE:

06.28.2013



STRUCTURED
DEVELOPMENT

NEWCITY - CHICAGO, ILLINOIS



d+w Architects
DATE: JUNE 28, 2013



STRUCTURED
DEVELOPMENT

NEWCITY - CHICAGO, ILLINOIS



dw Architects

DATE: APR 28, 2011



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

February 6, 2013

Jeff Berta
Structured Development
211 N. Clinton
Suite 3S
Chicago, IL 60661

Re: REVISED Administrative Relief request for Residential Business Planned Development No. 1075, New City Mixed Use Development at North Clybourn Avenue and North Halsted Street

Dear Mr. Berta:

On December 7, 2012, an administrative relief was granted to allow revisions to the mixed-use development at the above location. However, landscape changes were not included in your original request. This administrative relief letter now incorporates all of the proposed revisions, including your proposed landscape changes.

Please be advised that your revised request for a minor change to Residential Business Planned Development No. 1075, as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development ("PD").

You are requesting, on behalf of the property owner, the following revisions:

- Increase the maximum number of residential units within Subarea B from 196 to 199, for a total increase from 280 to 283. This unit count increase will not increase the floor area or height. Unit sizes on the typical floors will be adjusted based on market conditions.
- Decrease the height of building A from 120' to approximately 72'-7".
- Increase the height of building C from 75' to approximately 82' to accommodate the increased size of the theatre projection screens.
- Increase the height of building E from 72' to approximately 98' to accommodate an additional level of required parking.
- Landscape modifications as shown on the revised Landscape Plan, dated February 5, 2013. Due to the existing, narrow sidewalk width along Halsted St. and Clybourn Ave., the Landscape Ordinance does not require trees on these two streets and therefore no trees are shown. The landscaping in the plaza areas has also been modified, as shown on the attached renderings; however it still exceeds the amount required.

At a later date, if you wish to discuss the possibility of installing some trees in a continuous grading system along Halsted St. and Clybourn Ave., please follow-up with Ron Daye of my staff.

The following drawings, prepared by OKW Architects, and dated November 19, 2012, shall be inserted into the main file: Lower Level Floor Plan, Ground Floor Plan, Second Floor Plan, Third Floor Plan, Fourth Floor Plan, Green Roof Plan, Clybourn Northeast Building Elevation and Comparison, Schiller St. South Building Elevation and Comparison, Halsted St. West Building Elevation and Comparison, East to West Site Sections and a color rendering. The revised Landscape Plan and Central Plaza renderings shall also be inserted into the main file.

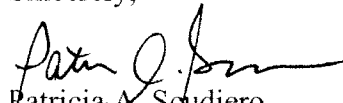
With regard to your request, the Department of Housing and Economic Development has determined that allowing these revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

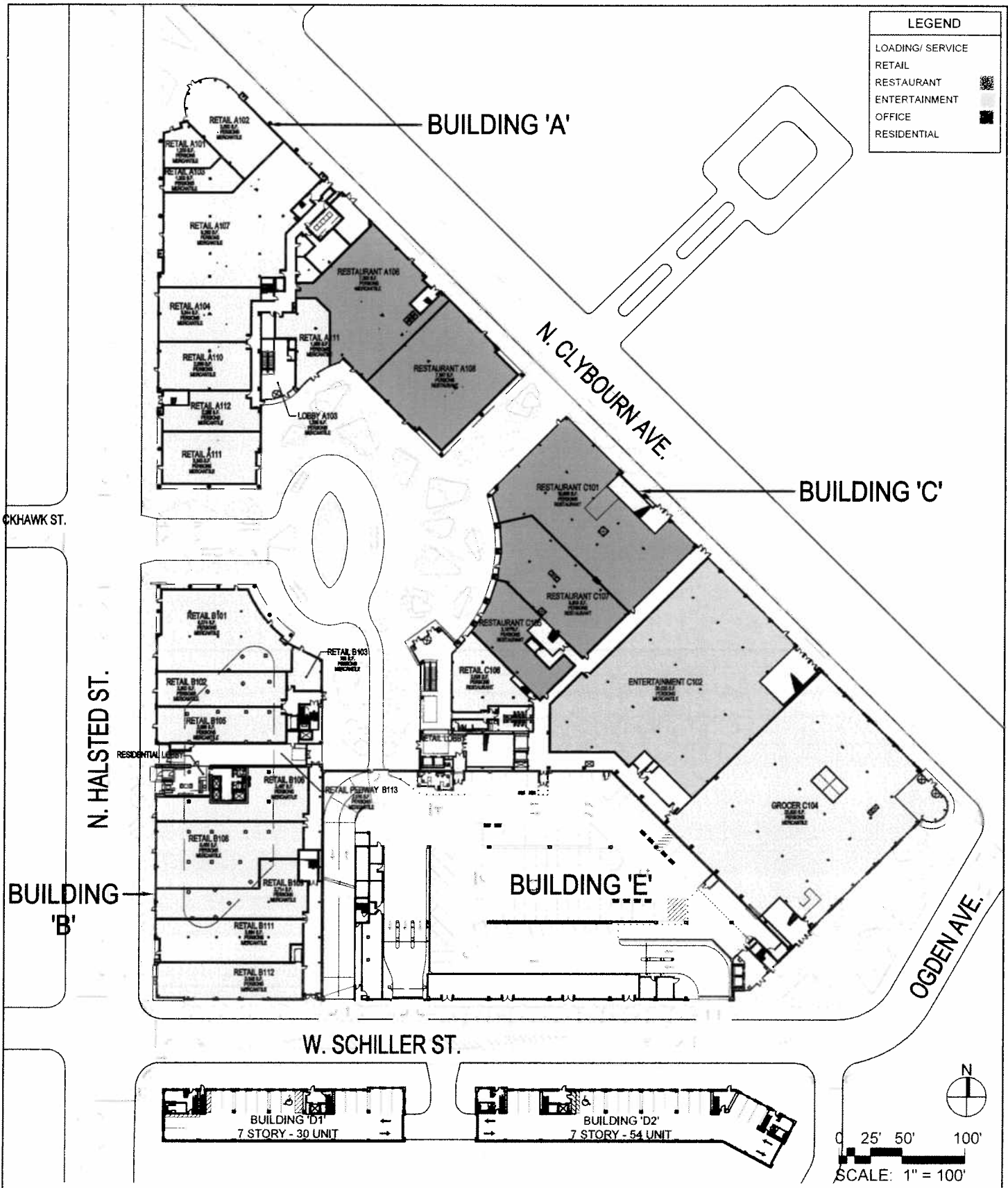
Additionally, you asked for verification that based on a net site area of 334,098 SF and an open space requirement of 25%, the open space required is 83,525 SF (334,098 x 25%). We concur that the dedication of Schiller Street results in a reduced open space requirement for the site. Lastly, we are reviewing your signage package and will respond to that request separately.

Sincerely,

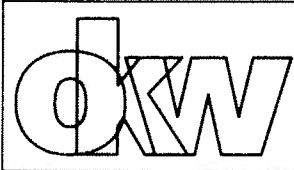

Patricia A. Soudiero
Zoning Administrator

PAS: HG: tm

C: Fernando Espinoza, Mike Marmo, Erik Glass, Ron Daye, Main file



LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



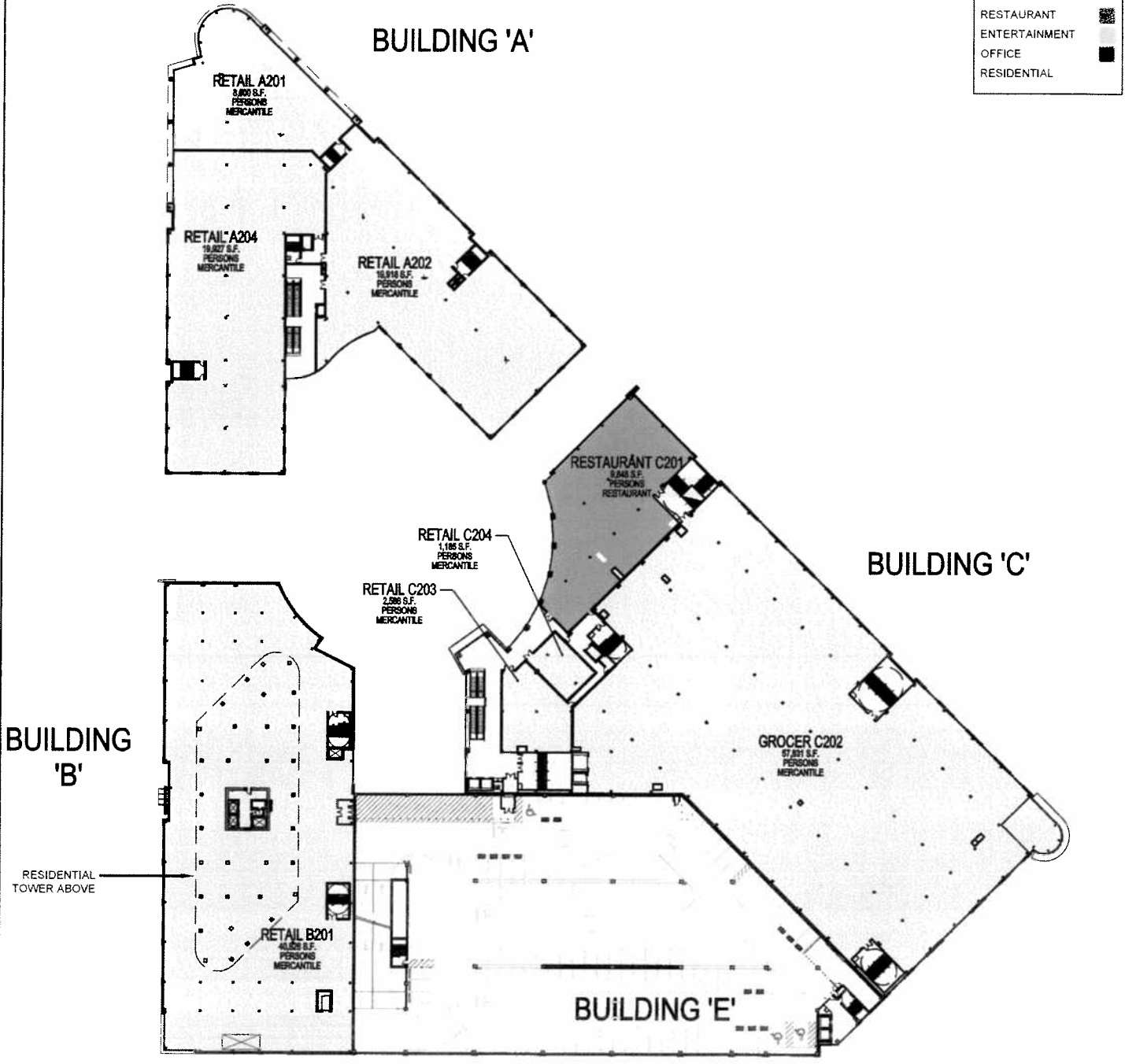
ARCHITECT:
 OKW Architects
 600 West Jackson Boulevard
 Chicago, Illinois 60661
 T 312.798.7700
 F 312.798.7777
 www.okwarchitects.com

APPLICANT:
 1515 N. HALSTED LLC
 211 North Clinton #3S
 Chicago, Illinois 60611

GROUND FLOOR PLAN (EL +0.0')
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
07
DATE:
 11.19.2012

LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



BUILDING 'C'

BUILDING 'B'

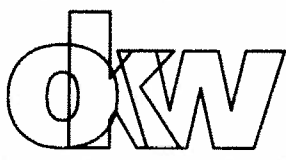
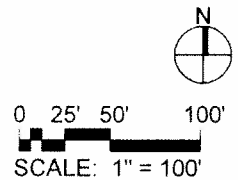
BUILDING 'A'

BUILDING 'E'

BUILDING 'D1'

BUILDING 'D2'

RESIDENTIAL TOWER ABOVE



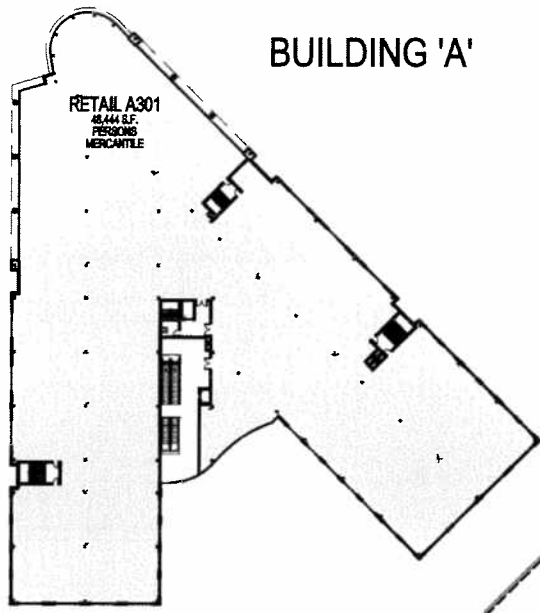
ARCHITECT:
OKW Architects
 600 West Jackson Boulevard
 Chicago, Illinois 60661
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 www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC
 211 North Clinton #3S
 Chicago, Illinois 60611

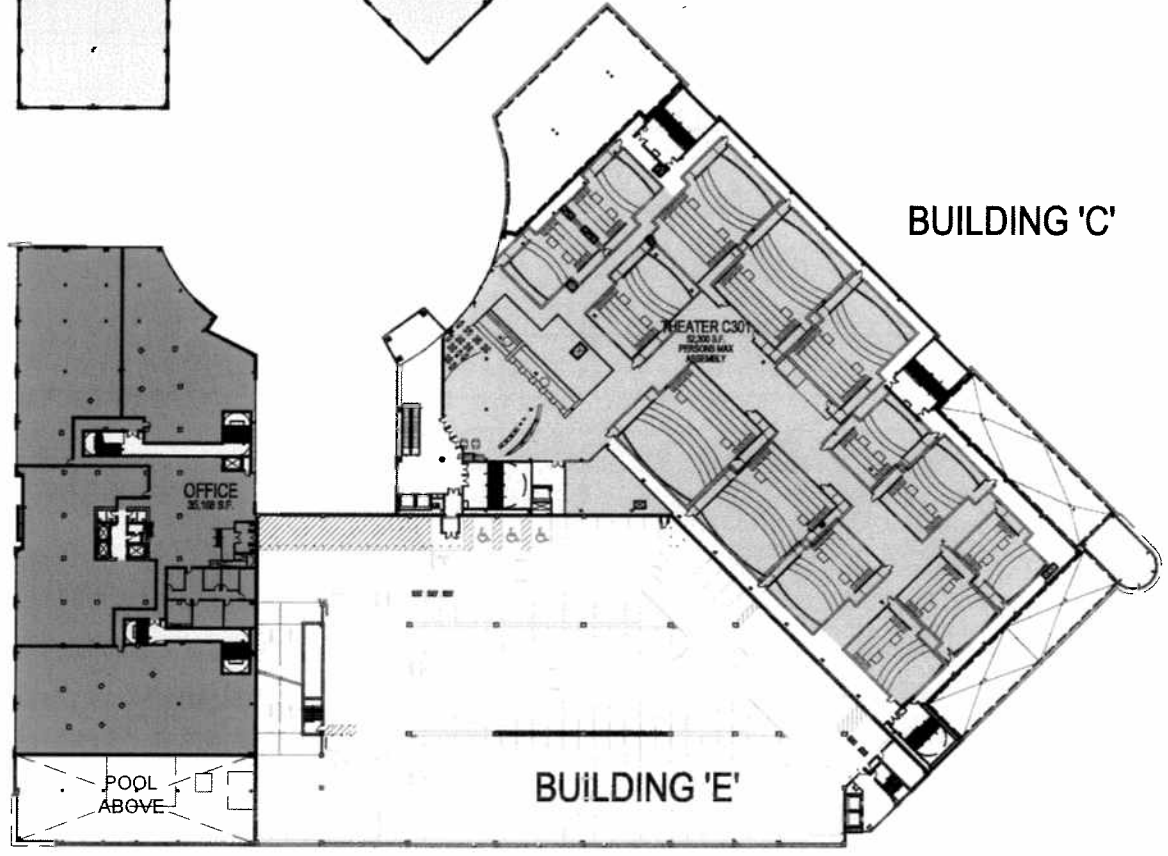
SECOND FLOOR PLAN (EL +18.00')
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
08
 DATE:
 11.19.2012

LEGEND	
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RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



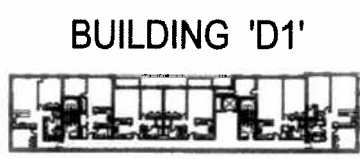
BUILDING 'A'



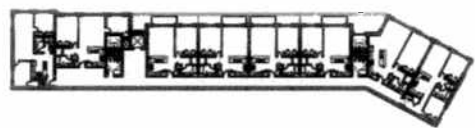
BUILDING 'C'

BUILDING 'B'

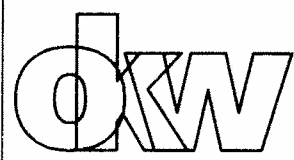
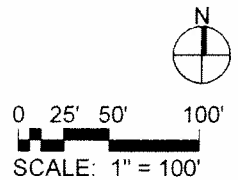
BUILDING 'E'



BUILDING 'D1'



BUILDING 'D2'



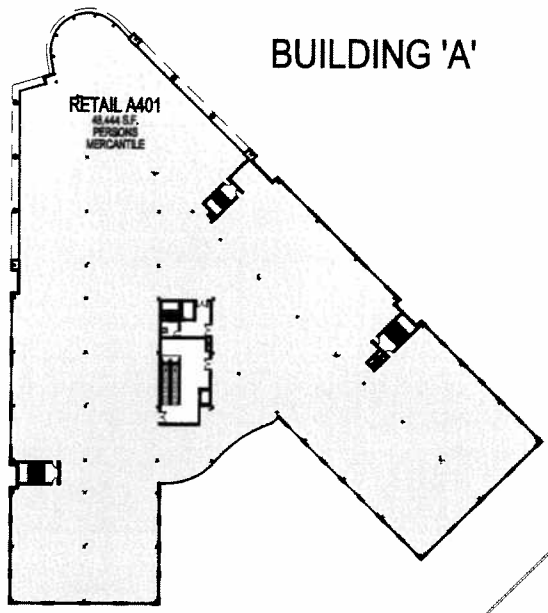
ARCHITECT:
OKW Architects
 600 West Jackson Boulevard
 Chicago, Illinois 60661
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 www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC
 211 North Clinton #3S
 Chicago, Illinois 60611

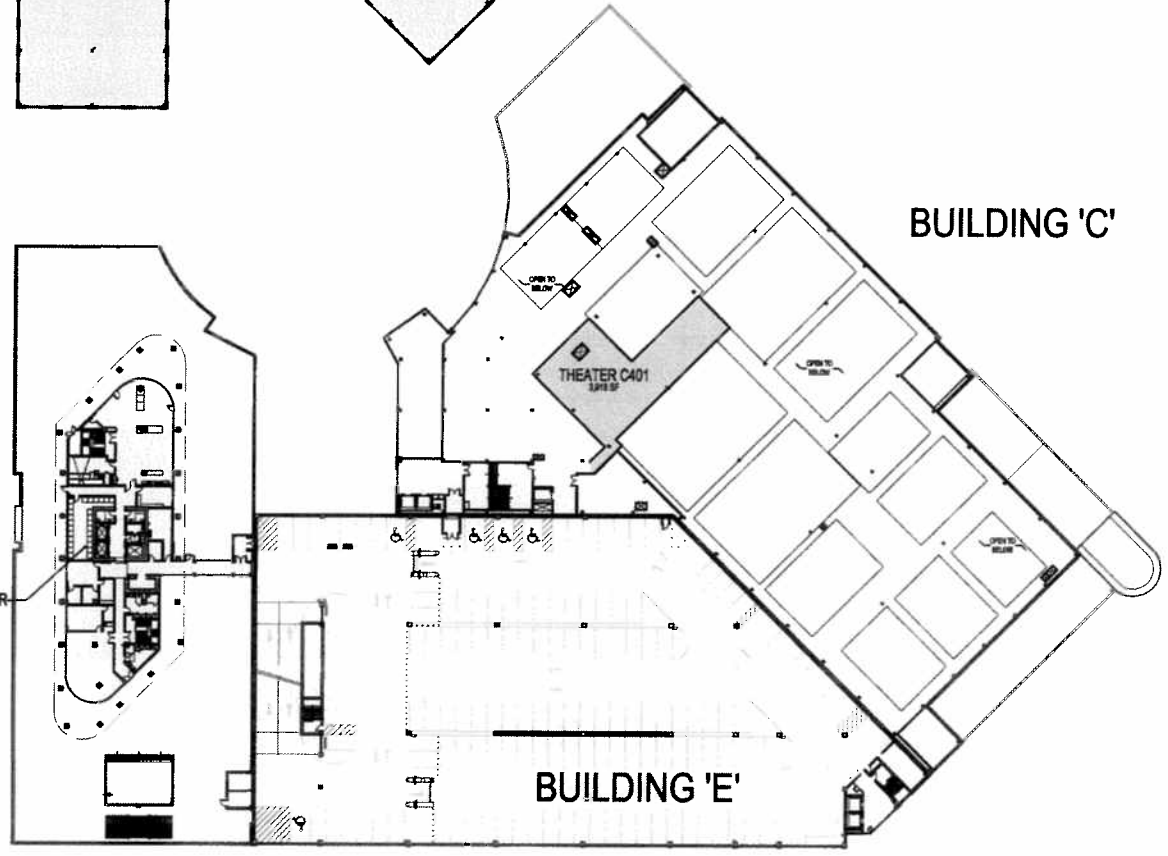
THIRD FLOOR PLAN (EL VARIES)
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
09
 DATE:
 11.19.2012

LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



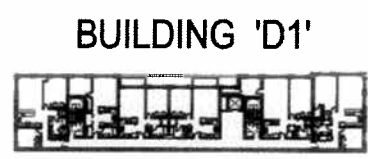
BUILDING 'A'



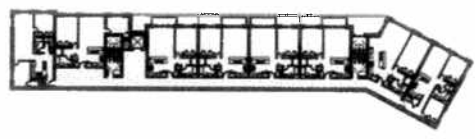
BUILDING 'B'

BUILDING 'C'

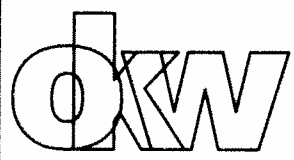
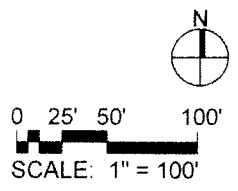
BUILDING 'E'



BUILDING 'D1'



BUILDING 'D2'



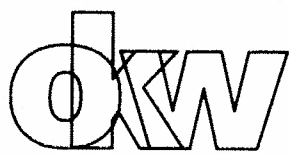
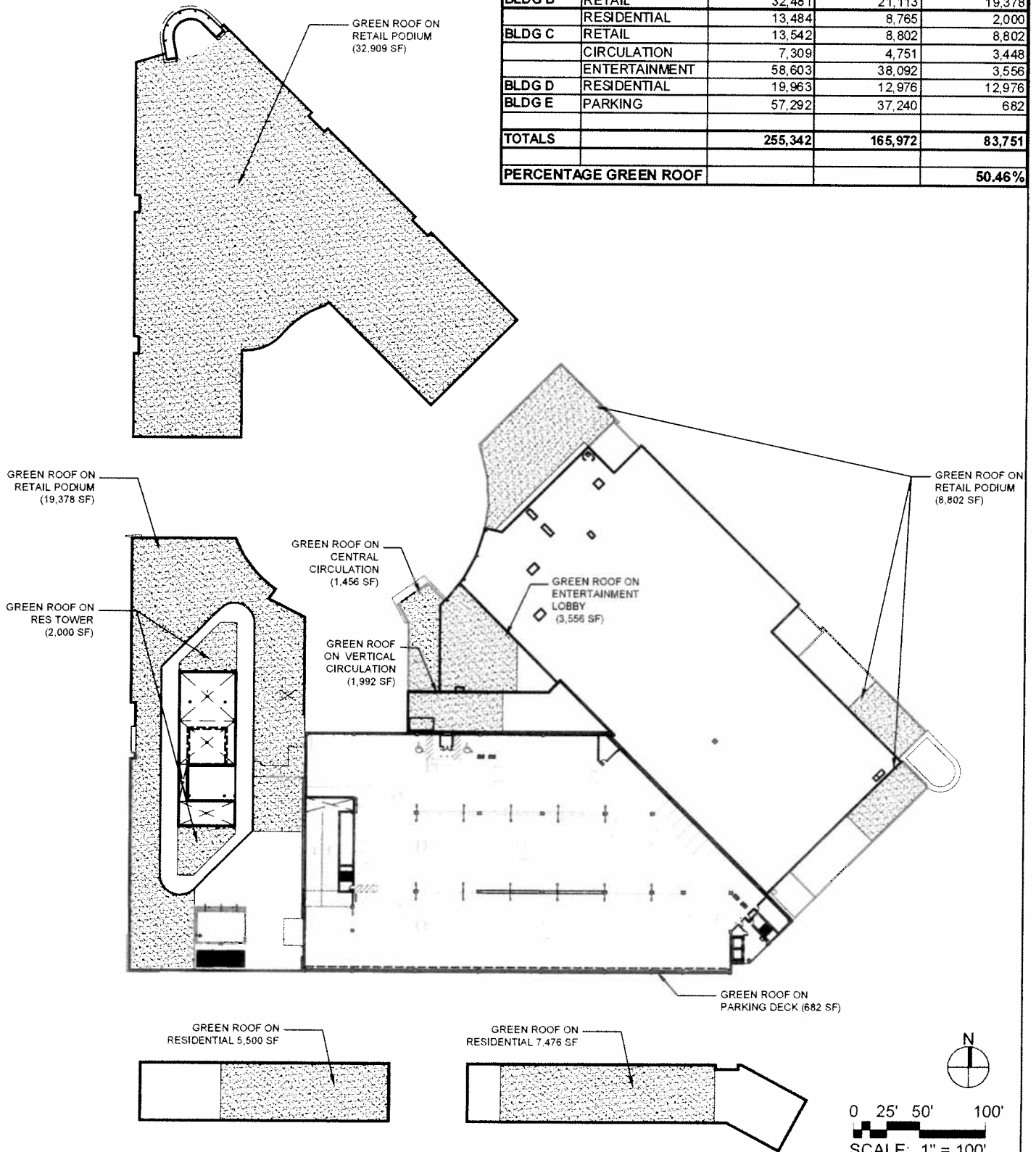
ARCHITECT:
 OKW Architects
 600 West Jackson Boulevard
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 www.okwarchitects.com

APPLICANT:
 1515 N. HALSTED LLC
 211 North Clinton #3S
 Chicago, Illinois 60611

FOURTH FLOOR PLAN (EL VARIES)
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.
10
DATE:
 11.19.2012

BUILDING	LEVEL	GROSS ROOF AREA (SF)	NET ROOF AREA (SF)	GREEN ROOF AREA (SF)
BLDG A	RETAIL	52,668	34,234	32,909
BLDG B	RETAIL	32,481	21,113	19,378
BLDG C	RESIDENTIAL	13,484	8,765	2,000
	RETAIL	13,542	8,802	8,802
BLDG D	CIRCULATION	7,309	4,751	3,448
	ENTERTAINMENT	58,603	38,092	3,556
BLDG D	RESIDENTIAL	19,963	12,976	12,976
BLDG E	PARKING	57,292	37,240	682
TOTALS		255,342	165,972	83,751
PERCENTAGE GREEN ROOF				50.46%

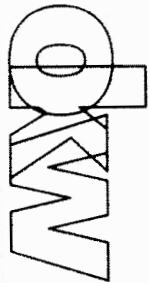


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 www.okwarchitects.com

APPLICANT:
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 211 North Clinton #35
 Chicago, Illinois 60611

GREEN ROOF PLAN
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
11
 DATE:
 11.19.2012



ARCHITECT:
OKW Architects
800 West Jackson Boulevard
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APPLICANT:
1515 N. HALSTED LLC
211 North Chicago #3S
Chicago, Illinois 60611

CLYBOURN NORTHEAST BUILDING
ELEVATION

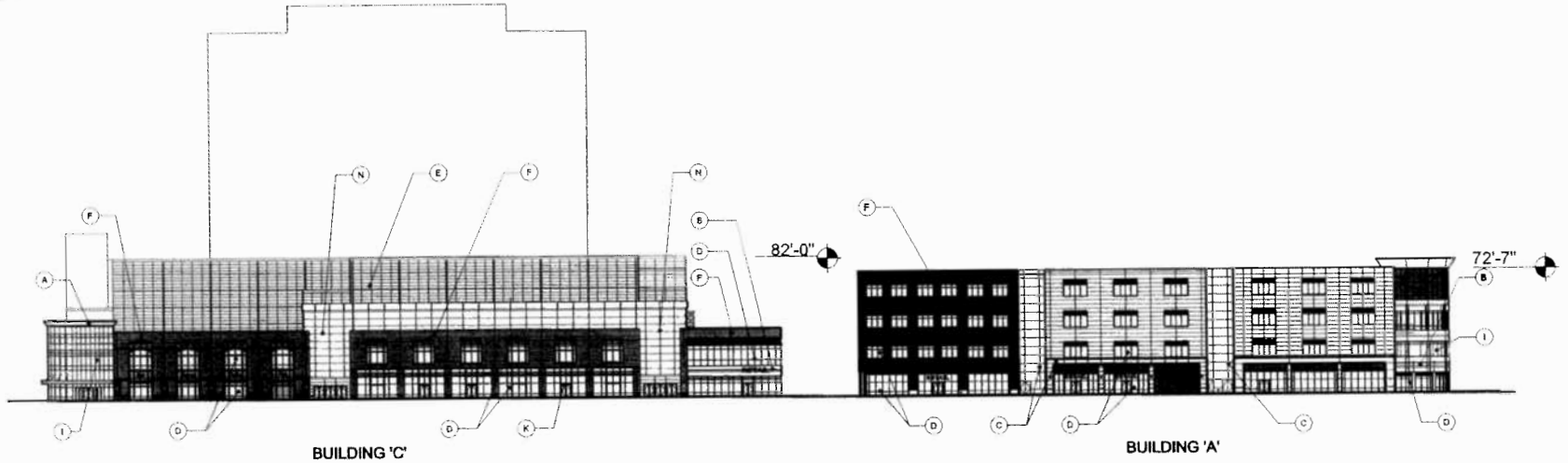
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

DATE: 11.19.2012

SHEET NO.:
12

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN 
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS





ARCHITECT:
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Chicago, Illinois 60611
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www.okwarchitect.com

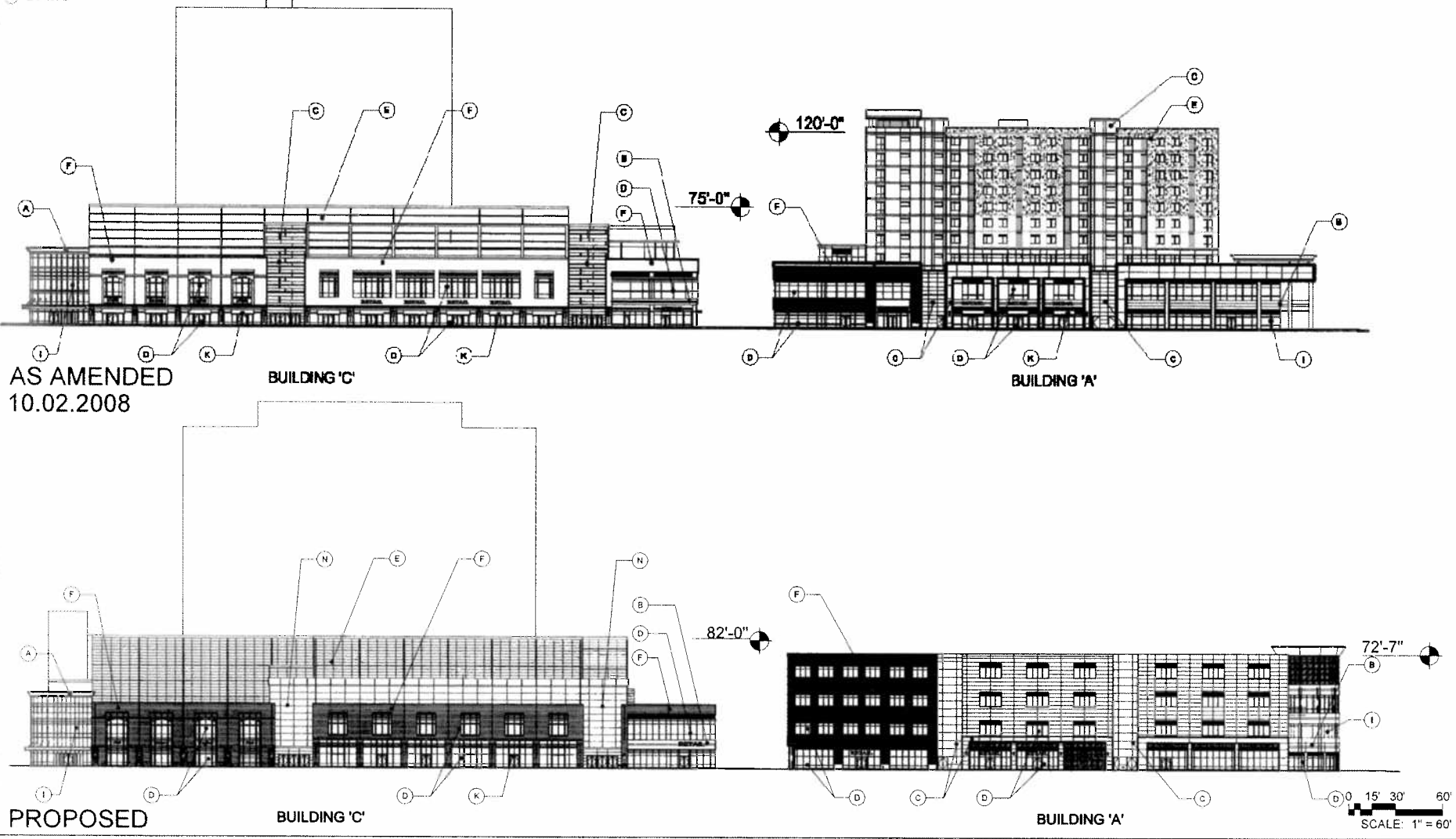
APPLICANT:
1515 N. HALSTED LLC
211 North Canal Street
Chicago, Illinois 60611

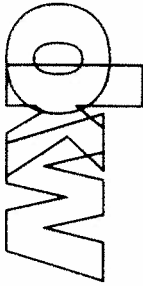
THE NEW CITY MIXED USE DEVELOPMENT
1402 - 1600 North Ogden Avenue & 1401 - 1600 North Halsted Street
CLYBOURN NORTHEAST BUILDING
ELEVATION - COMPARISON

SHEET NO.:
12A
DATE:
11.19.2012

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH INSULATED GLAZING TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH INSULATED GLAZING TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH OR GLE INKILL TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS





ARCHITECT:
OKW Architects
 600 West Jackson Boulevard
 Chicago, Illinois 60661
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APPLICANT:
1515 N. HALSTED LLC
 211 North Clinton #2S
 Chicago, Illinois 60611

SCHILLER ST. SOUTH BUILDING
 ELEVATION

THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1590 North Cyprium Avenue & 1431 - 1539 North Halsted Street

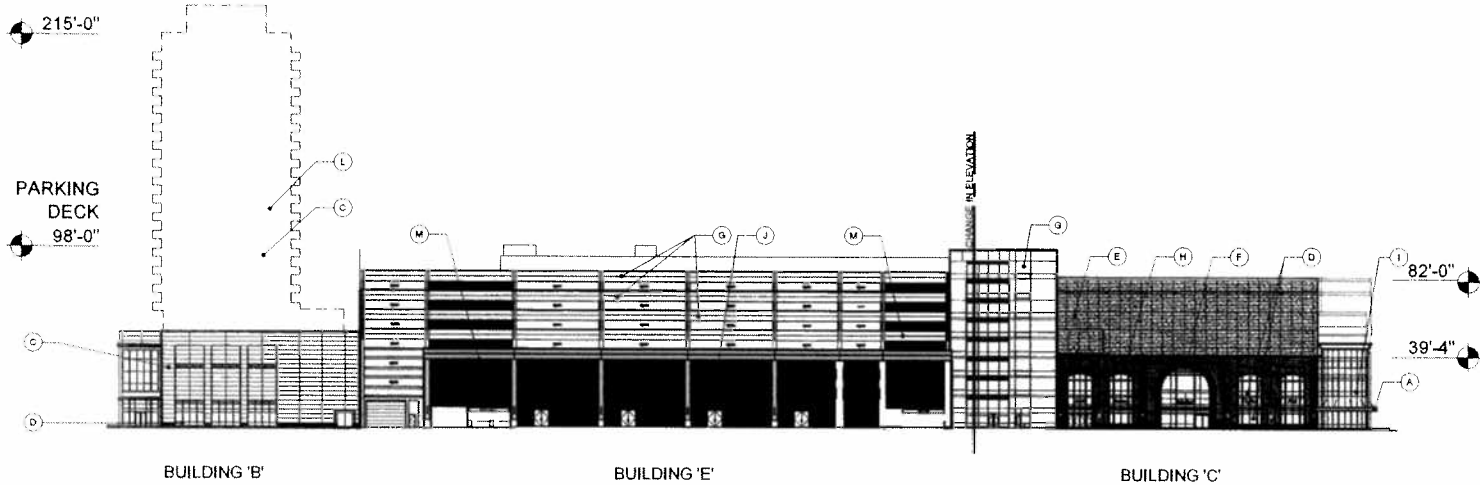
SHEET NO.:

13

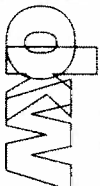
DATE:
 11.19.2012

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



0 25' 50' 100'
 SCALE: 1" = 100'



ARCHITECT:
OKW Architecture
100 West Madison Boulevard
Chicago, Illinois 60611
T 312.786.7770
F 312.786.7771
www.okwarchitecture.com

APPLICANT:
1515 N. HALSTED LLC
271 North Center Street
Chicago, Illinois 60611

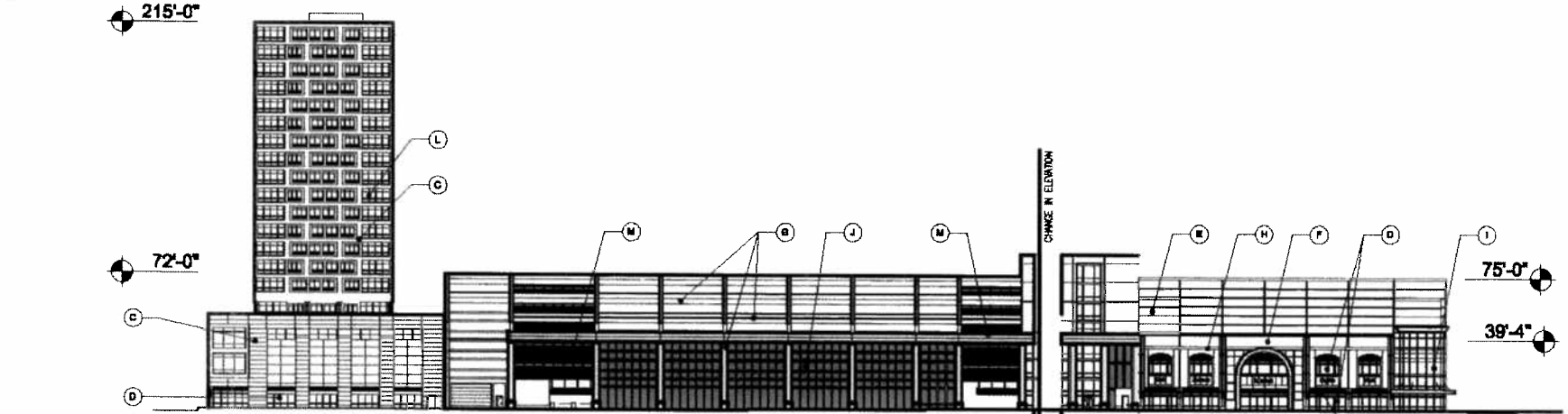
**SCHILLER ST. SOUTH BUILDING
ELEVATION - COMPARISON**

THE NEW CITY MIXED USE DEVELOPMENT
1437 - 1450 North Chicago Avenue & 1437 - 1450 North Halsted Street

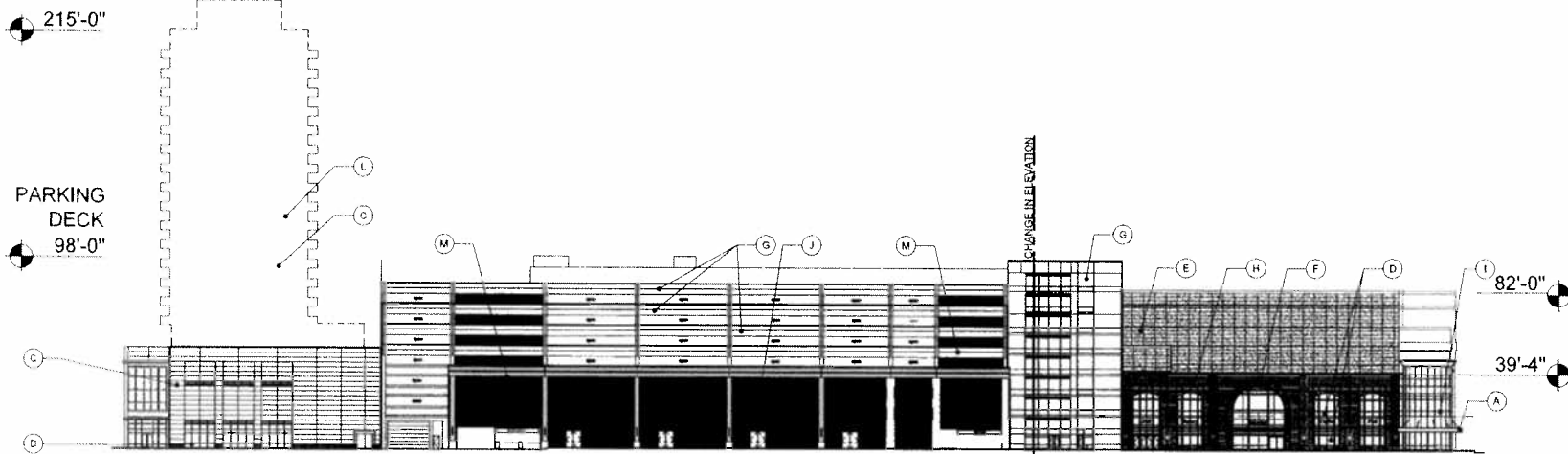
SHEET NO. 13A
DATE: 11/18/2012

ELEVATION KEY NOTES

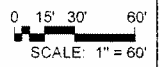
- (C) ALUMINUM GLAZ CANOPY
- (L) ALUMINUM COMPOSITE WALL PANEL
- (D) ALUMINUM INSULATED-CORE WALL PANEL
- (B) ALUMINUM FRAMED STOREFRONT WITH INSULATED GLAZING TYPICAL
- (E) EXTENSION INSULATION FINISHING SYSTEM
- (S) BRICK VENEER - STANDARD SIZED
- (P) PRECAST CONCRETE PANEL
- (G) CLAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (V) GREEN SCREEN
- (X) GLASS CANOPY
- (J) ALUMINUM FRAMED WINDOW WALL WITH INSULATED GLAZING TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH OR BILE FILL TYPICAL
- (H) MEDIUM DENSITY FIBER CEMENT PANELS

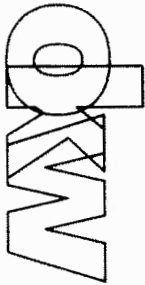


**AS AMENDED
10.02.2008**



PROPOSED





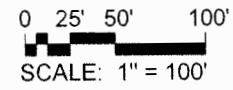
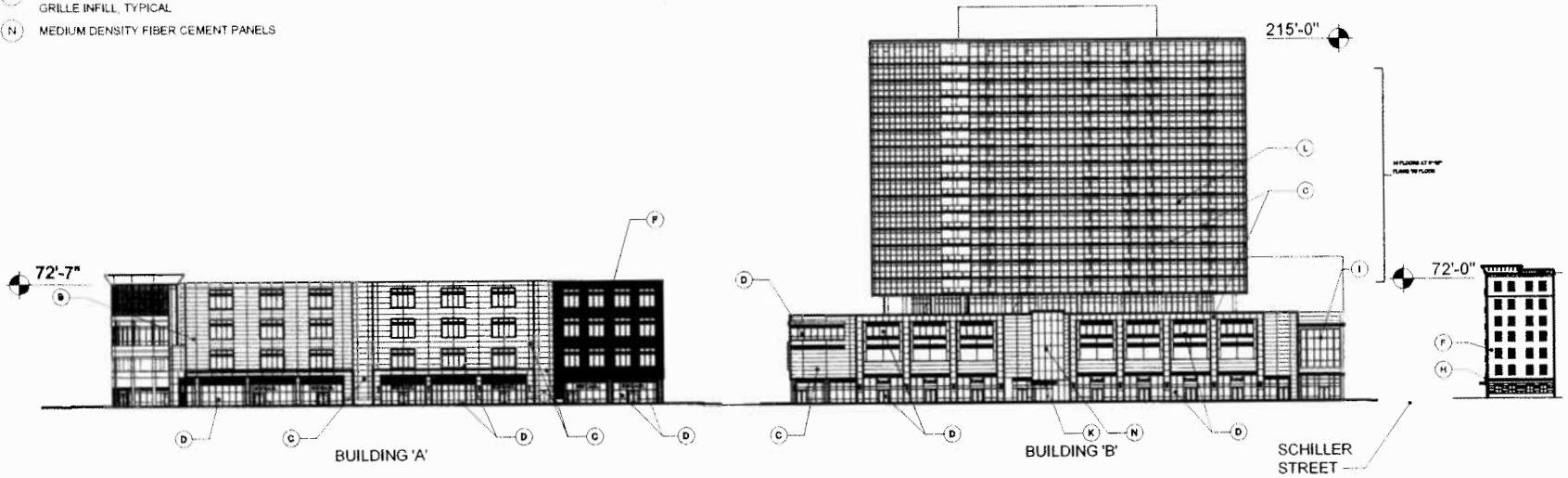
600 West Jackson Boulevard
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WWW.OKWARCHITECTS.COM

ARCHITECT:
OKW Architects

APPLICANT:
1515 N. HALSTED LLC
211 North Clinton #3S
Chicago, Illinois 60611

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
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- (F) BRICK VENEER, STANDARD SIZED
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- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



HALSTED ST. WEST BUILDING
ELEVATION
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1660 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:

14

DATE: 11.19.2012



ARCHITECT:
DKW Architects
600 West Madison Boulevard
Chicago, Illinois 60611
Tel: 312.786.0700
Fax: 312.786.0777
www.dkwarchitects.com

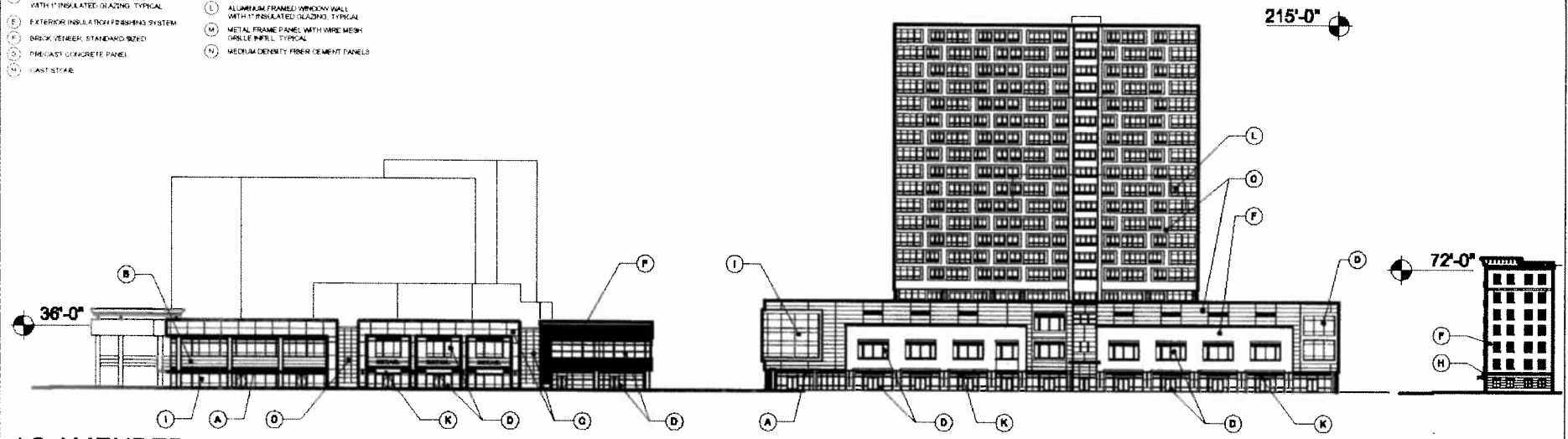
APPLICANT:
1515 N. HALSTED LLC
211 North Center Road
Chicago, Illinois 60611

HALSTED ST. WEST BUILDING
ELEVATION - COMPARISON
THE NEW CITY MIXED USE DEVELOPMENT
1402 - 1500 North Ogden Avenue, S. 1451 - 1520 North Halsted Street

SHEET NO.
14A
DATE: 11/18/2012

ELEVATION KEY NOTES

- 1 ALUMINUM CLAD CANOPY
- 2 ALUMINUM COMPOSITE WALL PANEL
- 3 ALUMINUM INSULATED/GSPF WALL PANEL
- 4 ALUMINUM FRAMED STOREFRONT WITH INSULATED GLAZING TYPICAL
- 5 EXTERIOR INSULATION FINISHING SYSTEM
- 6 BRICK VENEER, STANDARD SIZE
- 7 PRECAST CONCRETE PANEL
- 8 CAST STONE
- 9 ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- 10 GREEN SCREEN
- 11 GLASS CANOPY
- 12 ALUMINUM FRAMED WINDOW WALL WITH INSULATED GLAZING, TYPICAL
- 13 METAL FRAME PANEL WITH WIRE MESH OR GULLY INFILL, TYPICAL
- 14 MEDIUM DENSITY FIBER CEMENT PANELS

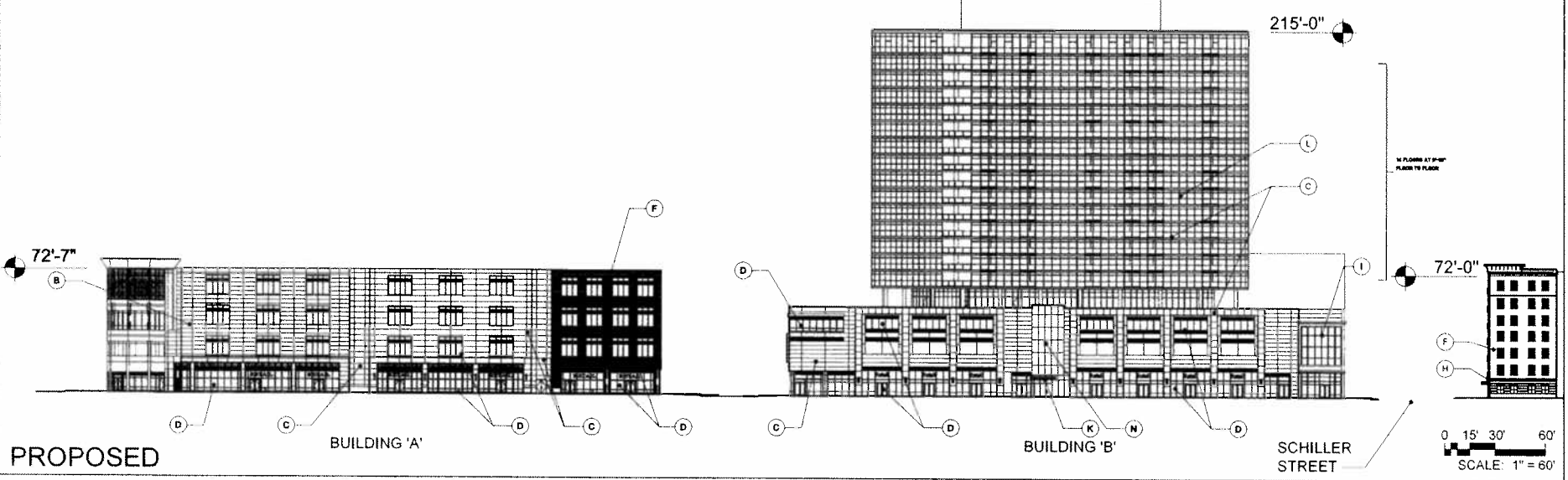


AS AMENDED
10.02.2008

BUILDING 'A'

BUILDING 'B'

EASTMAN STREET



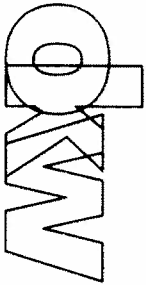
PROPOSED

BUILDING 'A'

BUILDING 'B'

SCHILLER STREET

0 15' 30' 60'
SCALE: 1" = 60'



ARCHITECT:
 OKW Architects
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APPLICANT:
 1515 N. HALSTED LLC
 211 North Clinton #333
 Chicago, Illinois 60611

THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1580 North Clybourn Avenue & 1431 - 1538 North Halsted Street

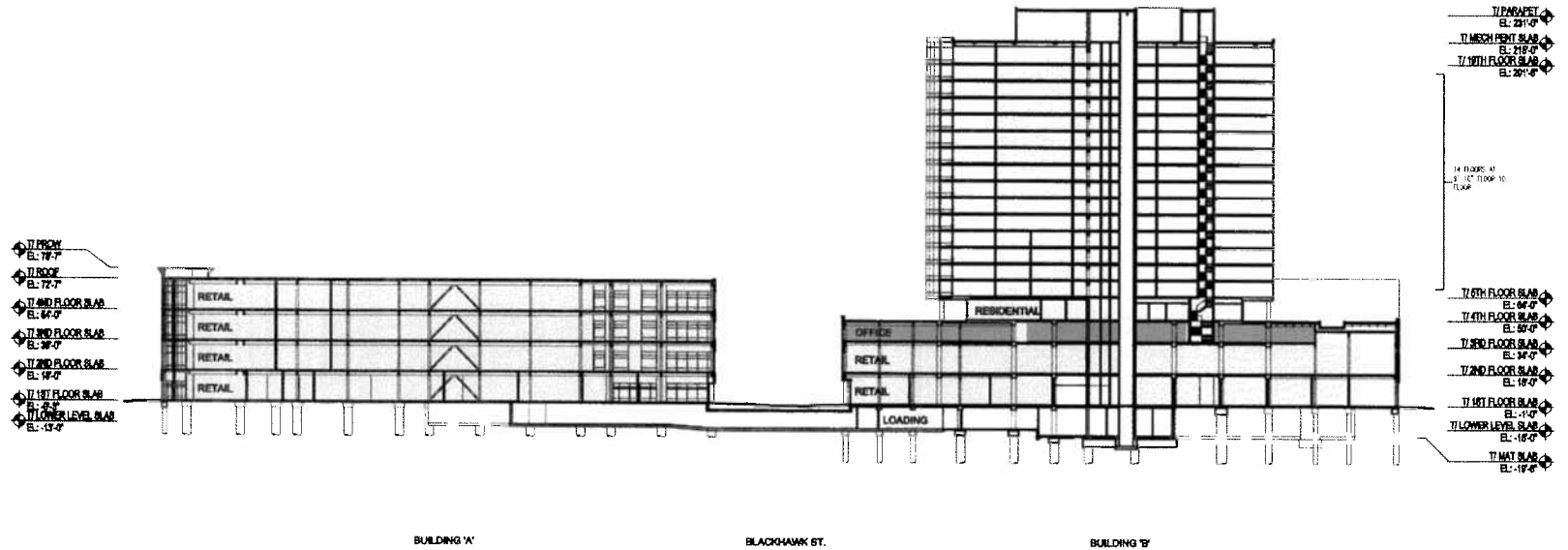
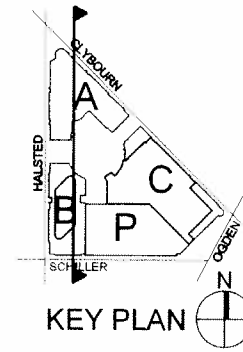
EAST TO WEST SITE SECTION

SHEET NO.:

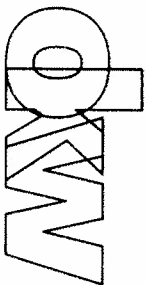
16

DATE:
 11.19.2012

LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



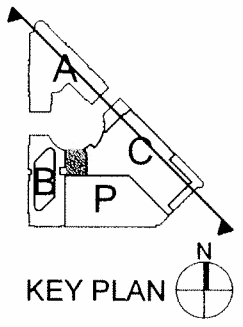
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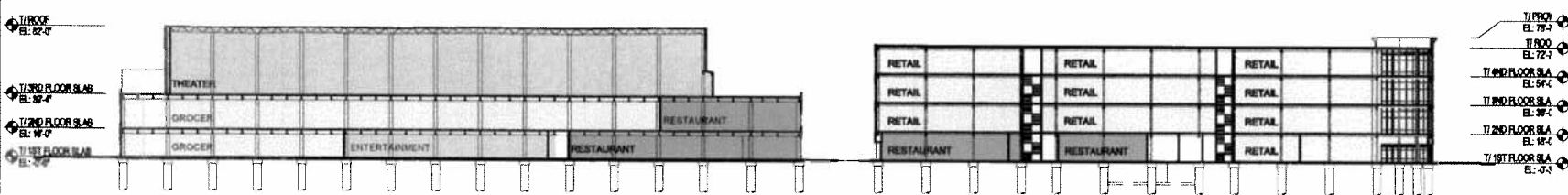
ARCHITECT:
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 www.okwarchitects.com

APPLICANT:
 1515 N. HALSTED LLC
 211 North Clinton #3S
 Chicago, Illinois 60611

LEGEND	
LOADING/ SERVICE	[Pattern]
RETAIL	[Pattern]
RESTAURANT	[Pattern]
ENTERTAINMENT	[Pattern]
OFFICE	[Pattern]
RESIDENTIAL	[Pattern]



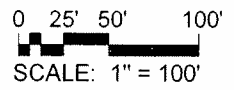
EAST TO WEST SITE SECTION



THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

DATE: 11.19.2012

SHEET NO.: **17**





..... RN

THE NEW CITY
MIXED USE DEVELOPMENT
CHICAGO, IL

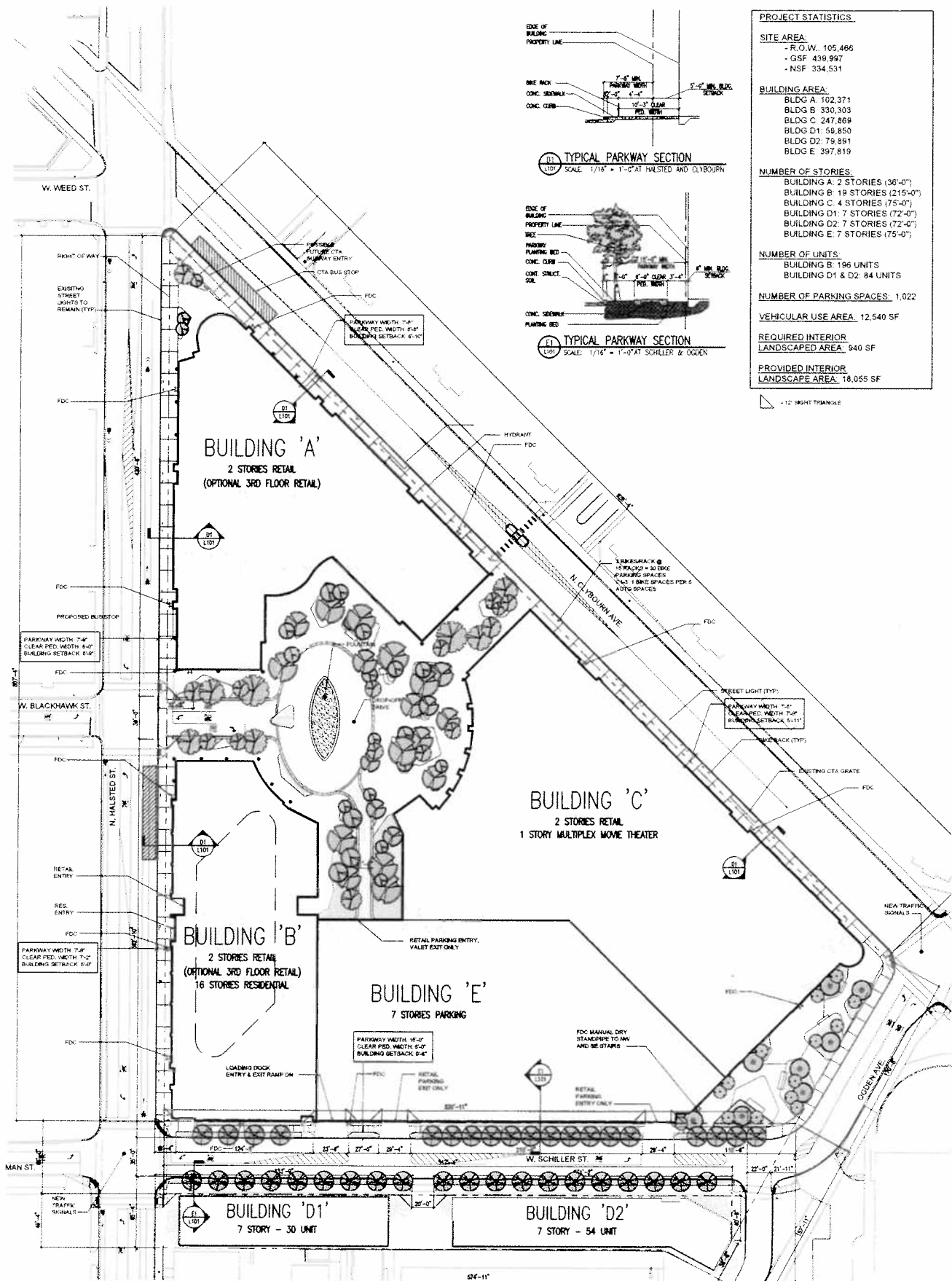
STRUCTURED
DEVELOPMENT



OKW Architects

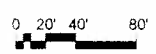
DATE N

PROJECT NUMBER 12040



**PROPOSED SITE/
LANDSCAPE PLAN**

SCALE: 1" = 80'



THE NEW CITY
MIXED USE DEVELOPMENT
1515 N. HALSTED, CHICAGO, IL

**STRUCTURED
DEVELOPMENT**



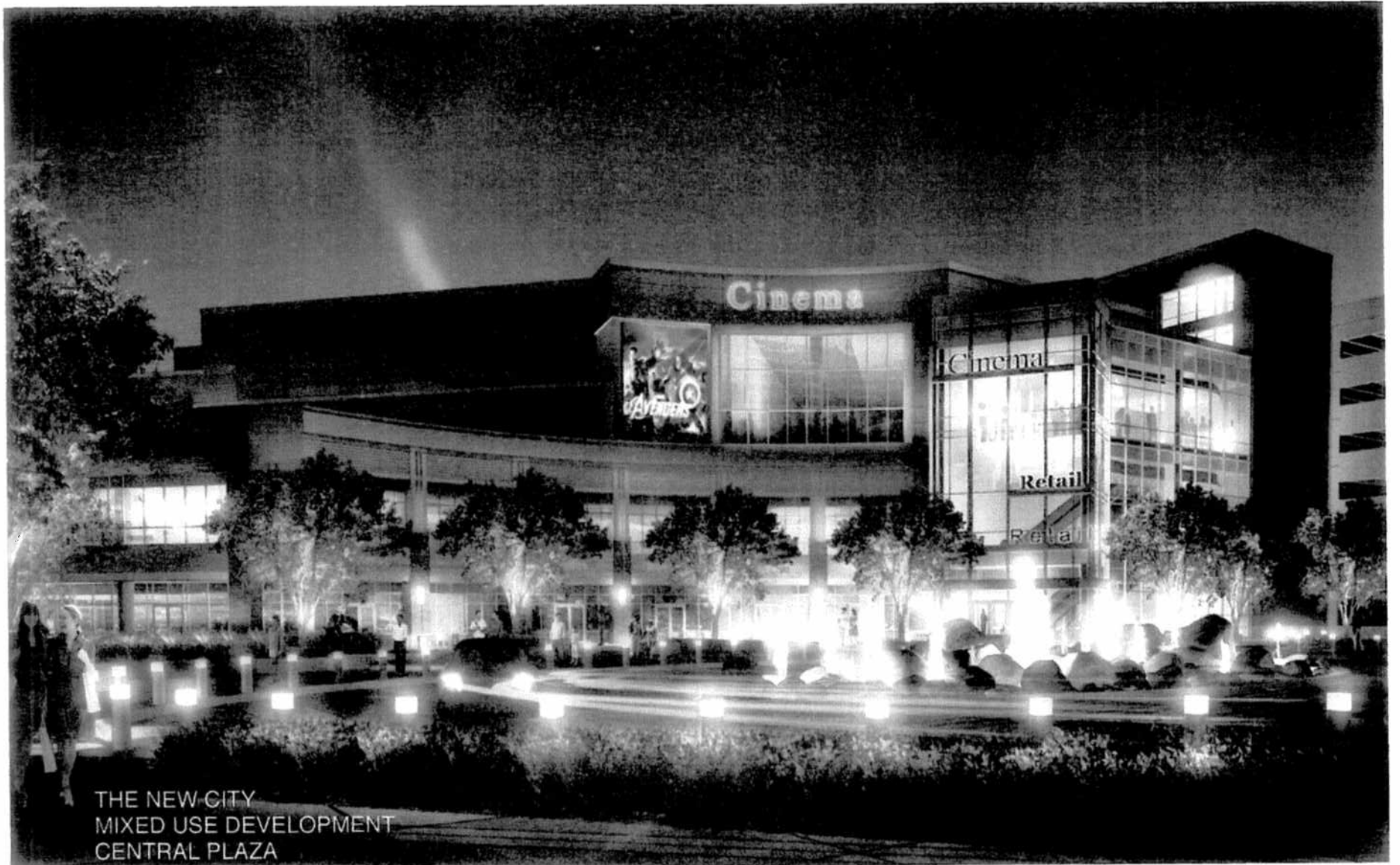
OKW Architects

DATE: 2.6.2013

PROJECT NUMBER: 12040



THE NEW CITY
MIXED USE DEVELOPMENT
CENTRAL PLAZA



THE NEW CITY
MIXED USE DEVELOPMENT
CENTRAL PLAZA



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

December 7, 2012

Jeff Berta
Structured Development
211 N. Clinton
Suite 3S
Chicago, IL 60661

Re: Administrative Relief request for Residential Business Planned Development No. 1075, New City Mixed Use Development at North Clybourn Avenue and North Halsted Street

Dear Mr. Berta:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1075, as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development ("PD").

You are requesting, on behalf of the property owner, the following revisions:

- Increase the maximum number of residential units within Subarea B from 196 to 199, for a total increase from 280 to 283. This unit count increase will not increase the floor area or height. Unit sizes on the typical floors will be adjusted based on market conditions.
- Decrease the height of building A from 120' to approximately 72'-7".
- Increase the height of building C from 75' to approximately 82' to accommodate the increased size of the theatre projection screens.
- Increase the height of building E from 72' to approximately 98' to accommodate an additional level of required parking.

The following drawings, prepared by OKW Architects, and dated November 19, 2012, shall be inserted into the main file: Lower Level Floor Plan, Ground Floor Plan, Second Floor Plan, Third Floor Plan, Fourth Floor Plan, Green Roof Plan, Clybourn Northeast Building Elevation and Comparison, Schiller St. South Building Elevation and Comparison, Halsted St. West Building Elevation and Comparison, East to West Site Sections and a color rendering.


With regard to your request, the Department of Housing and Economic Development has determined that allowing these revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density,

will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1075, I hereby approve the foregoing minor change, but no other changes to this Planned Development. **This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.**

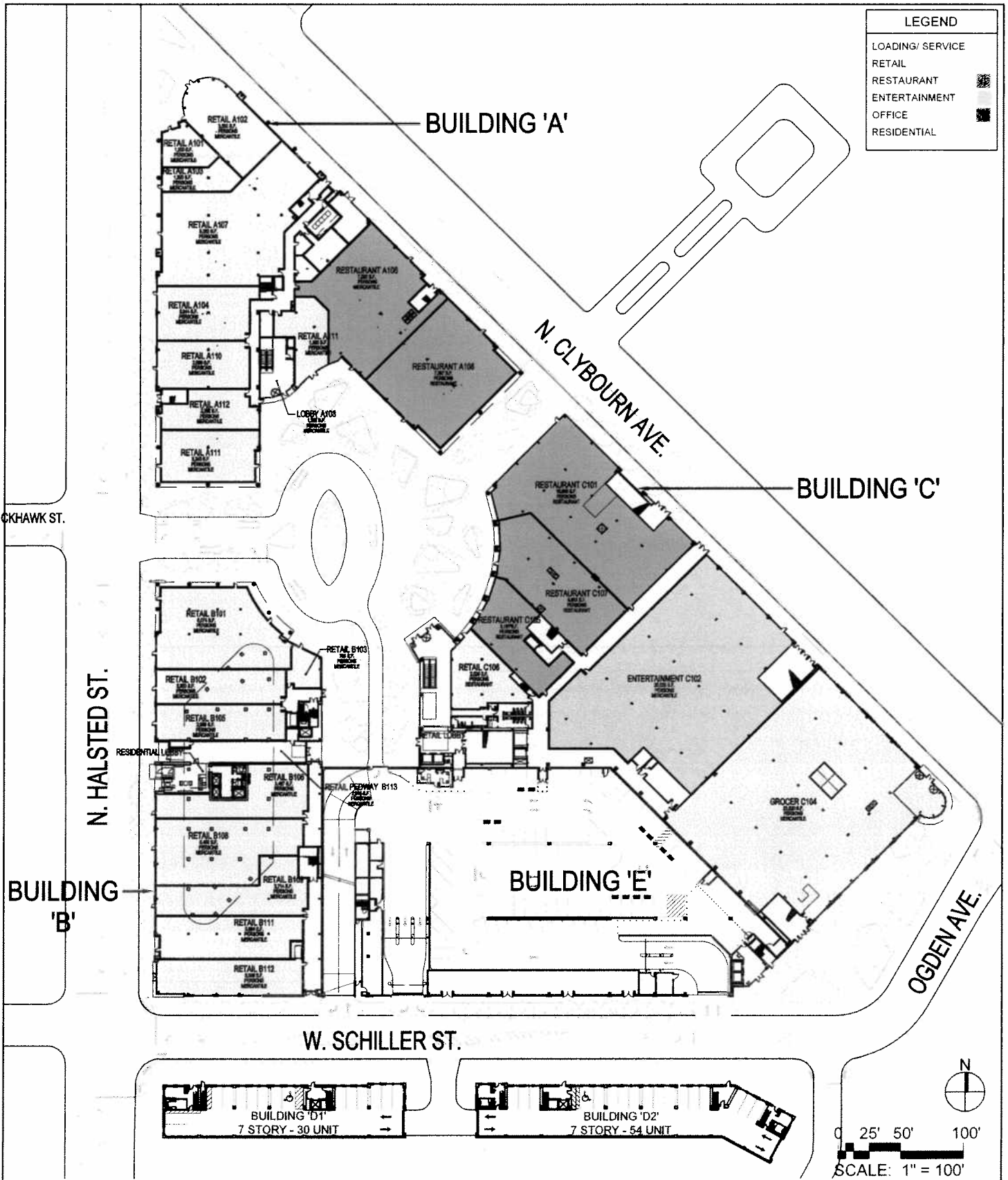
Additionally, you asked for verification that based on a net site area of 334,098 SF and an open space requirement of 25%, the open space required is 83,525 SF ($334,098 \times 25\%$). We concur that the dedication of Schiller Street results in a reduced open space requirement for the site. Lastly, we are reviewing your signage package and will respond to that request separately.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Fernando Espinoza, Mike Marmo, Erik Glass, Main file



ARCHITECT:
OKW Architects

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www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC

211 North Clinton #3S
Chicago, Illinois 60611

GROUND FLOOR PLAN (EL +0.0')

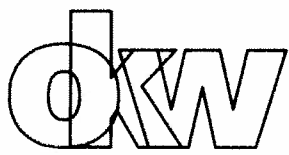
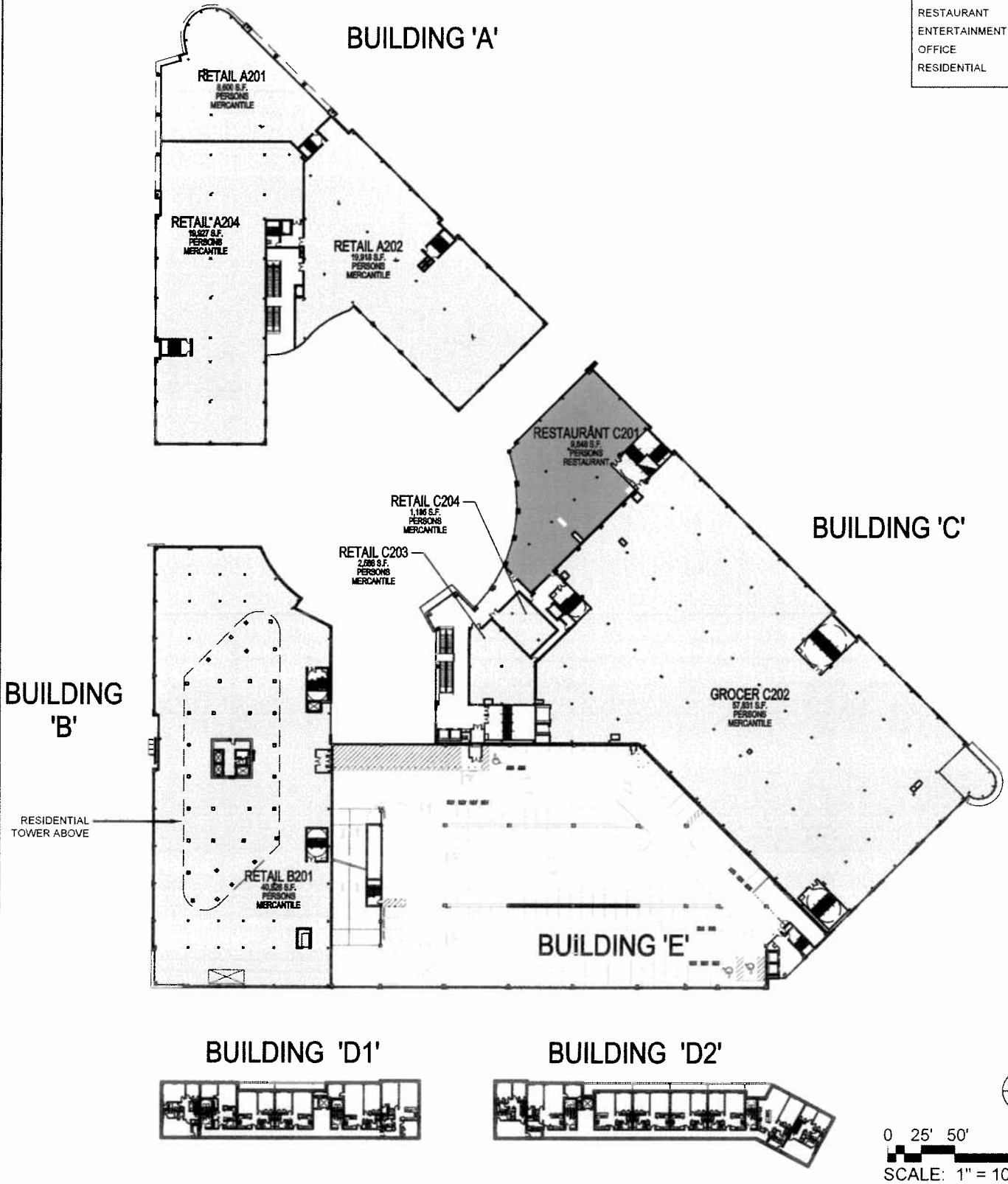
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:

07

DATE: 11.19.2012

LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



ARCHITECT:
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APPLICANT:
1515 N. HALSTED LLC

211 North Clinton #3S
Chicago, Illinois 60611

SECOND FLOOR PLAN (EL +18.00')

THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

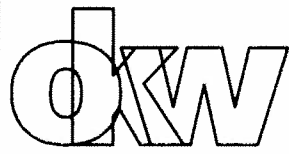
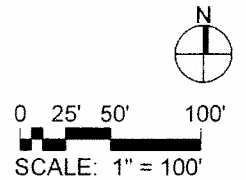
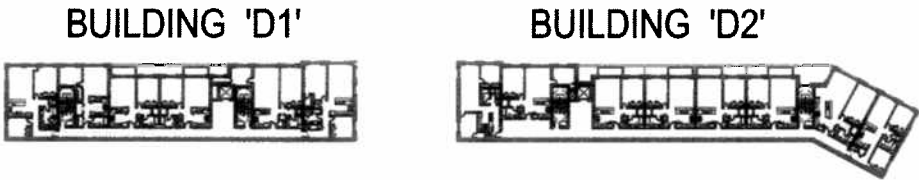
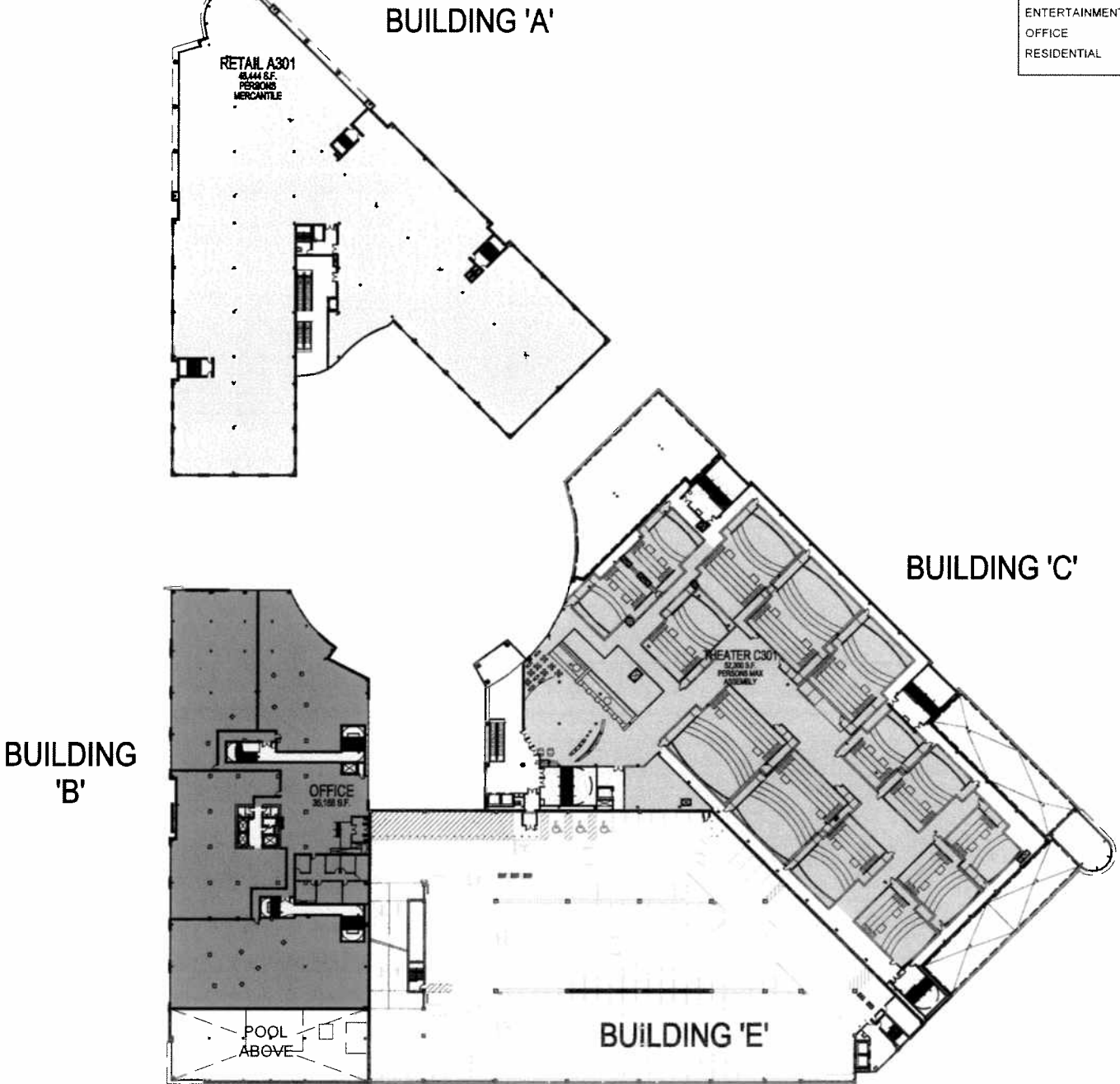
SHEET NO.:

08

DATE:

11.19.2012

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RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



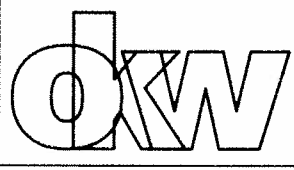
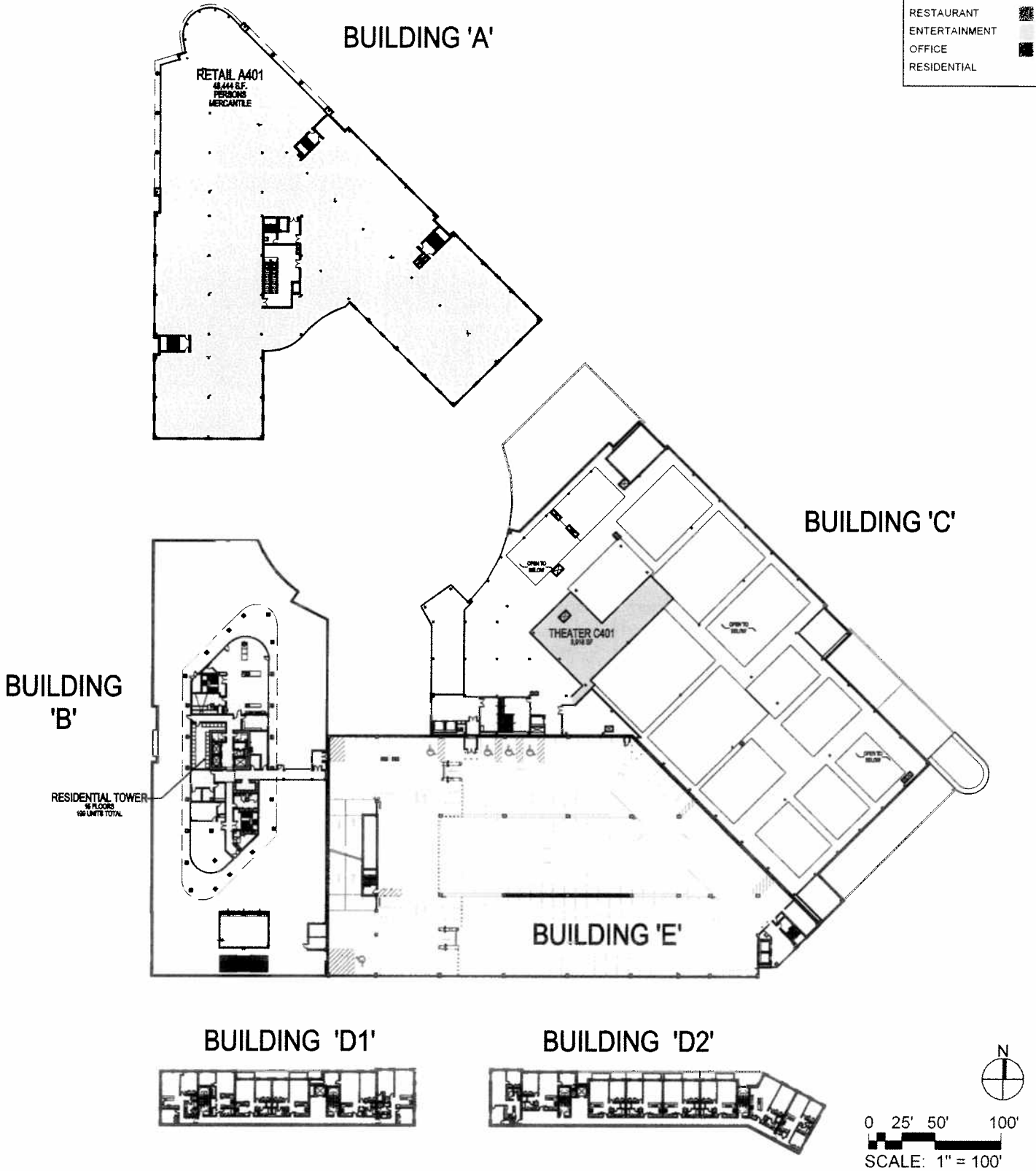
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APPLICANT:
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 Chicago, Illinois 60611

THIRD FLOOR PLAN (EL VARIES)
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
09
 DATE:
 11.19.2012

LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	



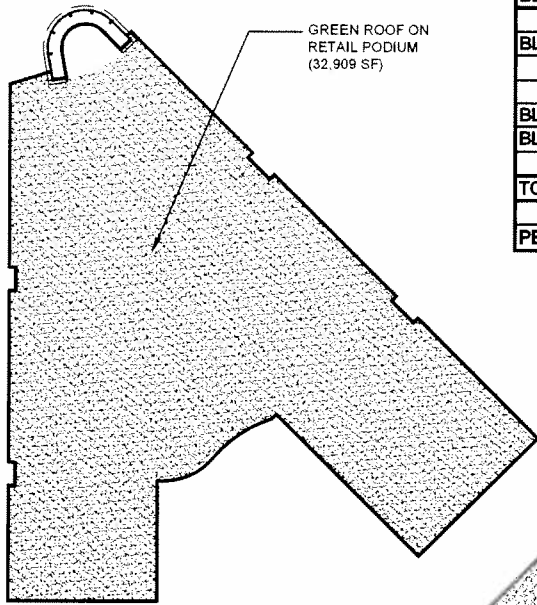
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APPLICANT:
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 Chicago, Illinois 60611

FOURTH FLOOR PLAN (EL VARIES)
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
10
DATE:
 11.19.2012

BUILDING	LEVEL	GROSS ROOF AREA (SF)	NET ROOF AREA (SF)	GREEN ROOF AREA (SF)
BLDG A	RETAIL	52,668	34,234	32,909
BLDG B	RETAIL	32,481	21,113	19,378
BLDG C	RESIDENTIAL	13,484	8,765	2,000
	RETAIL	13,542	8,802	8,802
BLDG D	CIRCULATION	7,309	4,751	3,448
	ENTERTAINMENT	58,603	38,092	3,556
BLDG D	RESIDENTIAL	19,963	12,976	12,976
BLDG E	PARKING	57,292	37,240	682
TOTALS		255,342	165,972	83,751
PERCENTAGE GREEN ROOF				50.46%



GREEN ROOF ON
RETAIL PODIUM
(19,378 SF)

GREEN ROOF ON
RES TOWER
(2,000 SF)

GREEN ROOF ON
CENTRAL
CIRCULATION
(1,456 SF)

GREEN ROOF ON
VERTICAL
CIRCULATION
(1,992 SF)

GREEN ROOF ON
ENTERTAINMENT
LOBBY
(3,556 SF)

GREEN ROOF ON
RETAIL PODIUM
(8,802 SF)

GREEN ROOF ON
PARKING DECK (682 SF)

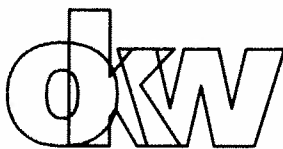
GREEN ROOF ON
RESIDENTIAL 5,500 SF

GREEN ROOF ON
RESIDENTIAL 7,476 SF



0 25' 50' 100'

SCALE: 1" = 100'



ARCHITECT:
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GREEN ROOF PLAN

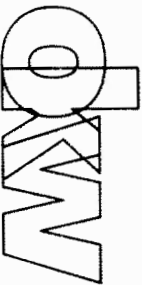
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:

11

DATE:

11.19.2012



ARCHITECT:
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APPLICANT:
1515 N. HALSTED LLC
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Chicago, Illinois 60611

CLYBOURN NORTHEAST BUILDING
ELEVATION

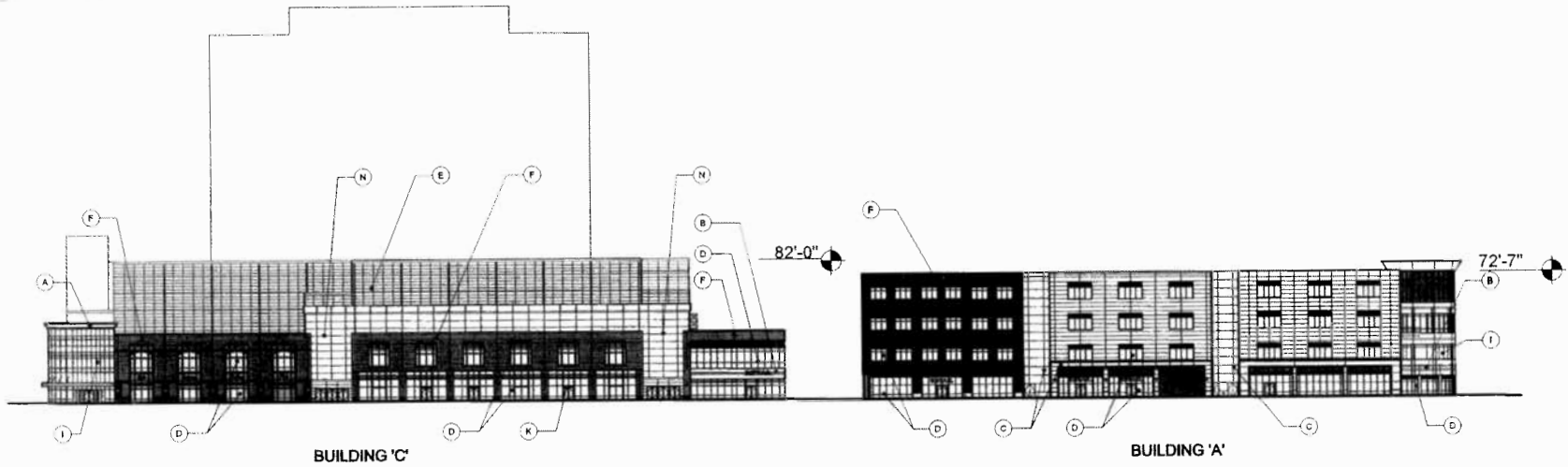
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

DATE: 11.19.2012

SHEET NO.:
12

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



0 25' 50' 100'
SCALE: 1" = 100'



ARCHITECT:
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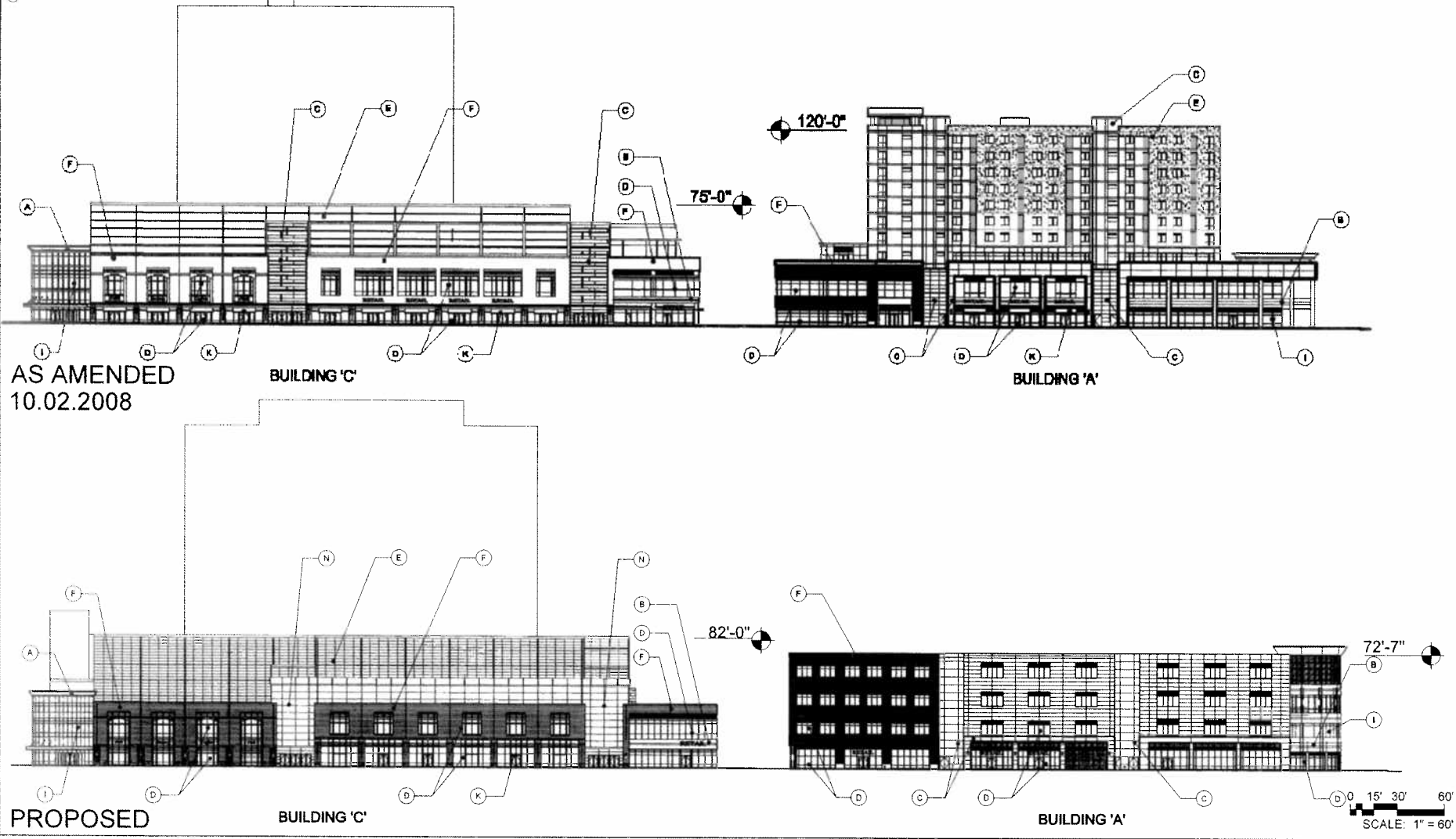
APPLICANT:
1515 N. HALSTED LLC
211 North Ogden Street
Chicago, Illinois 60611

CLYBURN NORTHEAST BUILDING
ELEVATION - COMPARISON
THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1500 North Ogden Avenue & 1431 - 1500 North Halsted Street

SHEET NO.:
12A
DATE:
11.30.2012

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED CORE WALL PANEL
- (D) ALUMINUM FRAMED STUCCO FINISH WITH 1" INSULATED GLAZING TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD RISE
- (G) PRECAST CONCRETE PANEL
- (H) LAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



AS AMENDED
10.02.2008

PROPOSED

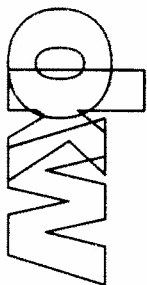
BUILDING 'C'

BUILDING 'C'

BUILDING 'A'

BUILDING 'A'

15' 30' 60'
SCALE: 1" = 60'



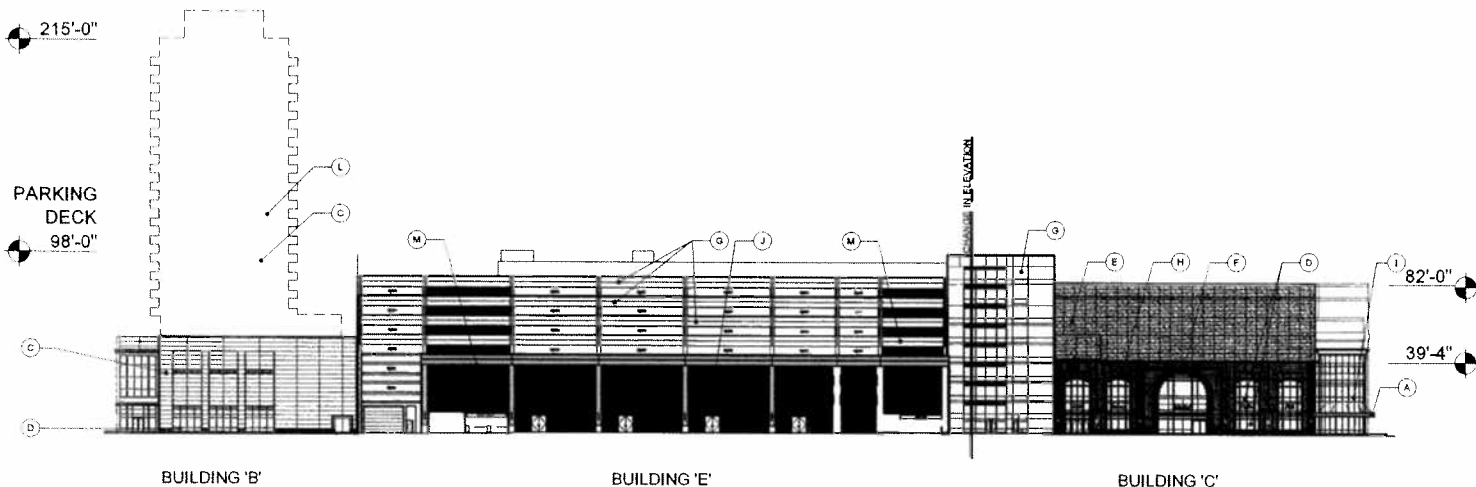
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APPLICANT:
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 Chicago, Illinois 60611

SCHILLER ST. SOUTH BUILDING
 ELEVATION
THE NEW CITY MIXED USE DEVELOPMENT
 1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



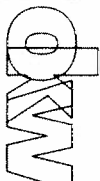
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 SCALE: 1" = 100'

SHEET NO.:

13

DATE:

11.19.2012



ARCHITECT:
DKW Architects
201 North LaSalle Street
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APPLICANT:
1515 N. HALSTED LLC
271 North Chestnut Street
Chicago, Illinois 60611

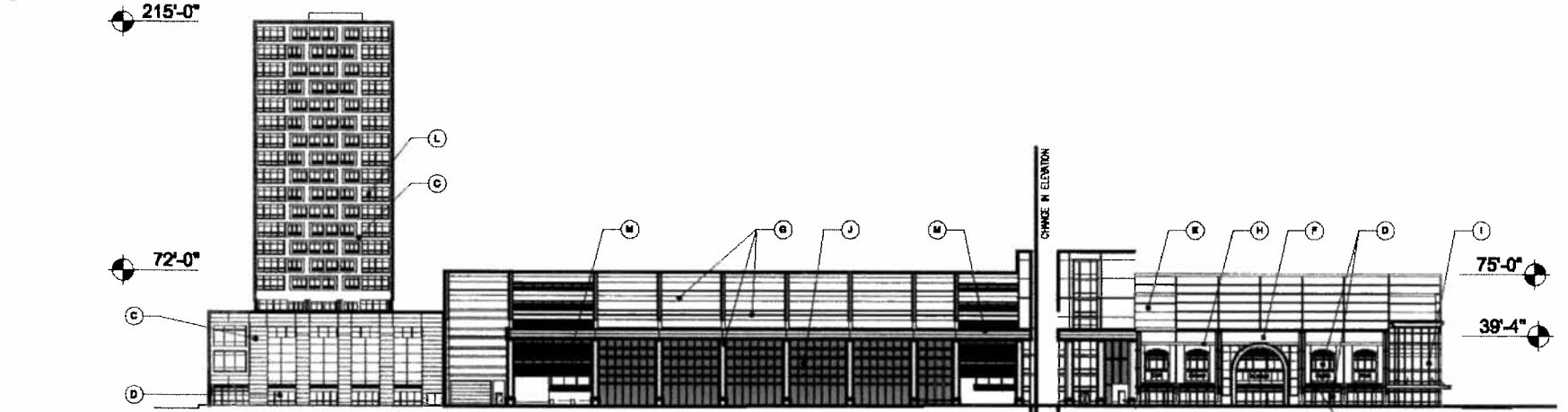
THE NEW CITY MIXED USE DEVELOPMENT
1402 - 1600 North Chestnut Avenue & 1431 - 1628 North Halsted Street

SCHILLER ST. SOUTH BUILDING
ELEVATION - COMPARISON

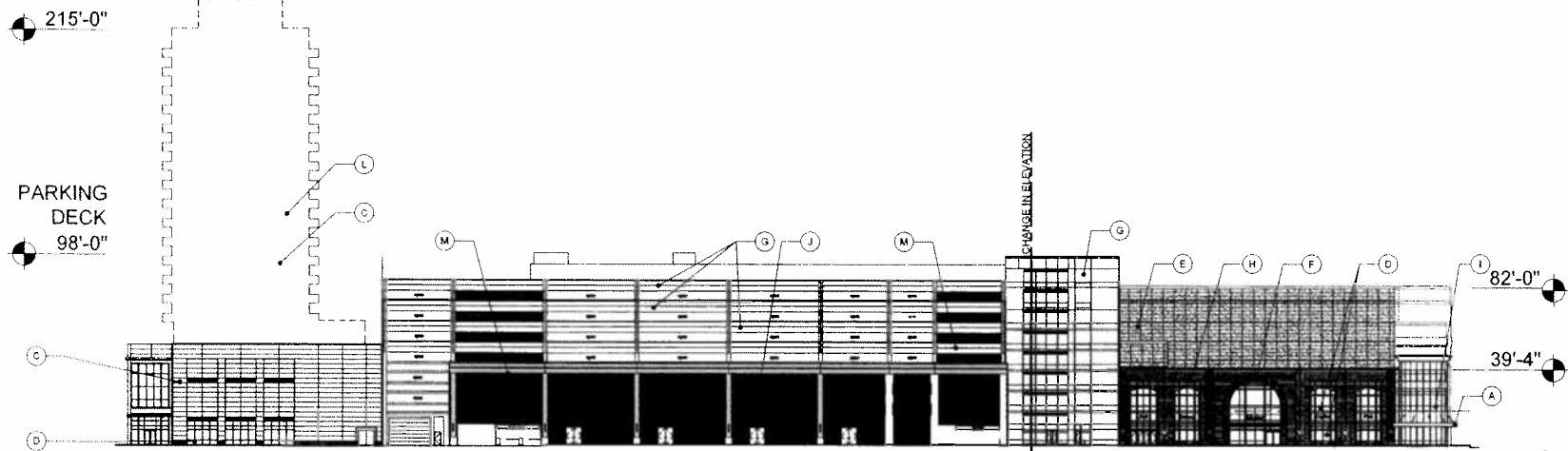
SHEET NO. 13A
DATE: 11.16.2012

ELEVATION KEY NOTES

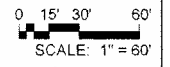
- (A) ALUMINUM GLAZ CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED SKEWED GLAZ WITH 1" INSULATED GLAZING TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (I) GREEN SCREEN
- (J) GLASS CANOPY
- (K) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING TYPICAL
- (L) METAL FRAME PANEL WITH WIRE MESH DRILLEDPILL TYPICAL
- (M) MEDIUM DENSITY FIBER CEMENT PANELS

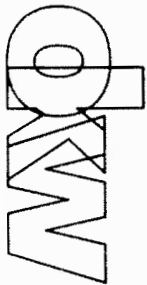


AS AMENDED
10.02.2008



PROPOSED





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ARCHITECT:
OKW Architects

APPLICANT:
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Chicago, Illinois 60611

HALSTED ST. WEST BUILDING
ELEVATION

THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

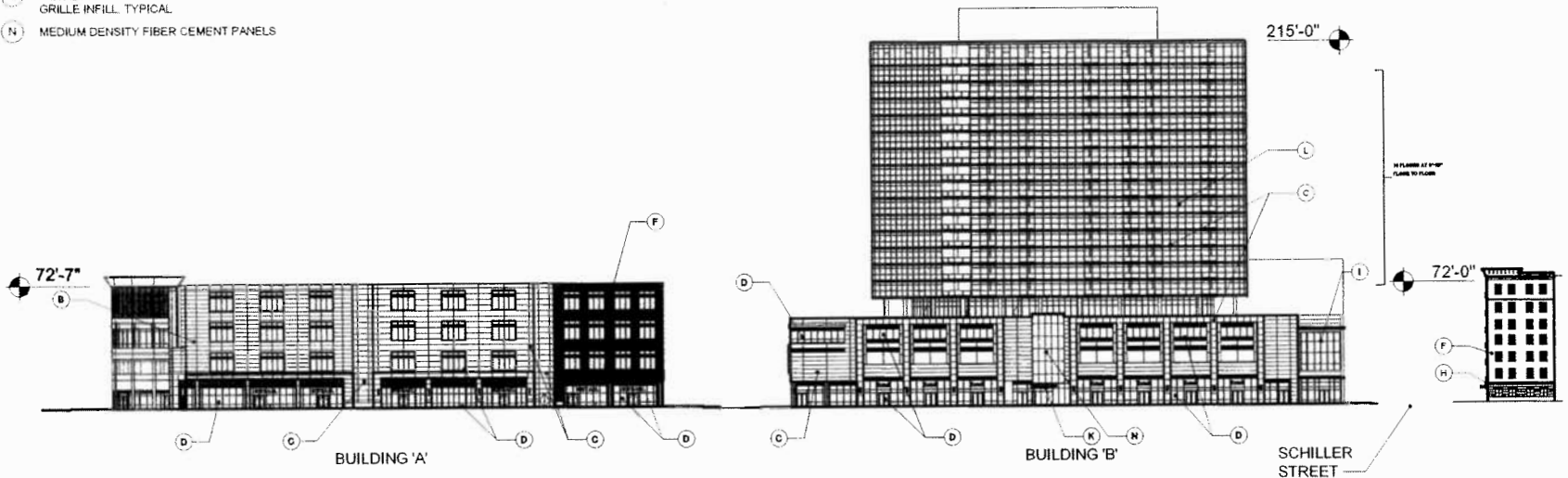
SHEET NO.:

14

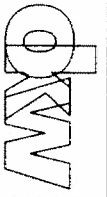
DATE:
11.19.2012

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING, TYPICAL
- (E) EXTERIOR INSULATION FINISHING SYSTEM
- (F) BRICK VENEER, STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING, TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE INFILL, TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS



0 25' 50' 100'
SCALE: 1" = 100'



ARCHITECT:
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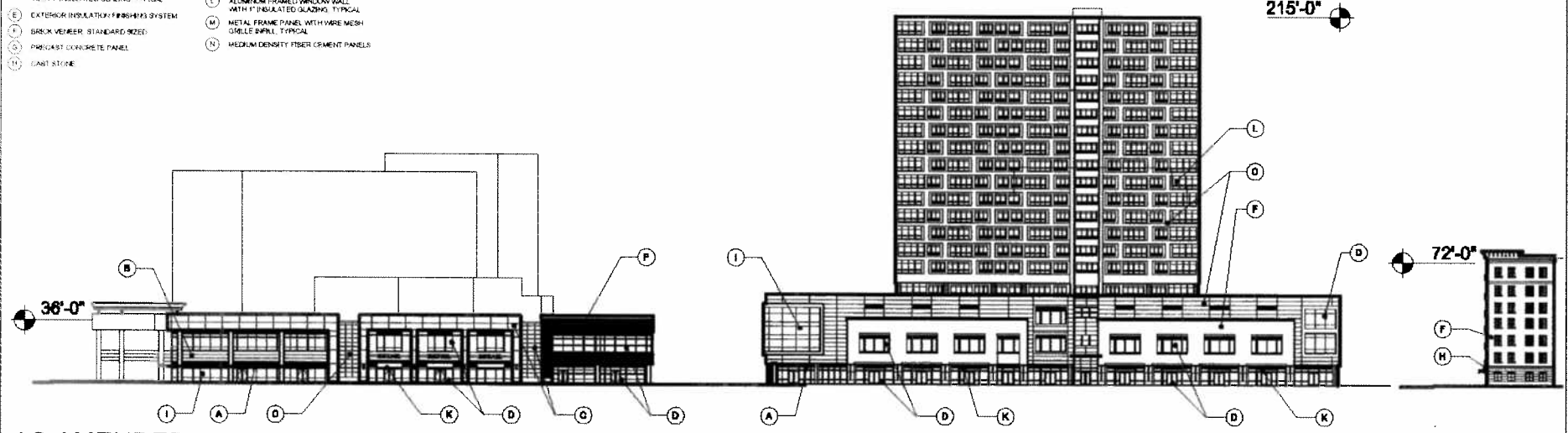
APPLICANT:
 1515 N. HALSTED LLC
 211 North Center Street
 Chicago, Illinois 60611

HALSTED ST. WEST BUILDING
 ELEVATION - COMPARISON
 THE NEW CITY MIXED USE DEVELOPMENT
 1402 - 1500 North Ogden Avenue & 1431 - 1500 North Halsted Street

SHEET NO.:
14A
 DATE: 11/19/2012

ELEVATION KEY NOTES

- (A) ALUMINUM CLAD CANOPY
- (B) ALUMINUM COMPOSITE WALL PANEL
- (C) ALUMINUM INSULATED-CORE WALL PANEL
- (D) ALUMINUM FRAMED STOREFRONT WITH 1" INSULATED GLAZING TYPICAL
- (E) EXTERIOR INSULATION FINISH SYSTEM
- (F) BRICK VENEER - STANDARD SIZED
- (G) PRECAST CONCRETE PANEL
- (H) CAST STONE
- (I) ALUMINUM FRAME CURTAIN WALL WITH INSULATED GLAZING
- (J) GREEN SCREEN
- (K) GLASS CANOPY
- (L) ALUMINUM FRAMED WINDOW WALL WITH 1" INSULATED GLAZING TYPICAL
- (M) METAL FRAME PANEL WITH WIRE MESH GRILLE BRILL TYPICAL
- (N) MEDIUM DENSITY FIBER CEMENT PANELS

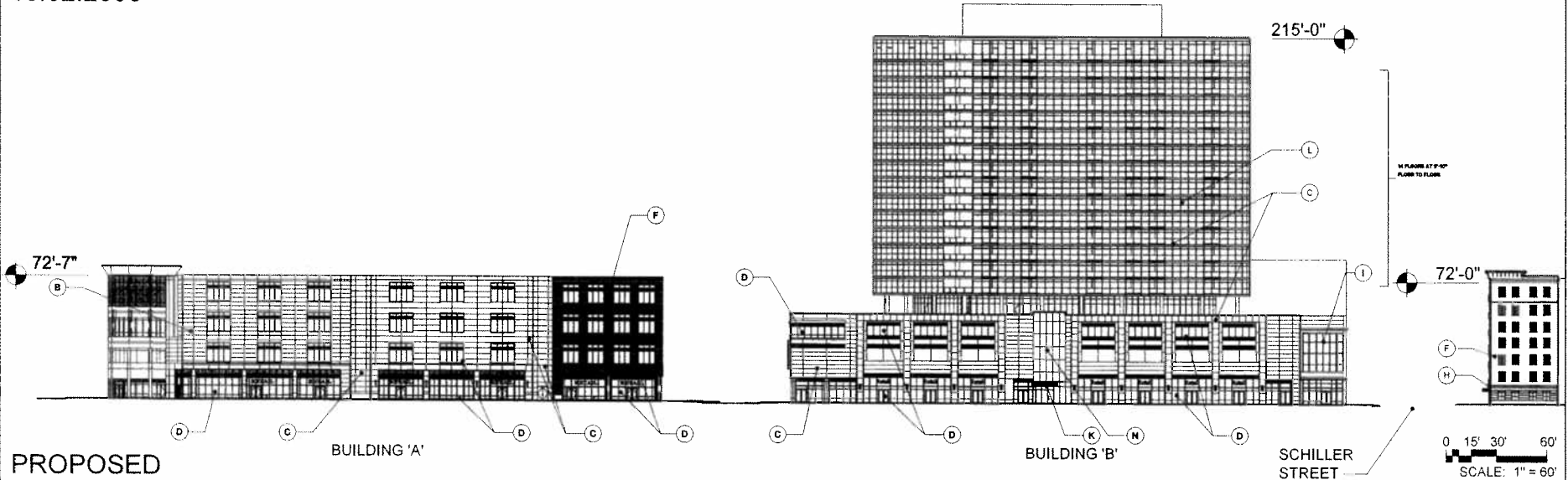


AS AMENDED
 10.02.2008

BUILDING 'A'

BUILDING 'B'

EASTMAN STREET



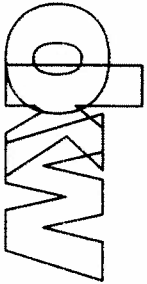
PROPOSED

BUILDING 'A'

BUILDING 'B'

SCHILLER STREET

0 15' 30' 60'
 SCALE: 1" = 60'



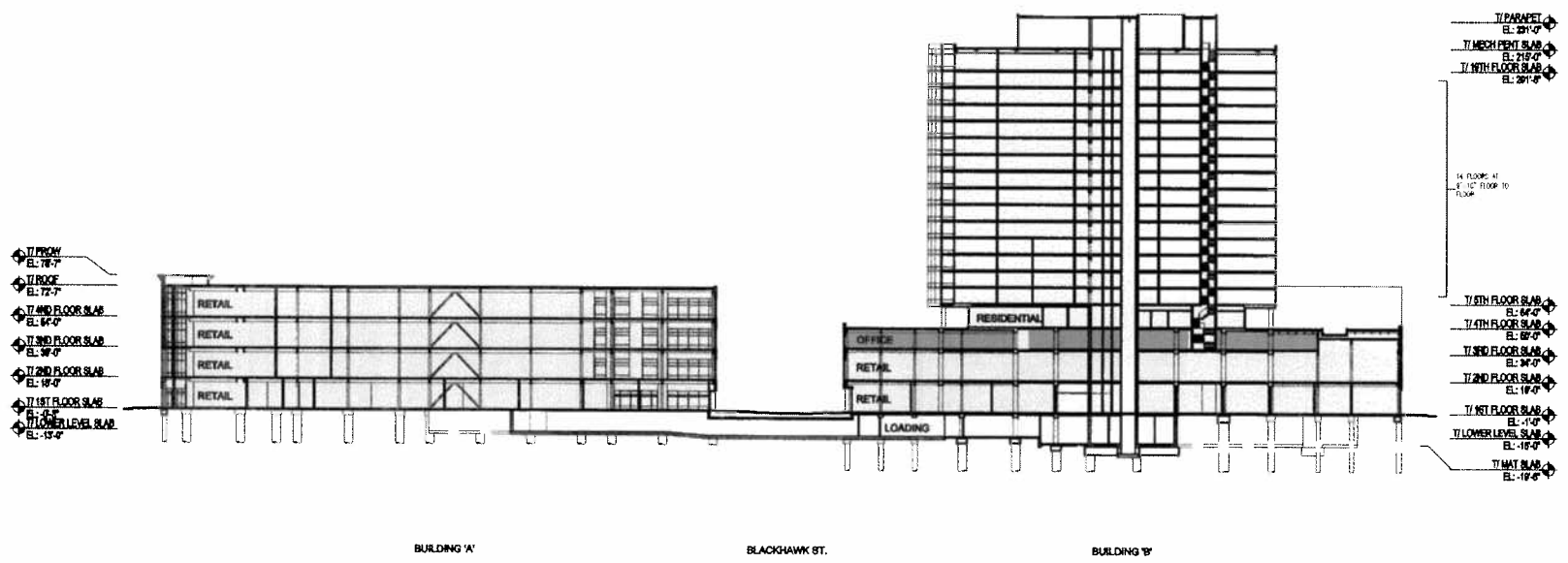
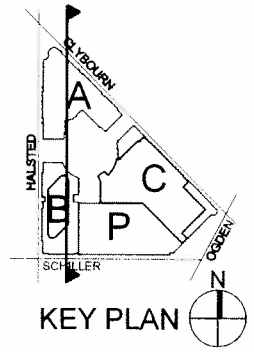
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APPLICANT:
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 Chicago, Illinois 60611

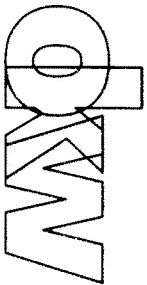
EAST TO WEST SITE SECTION
THE NEW CITY MIXED USE DEVELOPMENT
 1492 - 1560 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
16
DATE:
 11.19.2012

LEGEND	
LOADING/ SERVICE	[Pattern]
RETAIL	[Pattern]
RESTAURANT	[Pattern]
ENTERTAINMENT	[Pattern]
OFFICE	[Pattern]
RESIDENTIAL	[Pattern]



0 25' 50' 100'
 SCALE: 1" = 100'



ARCHITECT:
OKW Architects
600 West Jackson Boulevard
Chicago, Illinois 60661
T 312.798.7700
F 312.798.7777
www.okwarchitects.com

APPLICANT:
1515 N. HALSTED LLC
211 North Clinton #3S
Chicago, Illinois 60611

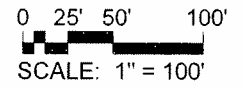
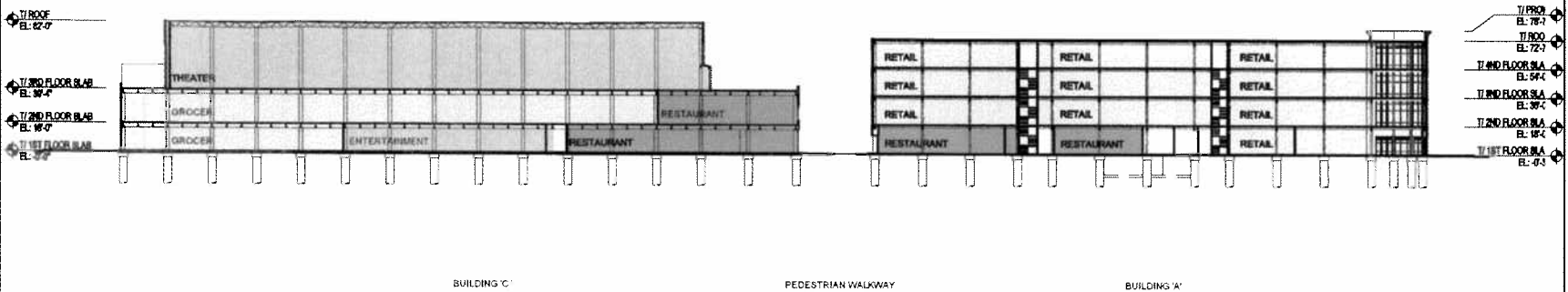
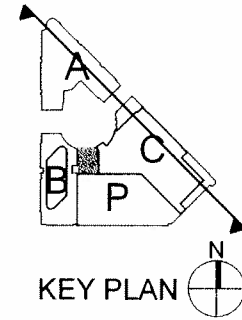
EAST TO WEST SITE SECTION

THE NEW CITY MIXED USE DEVELOPMENT
1482 - 1580 North Clybourn Avenue & 1431 - 1539 North Halsted Street

SHEET NO.:
17

DATE:
11.19.2012

LEGEND	
LOADING/ SERVICE	
RETAIL	
RESTAURANT	
ENTERTAINMENT	
OFFICE	
RESIDENTIAL	





.....RN

THE NEW CITY
MIXED USE DEVELOPMENT
CHICAGO, IL

STRUCTURED
DEVELOPMENT



OKW Architects

DATE N

PROJECT NUMBER 12040

16781

77100

JOURNAL--CITY COUNCIL--CHICAGO

11/18/2009

COMMITTEE ON ZONING.

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF AREA SHOWN ON MAP NO. 3-F.

(As Amended)
(Application No. 16781)
(Common Address: 1482 -- 1560 N. Clybourn Ave.,
1431 -- 1539 N. Halsted St. And 710 W. Schiller St.)

RBPD 1075, aa

[SO2009-5929]

The Committee on Zoning submitted the following report:

CHICAGO, November 18, 2009.

To the President and Members of the City Council:

Reporting for your Committee on Zoning, for which a meeting was held on October 15, 2009, I beg leave to recommend that Your Honorable Body pass various ordinances transmitted herewith for the purpose of reclassifying a particular areas.

I beg leave to recommend the passage of six ordinances which were corrected and amended in their amended form. They are Application Numbers 16943, 16947, 16908, 16891, 16781 and A-7539.

At this time, I move for passage of the substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) DANIEL S. SOLIS,
Chairman.

On motion of Alderman Solis, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Fioretti, Dowell, Preckwinkle, Hairston, Lyle, Jackson, Harris, Beale, Balcer, Cárdenas, Olivo, Foulkes, Thompson, Thomas, Lane, Rugai, Cochran, Brookins, Muñoz, Zalewski, Dixon, Solis, Maldonado, Burnett, E. Smith, Carothers, Reboyras, Suarez, Waguespack, Mell, Austin, Colón, Rice, Mitts, Allen, Laurino, O'Connor, Doherty, Reilly, Daley, Tunney, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 48.

Nays -- None.

Alderman Carothers moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to this ordinance in previous and unrelated matters.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Residential-Business Planned Development Number 1075 symbols and indications as shown on Map Number 3-F in the area bounded by:

North Clybourn Avenue; North Ogden Avenue or the line thereof if extended where no street exists; a line 328.57 feet southwest of North Clybourn Avenue, as measured from the northwest right-of-way line of North Ogden Avenue and perpendicular thereto; a line 923 feet south of the intersection of North Clybourn Avenue and North Halsted Street, as measured from the east right-of-way line of North Halsted Street and perpendicular thereto; and North Halsted Street,

to those of Residential-Business Planned Development Number 1075, as amended, which hereby established in the area described, subject to such use and bulk regulations as are set forth in this Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development Number 1075, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Residential-Business planned development Number 1075, consists of approximately three hundred thirty-four thousand and ninety-eight square feet (334,098) square feet (seven and sixty-seven hundredths (7.67) acres) and is owned or controlled by the applicant, CFRI/New City L.L.C.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, including but not limited to revision or amendments to any established redevelopment plans or agreements shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approved by the City Council.

Specifically, the applicant acknowledges and agrees that as part of the proposed planned development, an area of the subject site referenced within this document as "West Schiller Street" is a new street heretofore dedicated for public use and contains an area of thirty-seven thousand two hundred seventeen (37,217) square feet. West Schiller Street shall be constructed at the applicant's expense, in exchange for the City of Chicago's release of the restrictive covenant as stated in the Redevelopment Agreement dated October 2, 2001 and referenced in Statement Number 7 of this plan of development.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant, then to the owner of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. Any agreements among property owners, the board of directors or any property owners association, or a covenant binding property owners, may designate the authorized party for any future amendment, modification or change.
4. This plan of development consists of these seventeen (17) statements and the following exhibits; a Bulk Regulations and Data Table; a Existing Zoning and Street Map; an Existing Land-Use Map; a Planned Development Boundary Map; a Site Plan; Phasing Plan wt. Subareas; Landscape Plans; Site Open Area Plan; Roof Plan; Floor Plans; Building Elevations; Building Sections and Renderings dated September 17, 2009 prepared by OKW Architects. Full size copies of the Site Plan and Exterior Elevations are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated hereto and these and no other zoning controls shall apply. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall apply.
5. The following uses shall be permitted within the area delineated herein as "Residential-Business Planned Development Number 1075, as Amended" for those subareas that permit any allowed use in the CI Neighborhood Commercial District, excluding the Industrial Use Group activities with the exception of Artisan Production and Services:

Subarea A: multi-story elevator building containing commercial uses including but not limited to restaurants (both limited and general), entertainment, general retail, hotels, offices, open space/green space; and any use allowed in the C1 Neighborhood Commercial District, accessory and related uses; and accessory parking and loading.

Subarea B: multi-story elevator building containing a total of one hundred ninety-six (196) residential/dwelling units, commercial uses including but not limited to restaurants (both limited and General), entertainment uses, general retail, office, taverns, and any use allowed in the C1 Neighborhood Commercial District, accessory and related uses; and accessory parking and loading.

Subarea C: multi-story elevator building containing commercial uses including but not limited to restaurants (both limited and general); entertainment uses including theatres, general retail, offices, open space and any use allowed in the C1 Neighborhood Commercial District; accessory and related uses; and accessory parking and loading.

Subarea D: multi-unit residential (dwelling and efficiency) buildings totaling eighty-four (84) units, accessory uses, and accessory parking and loading.

Subarea E: multi-story off-street accessory parking structure.

Subarea F: public/private, open space/landscaped plaza with recreational uses.

6. On-Premise signs and temporary signs such as construction and marketing signs shall be permitted within the planned development subject to the review and approval of the Department of Zoning and Land Use Planning. Off-Premise signs are prohibited within the boundary of the planned development.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

North Halsted Street: applicant shall pay for the costs of one (1) new traffic signal that is to be located on North Halsted Street at the property's newly dedicated rightway West Schiller Street entrance, subject to the Chicago Department of Transportation ("C.D.O.T.") approval. The installation of the traffic signal shall commence in conjunction with the conclusion of construction of improvements within Phase One of the planned development. Applicant shall also seek C.D.O.T. approval necessary to eliminate on-street parking spaces on the east side of North Halsted Street.

North Clybourn Avenue: applicant shall also pay for the cost of (1) one new traffic signal that is to be located on North Clybourn Avenue at North Ogden Avenue, subject to the approval of the Illinois Department of Transportation. The installation of the traffic signal shall commence in conjunction with the conclusion of the construction of the improvements within Phase One of the planned development. applicant shall also seek C.D.O.T. and I.D.O.T. approvals necessary to eliminate any

existing on-street parking spaces on the southwest side of North Clybourn Avenue. In furtherance of this planned development, applicant shall not be released to commence construction in the public way prior to the introduction of the one-way directional ordinances for Weed Street, Dayton Street, Blackhawk Street, and Eastman Street to the City Council. The Commissioner of the Chicago Department of Transportation, within his or her designated authority pursuant to Section 2-102-030 (a) -- (f), agrees and shall submit all necessary ordinances and supporting documentation in furtherance thereof to affectuate the above stated street directional changes. Said submission(s) shall be made in a timely manner so as to avoid delays in the commencement of construction.

8. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building or any appurtenance attached hereto shall not exceed the height established in the Bulk Regulations and Data Table and Building Elevations as measured by the Chicago Zoning Ordinance and shall be subject to the height limitations established by the Federal Aviation Administration.
9. The maximum permitted floor area ratio for the parcel shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio calculations and floor area measurements, the definitions of the City of Chicago, Zoning Ordinance shall apply.
10. The applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
11. The improvements on the property, including the on-site exterior landscaping and the landscaping along the adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the attached Site Plan, Building Elevations and Landscape/Roof Plan. In addition, parkway trees shall be installed and maintained in accordance with the parkway tree planting provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines where compatible with the Landscape Plan.
12. The terms, conditions and exhibits of this the planned development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance by the Commissioner of the Department of Zoning and Land Use Planning upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors by the Commissioner of the Department of Zoning and Planning that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this planned development and the purposes underlying the provisions hereof.

13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. Buildings A, B and E shall be Leadership Energy and Environmental Design ("L.E.E.D.") Green Building Rating System Certified.

The applicant shall also provide vegetated ("green") roof totaling a minimum of fifty point four six percent (50.46%) of the net roof area of all buildings. The term ("Net Roof Area") shall be defined as the total area of the roof minus any required perimeter setbacks rooftop structures and roof-mounted equipment. The fifty point four six percent (50.46%) of the net roof area of all equals seventy-nine thousand five hundred fourteen (79,514) square feet of green roof area.

14. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$0.25) per square feet for the total buildable square feet (floor area ratio). The Part II Review Fee is assessed by D.P.D. during the actual Part II Review. The fee as determined by D.P.D. staff at that time is final and binding on the applicant and must be paid to the Department of Planning and Development prior to the issuance of any Part II Approval.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. The applicant agrees and acknowledges that the aggregate F.A.R. for the planned development shall not exceed 3.0 F.A.R.
17. Unless substantial construction of the improvements contemplated within this planned development has commenced within six (6) years following adoption of this amended planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically convert to a C1-3 Neighborhood Commercial District classification. The six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Zoning and Land Use Planning determines that good cause for an extension is shown.

[Drawings and Chicago Builds Green Form referred to in these Plan
of Development Statements printed on pages 77108
through 77117 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development Number 1075, As Amended.

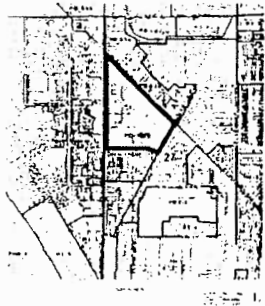
Bulk Regulations And Data Table.

Gross Site Area:	439,997 square feet (10.1 acres)
Public Rights-of-Way:	105,899 square feet (2.42 acres)
Net Site Area:	334,098 square feet (7.68 acres)
Net Site Area (by Subarea):	
Subarea A:	69,663 square feet (1.60 acres)
Subarea B:	38,924 square feet (0.89 of an acre)
Subarea C:	93,815 square feet (2.15 acres)
Subarea D:	17,328 square feet (0.40 of an acre)
Subarea E:	74,118 square feet (1.70 acres)
Subarea F:	40,250 square feet (0.92 of an acre)
Maximum Permitted Floor Area Ratio for Net Site Area:	3.0
Permitted Uses:	Residential uses, business uses and commercial uses and related uses as listed in Statement Number 5 of this application.
Maximum Number of Residential Units:	280 units
Subarea B:	196 units
Subarea D:	84 units

Maximum Commercial Space To be provided within the P.D.:	552,000 square feet
Minimum Number of Off-Street Parking Spaces to be provided:	958 parking spaces
Residential Parking:	280 parking spaces for the maximum number of dwelling units allowed by this planned development
Commercial/Business Parking:	678 spaces
Maximum Number of Off-Street Parking Spaces to be allowed:	1,250 parking spaces (to be located in Subareas D and E)
Minimum Number of Off-Street Loading Spaces:	7 loading spaces
Open Space/ Open Plaza Areas to be provided:	(92,119 square feet) 2.11 acres
Maximum Percentage of Land Coverage:	75%
Minimum Building Set-backs:	In substantial conformance with the Attached Site Plan
Maximum Building Height:	
Subarea A:	(10) ten-story/120 feet
Subarea B:	(19) nineteen-story/215 feet
Subarea C:	(4) four-story/75 feet
Subarea D:	(2) seven-story buildings, each building at 72 feet
Subarea E:	(7) level of parking/72 feet
Subarea F:	(N.A.)

The New City Mixed Use Development.

(Page 1 of 6)



EXISTING ZONING AND STREET MAP

THE NEW CITY MIXED USE DEVELOPMENT



AERIAL STREET MAP

THE NEW CITY MIXED USE DEVELOPMENT



EXISTING LAND USE AREA MAP

THE NEW CITY MIXED USE DEVELOPMENT

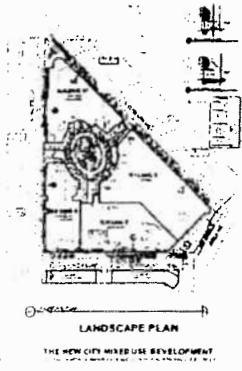
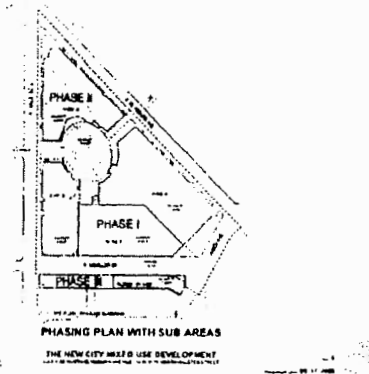
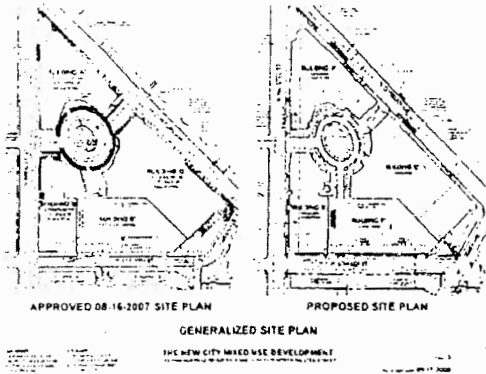


P.D. BOUNDARY, PROPERTY LINE / RIGHT OF WAY

THE NEW CITY MIXED USE DEVELOPMENT

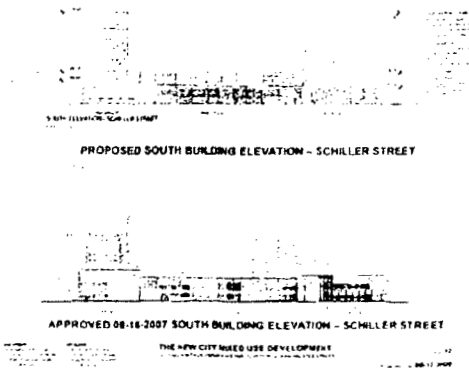
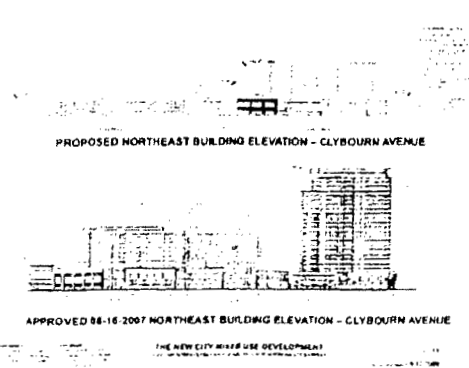
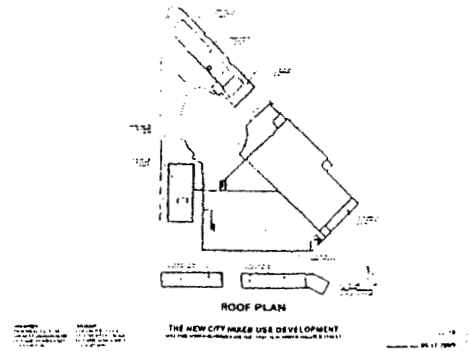
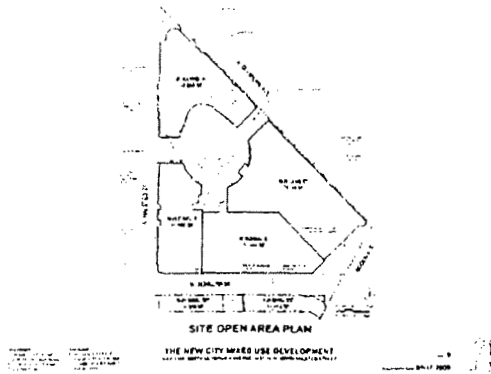
The New City Mixed Use Development.

(Page 2 of 6)



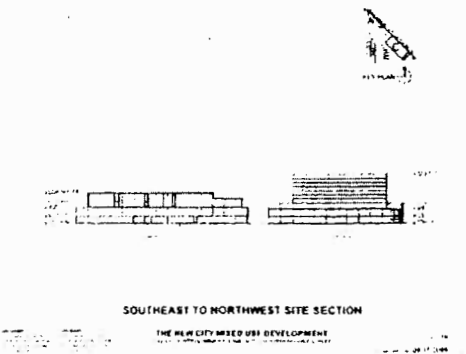
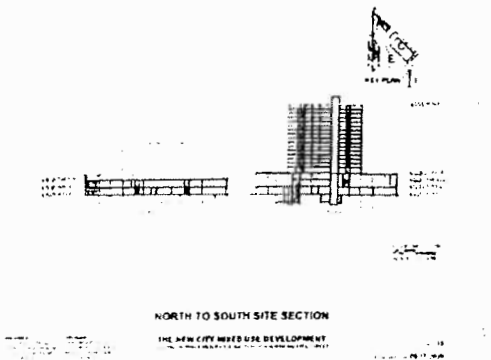
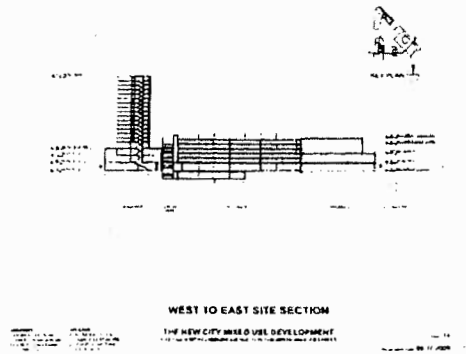
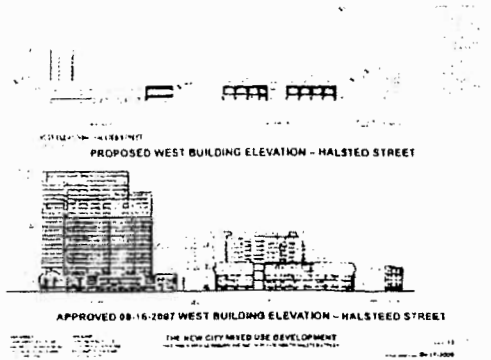
The New City Mixed Use Development.

(Page 3 of 6)



The New City Mixed Use Development.

(Page 4 of 6)



The New City Mixed Use Development.

(Page 5 of 6)



AERIAL RENDERING

THE NEW CITY MIXED USE DEVELOPMENT



PERSPECTIVE RENDERING FROM CORNER OF CLYBOURN AND HALSTED

THE NEW CITY MIXED USE DEVELOPMENT



PERSPECTIVE RENDERING OF CLYBOURN AT MID BLOCK

THE NEW CITY MIXED USE DEVELOPMENT



PERSPECTIVE RENDERING OF GROCER

THE NEW CITY MIXED USE DEVELOPMENT

The New City Mixed Use Development.

(Page 6 of 6)



PERSPECTIVE RENDERING OF PARKING DECK

THE NEW CITY MIXED USE DEVELOPMENT
100 WEST WASHINGTON STREET, CHICAGO, IL 60601



PERSPECTIVE RENDERING OF HALSTED AND SCHILLER

THE NEW CITY MIXED USE DEVELOPMENT
100 WEST WASHINGTON STREET, CHICAGO, IL 60601



PERSPECTIVE RENDERING OF CENTRAL PLAZA FROM ABOVE

THE NEW CITY MIXED USE DEVELOPMENT
100 WEST WASHINGTON STREET, CHICAGO, IL 60601



PERSPECTIVE RENDERING OF THE CENTRAL PLAZA AT DUSK

THE NEW CITY MIXED USE DEVELOPMENT
100 WEST WASHINGTON STREET, CHICAGO, IL 60601

Chicago Builds Green.

(Page 1 of 4)

CHICAGO BUILDS GREEN

Project Name:

Project Location: * Street Number (if the address only includes one street number, please fill only the cell "From")

From	To	Direction	Street Name	Select Street Type
1463	1511	N	Halsted	St

Ward No.	Community Area No.
27	8

Project Type: Check applicable:
 Planned Development Redevelopment Agreement Zoning Change
 PD No: RDA No: From: To:
 Public project Landmark

Project Size:

Total land area in sq ft	Total building(s) footprint in sq ft	Total vehicular use area in sq ft
334,504	242,427	13,231

DPD Project Manager:

BG/GR Matrix: Select project category:

Financial Incentives: Check applicable:
 TIF Empowerment Zone Grant Class L
 GRIF Ind. Dev. Revenue Bonds Class 6b
 SBIF Bank Participation Loan DOH
 Land Sale Write Down

Density Bonus: Check applicable:
 Public plaza & pocket park Water features in a plaza or pocket park
 Chicago Riverwalk improvements Setbacks above the ground floor
 Winter gardens Lower level planting terrace
 Indoor through-block connection Green roof
 Sidewalk widening Underground parking and loading
 Arcades Concealed above-ground parking

Chicago Builds Green.

(Page 2 of 4)

	Required per Zoning Code or Green Road/Building Green Matrix	To be Provided by the development:
Please fill, if applicable		
Landscaping:		
7' Landscape Setback	Square footage: 0	1,655
Interior Landscape Area	Square footage: 1,000	52,096
No. of Interior Trees	8	76
No. of Parkway Trees	92	72

Open Space:		
River Setback	Square footage: 0	0
Private Open Space	Square footage: 0	0
Privately developed Public Open Space	Square footage: 83,626	92,116

Stormwater Management (At-grade volume control):

Permeable paving	Square footage: 0
Raingarden	Check applicable: <input type="checkbox"/>
Filter strip	<input type="checkbox"/>
Bioswale	<input type="checkbox"/>
Detention pond	<input type="checkbox"/>
Native landscaping	Square footage: 5,000
Rain-water collection cistern/barrel	Gallons: 99,000
Total impervious area reduction	Square footage: 5,000

Other sustainable surface treatments:

Green roof	Square footage: 82,989	83,751
Energy Star roof	Square footage: 0	103,970
High-albedo pavement	Square footage:	189,881

Transportation:

No. of accessory parking spaces	0	0
Total no. of parking spaces (Accessory + Non-Acc.)		1,060
No. of parking spaces dedicated to car sharing services (E.g. i-Go, Zip-Car)	0	1
No. of bicycle parking	59	110
Within 600 ft of CTA or Metra station entrance		<input checked="" type="checkbox"/>

Chicago Builds Green.

(Page 3 of 4)

Building Certification:

- Energy Star building
- LEED certification
- LEED Certified
- LEED Silver
- LEED Gold
- LEED Platinum
- Chicago Green Homes
- Chicago Green Homes [one-star]
- Chicago Green Homes [two-star]
- Chicago Green Homes [three-star]

Energy efficiency strategies not captured above:
(E: Other than Energy Star Roof - or Energy Star Building Certification)

Optimize Energy Performance: The project is required to attain a 14% improvement in the building performance rating compared to the baseline building performance rating per ASHRAE/IESNA Standard 90.1-2004. This will be demonstrated by a building energy simulation model. Energy reductions have will be achieved through the use of energy efficient equipment, demand control ventilation, and reduced lighting levels in the parking garages.

Enhance Refrigerant Management: The building HVAC & R systems do not use CFC-based refrigerants.

Measurement and Verification - Tenant Submetering: Electricity meters will be provided for each tenant space and a measurement and verification plan will be developed to advise tenants how to track their electrical usage. This scope of work has always been included in the requirement of the owner; this credit will be achieved at no additional cost to the project.

Chicago Builds Green.

(Page 4 of 4)

3 Other sustainable strategies:

Development Density & Community Connectivity:

Alternative Transportation, Public Transportation Access and Low-Emitting and Fuel Efficient Vehicles: 5% of total parking capacity will be designated for fuel efficient vehicles, per parking space signage, and located near entrances.

Site Development, Protect or Restore Habitat: The site landscaping will restore more than 50% of the site area with native or adapted vegetation.

Tenant Design and Construction Guidelines: Owner will author a document describing the energy saving and green architecture strategies employed for Tenant's use and consideration for T.I. Work.

Water Use Reduction, 20%: The building will be using high-efficiency, low flow plumbing fixtures to reduce water use by more than 20% of the baseline calculation for the building.

Storage and Collection of Recyclables: The project has accommodated this requirement through the distribution of trash and recycling bins throughout the public areas of the project and through the inclusion of a second trash chute within the residential tower. Within the lower level separate dumpsters and cardboard balers have been assigned for the task of collecting recyclables. Also, OKW will provide tenant guidelines which instruct retail tenants how they can use the recycling facilities located in the lower level.

Construction Waste Management, Divert 75% from Disposal: The project will be recycled and/or diverted at least 75% of non-hazardous construction and demolition debris. Calculations will be provided based on weight in tonnage.

Recycled Content, 10% (post-consumer, 1/4 pre-consumer): The project will use materials with recycled content such that the sum of post-consumer recycled content plus one-half of the pre-consumer content constitutes at least 10% (based on cost) of the total value of the materials in the project.

Regional Materials, 20% Extracted, Processed & Manufactured Regionally: The project uses building materials or products that have been extracted, harvested or recovered, as well as manufactured, within 500 miles of the project site for a minimum of 20% (based on cost) of the total materials value.

Certified Wood: The project will use a minimum of 50% of wood-based materials and products, which are certified in accordance with the Forest Stewardship Council's (FSC) Principles and Criteria, for wood building components.

IAQ Performance: The project will be designed to meet the minimum requirements of ASHRAE Standard 62.1-2004, Ventilation for Acceptable Indoor Air Quality, using the Ventilation Rate Procedure.

Environmental Tobacco Smoke Control: The project has been designated a nonsmoking building.

Construction IAQ Management Plan, During Construction: The contractor will develop and implement an Indoor Air Quality (IAQ) Management Plan for the construction and pre-occupancy phases of the building.

Low-Emitting Materials, Adhesives & Sealants, Paints & Coatings, Carpet Systems, Composite Wood and Agrifiber Products.

Thermal Comfort, Design: The project's mechanical systems will be designed to meet ASHRAE Standard 55-2004. This credit will be achieved at no additional cost to the project.

Project Notes:

Buildings A, B and P are registered for LEED certification. Building C is unable to achieve LEED due the cost prohibitive nature of E & A credit 1 - Optimized Energy Performance.



City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)
<http://www.cityofchicago.org>

November 19, 2008

Mr. James J. Banks
Law Offices of Samuel V.P. Banks
Thirty-Eighth Floor
221 North LaSalle Street
Chicago, IL 60601

**Re: Administrative Relief request for Residential Business Planned
Development No. 1075, 1431-1539 North Halsted Street**

Dear Mr. Banks:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1075, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

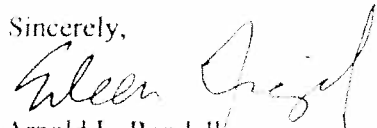
Specifically, you are requesting the following changes:

- Reduce the number of residential units in Subareas A and C from 494 to 280.
- Increase the number of residential units in Subarea D from 53 to 84.
- Reallocate the 185,800 square feet which was to be utilized for the 214 residential units eliminated from Subareas A and C and combine this with the ordinarily proposed commercial square footage of 366,200 square feet, for a total of 552,000 square feet of commercial space.
- Within Subarea A, decrease the height of the proposed 289 foot, 25-story building to a 120 foot, 10-story building.
- Within Subarea B, increase the height of the proposed 134 foot, 10-story building to a 215 foot, 19-story building.
- Within Subarea C, decrease the height of the proposed 150 foot, 11-story building to a 75 foot, 3-story building.
- Within Subarea D, increase the height of the proposed 45 foot, 4-story building to a 72 foot, 7-story residential building and increase the height of the proposed 55 foot, 5-story residential building to a 72 foot, 7-story building.
- Within Subarea E, increase the height of the proposed 55 foot, 5-story parking garage to a 72 foot, 7-story parking garage.

With regard to your request, the Department of Planning and Development has determined that the above-referenced revisions would result in a change in the character of the development and therefore, would not constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1075, I hereby deny this request.

Sincerely,


Arnold L. Randall
Commissioner

ALR:SA-HIG (m)

cc: Michael Jasso, Paul Zalmezak, Mike Marmo, Pat Haynes, Erik Glass, DPD file



9/5/2007

REPORTS OF COMMITTEES

16095
7343

~~Reclassification Of Area Shown On Map Number 1-H.
(Application Number 16289)~~

~~Be It Ordained by the City Council of the City of Chicago:~~

~~SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the B1-2 Neighborhood Shopping District symbols and indications as shown on Map Number 1-H in the area bounded by:~~

~~West Devon Avenue; a line 82.74 west of and parallel to North Campbell Avenue; the alley next south of and parallel to West Devon Avenue; and a line 182.74 feet west of and parallel to North Campbell Avenue,~~

~~to those of a B2-5 Neighborhood Mixed-Use District and a corresponding use district is hereby established in the area above described.~~

~~SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.~~

Reclassification Of Area Shown On Map Number 3-F.

(As Amended)

(Application Number 16095)

RBPD 1075

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Institutional Planned Development Number 182 symbols and indications as shown on Map Number 3-F in the area bounded by:

North Clybourn Avenue; North Ogden Avenue or the line thereof if extended where no street exists; a line 328.57 feet southwest of North Clybourn Avenue (as measured from the northwest right-of-way line of North Ogden Avenue and perpendicular thereto); a line 923 feet south of the intersection of North Clybourn Avenue and North Halsted Street (as measured from the east right-of-way line of North Halsted Street and perpendicular thereto); and North Halsted Street,

to those of a C1-5 Neighborhood Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the C1-5 Neighborhood Commercial District symbols and indications within the area described in Section 1 above, to the designation of a Residential-Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith

Residential-Business Planned Development Number 1075.

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 1075, consists of approximately three hundred thirty-four thousand five hundred thirty-one (334,531) square feet (seven and sixty-eight hundredths (7.68) acres) and is owned or controlled by Young Men's Christian Association of Chicago and the applicant is, CFRI/New City L.L.C.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, including but not limited to revision or amendments to any established redevelopment plans or agreements shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approved by the City Council.

Specifically, the applicant acknowledges and agrees that as part of the proposed planned development, an area of the subject site referenced within this document as the "Eastman Extension" is a new street to be dedicated for public use and contains an area of thirty-six thousand seven hundred eighty-four (36,784) square feet. The new "public street" shall be constructed at the applicant's expense, in exchange for the City of Chicago release of covenant as stated in the redevelopment agreement dated October 26, 2001 and referenced in Statement Number 7 of this plan of development.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant, then to the owner of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the

property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. Any agreements among property owners, the board of directors or any property owners association, or covenant binding property owners, may designate the authorized party for any future amendment, modification or change.

4. This plan of development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; a Zoning Map; a Land-Use Map; a Planned Development Boundary Map; a Site Plan; Landscape Plan; Roof Plan; Ground Floor Plan; Site Open Area Plan and Building Elevations prepared by OKW Architects. Full size copies of the Site Plan and Exterior Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall apply.
5. The following uses shall be permitted within the area delineated herein as "Residential-Business Planned Development":
 - Subarea A: multi-story elevator building containing a total of two hundred seventy (270) residential/dwelling units, commercial uses including but not limited to restaurants (both limited and general), entertainment, general retail, offices, open space/green space; and any use permitted in the C1 Neighborhood Commercial District, accessory and related uses; and accessory parking and loading.
 - Subarea B: multi-story elevator building containing a total of sixty-five (65) residential/dwelling units, commercial uses including but not limited to restaurants (both limited and general), entertainment uses, general retail, hotels, taverns, and any use permitted in the C1 Neighborhood Commercial District, accessory and related uses; and accessory parking and loading.
 - Subarea C: multi-story elevator building containing a total of one hundred six (106) residential/dwelling units, commercial uses including but not limited to restaurants (both limited and general); entertainment uses including theatres,

general retail, offices, open space and any use permitted in the C1 Neighborhood Commercial District; accessory and related uses; and accessory parking and loading.

Subarea D: multi-unit residential (dwelling and efficiency) buildings totaling fifty-three (53) units, accessory uses, and accessory parking and loading.

Subarea E: multi-story off-street accessory parking structure.

Subarea F: public/private, open space/landscaped plaza with recreational uses.

6. On-premises signs shall be permitted within the plan development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within this planned development.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Department of Transportation.

North Halsted Street: applicant shall pay for the costs of one (1) new traffic signal that is to be located on North Halsted Street at the property's new dedicated right-of-way for a street (West Eastman Extension) entrance, subject to the Chicago Department of Transportation ("C.D.O.T.") approval. Applicant shall also seek C.D.O.T. approval necessary to eliminate on-street parking spaces on the east side of North Halsted Street.

North Clybourn Avenue: applicant shall also pay for the cost of one (1) new traffic signal that is to be located on North Clybourn Avenue at North Ogden Avenue, subject to the approval of the Illinois Department of Transportation. Applicant shall also seek C.D.O.T. and I.D.O.T. approvals necessary to eliminate any existing on-street parking spaces on the southwest side of North Clybourn Avenue.

8. The height of any building or any appurtenance attached hereto shall not exceed the height established in the Bulk Regulations and Data Table and Building Elevations and shall be subject to the height limitations established by the Federal Aviation Administration.
9. The maximum permitted floor area ratio for the parcel shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio calculations and floor area measurements, the definitions of the City of Chicago, Zoning Ordinance shall apply.
10. The improvements on the property shall be designed, installed and maintained in substantial conformance with Site Plan, Landscape Plan, Roof Plans and Building Elevations attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the applicable standards of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
11. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such modification by the applicant and after a determination by the Commissioner of the Department of Planning and Development that such is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance. Such minor changes may include: changes to the Site Plan, a reallocation of dwelling units and/or floor area (including commercial floor area) from one subarea to another subarea so long as the maximum residential unit count, F.A.R., or maximum commercial area totals, as applicable, for the planned development is not exceeded. Finally, it is acknowledged that the demising walls for the interior spaces are illustrative only and that the location and/or relocation of demising walls or divisions of interior spaces shall not be deemed to require any further approvals pursuant hereto.
12. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating.

The applicant shall also provide vegetated ("green") roof totaling fifty percent (50%) of the net roof area of all buildings. The term ("Net Roof Area") shall be defined as the total area of the roof minus any required perimeter setbacks rooftop structures and roof-mounted equipment.

13. The applicant acknowledges and agrees that if the Residential-Business Planned Development is approved and constructed, as a part of the project: it shall be obligated to provide ten percent (10%) of the total residential units to (C.P.A.N.) "Chicago Partnership for Affordable Neighborhood" and an additional ten percent (10%) of the total units to low-income units/C.H.A. replacement as a part of this development. The C.P.A.N. units and C.H.A. replacement units will be interspersed among all of the residential units located with Subareas A, B, C and D of the development.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. The public benefits derived from this development are (1) a total of ten percent (10%) of the residential dwelling units will be C.P.A.N. units and an additional ten percent (10%) of the dwelling units will be C.H.A. replacement housing units; and (2) the applicant has not requested any public assistance for the twenty percent (20%) of assisted units provided by this development.
16. The applicant acknowledges and agrees that the underlying C1-5 zoning district allows for an F.A.R. of 5.0. The applicant agrees and acknowledges that the aggregate F.A.R. for the proposed planned development shall not exceed 3.0 F.A.R.

The C1-5 underlying zoning district is necessary in order to allow the proposed height of the buildings contained within Subareas A, B and C. As referenced under 17-3-0408-A of the City of Chicago Zoning Ordinance, the height standard under the C1-5 zoning district may be exceeded, if reviewed and approved in accordance with Section 17-8-0512-A of the zoning ordinance, which is referenced as a threshold standard. This threshold standard is subject to the heights stated within the Use and Bulk Table attached and made subject to this Residential-Business Planned Development.

17. Unless substantial construction of the improvements contemplated within this planned development has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically convert to a C1-3 Neighborhood Commercial District classification. The six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.

[Existing Zoning and Street Map; Existing Land-Use Area Map; Planned Development, Property Line/Right-of-Way; Generalized Site Plan; Landscape Plan; Site Open Area Diagram; Landscape Plans; Floor Plans; Green Roof Plan; Building Elevations; Site Section; and Project Check List referred to in these Plan of Development Statements printed on pages 7352 through 7374 of this *Journal*.]

Residential-Business Planned Development Number 1075.

Bulk Regulations And Data Table.

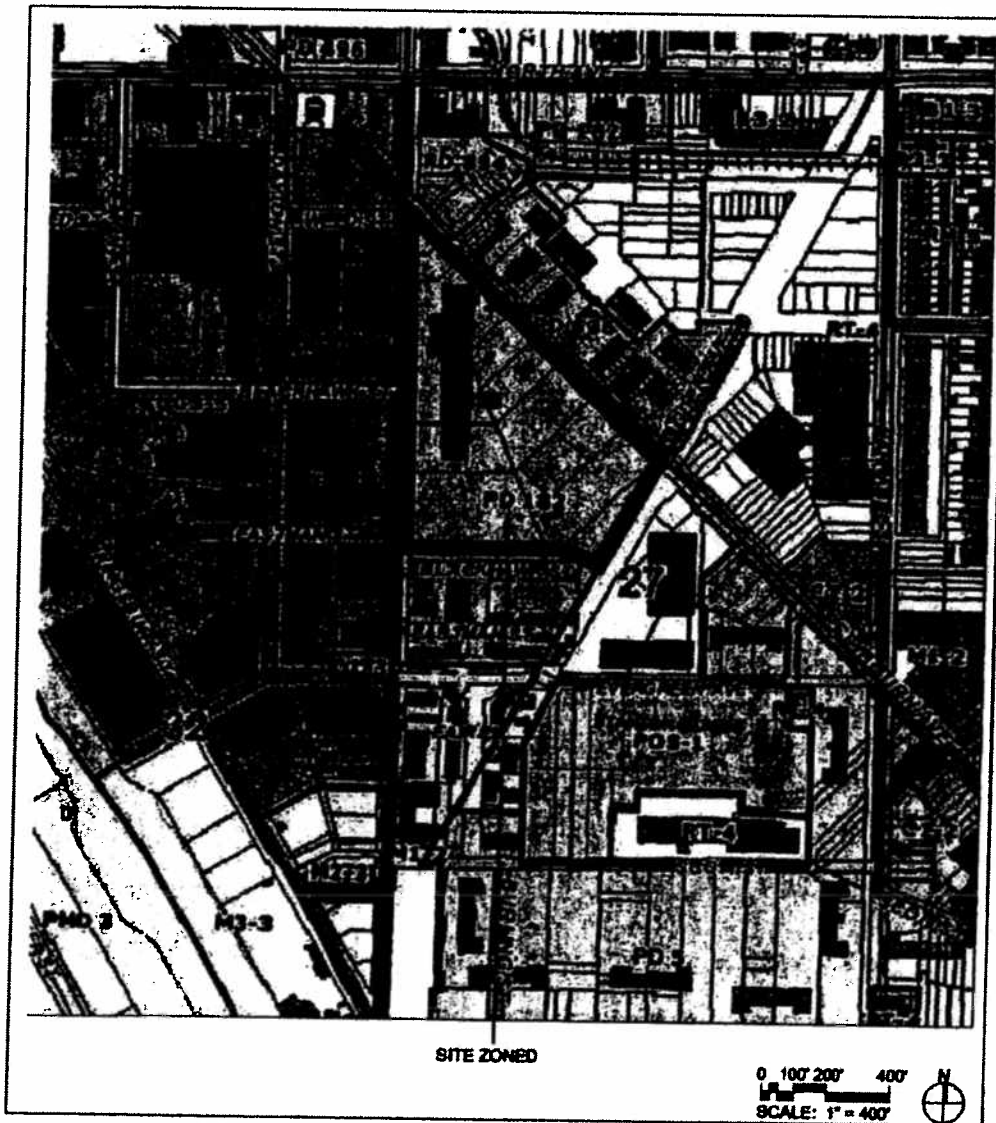
Gross Site Area:	439,997 square feet (10.1 acres)
Existing Public Rights-of-Way:	68,682 square feet (1.58 acres)
Proposed Right-of-Way to be dedicated:	36,784 square feet (0.84 of an acre)*
Net Site Area:	334,531 square feet (7.68 acres)
Net Site Area (by subarea):	
Subarea A:	70,096 square feet (1.60 acres)
Subarea B:	38,924 square feet (0.89 of an acre)
Subarea C:	93,815 square feet (2.15 acres)
Subarea D:	17,328 square feet (0.40 of an acre)

Subarea E:	74,118 square feet (1.70 acres)
Subarea F:	40,250 square feet (0.92 of an acre)
Maximum Permitted Floor Area Ratio for Net Site Area:	3.0
Subarea A:	6.24
Subarea B:	5.16
Subarea C:	3.07
Subarea D:	3.95
Subarea E:	0.10
Subarea F:	0.00
Permitted Uses:	residential uses, business uses and commercial uses and related uses as listed in Statement Number 5 of this application
Maximum Number of Residential Units:	494 units
Market Rate Units:	80% of total units to be constructed
Affordable Units (C.P.A.N.):	10% of total units to be constructed
Low-Income Units (C.H.A. Replacement Housing):	10% of total units to be constructed
Maximum Commercial Space to be provided within the Planned Development:	540,000 square feet
Minimum Number of Off-Street Parking Spaces to be provided:	As determined by Section 17-10-0102-B and Section 17-10-0200 of the Chicago Zoning Ordinance

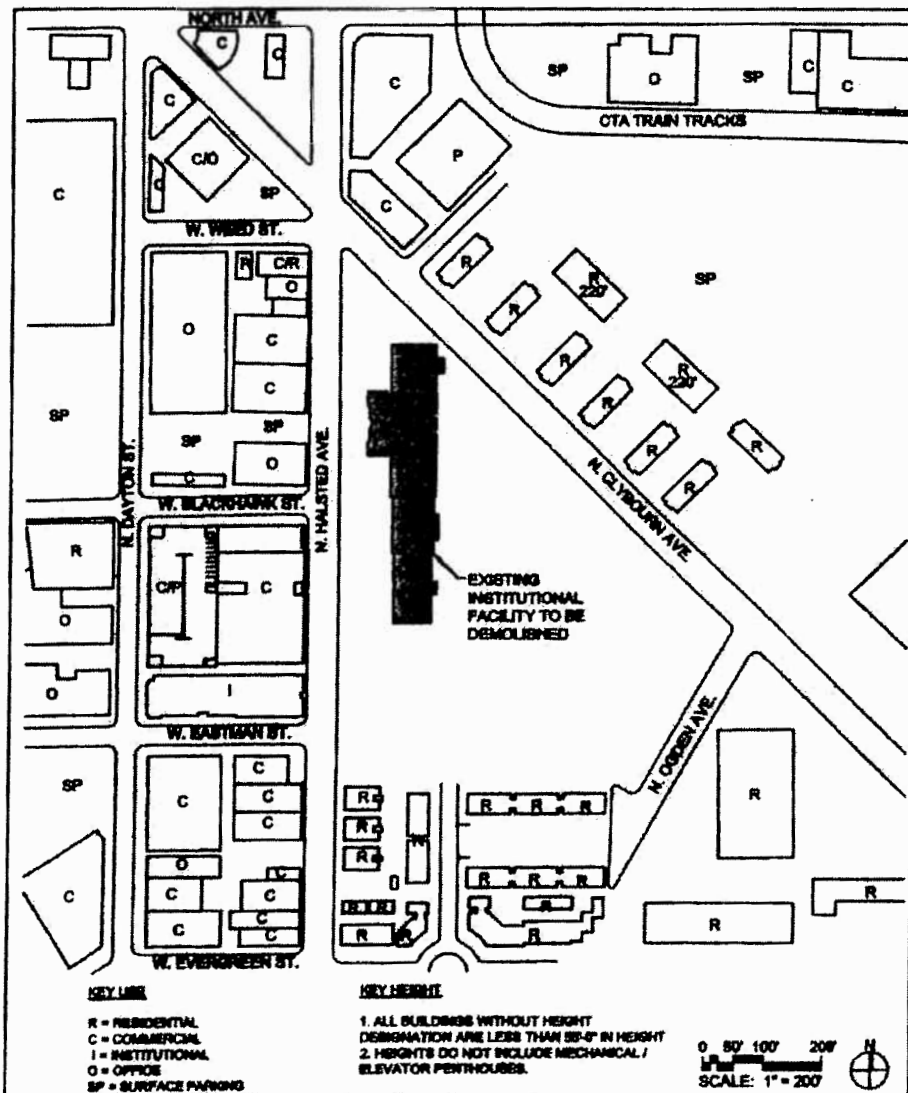
Residential Parking:	1 parking space for each residential/ dwelling unit
Commercial/Business Parking:	As required by Section 17-10-0200 of the Chicago Zoning Ordinance
Maximum Number of Off-Street Parking Spaces to be allowed:	1,250 parking spaces
Minimum Number of Off-Street Loading Spaces:	As required by Section 17-10-1100 of the Chicago Zoning Ordinance
Open Space/Open Plaza Areas to be provided:	(92,119 square feet) 2.11 acres (+/-)
Maximum Percentage of Land Coverage:	75%
Minimum Building Setbacks:	In substantial conformance with the Attached Site Plan
Maximum Building Height:	
Subarea A:	25-story/289 feet
Subarea B:	10-story/134 feet
Subarea C:	11-story/150 feet
Subarea D:	4-story/45 feet and 5-story/ 55 feet
Subarea E:	5 level of parking/55 feet
Subarea F:	(N.A.)

(This is the area of the subject site to be located within the "Eastman Street Extension" which is proposed "to be dedicated" for a new public street as identified within the attached Planned Development submittal)*.

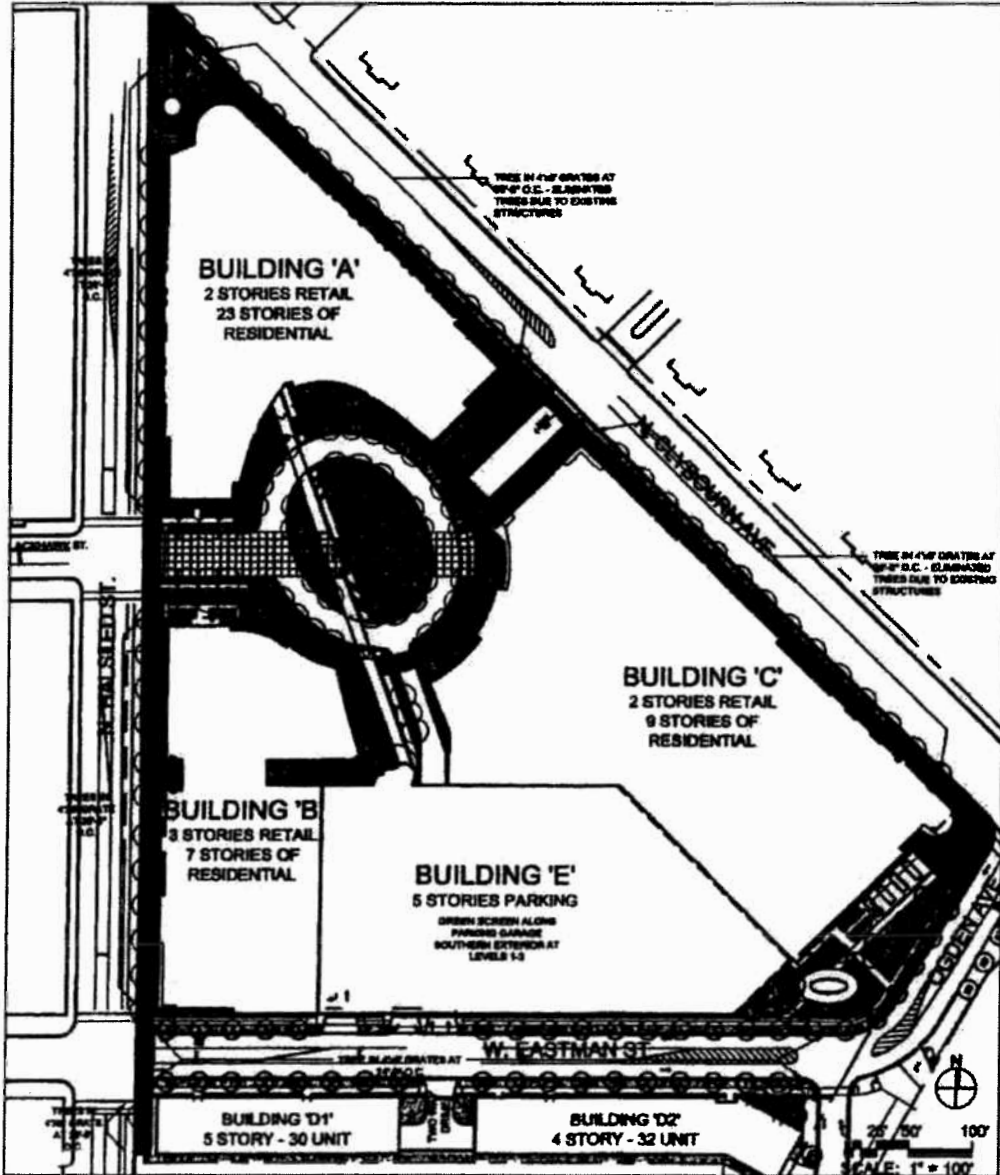
Existing Zoning And Street Map.



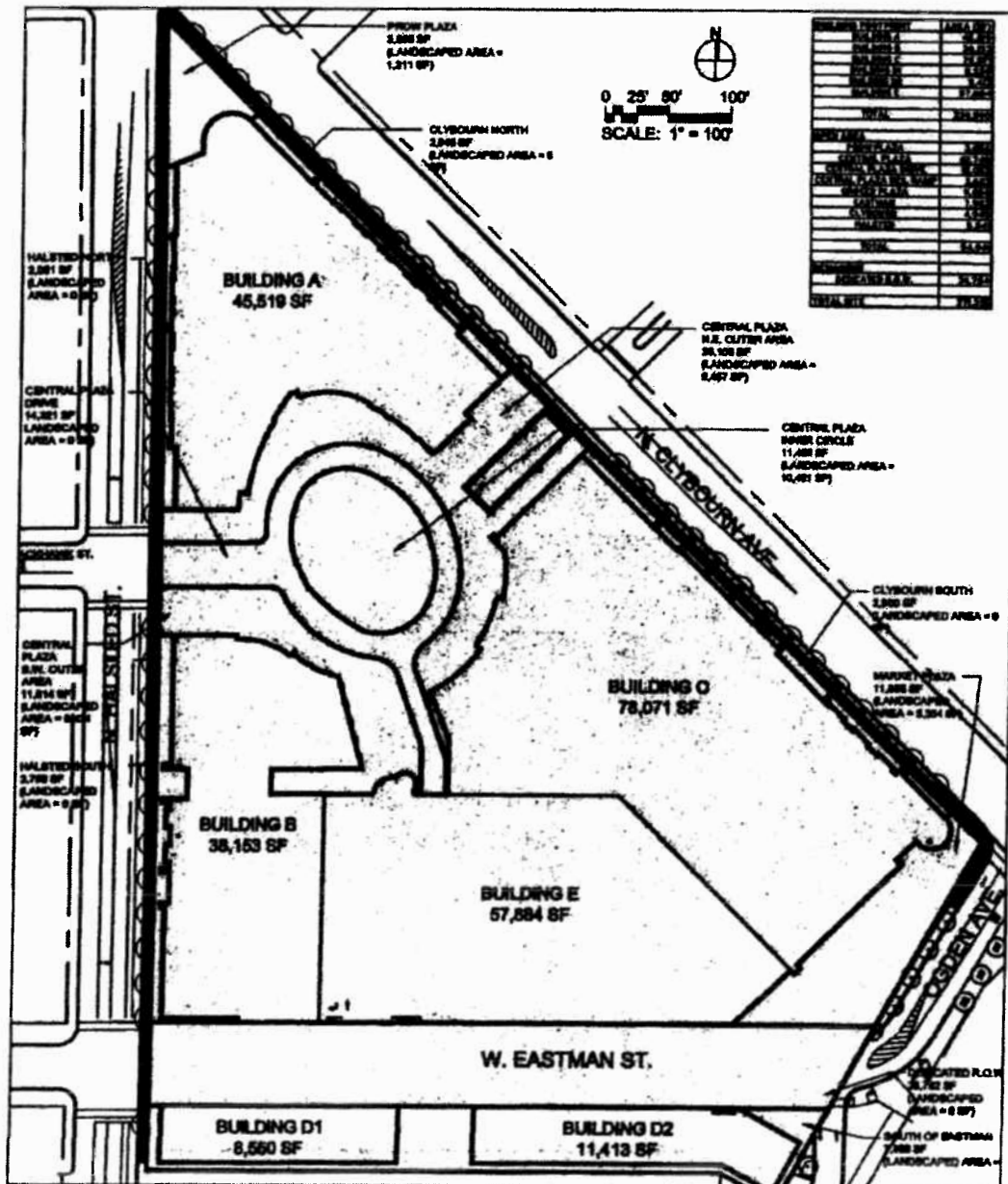
Existing Land-Use Area Map.



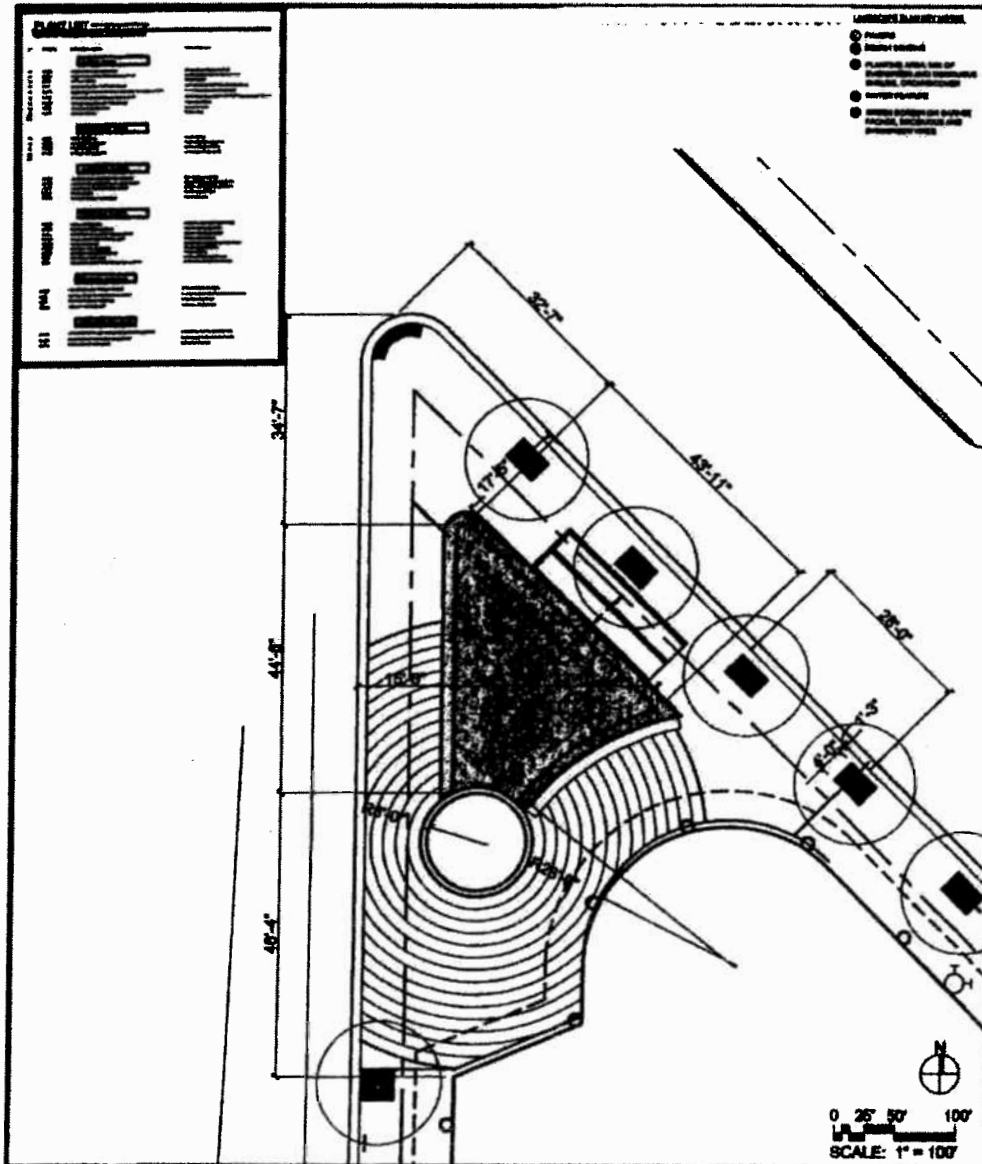
Landscape Plan.



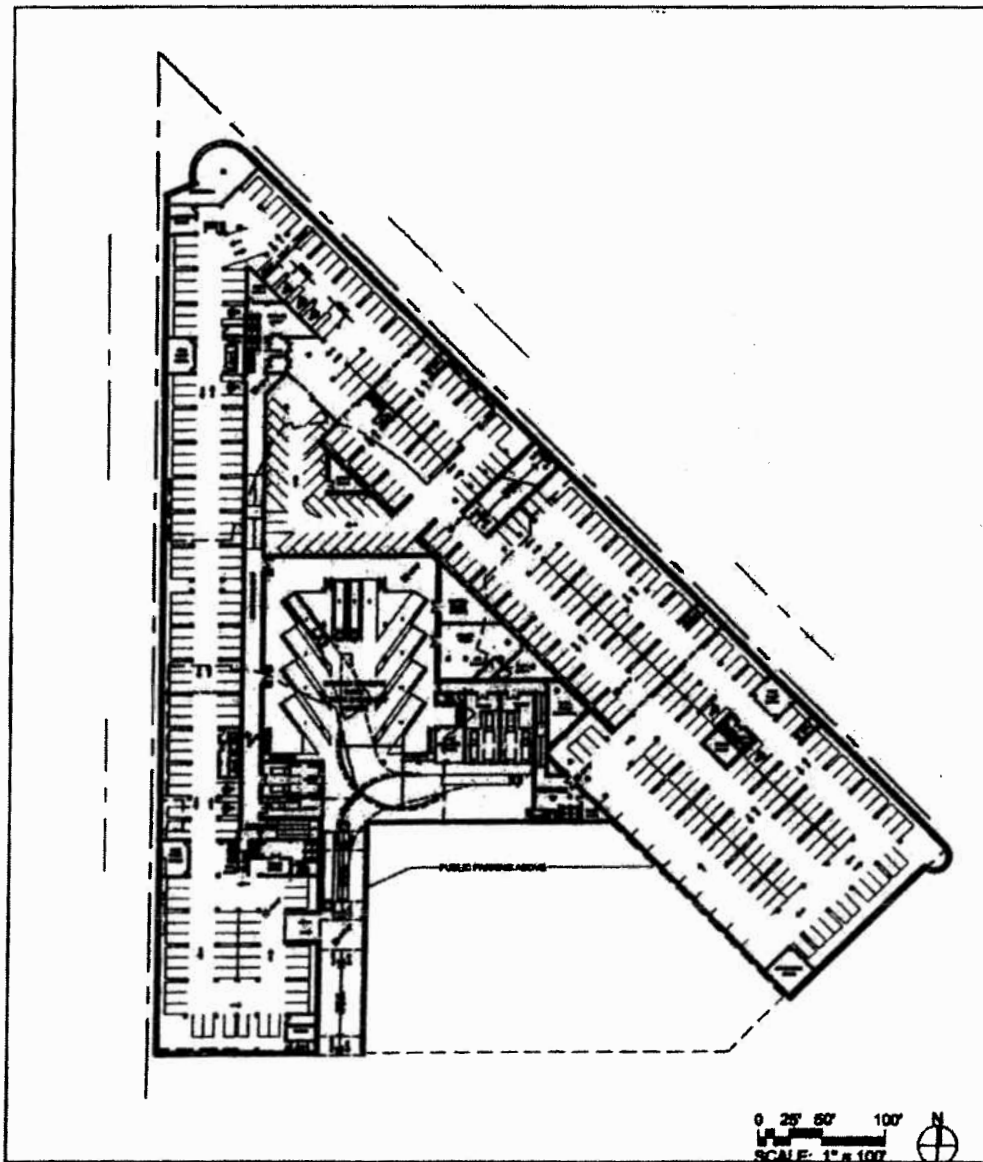
Site Open Area Diagram.



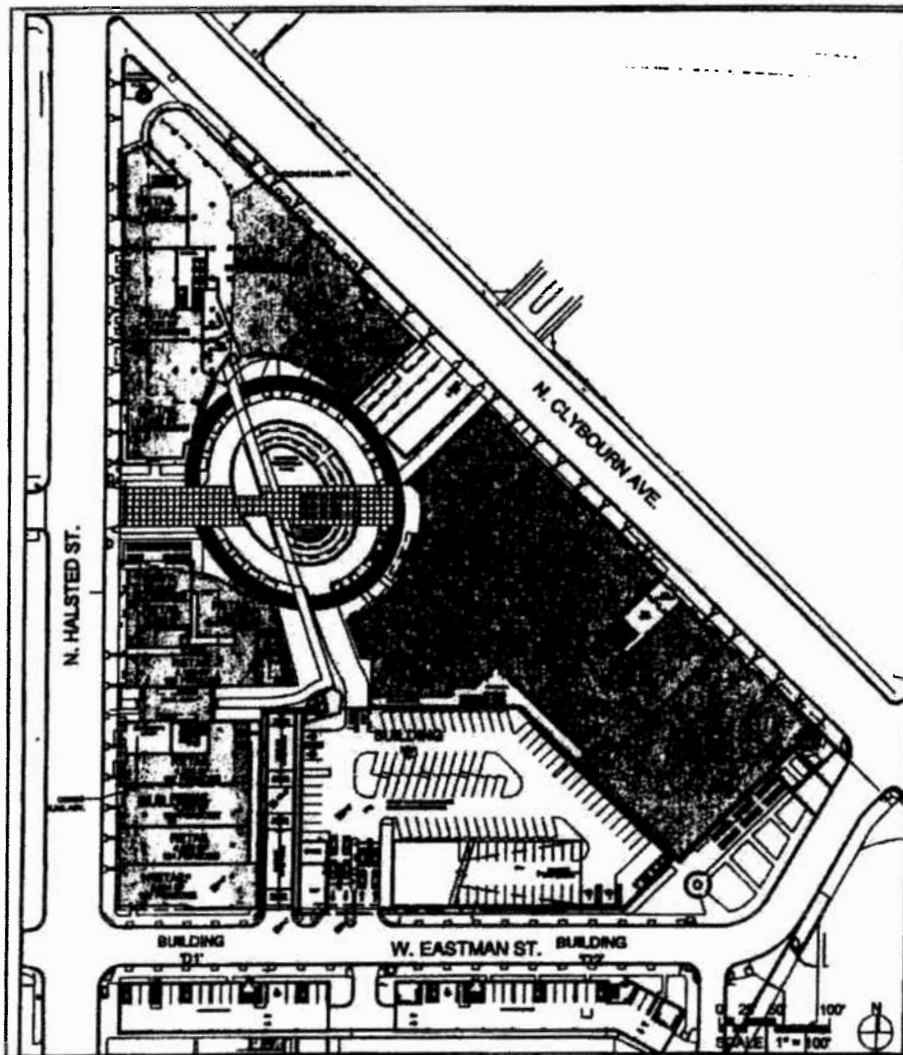
Landscape Plan -- Right-Of-Way Plaza.



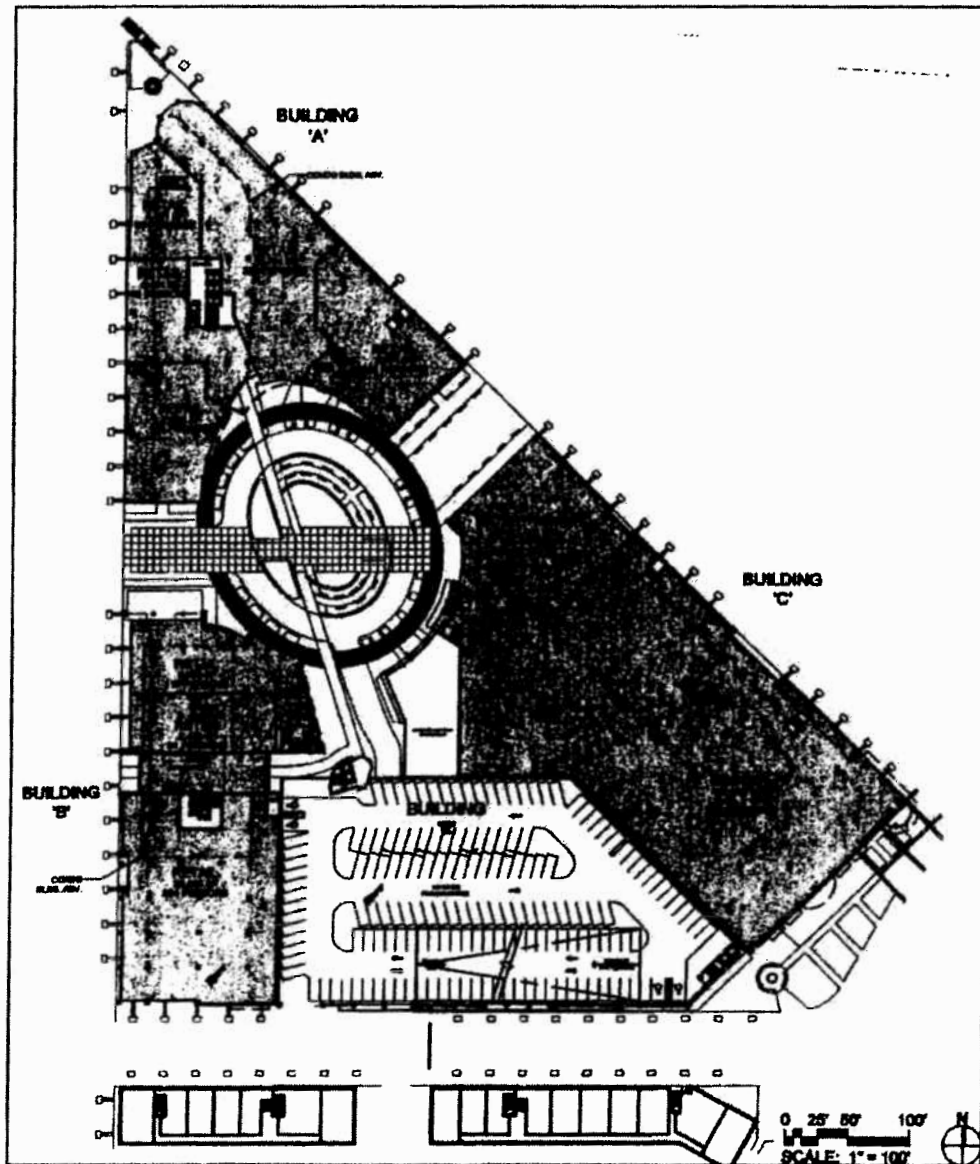
Lower Level Floor Plan
(Elevation -- 11.00 Feet).



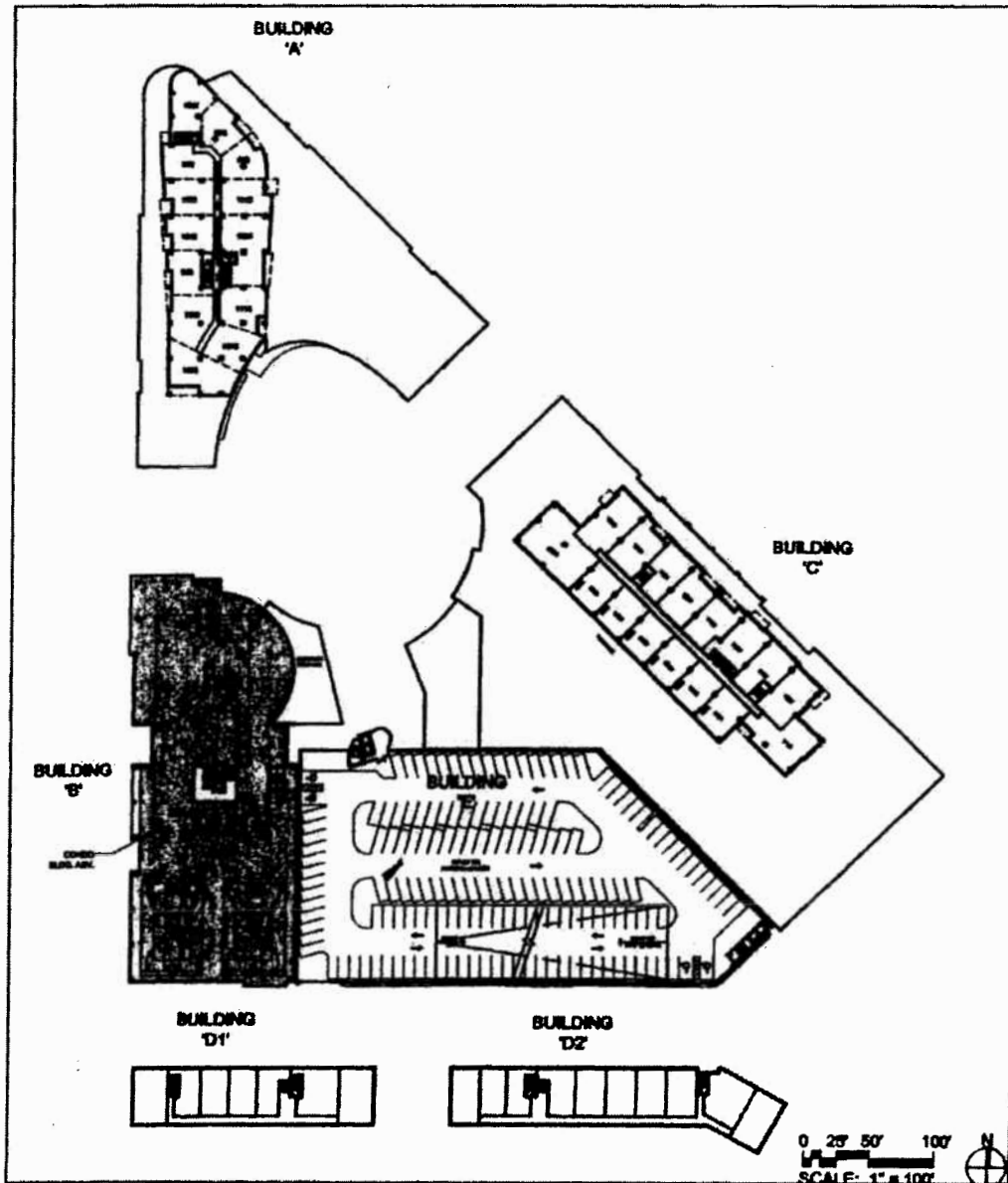
Ground Floor Plan (Elevation -- +0.0 Feet).



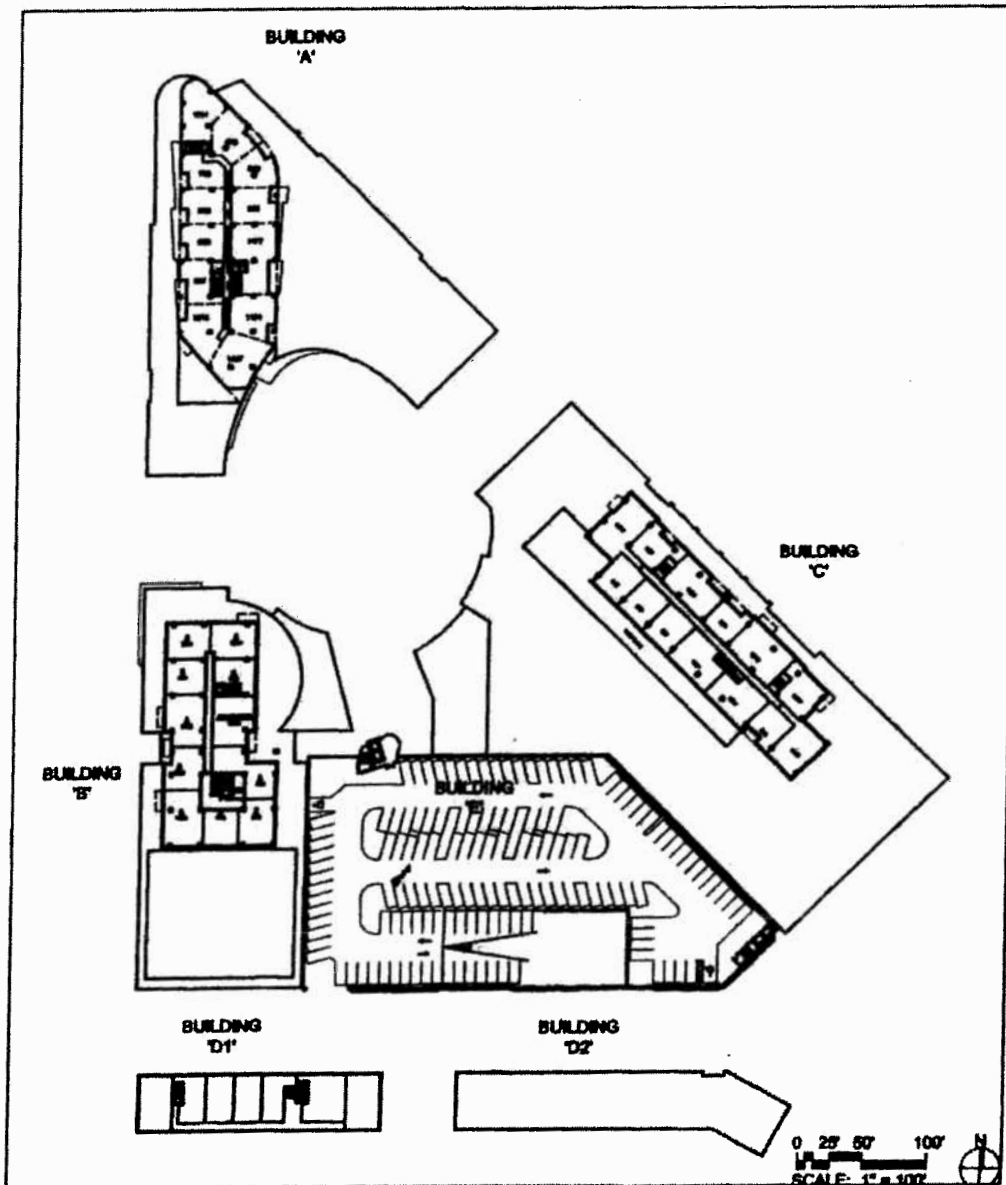
Second Floor Plan (Elevation -- +22.75 Feet).



Third Floor Plan (Elevation -- +44.25 Feet).



Fourth Floor Plan (Elevation Varies).

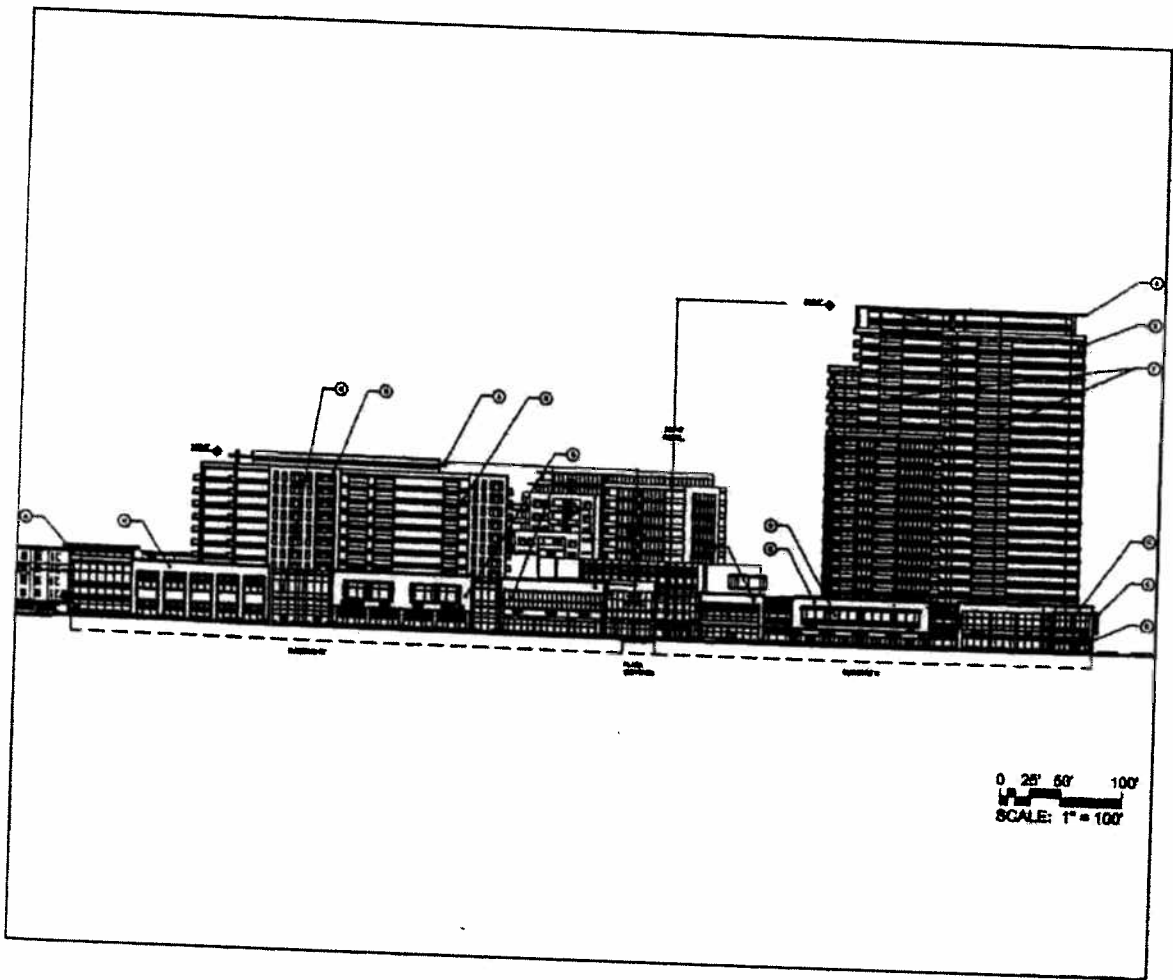


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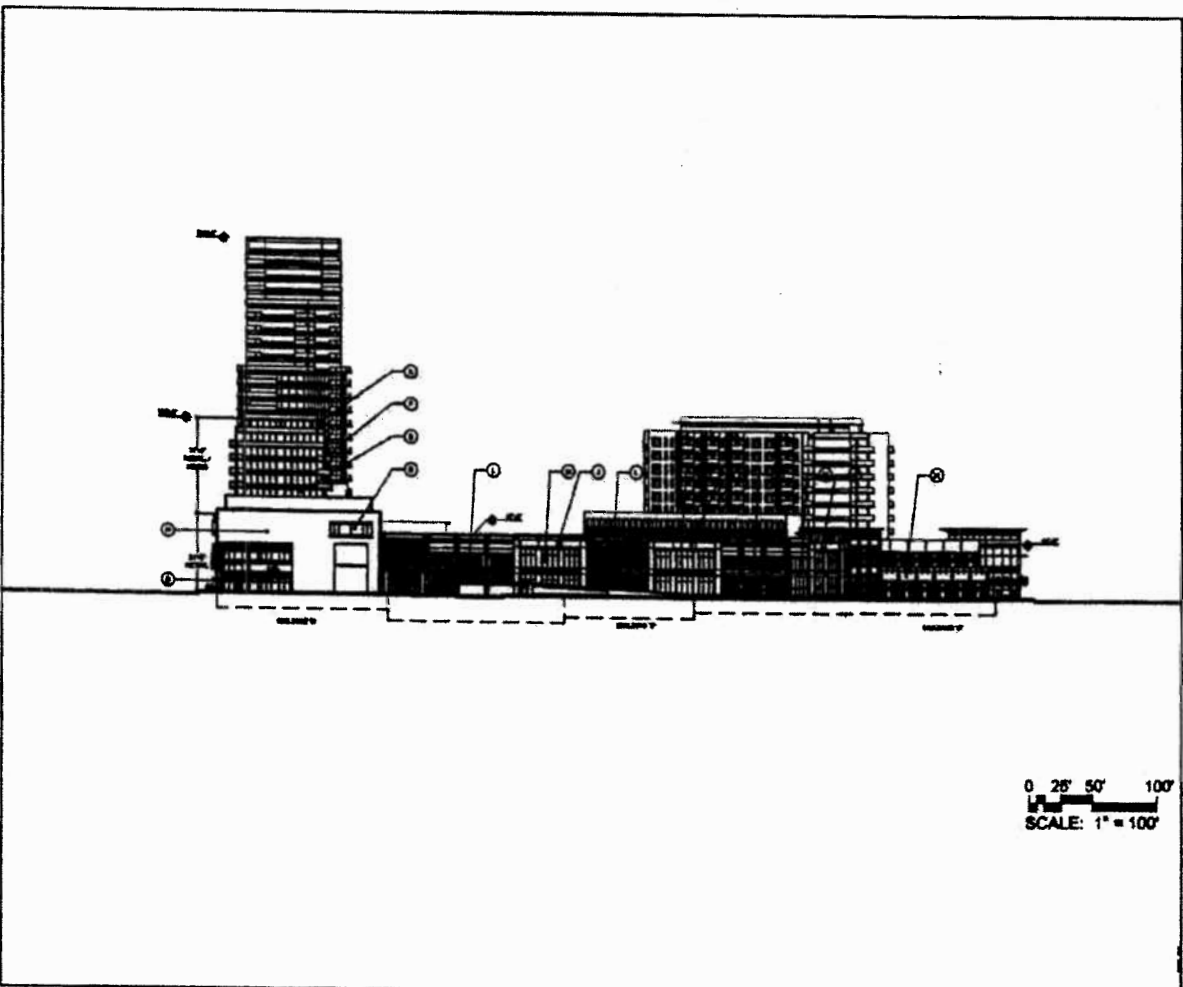
REPORTS OF COMMITTEES

7367

Clybourn Northeast Building Elevation.



West Eastman Street South Building Elevation.

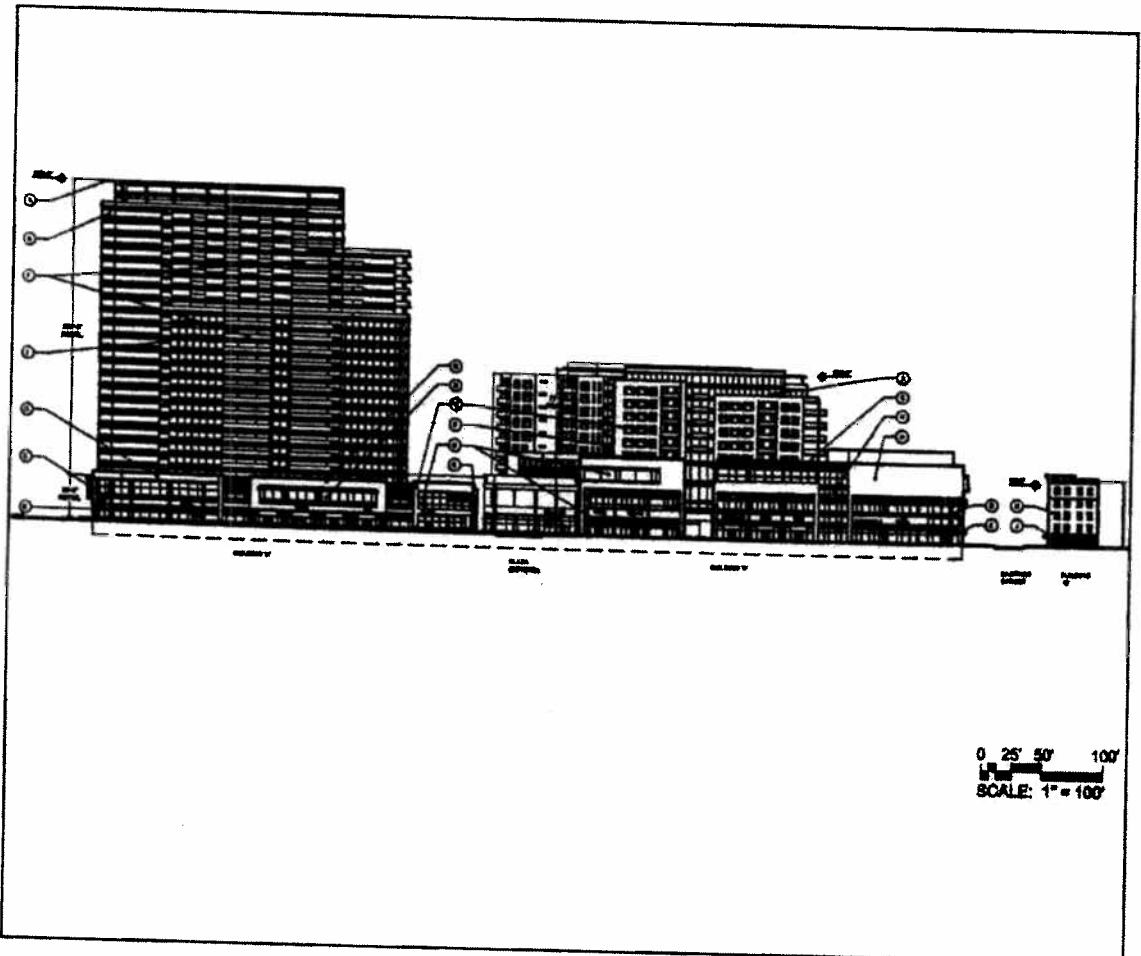


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7369

North Halsted Street West Building Elevation.



West To East Site Section.

