

PD 1067

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22763

Reclassification Of Area Shown On Map No. 4-G.

(As Amended)

(Application No. 22763)

(Common Address: 1441 -- 1471 S. Blue Island Ave., 1200 -- 1228 W. 15th St.

And 1434 -- 1458 S. Blue Island Ave.)

RB PD 1067, 09

[SO2025-0017445]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the current Residential-Business Planned Development Number 1067 symbols and indications as shown on Map Number 4-G in the area bounded by:

West 14th Place; South Racine Avenue; West 15th Street; and South Blue Island Avenue, to those of a B3-5 Community Shopping District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the current B3-5 Community Shopping District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 14th Place; South Racine Avenue; West 15th Street; and South Blue Island Avenue, to those of Residential-Business Planned Development Number 1067, as amended.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. 1067, As Amended.**Plan Of Development Statements.*

1. The area delineated herein as Residential-Business Planned Development Number 1067, as amended ("Planned Development") consists of approximately 54,027 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and Subarea A and Subarea B are owned or controlled by the applicant, Pilsen Gateway LLC.

2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustments of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of sixteen (16) statements: a Bulk Regulations Table; an Existing Zoning Map; a Boundary, Property Line and Right-of-Way Map dated July 25, 2012, and unchanged from the Planned Development Amendment, approved on July 25, 2012, at *Journal of the Proceedings of the City Council of the City of Chicago* Page 31643; Site Plan dated [Insert Date], and prepared by IP SA Corporation; Landscape Plan dated [Insert Date] and prepared by IP SA Corporation; Basement Floor Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; a 1st Floor Plan -- Subarea B -- Retail Area dated [Insert Date] prepared by IP SA; a 1st Floor Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; a 2nd Floor Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; a 3rd -- 7th Floor Plan dated May 21, 2019, and approved as part of a minor change

approved on May 29, 2019; a Green Roof Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; Building Elevations (North, South and East) dated May 21, 2019, prepared by Hartshorne Plunkard Architecture and approved as part of a minor change approved on May 29, 2019; Elevations (West) dated [Insert Date] prepared by IPSA Corporation; Elevations (West-Fence) dated April 18, 2025, prepared by IPSA Corporation; Exhibit A -- Affordable Housing Profile Form to the Planned Development Amendment dated July 25, 2012, at *Journal of the Proceedings of the City Council of the City of Chicago* Page 31653; the minor change to modify the size and location of the landscape planters along South Blue Island Avenue to better align with the building entrances approved on April 6, 2021; the minor change to allow for a transfer of approximately 1,900 square feet of floor area from Subarea A to Subarea B in particular a decrease in Subarea A FAR from 5.795 to 5.731 and corresponding increase in the Subarea B FAR from 0.210 to 0.289 approved on December 5, 2019; a minor change to allow for design revisions and a parking reduction approved on May 29, 2019; a minor change to allow for design revisions and a parking reduction approved on May 22, 2019; and a minor change to allow for a one-year extension to the six-year construction period for the Planned Development, as amended, approved on May 25, 2018. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The following uses are permitted in the area delineated herein as a Residential Business Planned Development:

Subarea A: dwelling units located above the ground floor; multi-unit (3+ units) residential; restaurant, limited; restaurant, general; medical service; office; retail sales; and accessory uses including parking and loading.

Subarea B: dwelling units located above the ground floor; multi-unit (3+ units) residential; restaurant, limited; restaurant, general; tavern; outdoor patio (if located at grade level); liquor store (package goods); liquor sales (as accessory use); medical service; office; retail sales, general; and accessory uses including parking and loading,

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.

7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a net site area of 30,000 square feet for Subarea A and 24,027 square feet for Subarea B.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Economic Development. Any interim reviews associated with site plan review or Part II reviews are conditional until final Part II approval.
11. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments

must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Planning and Economic Development. The project will provide 50 percent green roof over the net roof area of Subarea A (9,990 square feet) and Subarea B will include a 25 percent green roof over the net roof area. In addition to the green roof, the mixed-use building in Subarea A will provide 10,765 square feet of roof deck to be used as common open space for the building's residents.

15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide or cause to be provided information at three points in the City approval process. First, the applicant must submit or cause to be submitted to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's or tenant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's or tenant's submission for Part II permit review for the project or any phase thereof, the applicant must submit or cause to be submitted to DPD: (a) updates (if any) to the applicant's or tenant's preliminary outreach plan; (b) a description of the applicant's or tenant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's or tenant's outreach efforts; and (d) updates (if any) to the applicant's or tenant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide or cause to be provided to DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. The applicant acknowledges and agrees that the rezoning of the property from RBPB Number 1067 to RBPB Number 1067, as amended, on July 25, 2012, for construction of the Residential Project triggered the requirements of Section 2-454-11090 of the Municipal Code (the "Affordable Housing Ordinance"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance must: (i) develop affordable housing units as part of the residential housing project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements and the Affordable Housing Profile Form attached hereto as Exhibit A, the applicant previously agreed to provide [10 percent if affordable at 100 percent AMI, lesser percentage if affordable at 80 percent AMI] affordable rental housing units in the Residential Project for households earning up to [80 percent] [100 percent] 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (the "Affordable Units"), [and] [or] make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$100,000 per unit ("Cash Payment"). At the time of each Part II review for the Residential Project, applicant shall update and resubmit the Affordable Housing Profile Form to HED for review and approval. If the applicant subsequently reduces the number of dwelling units in the Residential Project, HED shall adjust the requirements of this Statement 15 (i.e., number of Affordable Units and/or amount of Cash Payment) accordingly without amending this Planned Development. Prior to the issuance of a building permit for the Residential Project, the applicant must either make the required Cash Payment or execute an Affordable Housing Agreement in substantially the form attached hereto as Exhibit B in accordance with Section 2-45-11 0(i)(2). The terms of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Property and will constitute a lien against each Affordable Unit. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department and Planning Development may enforce remedies for breach of the Affordable Housing Agreement and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development ordinance.
17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Pursuant to Section 17-13-0612-A, every Planned Development Ordinance will lapse and be null and void unless construction, as authorized by a building permit, has commenced within 6 years of the date of City Council approval of the Planned Development Ordinance and is thereafter diligently pursued to completion. Pursuant to Section 17-13-0612-E, should this Planned Development Ordinance lapse, the Zoning Administrator must initiate a zoning map amendment to rezone the Property to a B3-5 Community Shopping District.

[Exhibit B referred to in these Plan of
Development Statements
unavailable at time
of printing.]

[Existing Zoning Map; a Boundary, Property Line and Right-Of-Way Map dated July 25, 2012, and unchanged from the Planned Development Amendment, approved on July 25, 2012, at *Journal of the Proceedings of the City Council of the City of Chicago* Page 31643; Site Plan dated June 26, 2025, and prepared by IPSA Corporation; Basement Floor Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; a 1st Floor Plan -- Subarea B -- Retail Area dated June 26, 2025, and prepared by IPSA; a 1st Floor Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; a 2nd Floor Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; a 3rd -- 7th Floor Plans dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; a Green Roof Plan dated May 21, 2019, and approved as part of a minor change approved on May 29, 2019; Building Elevations (North, South and East) dated May 21, 2019, prepared by Hartshorne Plunkard Architecture and approved as part of a minor change approved on May 29, 2019; Elevations (West) dated June 26, 2025, and prepared by IPSA Corporation; Elevations (West-Fence) dated June 26, 2025, prepared by IPSA Corporation; Exhibit A -- Affordable Housing Profile Form to the Planned Development Amendment dated July 25, 2012, at *Journal of the Proceedings of the City Council of the City of Chicago*, page 31653 referred to in these Plan of Development Statements printed on pages _____ through _____ of this *Journal*.]*

[Site Plan; Proposed First Floor Plan; West Building Elevation; and Fence West Elevation referred to in these Plan of Development Statements printed on pages 30781 through 30784 of this *Journal*.]

* Editor's Note: *Journal* page numbers omitted on original document.

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development.

Plan Of Development

Bulk Regulations And Data Table.

Gross Site Area = Net Site Area + Area Remaining in the Public Right-of-Way

Subarea A: 49,268.26 square feet (1.13 acres) = 30,000 square feet (0.69 acre) +
19,268.26 square feet (0.44 acre)

Subarea B: 39,715.84 square feet (0.91 acre) = 24,027 square feet (0.55 acre) +
15,688.84 square feet (0.36 acre)

Total: 88,984.10 square feet (2.04 acres) = 54,027 square feet (1.24 acres) +
34,957.10 square feet (0.80 acre)

Maximum FAR:

Subarea A: 5.731

Subarea B: 0.289

Overall FAR: 3.311

Setbacks from Property Line:

14th Place: 1.5 feet

Blue Island Avenue: None

15th Street:

Subarea A: None

Subarea B: 4 feet

Racine Avenue:

Subarea A: None

Subarea B: 4 feet

Maximum Percentage of Site Coverage: In conformance with the Site Plan

Maximum Number of Units:

Subarea A: 202

Subarea B: None

Minimum Number of Off-Street Parking: 132

Subarea A: 111 spaces

Subarea B: 21 spaces

Minimum Number of Off-Street Loading:

Subarea A: One (10 feet by 25 feet)

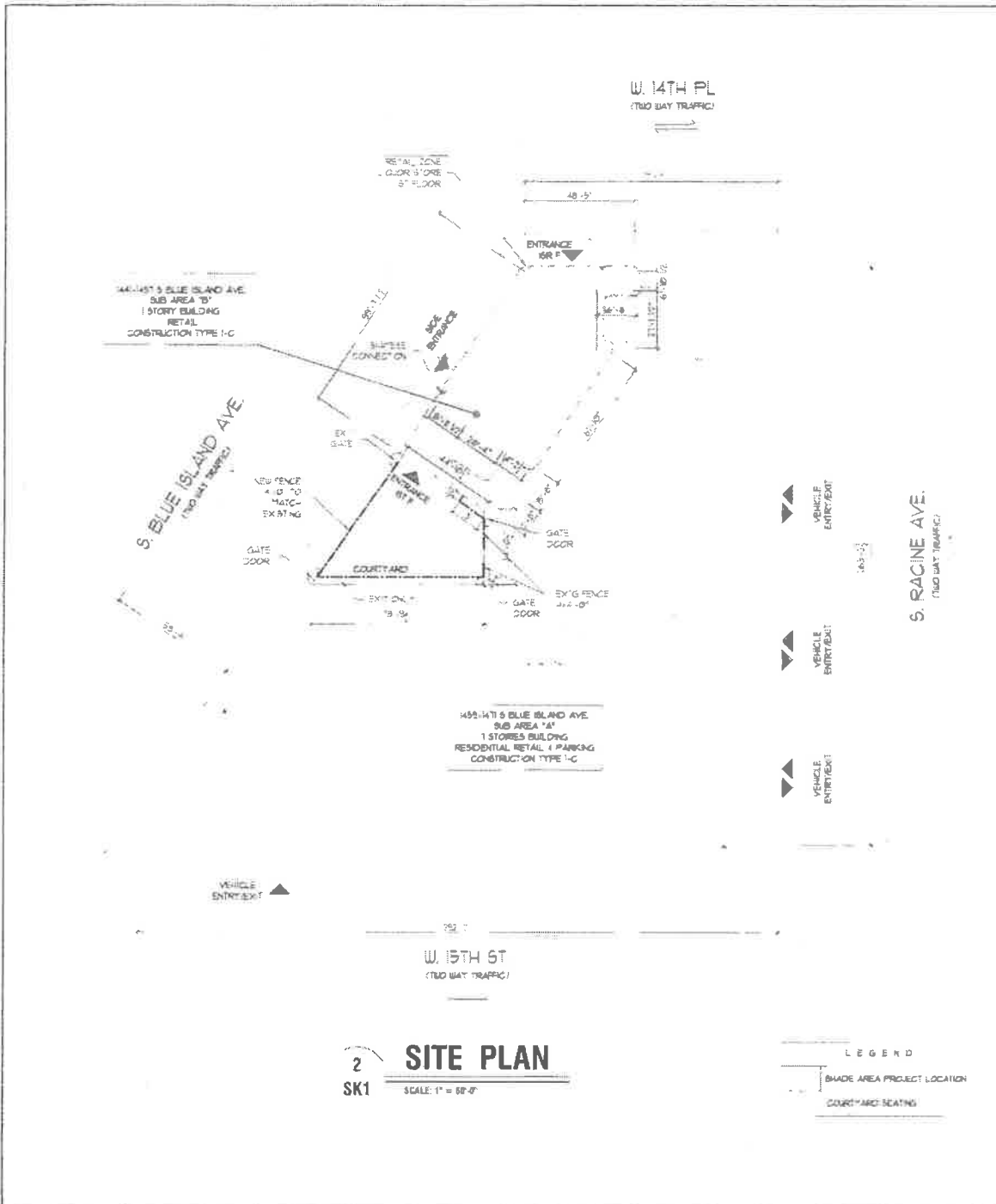
Subarea B: None

Maximum Building Height:

Subarea A: 121.40 feet

Subarea B: 17 feet, 8 inches, excluding lower element

FINAL FOR PUBLICATION



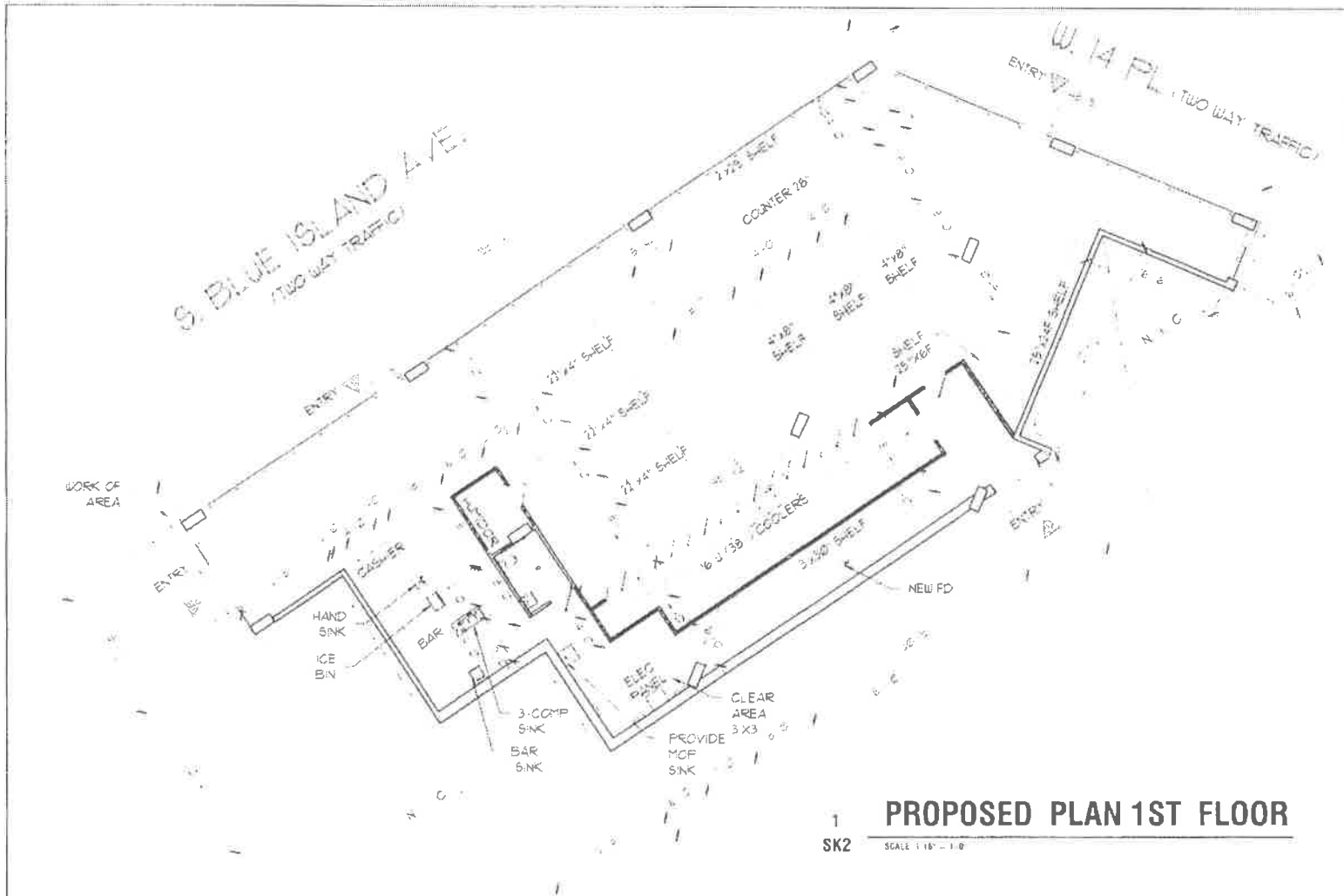
<p>IPSA Architecture & Design ARCHITECTS & CONSTRUCTION SERVICES</p> <p>1100 W GRAND AVE EHD0203 - 616.025.8842 4400 W. 1313 245-2300</p>	<p>PD1067</p> <p>1441 1471 BLUE ISLAND AVE</p> <p>PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISIONS DEEMED NECESSARY OR ADVISED BY SUDOEN</p>	<p>PROJECT REVISIONS</p>	SCALE	DRAWING:	SK #:
			1" = 60'-0"		
			DATE	SITE PLAN	SK1
			06/26/2025		

FINAL FOR PUBLICATION

30782

JOURNAL--CITY COUNCIL--CHICAGO

7/16/2025



1 **PROPOSED PLAN 1ST FLOOR**
 SK2 SCALE 1/16" = 1'-0"

IPSA Architecture & Design <small>ARCHITECTS, PLANNERS & ENGINEERS</small>	PD1067 <small>PROPOSED PLAN 1ST FLOOR</small> 1000 N. LAUREL STREET, CHICAGO, IL 60642 PROJECT SHEET NO. 1067-01-01 ALL ENDS TO BE OPENED	SCALE	DRAWING	SK #
		1/16" = 1'-0"	PROPOSED PLAN 1ST FLOOR	SK2
		DATE		
		06/26/2025		

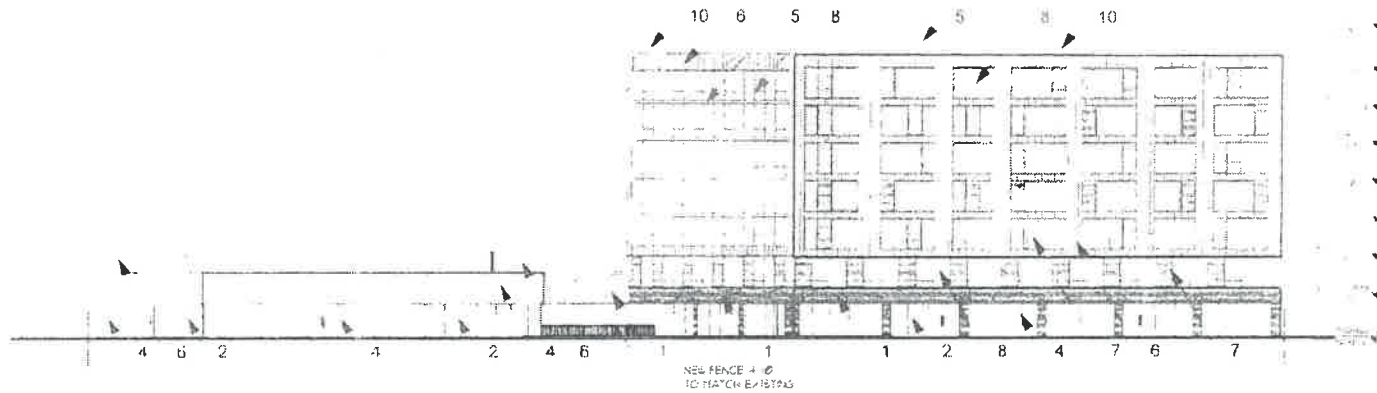
FINAL FOR PUBLICATION

7/16/2025

REPORTS OF COMMITTEES

ELEVATION MAT'L LEGEND

1. BRICK	2. STONE
3. CONCRETE	4. GLASS
5. METAL PANELS	6. TERRAZZO
7. CERAMIC TILE	8. WOOD PANELING
9. PAINTED SURF.	10. OTHER



(1) **WEST ELEVATION**
SK3 NTS

IPSA
Architecture & Design
ARCHITECTS & CONSTRUCTION SERVICES

1100 WURAND AVE.
CHICAGO, ILLINOIS 60640
PHONE: (312) 443-2500

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE
SUBJECT TO REVISION AS DEEMED NECESSARY OR
APPROPRIATE BY BUILDER



SCALE

NTS

DATE

06/26/2025

DRAWING:

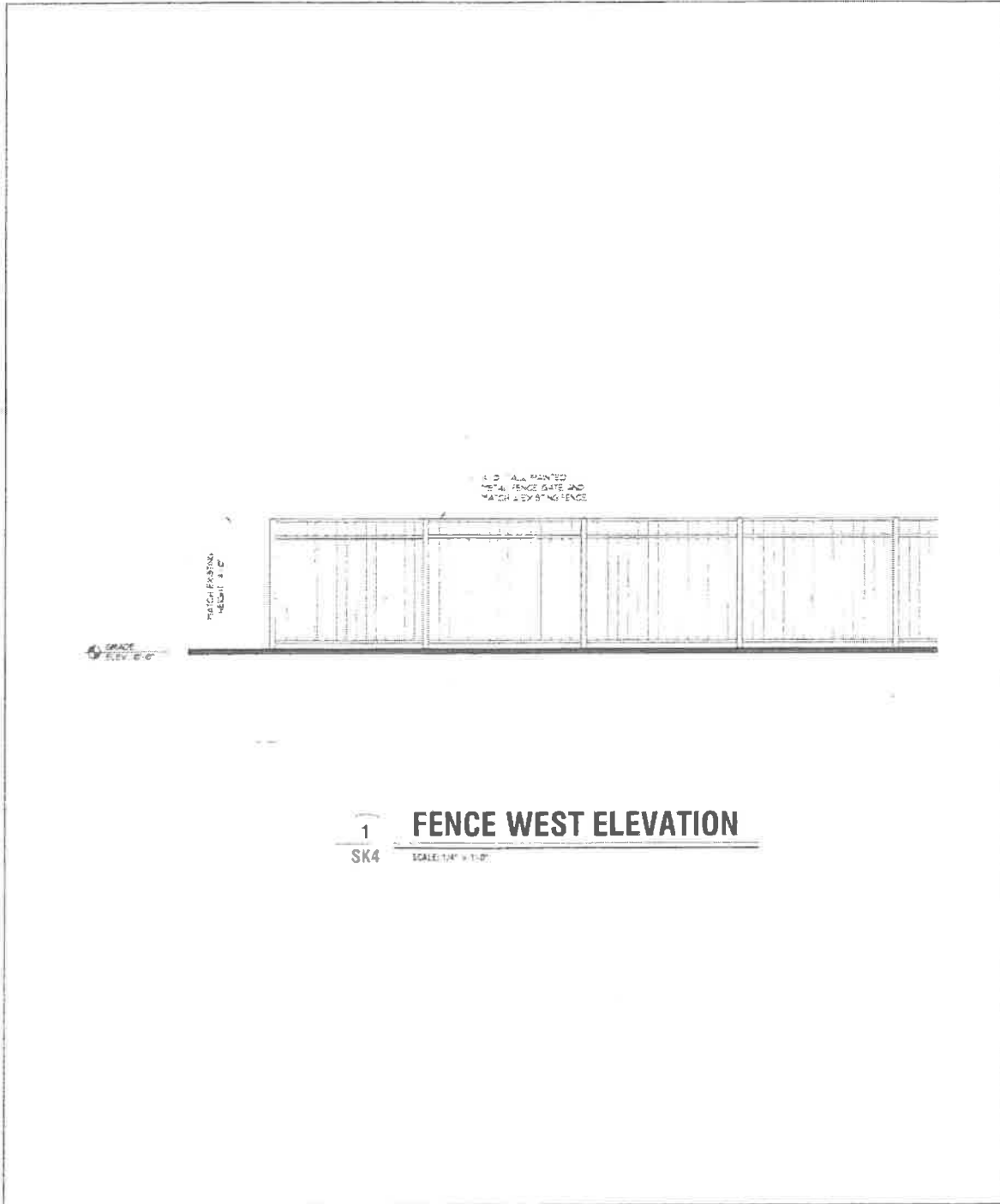
WEST ELEVATION

SK #

SK3

30783

FINAL FOR PUBLICATION



1
SK4 **FENCE WEST ELEVATION**
SCALE: 1/4" = 1'-0"

IPSA Architecture & Design ARCHITECTS & CONSTRUCTION SERVICES 1156 N. GRAND AVE CHICAGO, ILLINOIS 60642 PHONE: 312.241.2160	PD1067 1841 181 ST SOUTH BROAD AVE PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUYER	PROJECT NORTH	SCALE	DRAWING:	SK #:
			1/4" = 1'-0"	WEST ELEVATION	SK4
			DATE		
			06/26/2025		

April 6, 2021

Katherine C. Jahnke Dale
DLA Piper LLP
444 W. Lake Street
Suite 900
Chicago, IL 60606-0089

**Re: Minor Change to PD No. 1067
1441-71 S. Blue Island Avenue Planters**

Dear Ms. Jahnke Dale:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1067 ("PD 1067") has been considered by the Department of Planning and Development ("Department") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1067.

Pilsen Gateway LLC, the sole owner of all the property within PD 1067, is seeking a minor change to modify the size and location of the landscape planters along S. Blue Island Avenue to better align with the building entrances. As a result, several bicycle racks will be relocated as well. Your client has agreed to lengthen several of the planters to encourage tree growth. These modifications are shown on the attached revised, Site Plan and Landscape Plan.

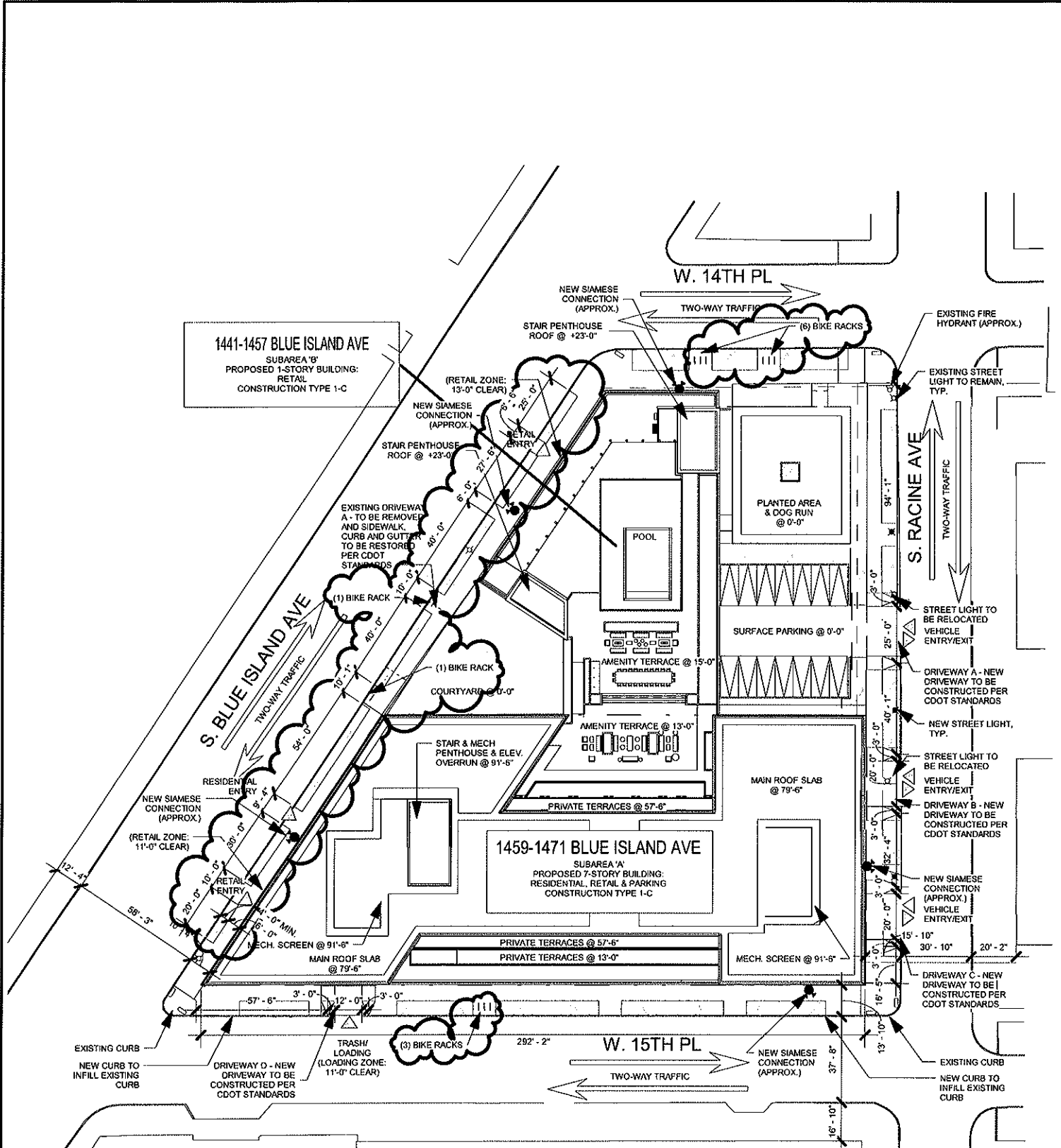
With regard to your request, the Department has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1067, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Steven Valeriziano
Assistant Zoning Administrator



HARTSHORNE PLUNKARD ARCHITECTURE



232 NORTH CARPENTER STREET
CHICAGO, IL 90607
312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE
SUBJECT TO REVISION AS DEEMED
NECESSARY OR ADVISABLE BY BUILDER.

Project
NUMBER

SCALE
1" = 60'-0"

DATE
03/29/21

DRAWING
SITE PLAN

SK #
1



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 5, 2019

Katherine C. Jahnke Dale
DLA Piper LLP
444 W. Lake St., Suite 900
Chicago, IL 60606-0089

Re: Minor change request for PD No. 1067, Subareas A and B, 1441-71 S. Blue Island

Dear Ms. Jahnke Dale:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1067, ("PD 1067") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1067.

Your client and the sole owner of all the property within PD 1067, Pilsen Gateway LLC, is seeking a minor change to allow for a transfer of approximately 1,900 square feet of floor area from Subarea A to Subarea B. A minor change was granted on May 29, 2019, for design revisions to the proposed project and two enclosed stair towers for the amenity deck in Subarea B were not fully designed at the time. Permit drawings have since been completed and the revised design is 1,899 square feet over the 0.21 floor area ratio ("FAR") allowed in Subarea B. As a result, you are seeking to decrease the Subarea A FAR from 5.795 to 5.731 and correspondingly increase the Subarea B FAR from 0.210 to 0.289. There is no increase in the overall FAR of 3.008.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed floor area transfer between Subarea A and B will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1067, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patrick Murphey
Zoning Administrator

PM:tm

C: Mike Marmo, Erik Glass, Main file



DEPARTMENT OF Planning AND DEVELOPMENT
CITY OF CHICAGO

May 29, 2019

Katherine C. Jahnke Dale
DLA Piper LLP
444 West Lake Street
Suite 900
Chicago, Illinois 60606-0089

Re: Minor change request for PD No. 1067, Sub areas A and B, 1441-71 S. Blue Island

Dear Ms. Jahnke Dale:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1067, ("PD 1067") has been considered by the Department of Planning and Development, pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1067.

Your client, Acquisition Commons LLC, is seeking a minor change to allow for design revisions and a parking reduction at 1441-71 S. Blue Island Ave., the property within Sub Areas A and B of PD 1067. They are the contract purchaser of the property and are submitting this request with the consent of the current property owner's, 15th Street Blue Island LLC and TCF National Bank.

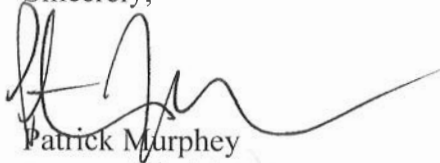
PD 1067 approved a 12-story, 216 dwelling unit building with ground floor retail and a minimum of 170 parking spaces in Sub Area A. Sub Area B was to be improved with a one-story bank with drive thru and 17 parking spaces. Your client is now proposing a seven-story, 202 dwelling unit building with ground floor retail and 111 parking spaces in Sub Area A. Sub Area B will be improved with a one-story retail building with rooftop pool and amenity deck attached to the seven-story building. The drive-thru has been eliminated and Sub Area B will also include 21 surface parking spaces, a planted area and dog run. The previously approved painted concrete cladding has been replaced with cement board and metal panels. All setbacks will be complied with and additional open space will be provided. A painted art mural will be applied to a portion of the ground floor brick façade along W. 15th Pl. and a permanent, revolving art installation will be placed in the courtyard along S. Blue Island Ave.

The PD required a minimum of 187 parking spaces (170 spaces in Sub Area A and 17 in Sub Area B) and you are seeking a reduction to 132 spaces (111 spaces in Sub Area A and 21 spaces in Sub Area B). CDOT approved the revised Site Plan on May 22, 2019. The following revised drawings are attached: Site Plan, Landscape Plan, Basement Floor Plan, 1st Floor Plan, 2nd Floor Plan, 3rd-7th Floor Plan, Green Roof Plan, North, South, East and West Elevations.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design revisions and parking reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1067, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

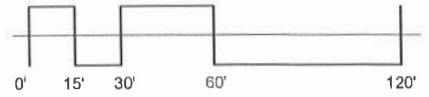
Sincerely,

A handwritten signature in black ink, appearing to read 'Patrick Murphey', with a long, sweeping horizontal line extending to the right.

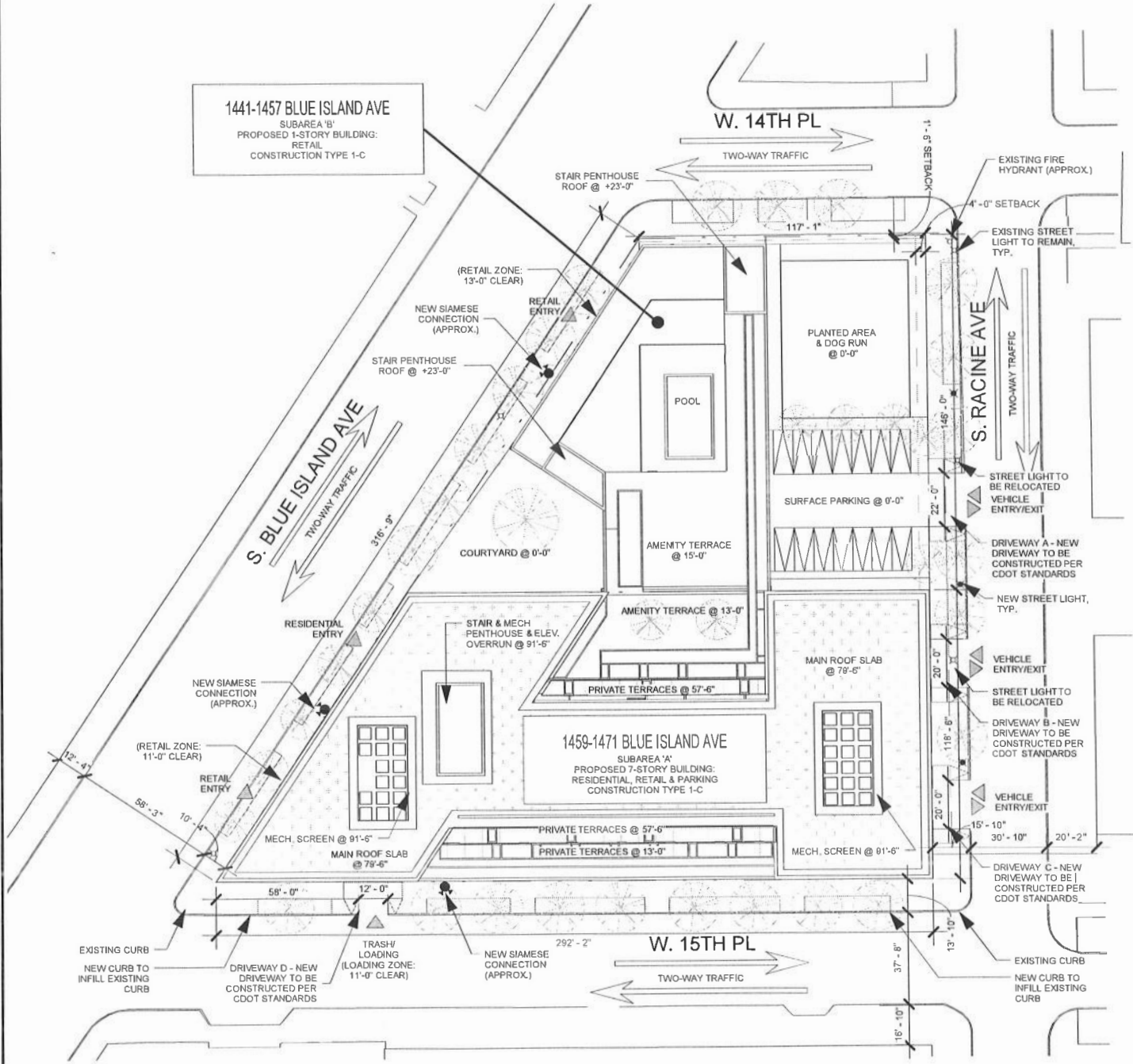
Patrick Murphey
Zoning Administrator

PM:tm

C: Mike Marmo, Erik Glass, Fernando Espinoza, Cindy Roubik, Ron Daye, Main file



1441-1457 BLUE ISLAND AVE
 SUBAREA 'B'
 PROPOSED 1-STORY BUILDING:
 RETAIL
 CONSTRUCTION TYPE 1-C



HARTSHORNE PLUNKARD ARCHITECTURE

232 NORTH CARPENTER STREET
 CHICAGO, IL 60607
 312.226.4488
 HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

Project North

SCALE
 1" = 60' - 0"

DATE
 5/21/19

DRAWING
 SITE PLAN

SK #
 1

OWNER'S SWORN STATEMENT

I, the undersigned, do hereby certify that the information provided herein is true and correct to the best of my knowledge and belief, and that I am the owner of the property described herein. I understand that this statement is a sworn statement and that I am subject to the penalties provided in the laws of the State of Michigan for perjury.

DATE: 11/14/2019
 SIGNATURE: [Signature]
 NAME: [Name]

THIS STATEMENT IS MADE AND SIGNED BY ME OR BY AN AGENT OF MINE.

11/14/2019
 11:40 AM
 5352

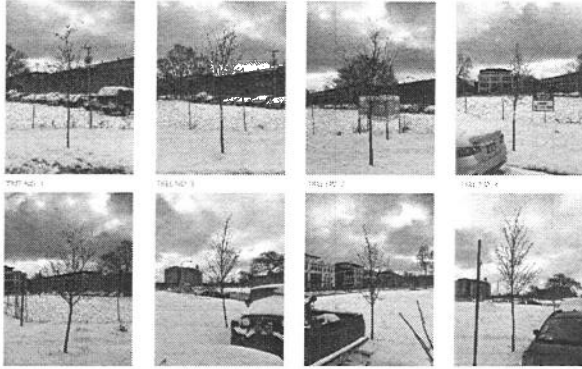
LANDSCAPE ARCHITECT'S SWORN STATEMENT

I, the undersigned, do hereby certify that the information provided herein is true and correct to the best of my knowledge and belief, and that I am a duly licensed landscape architect in the State of Michigan. I understand that this statement is a sworn statement and that I am subject to the penalties provided in the laws of the State of Michigan for perjury.

DATE: 11/14/2019
 SIGNATURE: [Signature]
 NAME: [Name]

THIS STATEMENT IS MADE AND SIGNED BY ME OR BY AN AGENT OF MINE.

11/14/2019
 11:40 AM
 5352



EXISTING TREE KEY

NO.	SIZE	SPECIES	CONDITION	REMARKS
1	2"	HYBRID BLM	GOOD	TO REMAIN
2	2"	HYBRID BLM	GOOD	TO REMAIN
3	1 1/2"	HYBRID BLM	GOOD	TO REMAIN
4	2"	HYBRID BLM	GOOD	TO REMAIN
5	1 1/2"	HYBRID BLM	GOOD	TO REMAIN
6	1 1/2"	HYBRID BLM	GOOD	TO BE REMOVED
7	2"	HYBRID BLM	GOOD	TO BE REMOVED
8	2"	HYBRID BLM	GOOD	TO BE REMOVED

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

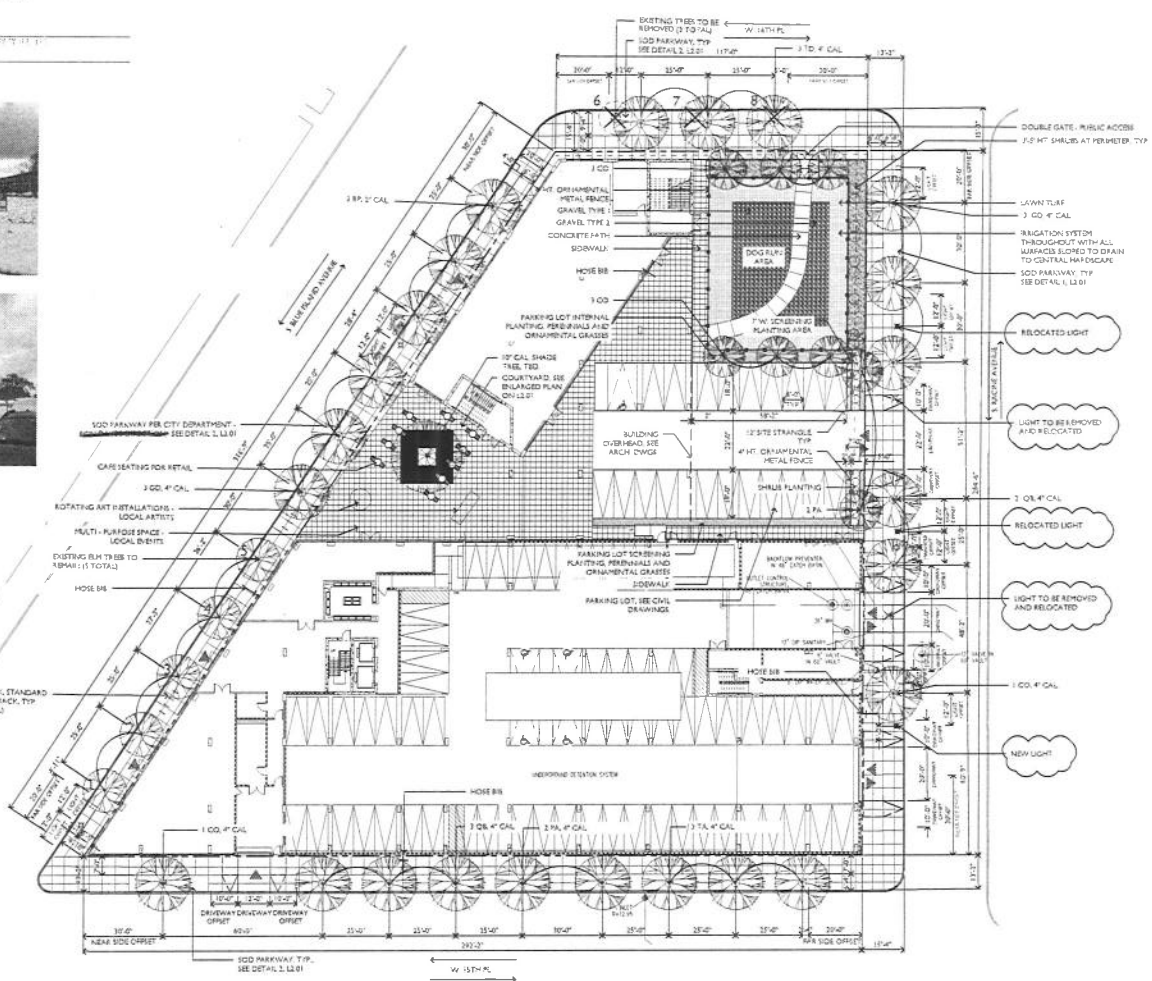
STREET	LENGTH (LINEAR FEET)	NUMBER OF TREES REQUIRED (1 PER 25 LF)	NUMBER OF EXISTING TREES TO REMAIN	NUMBER OF ADDITIONAL TREES TO BE PROVIDED
5 BLUE BLAZED AVENUE	1145'	46	1	45 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THE NUMBER CANNOT BE PROVIDED DUE TO EXISTING TREES AND REQUIRED OFFSETS.
1 1/4 ACRES AVENUE	364'	15	4	4 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THE NUMBER CANNOT BE PROVIDED DUE TO REQUIRED OFFSETS.
W 1474 PL	117'	5	0	5 TREES ARE PROVIDED DUE TO EXISTING TREES AND REQUIRED OFFSETS.
W 1574 PL	380-12'	15	8	8 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THE NUMBER CANNOT BE PROVIDED DUE TO REQUIRED OFFSETS.

VEHICULAR USE AREA SCREENING

STREET	LENGTH (LINEAR FEET)	NUMBER OF TREES REQUIRED (1 PER 25 LF)	NUMBER OF EXISTING TREES TO REMAIN	NUMBER OF ADDITIONAL TREES TO BE PROVIDED
5 RAINING AVENUE	96'	4	0	4 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THE NUMBER CANNOT BE PROVIDED DUE TO REQUIRED OFFSETS.

VEHICULAR USE AREA INTERNAL PLANTING

PLANTING LOT	TOTAL VEHICULAR USE AREA	INTERNAL PLANTING AREA REQUIRED (1% OF 3529)	INTERNAL PLANTING AREA PROVIDED	NUMBER OF TREES REQUIRED (17 IN 12)	NUMBER OF EXISTING TREES TO REMAIN	NUMBER OF ADDITIONAL TREES TO BE PROVIDED
PARKING LOT	1,239 SF	176 SF	240 SF	2	2	0



AREA FOR CITY APPROVAL STAMP

NO DIMENSIONS INDICATED FOR REFERENCE ONLY

FLATS Blue Island

1401 E Blue Island Ave, Detroit, MI 48202

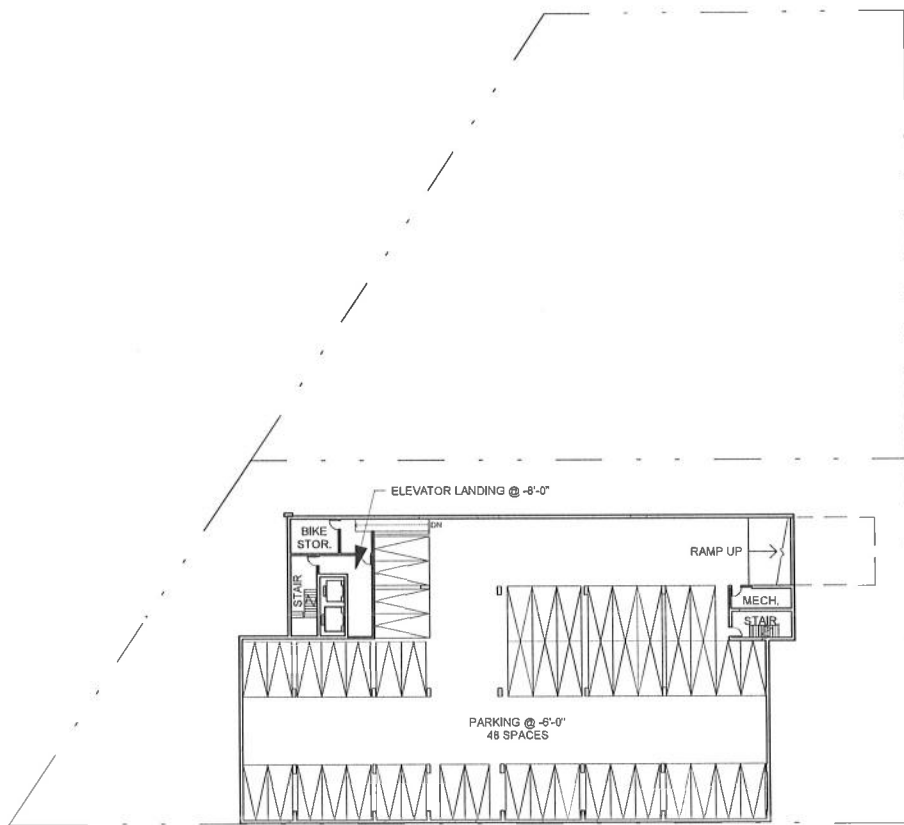
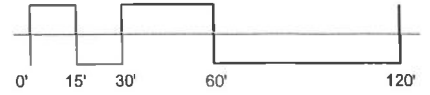
NO.	DATE	DESCRIPTION
1	11/14/2019	ISSUED FOR PERMITS
2	11/14/2019	ISSUED FOR PERMITS
3	11/14/2019	ISSUED FOR PERMITS

LANDSCAPE ARCHITECT'S PROFESSIONAL SEAL

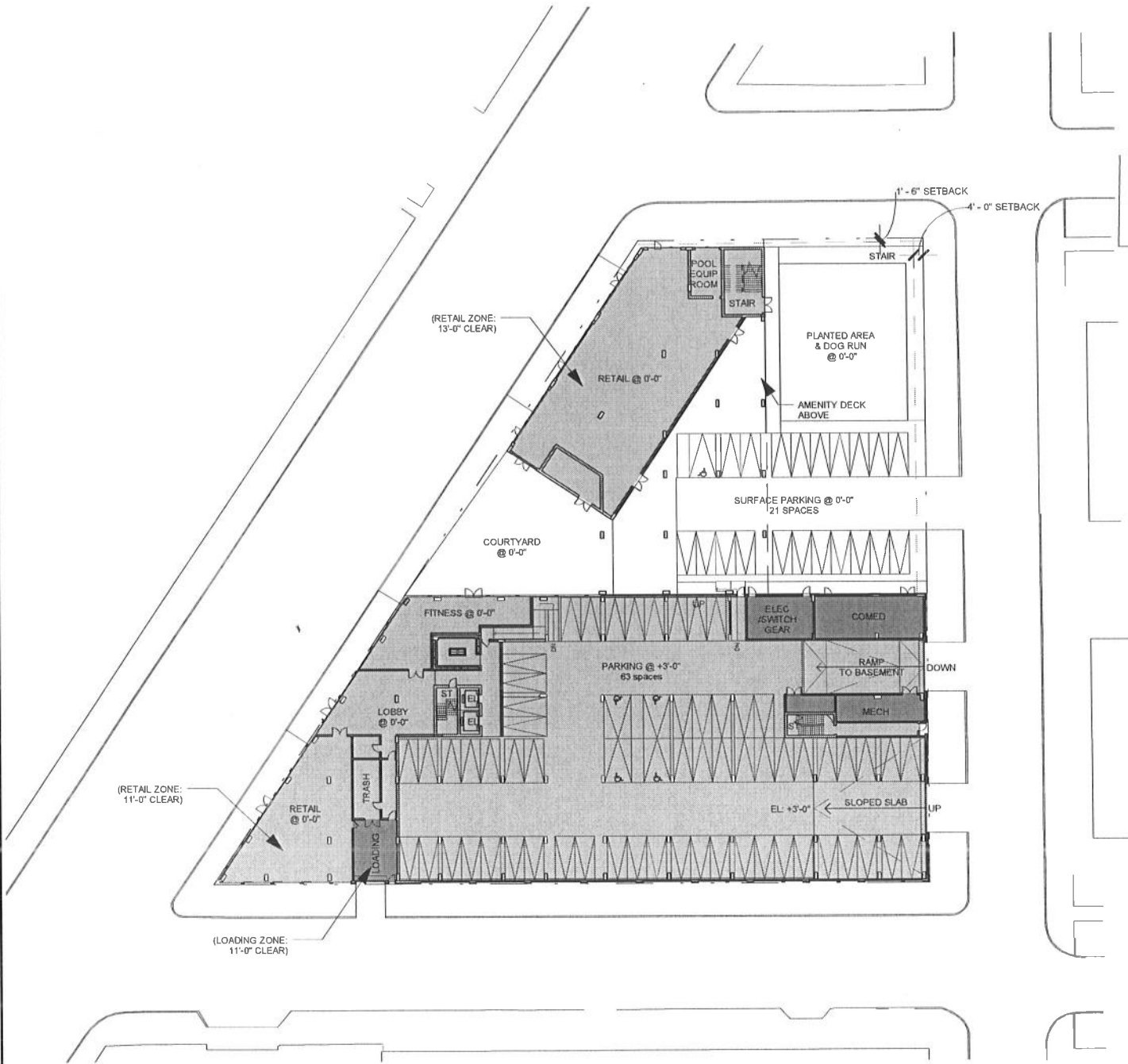
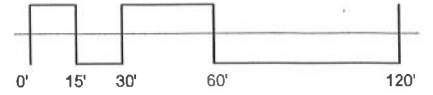
HDA HORTON DESIGN ARCHITECTS
 100 SOUTH CADET AVENUE
 DETROIT, MI 48226
 313.279.4400
 WWW.HORTONDESIGN.COM

PROJECT NO: 19011 DATE: 11/14/2019
 CLIENT: HDA
FIRST FLOOR
LANDSCAPE PLAN

L1.01



HARTSHORNE PLUNKARD ARCHITECTURE  232 NORTH CARPENTER STREET CHICAGO, IL 60607 312.226.4488 HPARCHITECTURE.COM	PD1067 1441-1471 BLUE ISLAND AVE <small>PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.</small>		SCALE	DRAWING	SK #
			1" = 60' - 0"		
			DATE		
			05/21/19		



HARTSHORNE PLUNKARD ARCHITECTURE

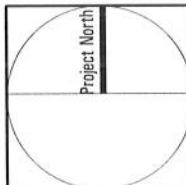


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CHICAGO, IL 60607
312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.



SCALE

1" = 60' - 0"

DATE

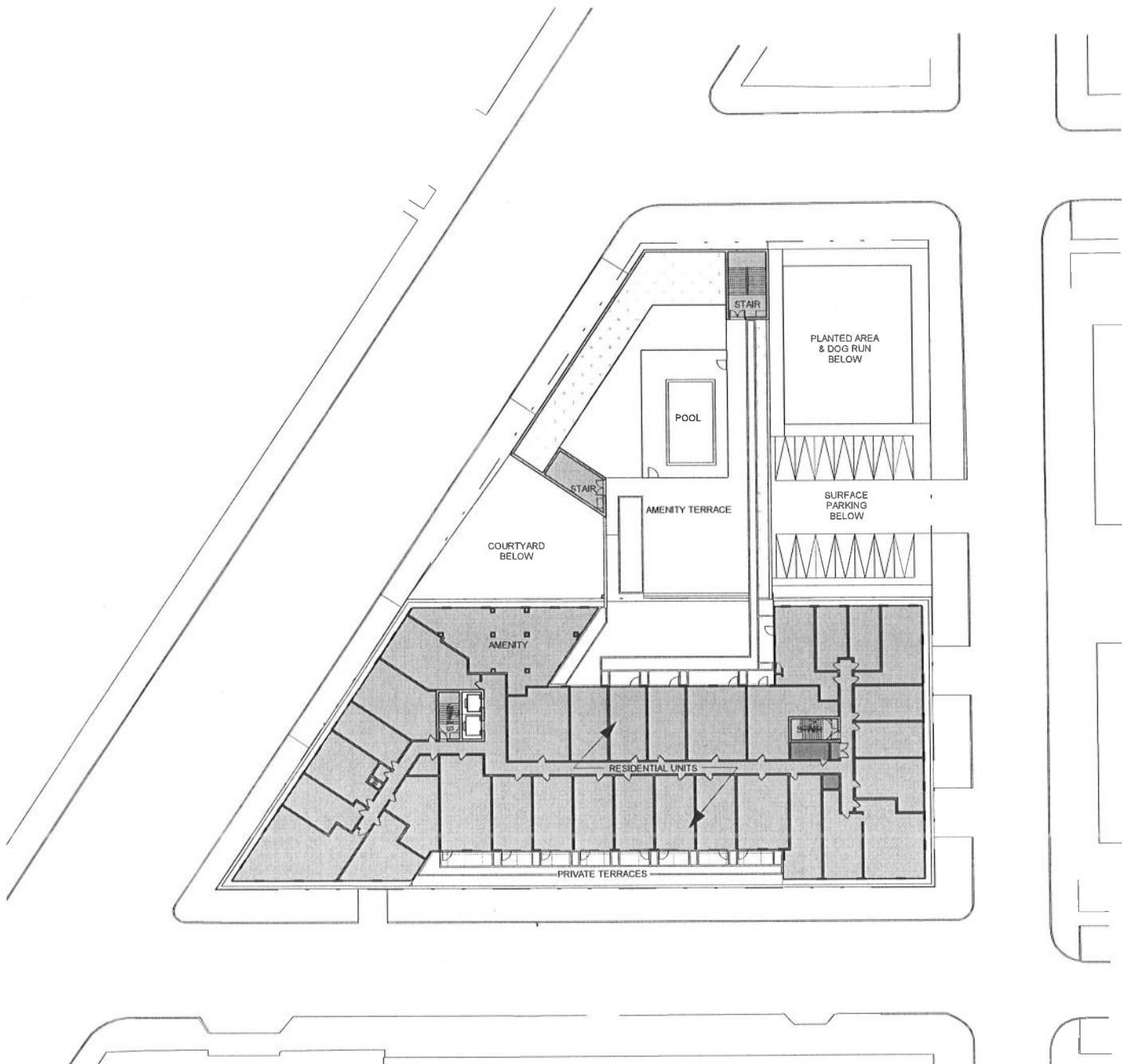
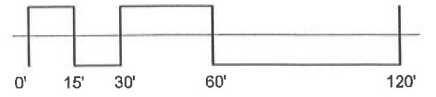
05/21/19


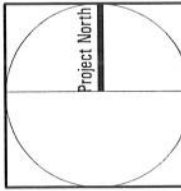
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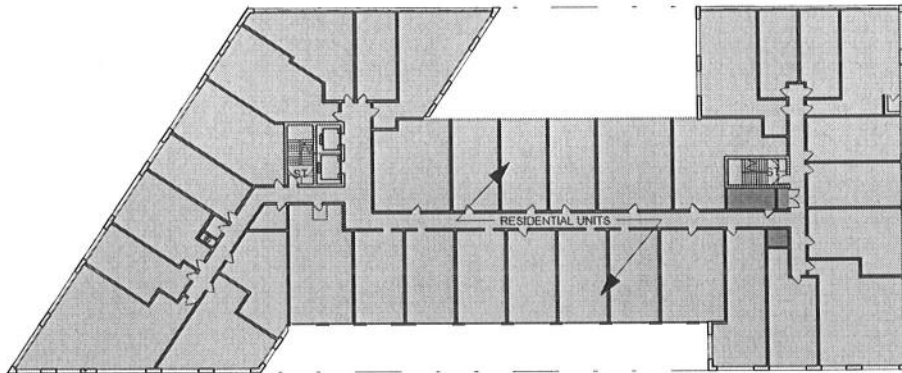
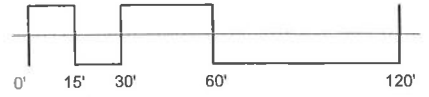
1ST FLOOR PLAN

SK #

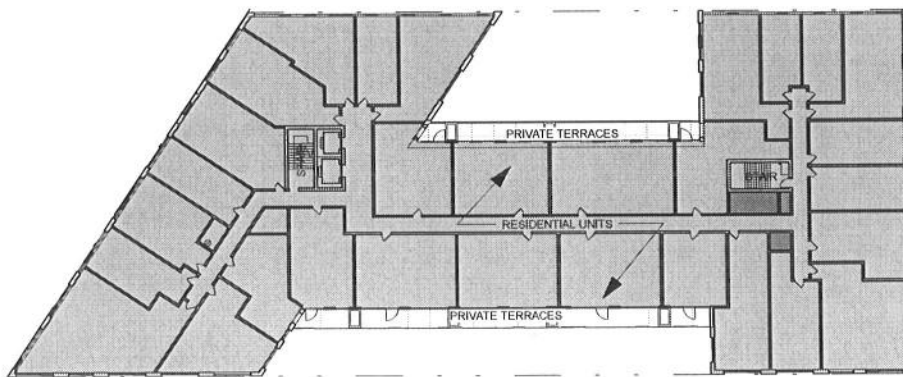
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HARTSHORNE PLUNKARD ARCHITECTURE  232 NORTH CARPENTER STREET CHICAGO, IL 60607 312.226.4488 HPARCHITECTURE.COM	PD1067 1441-1471 BLUE ISLAND AVE <small>PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.</small>		SCALE 1" = 60' - 0"	DRAWING 2ND FLOOR PLAN	SK # 8
			DATE 05/21/19		



3RD-6TH FLOOR PLAN



7TH FLOOR PLAN

HARTSHORNE PLUNKARD ARCHITECTURE

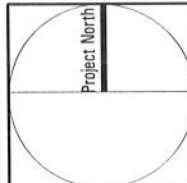


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312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.



SCALE

1" = 60' - 0"

DATE

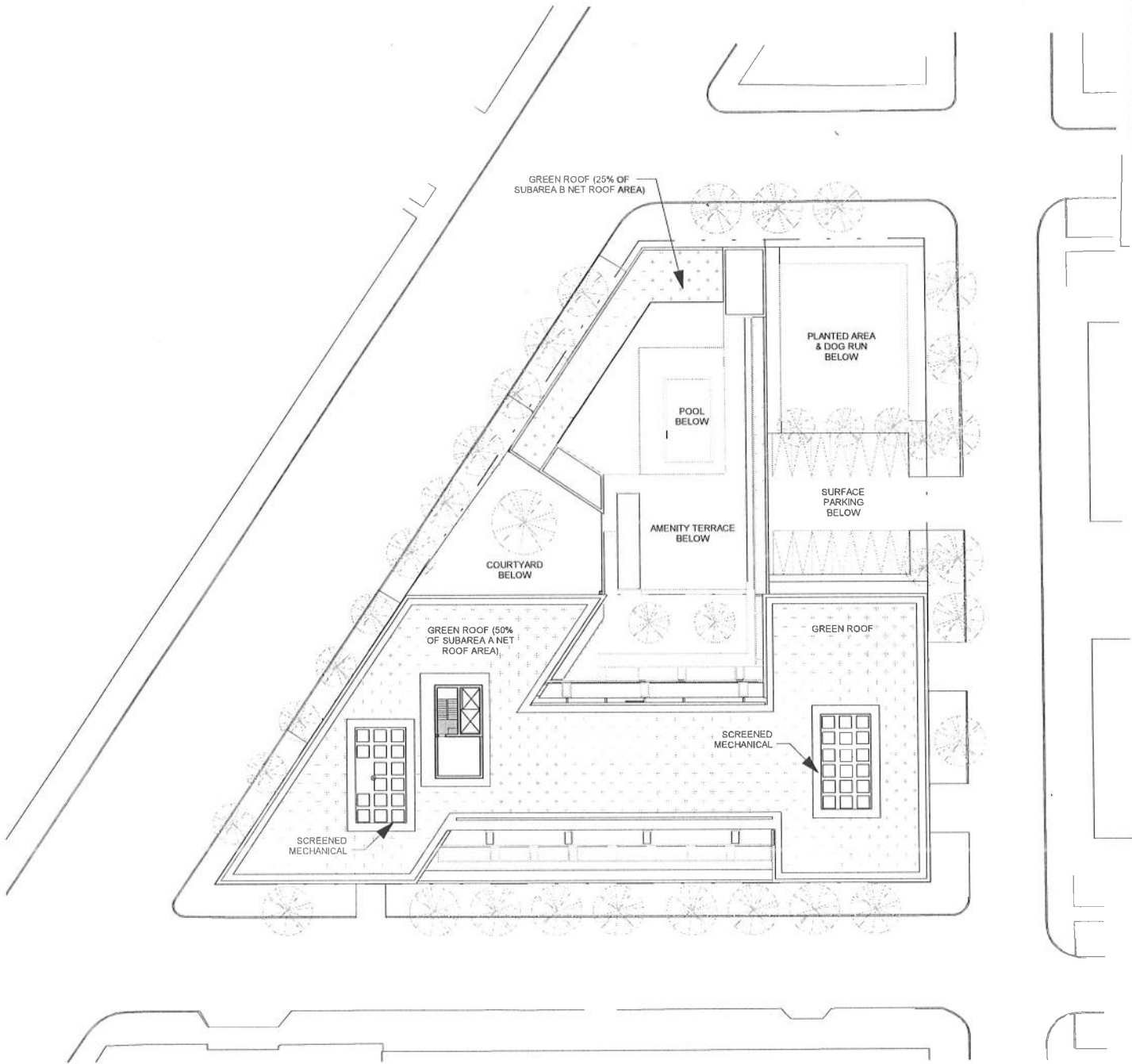
05/21/19

DRAWING

3RD-7TH FLOOR
PLAN

SK #

9



HARTSHORNE PLUNKARD ARCHITECTURE

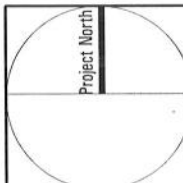


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312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

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SCALE

1" = 60' - 0"

DATE

05/21/19

DRAWING

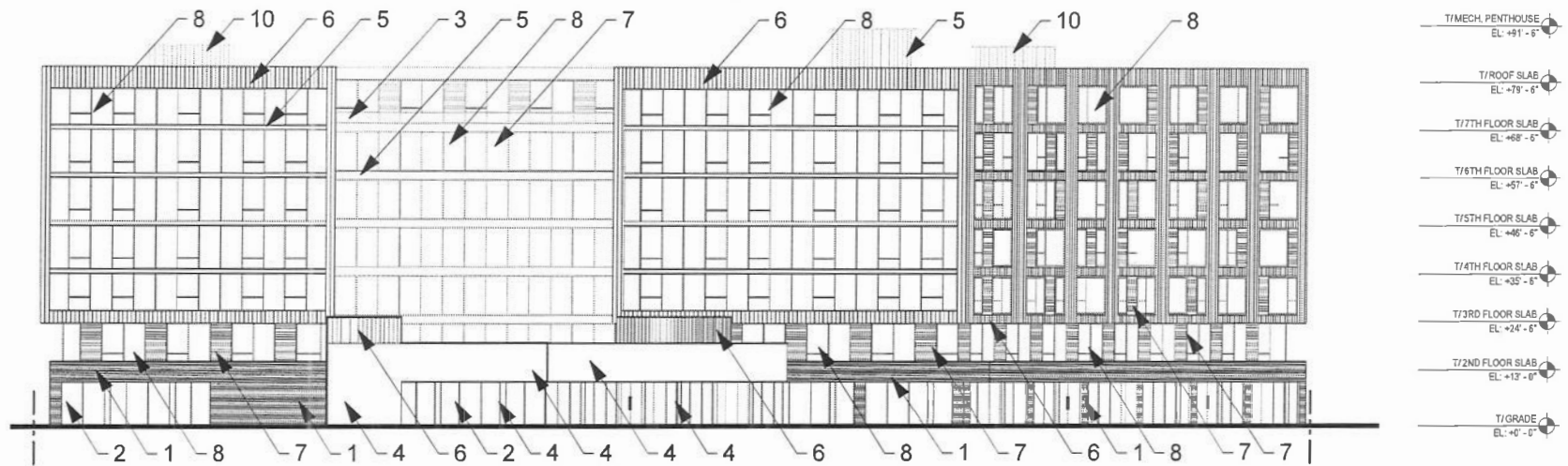
GREEN ROOF
PLAN

SK #

10

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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CHICAGO, IL 60607
312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

SCALE

NTS

DATE

05/21/19

DRAWING

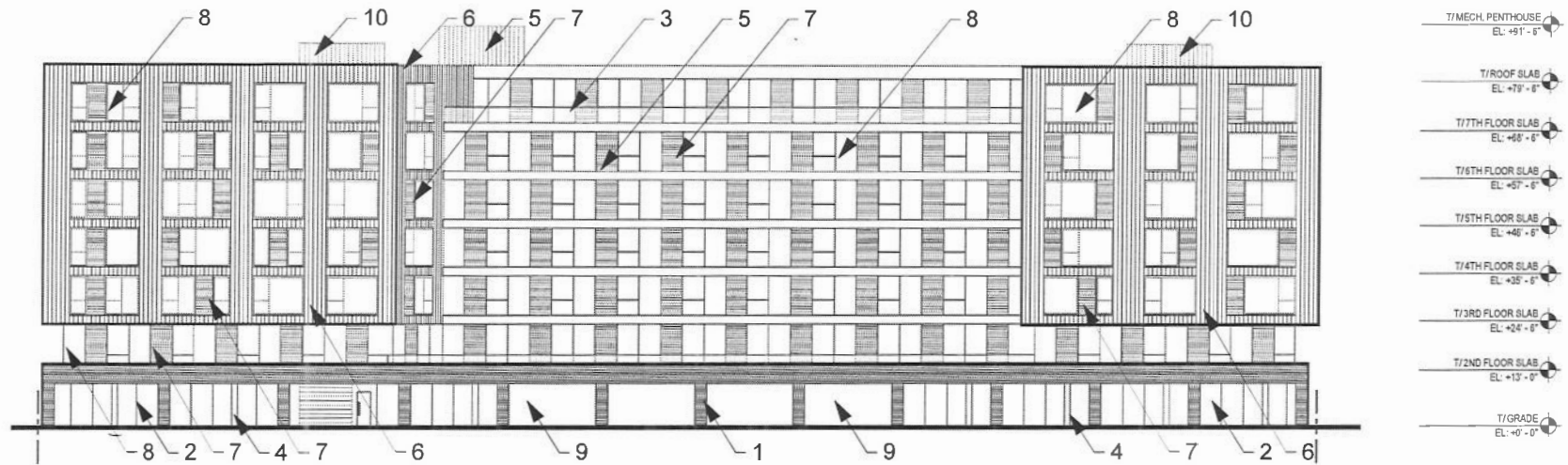
NORTH
ELEVATION

SK #

2

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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CHICAGO, IL 60607
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PD1067

1441-1471 BLUE ISLAND AVE

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SCALE

NTS

DATE

05/21/19

DRAWING

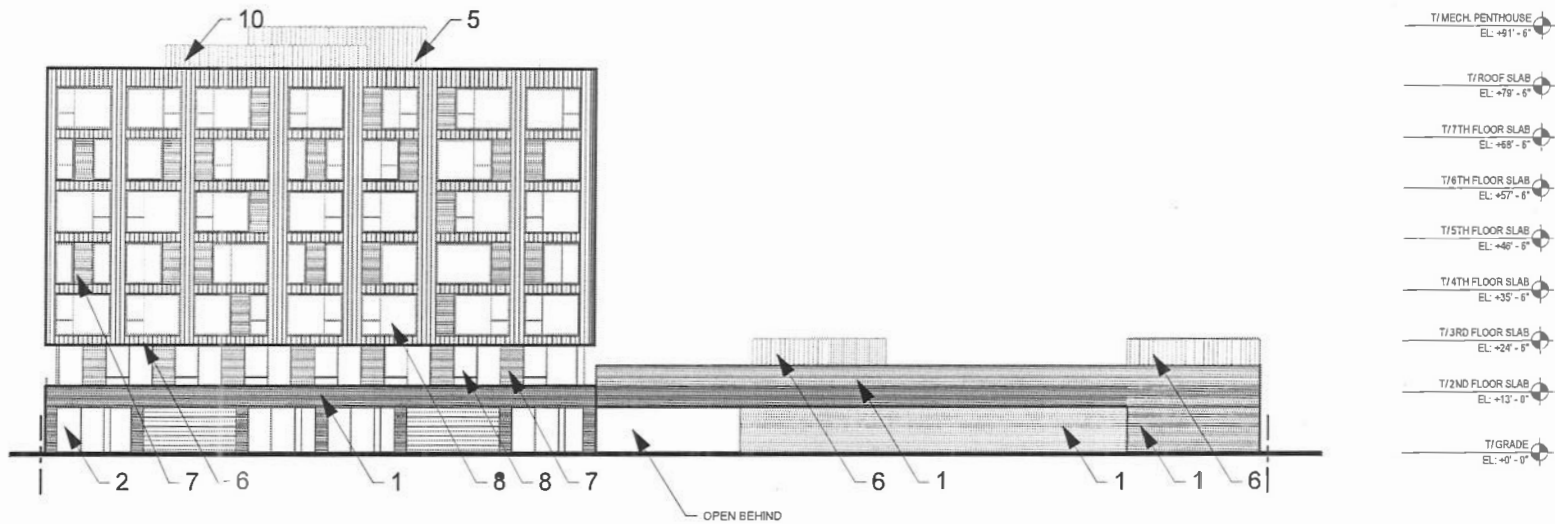
SOUTH
ELEVATION

SK #

4

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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CHICAGO, IL 60607
312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

SCALE

NTS

DATE

05/21/19

DRAWING

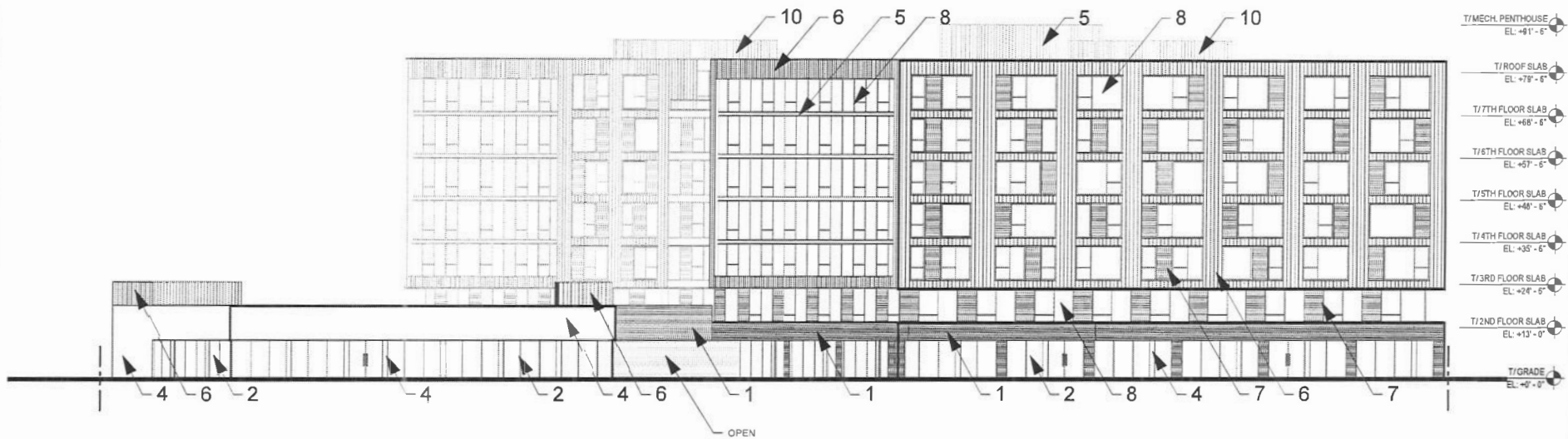
EAST ELEVATION

SK #

3

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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CHICAGO, IL 60607
312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

SCALE

NTS

DATE

05/21/19

DRAWING

WEST ELEVATION

SK #

5



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 22, 2019

Katherine C. Jahnke Dale
DLA Piper LLP
444 W. Lake St., Suite 900
Chicago, IL 60606-0089

Re: Minor change request for PD No. 1067, Sub areas A and B, 1441-71 S. Blue Island

Dear Ms. Jahnke Dale:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1067, ("PD 1067") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1067.

Your client, Acquisition Commons LLC, is seeking a minor change to allow for design revisions and a parking reduction at 1441-71 S. Blue Island Ave., the property within Sub areas A and B of PD 1067. They are the contract purchaser of the property and are submitting this request with the consent of the current property owner's, 15th Street Blue Island LLC and TCF National Bank.

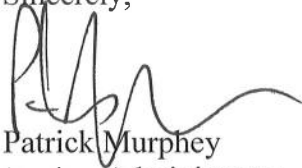
The PD approved a 12-story, 216 dwelling unit building with ground floor retail and a minimum of 170 parking spaces in Sub area A. Sub area B was to be improved with a 1-story bank with drive thru and 17 parking spaces. Your client is now proposing a 7-story, 202 dwelling unit building with ground floor retail and 132 parking spaces in Sub area A. Sub area B will be improved with a 1-story retail building with rooftop pool and amenity deck attached to the 7-story building. The drive-thru has been eliminated and Sub area B will also include 22 surface parking spaces, a planted area and dog run. The previously approved painted concrete cladding has been replaced with cement board and metal panels. All setbacks will be complied with and additional open space will be provided. A painted art mural will be applied to a portion of the ground floor brick façade along W. 15th Pl. and a permanent, revolving art installation will be placed in the courtyard along S. Blue Island Ave.

The PD required a minimum of 187 parking spaces (170 spaces in Sub area A and 17 in Sub area B) and you are seeking a reduction to 132 spaces (110 spaces in Sub area A and 22 spaces in Sub area B). CDOT approved the revised Site Plan on May 22, 2019. The following revised drawings are attached: Site Plan, Landscape Plan, Basement Floor Plan, 1st Floor Plan, 2nd Floor Plan, 3rd-7th Floor Plan, Green Roof Plan, North, South, East and West Elevations.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design revisions and parking reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1067, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

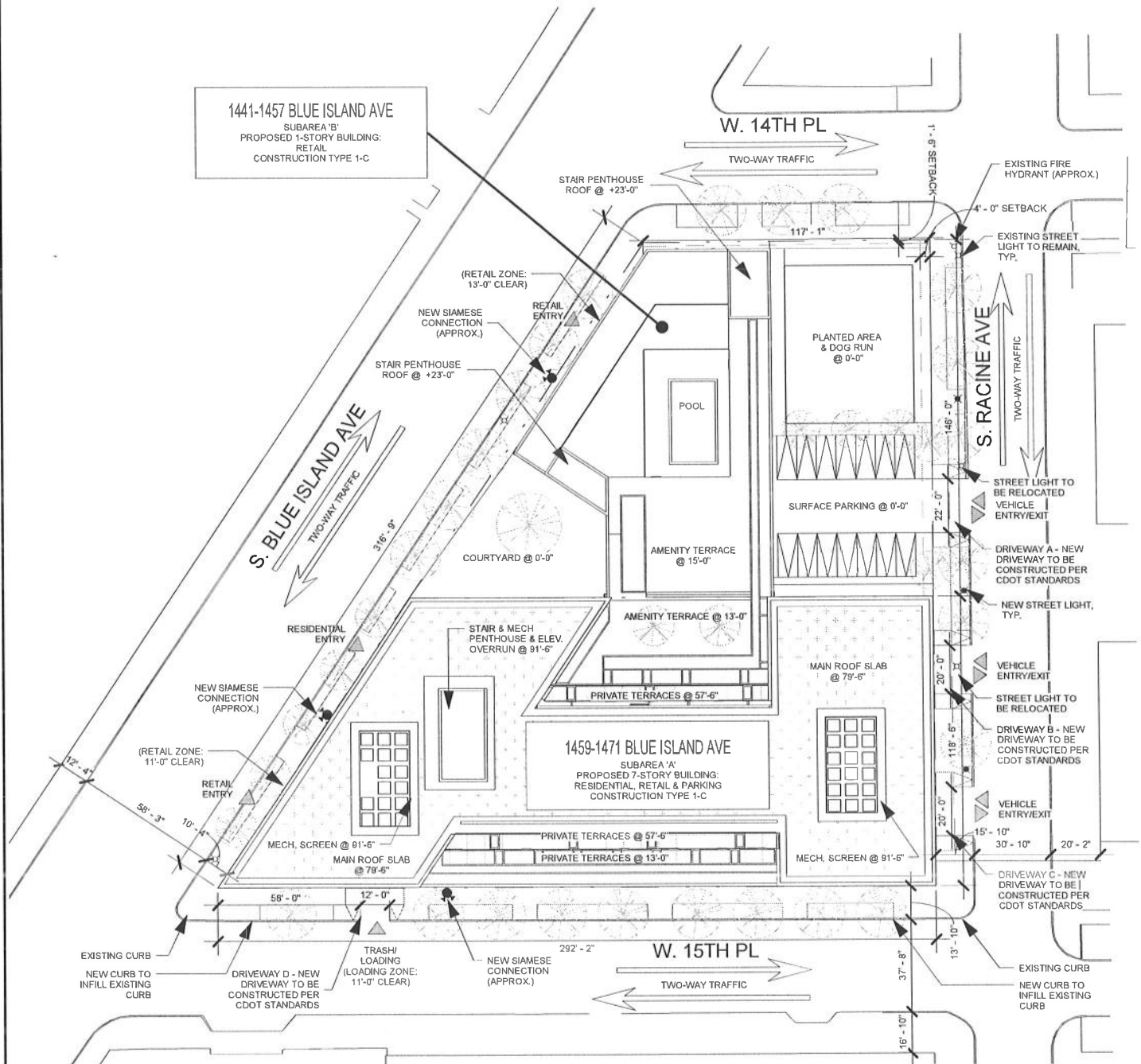
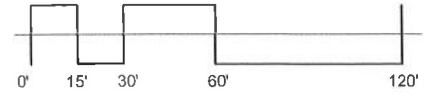
Sincerely,

A handwritten signature in black ink, appearing to read 'Patrick Murphey', with a long, sweeping horizontal stroke at the end.

Patrick Murphey
Zoning Administrator

PM:tm

C: Mike Marmo, Erik Glass, Fernando Espinoza, Cindy Roubik, Ron Daye, Main file



HARTSHORNE PLUNKARD ARCHITECTURE

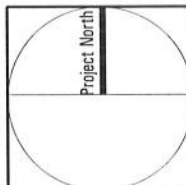


232 NORTH CARPENTER STREET
CHICAGO, IL 60607
312.226.4488
HPARCHITECTURE.COM

PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.



SCALE
1" = 60' - 0"
DATE
5/21/19

DRAWING
SITE PLAN

SK #
1

OWNER'S SWORN STATEMENT

I, the undersigned, do hereby certify that the site plan and landscaping plan shown on the attached drawings are true and correct and that I am the owner of the property shown thereon. I further certify that the landscaping plan shown thereon is in accordance with the requirements of the City of Denver, Colorado, and that I am not aware of any other requirements that may apply to the project.

DATE: 11/15/2024
 SIGNATURE: [Signature]
 PRINTED NAME: [Name]

LANDSCAPE ARCHITECT'S SWORN STATEMENT

I, the undersigned, do hereby certify that the site plan and landscaping plan shown on the attached drawings are true and correct and that I am a duly licensed landscape architect in the State of Colorado. I further certify that the landscaping plan shown thereon is in accordance with the requirements of the City of Denver, Colorado, and that I am not aware of any other requirements that may apply to the project.

DATE: 11/15/2024
 SIGNATURE: [Signature]
 PRINTED NAME: [Name]



EXISTING TREE KEY

NO.	SIZE	SPECIES	CONDITION	REMARKS
1	12"	HYBRID BLM	GOOD	TO REMAIN
2	12"	HYBRID BLM	GOOD	TO REMAIN
3	12"	HYBRID BLM	GOOD	TO REMAIN
4	12"	HYBRID BLM	GOOD	TO REMAIN
5	12"	HYBRID BLM	GOOD	TO REMAIN
6	12"	HYBRID BLM	GOOD	TO BE REMOVED
7	12"	HYBRID BLM	GOOD	TO BE REMOVED
8	12"	HYBRID BLM	GOOD	TO BE REMOVED

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

S BELLEVUE AVENUE

LENGTH (LINEAR FEET): 336'-0"

NUMBER OF TREES REQUIRED (1 PER 25 LF): 13

NUMBER OF EXISTING TREES TO REMAIN: 0

NUMBER OF ADDITIONAL TREES TO BE PROVIDED: 13

4 FACINE AVENUE

LENGTH (LINEAR FEET): 386'-0"

NUMBER OF TREES REQUIRED (1 PER 25 LF): 15

NUMBER OF EXISTING TREES TO REMAIN: 0

NUMBER OF ADDITIONAL TREES TO BE PROVIDED: 15

W 14TH PL

LENGTH (LINEAR FEET): 81'-0"

NUMBER OF TREES REQUIRED (1 PER 25 LF): 3

NUMBER OF EXISTING TREES TO REMAIN: 0

NUMBER OF ADDITIONAL TREES TO BE PROVIDED: 3

W 15TH PL

LENGTH (LINEAR FEET): 391'-0"

NUMBER OF TREES REQUIRED (1 PER 25 LF): 16

NUMBER OF EXISTING TREES TO REMAIN: 0

NUMBER OF ADDITIONAL TREES TO BE PROVIDED: 16

VEHICULAR USE AREA SCREENING

S RACINE AVENUE

LENGTH (LINEAR FEET): 59'

NUMBER OF TREES REQUIRED (1 PER 10 LF): 6

NUMBER OF EXISTING TREES TO REMAIN: 0

NUMBER OF ADDITIONAL TREES TO BE PROVIDED: 6

VEHICULAR USE AREA C SCREENED BY ON PUBLIC SIDE BY A CONTINUOUS ROW OF 6 TREES

VEHICULAR USE AREA INTERNAL PLANTING

PARKING LOT

TOTAL VEHICULAR USE AREA: 3,034 SF

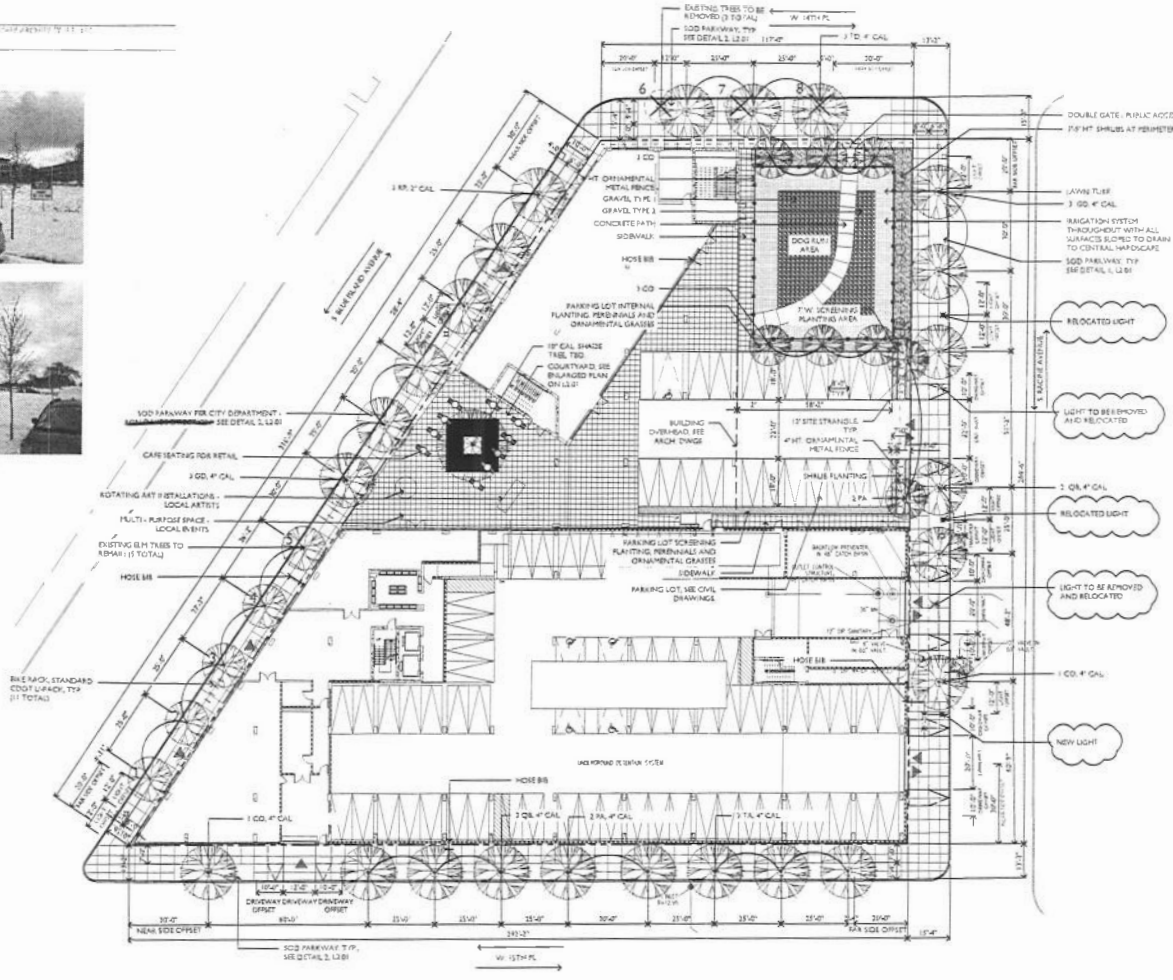
INTERNAL PLANTING AREA (SQUARED (1% OF 3,034)): 303 SF

INTERNAL PLANTING AREA PROVIDED: 240 SF

NUMBER OF TREES REQUIRED (1 PER 10 SF): 30

NUMBER OF EXISTING TREES TO REMAIN: 0

NUMBER OF ADDITIONAL TREES TO BE PROVIDED: 30



INFORMATION REQUIRED FOR REFERENCE ONLY



FLATS Blue Island

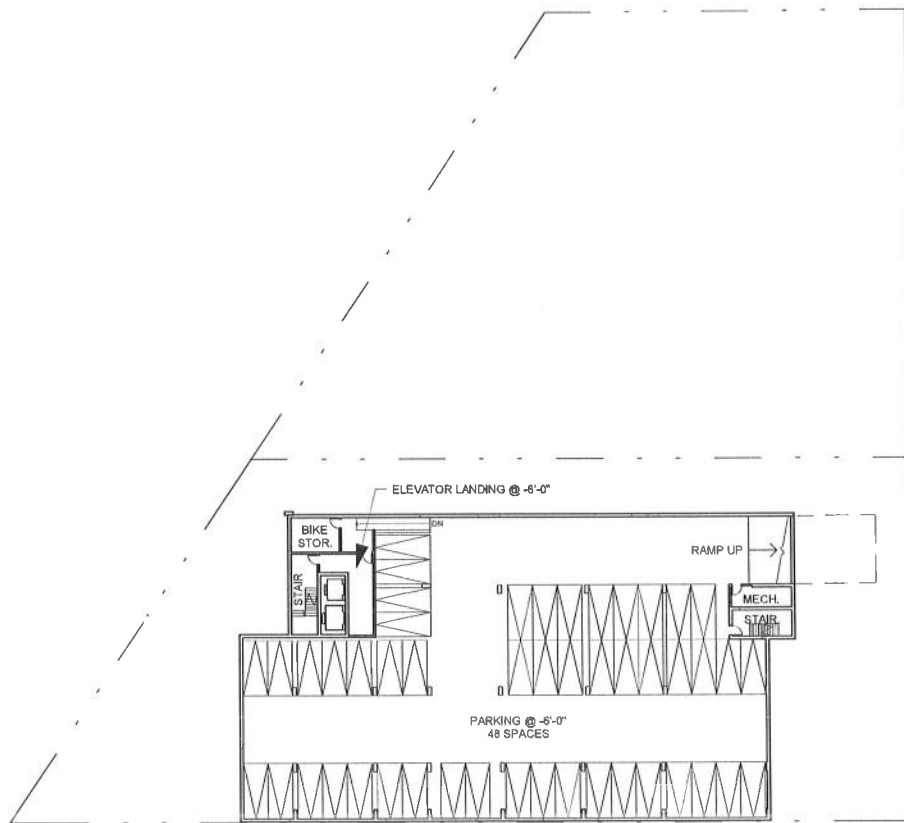
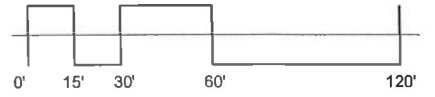
1411 1/2 Ave. Blue Island, CO 80513

Scale:

1" = 10'	1/4" = 10'
1/2" = 10'	3/4" = 10'
1" = 10'	1 1/4" = 10'
1 1/2" = 10'	2" = 10'

HARTMANN PLUMBING ARCHITECTURE
 HPA
 100 NORTH CAMPBELL STREET
 DENVER, CO 80202
 (303) 733-1111
 WWW.HARTMANPLUMBING.COM

DATE: 11/15/2024
 SCALE: 1/4" = 10'
 SHEET NO.: 11/15/24
FIRST FLOOR
LANDSCAPE PLAN



HARTSHORNE PLUNKARD ARCHITECTURE

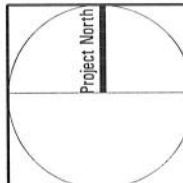


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PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO
REVISION AS DEEMED NECESSARY OR ADVISABLE BY
BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.



SCALE

1" = 60' - 0"

DATE

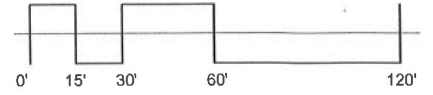
05/21/19


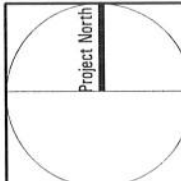
DRAWING

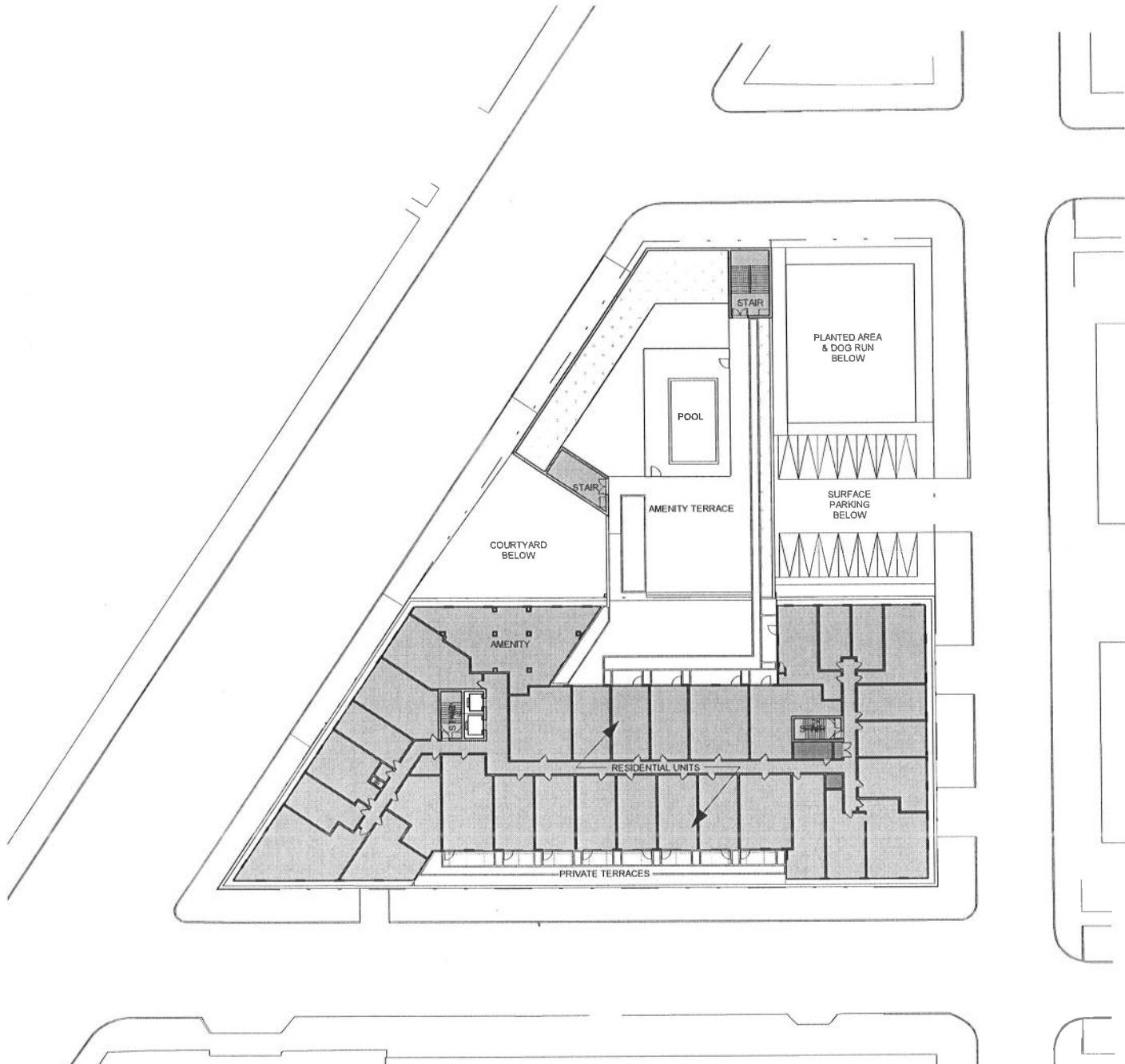
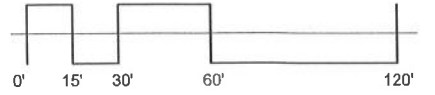
BASEMENT
FLOOR PLAN


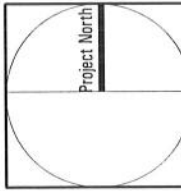
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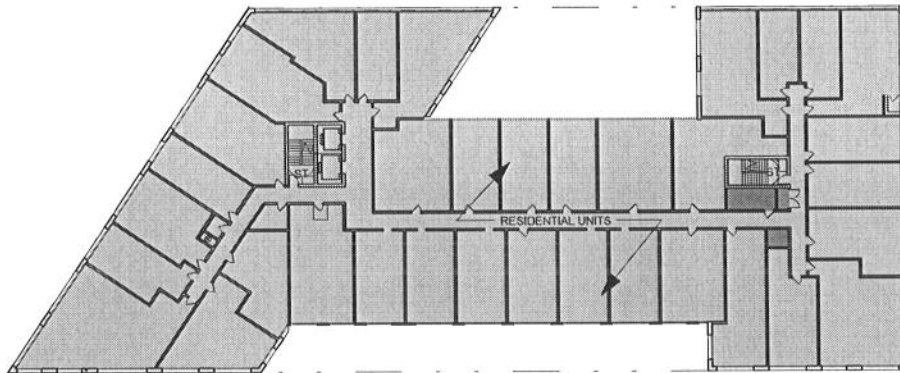
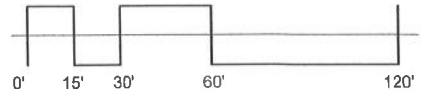
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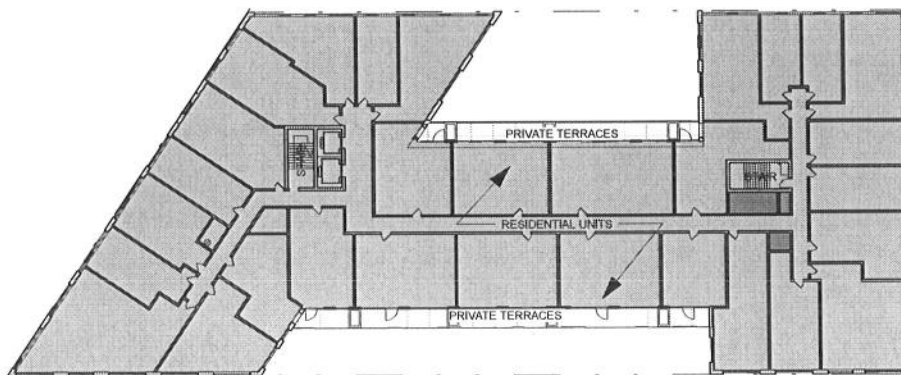
HARTSHORNE PLUNKARD ARCHITECTURE  232 NORTH CARPENTER STREET CHICAGO, IL 60607 312.226.4488 HPARCHITECTURE.COM	PD1067 1441-1471 BLUE ISLAND AVE <small>PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.</small>		SCALE 1" = 60' - 0"	DRAWING 1ST FLOOR PLAN	SK # 6
			DATE 05/21/19		



HARTSHORNE PLUNKARD ARCHITECTURE  232 NORTH CARPENTER STREET CHICAGO, IL 60607 312.226.4488 HPARCHITECTURE.COM	PD1067 1441-1471 BLUE ISLAND AVE <small>PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.</small>		SCALE 1" = 60' - 0"	DRAWING 2ND FLOOR PLAN	SK # 8
			DATE 05/21/19		



3RD-6TH FLOOR PLAN



7TH FLOOR PLAN

HARTSHORNE PLUNKARD ARCHITECTURE

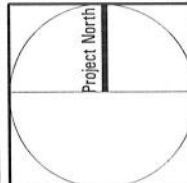


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SCALE

1" = 60' - 0"

DATE

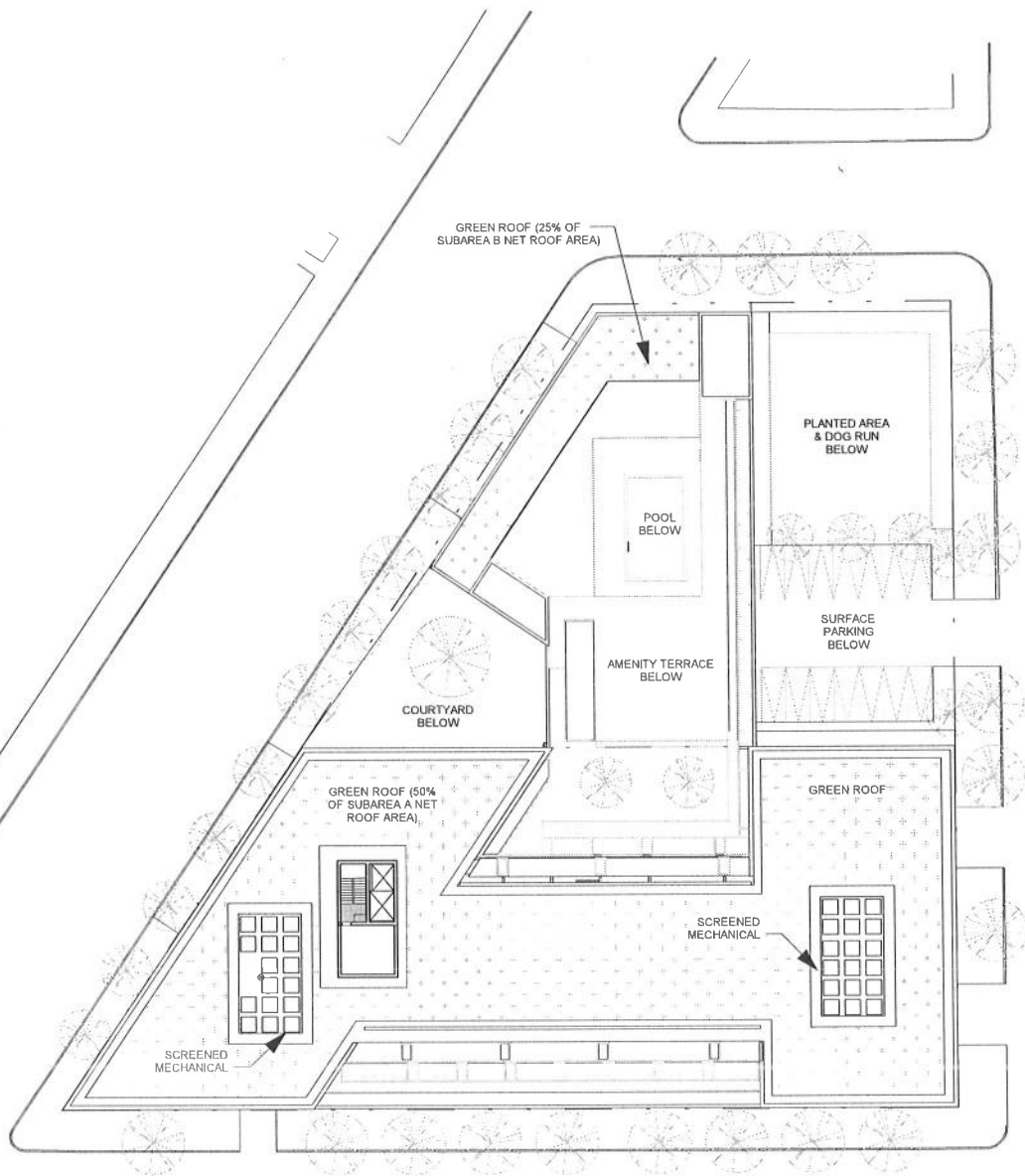
05/21/19

DRAWING

3RD-7TH FLOOR
PLAN

SK #

9



HARTSHORNE PLUNKARD ARCHITECTURE

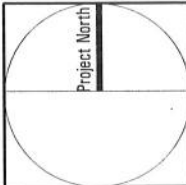


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SCALE

1" = 60' - 0"

DATE

05/21/19

DRAWING

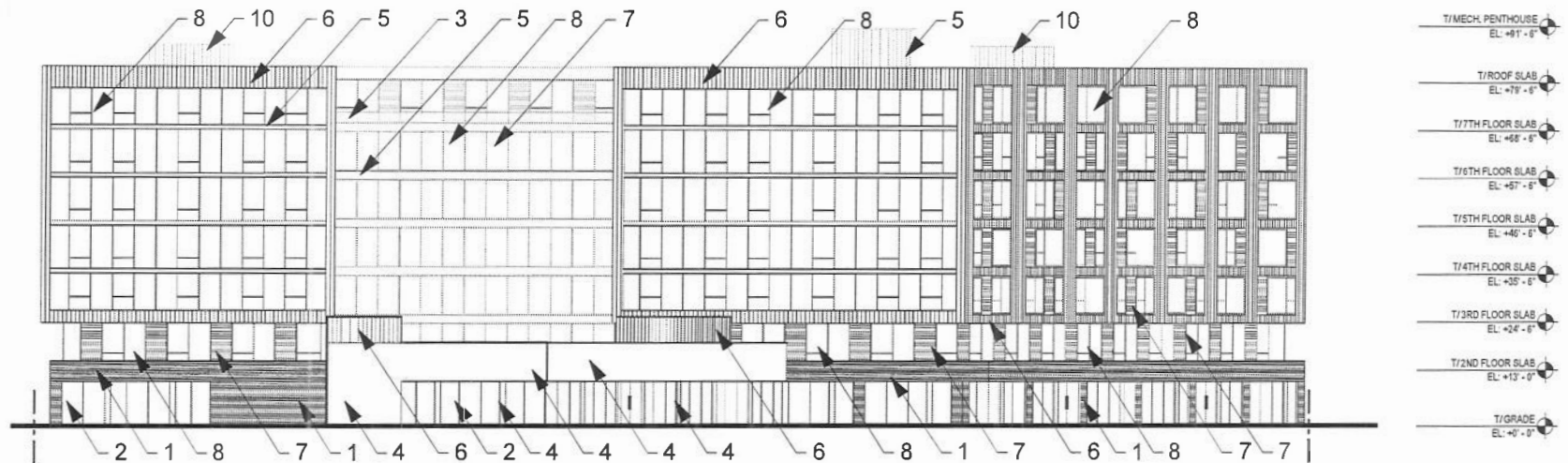
GREEN ROOF
PLAN

SK #

10

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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SCALE

NTS

DATE

05/21/19

DRAWING

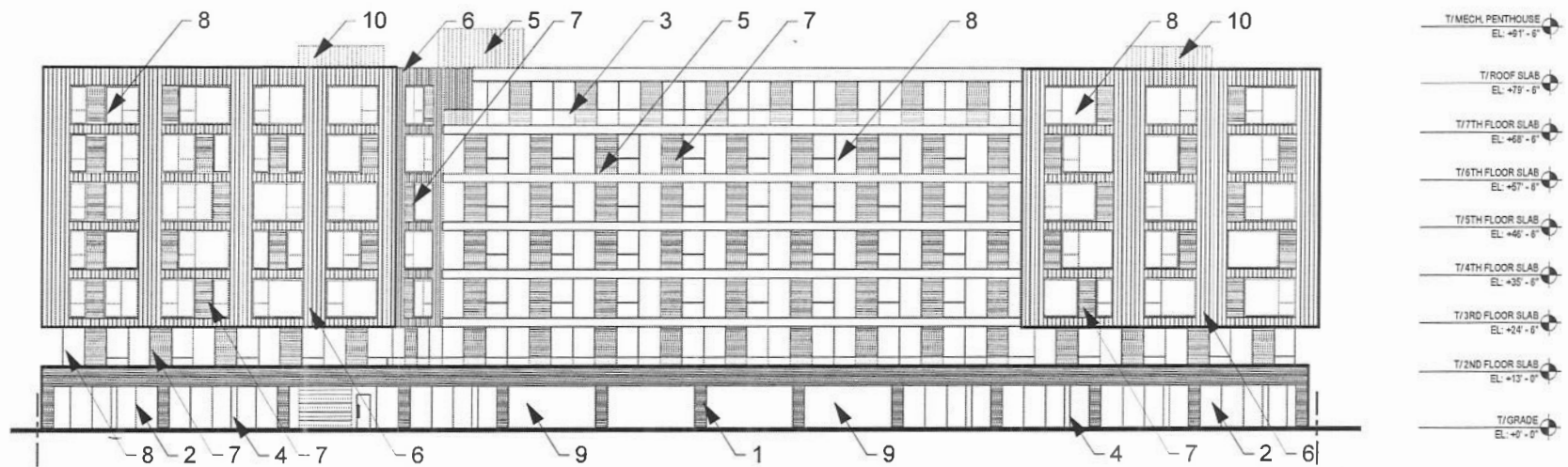
NORTH
ELEVATION

SK #

2

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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SCALE

NTS

DATE

05/21/19

DRAWING

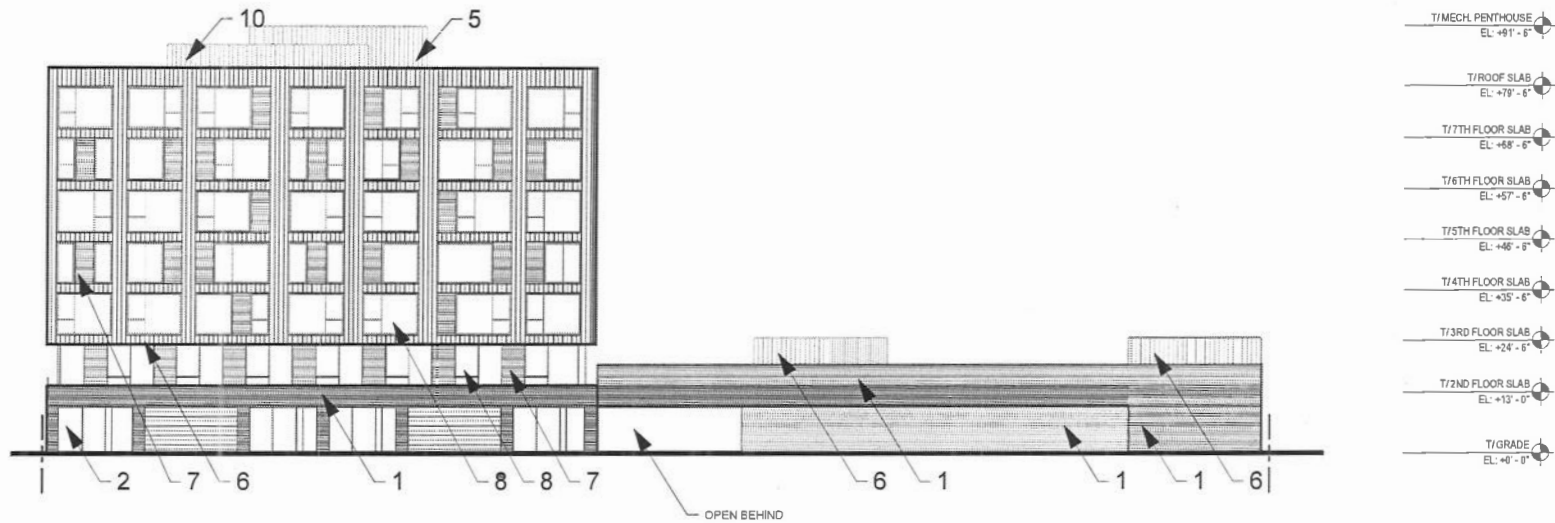
SOUTH
ELEVATION

SK #

4

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

SCALE

NTS

DATE

05/21/19

DRAWING

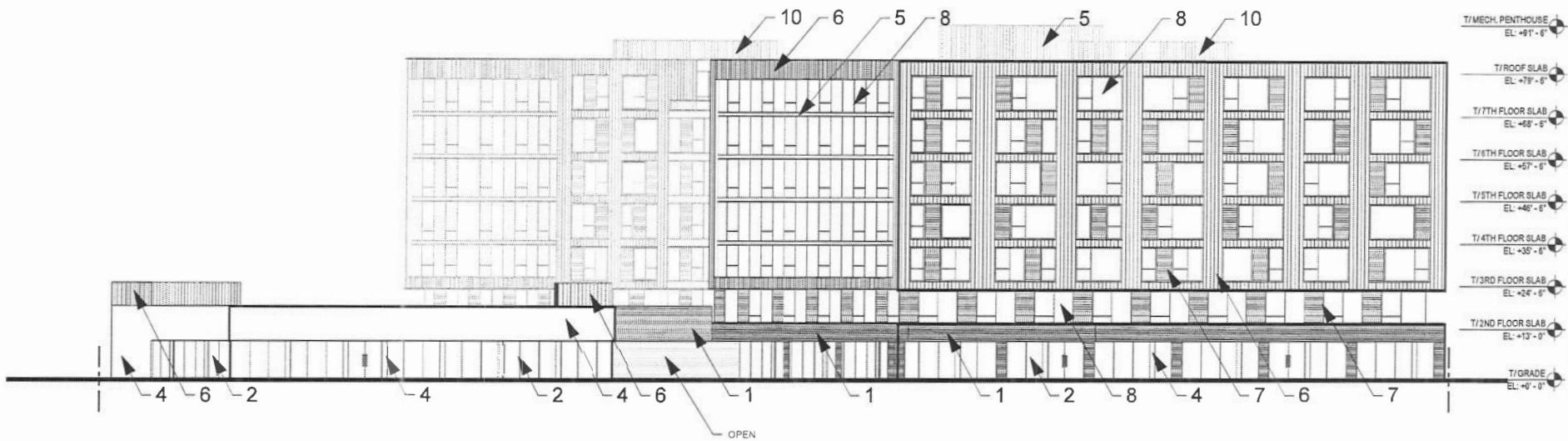
EAST ELEVATION

SK #

3

ELEVATION MAT'L LEGEND

1	BRICK
2	GLASS STOREFRONT
3	GLASS RAILING
4	METAL PANEL A
5	METAL PANEL B
6	CEMENT BOARD A
7	CEMENT BOARD B
8	WINDOW WALL SYSTEM
9	PAINTED ART MURAL ON BRICK
10	MECHANICAL SCREEN



HARTSHORNE PLUNKARD ARCHITECTURE



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PD1067

1441-1471 BLUE ISLAND AVE

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

SCALE

NTS

DATE

05/21/19

DRAWING

WEST ELEVATION

SK #

5



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 25, 2018

Rolando R. Acosta
Acosta Ezgur LLC
1030 W. Chicago Avenue
3rd Floor
Chicago, IL 60642

Re: One-year sunset extension to Planned Development No. 1067, 1441-71 S. Blue Island Ave., 1200-1228 W. 15th St., and 1434-1458 S. Racine Ave.

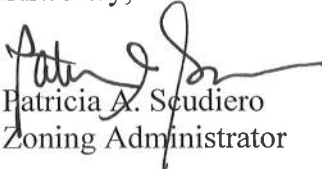
Dear Mr. Acosta:

Please be advised that your request for a one-year extension to the six-year construction period for Residential Business Planned Development No. 1067 ("PD 1067"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0612-B of the Chicago Zoning Ordinance and Statement No. 16 of the Planned Development. You are seeking this extension on behalf of your clients and the property owners, 15th Blue Island LLC and TCF National Bank.

PD 1067 was approved by the Chicago City Council on July 19, 2007 and amended on July 25, 2012. Statement No. 16 of the Planned Development refers to the sunset provisions, which requires substantial construction of the improvements contemplated on the property within six years of the effective date of the ordinance

The owner of Sub area A, 15th Blue Island LLC, is now in a position to move forward with their mixed use development, but need additional time to complete the drawings, secure permits and finalize funding. Therefore, you are requesting a one year extension. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1067, I hereby approve a one-year sunset extension from July 25, 2018 to July 25, 2019.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:PM:tm

C: Mike Marmo, Erik Glass, Fernando Espinoza, Main file

On motion of Alderman Solis, the said proposed substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Fioretti, Dowell, Burns, Hairston, Sawyer, Harris, Beale, Pope, Balcer, Quinn, Foulkes, Thompson, Thomas, Lane, O'Shea, Cochran, Brookins, Muñoz, Zalewski, Chandler, Solis, Maldonado, Burnett, Ervin, Graham, Reboyras, Suarez, Waguespack, Mell, Austin, Colón, Sposato, Mitts, Cullerton, Laurino, P. O'Connor, M. O'Connor, Reilly, Smith, Tunney, Arena, Pawar, Osterman, Moore, Silverstein -- 46.

Nays -- None.

Alderman Pope moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map No. 4-G.
(As Amended)
(Application No. 16812)
(Common Address: 1441 -- 1471 S. Blue Island Ave., 1200 -- 1228
W. 15th St., And 1434 -- 1458 S. Blue Island Ave.)

RBPD 1067,99

[SO2009-314]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current Residential Business Planned Development Number 1067 symbols and indications as shown on Map Number 4-G in the area bounded by:

West 14th Place; South Racine Avenue; West 15th Street; and South Blue Island Avenue, to those of Residential-Business Planned Development Number 1067, as amended, which is hereby established in the area described above.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance reads as follows:

Residential-Business Planned Development No. 1067, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 1067, as amended ("Planned Development") consists of approximately 54,027 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and Subarea A is owned or controlled by the applicant, 15th Blue Island LLC. Subarea B is unchanged and is owned or controlled by TCF National Bank.
2. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustments of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of sixteen (16) statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line and Subarea Map; Site -- Landscape Plan; a Green Roof Plan; Building Elevations (North, South, East and West) and Chicago Builds Green Form for Subarea A prepared by Fitzgerald Associates Architects and dated July 19, 2012, and Subarea B elevations dated May 17, 2007 and unchanged from the original planned development submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Housing and Economic Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a planned development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. The following uses are permitted in the area delineated herein as a residential business planned development:
 - Subarea A: residential units, retail and service uses and accessory uses including parking and loading.
 - Subarea B: business and retail uses, including financial institutions and drive-thru facilities associated therewith, and accessory uses including parking and loading,
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Housing and Economic Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 30,000 square feet for Subarea A and 24,027 square feet for Subarea B.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

10. The site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Housing and Economic Development. Any interim reviews associated with site plan review or part Part II Reviews are conditional until final Part II approval.
11. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Housing and Economic Development. The project will provide 50 percent green roof over the net roof area of Subarea A (9,990 square feet) and Subarea B will include a 25 percent green roof over the net roof area. In addition to the green roof, the mixed-use building in Subarea A will provide 10,765 square feet of roof deck to be used as common open space for the building's residents.
15. The applicant acknowledges and agrees that the rezoning of the property from RBP Number 1067 to RBP Number 1067, as amended, for construction of the Residential Project triggers the requirements of Section 2-454-11090 of the Municipal Code the "Affordable Housing ordinance"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance must: (i) develop affordable housing units as part of the residential housing project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements and the Affordable Housing Profile Form attached hereto as Exhibit A, the applicant has agreed to provide [10 percent if affordable at 100 percent AMI, lesser percentage if affordable at 80 percent AMI] affordable rental housing units in the Residential Project for households earning up to [80 percent]

[100 percent] 60 percent of the Chicago Primary Metropolitan Statistical Area median income (the "Affordable Units"), [and] [or] make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$100,000 per unit ("Cash Payment"). At the time of each Part II Review for the Residential Project, applicant shall update and resubmit the Affordable Housing Profile Form to HED for review and approval. If the applicant subsequently reduces the number of dwelling units in the Residential Project, HED shall adjust the requirements of this Statement 15 (i.e., number of Affordable Units and/or amount of Cash Payment) accordingly without amending this Planned Development. Prior to the issuance of a building permit for the Residential Project, the applicant must either make the required cash payment, or execute an Affordable Housing Agreement in substantially the form attached hereto as Exhibit B in accordance with Section 2-45-110(i)(2). The terms of the of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Property and will constitute a lien against each Affordable Unit. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of Housing and Economic Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development ordinance.

16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development Ordinance lapse, the Commissioner of the Department of Housing and Economic Development shall initiate a Zoning Map Amendment to rezone the property to a B2-5 Neighborhood Mixed-Use District.

[Exhibit B referred to in these Plan of Development
Statements unavailable at time of printing.]

[Zoning Map; Boundary, Property Line and Right-of-Way Map; Subarea A -- Site Plan;
Subarea A -- Landscape Plan; Subarea A -- Ground Floor Plan; Subarea A -- Typical
Parking Plan -- Floors 2 -- 3; Subarea A -- Typical Residential Plan -- Floors
4 -- 12; Subarea A -- Roof Plan; Subarea A -- Elevations; Exhibit A
-- Affordable Housing Profile Form (Rental); and Subarea B
-- Elevations referred to in these Plan of Development
Statements printed on pages 31642
through 31658 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development.

Plan Of Development

Bulk Regulations And Data Table.

Gross Site Area = Net Site Area + Area Remaining in the Public Right-of-Way

Subarea A: 49,268.26 square feet (1.13 acres) = 30,000 square feet (0.69 acre) + 19,268.26 square feet (0.44 acre)

Subarea B: 39,715.84 square feet (0.91 acre) = 24,027 square feet (0.55 acre) + 15,688.84 square feet (0.36 acre)

Total: 88,984.10 square feet (2.04 acres) = 54,027 square feet (1.24 acres) + 34,957.10 square feet (0.80 acre)

Maximum FAR:

Subarea A: 5.795

Subarea B: 0.210

Overall FAR: 3.311

Setbacks from Property Line:

14th Place: 1.5 feet

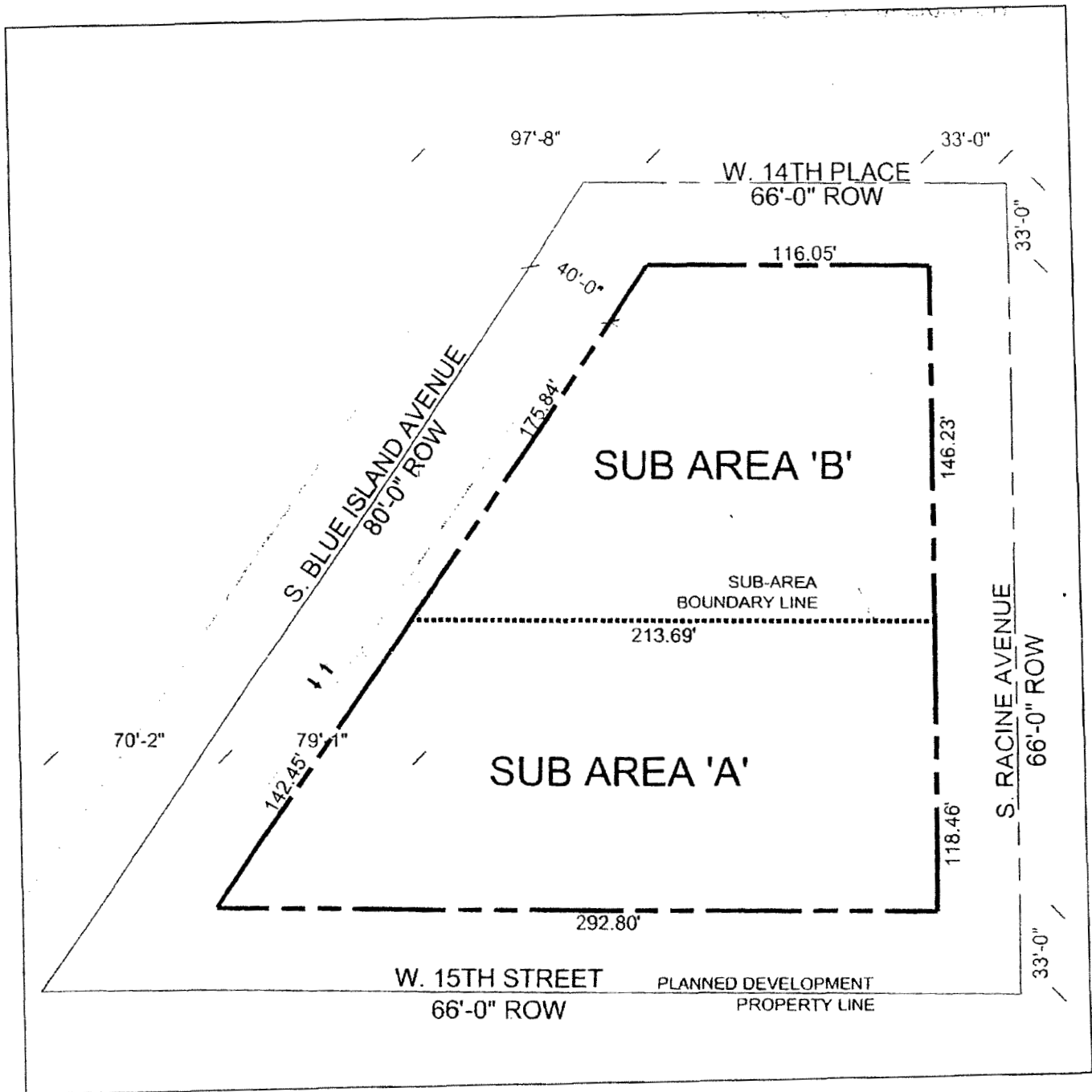
Blue Island Avenue: None

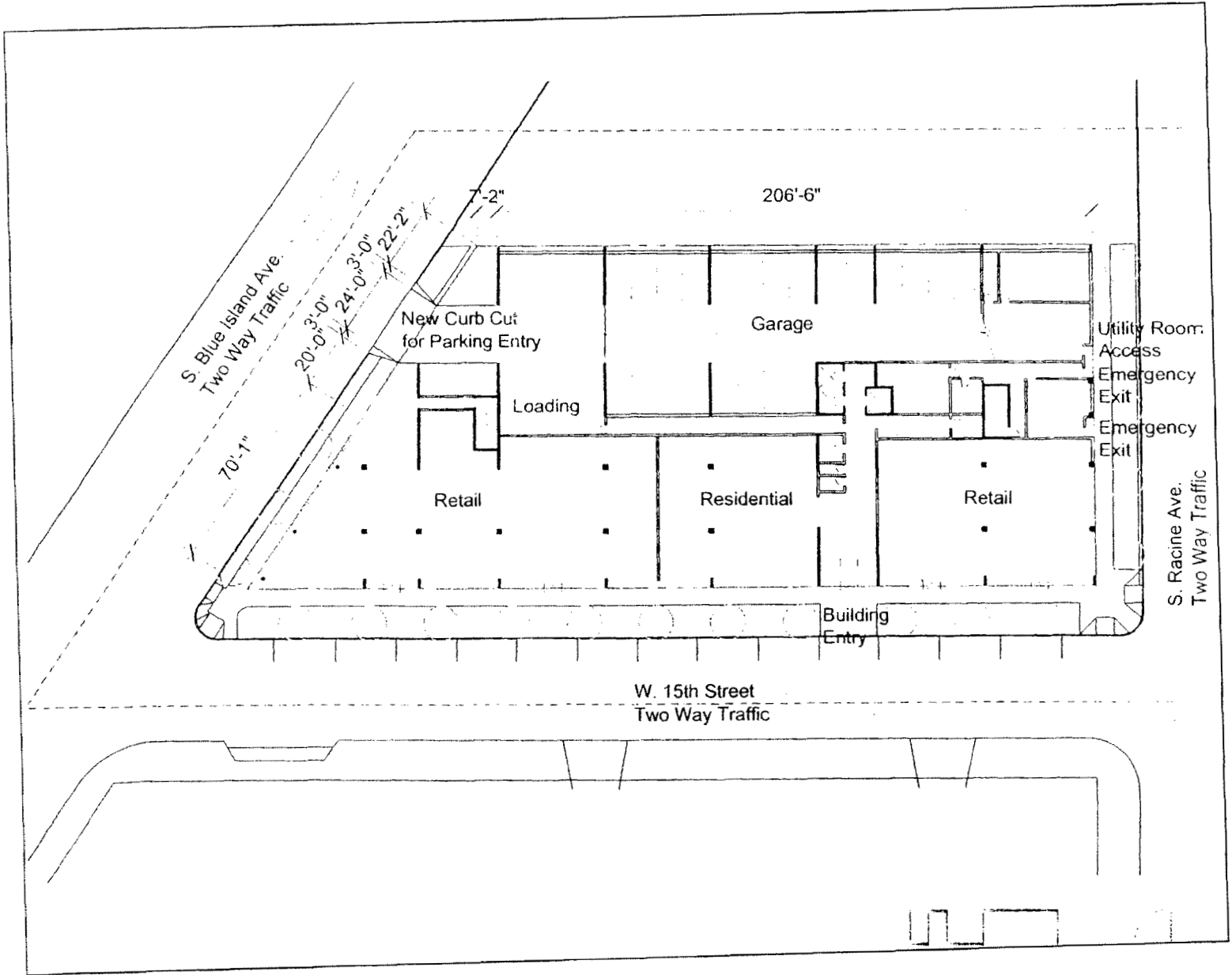
15th Street:

Subarea A: None

Subarea B:	4 feet
Racine Avenue:	
Subarea A:	None
Subarea B:	4 feet
Maximum Percentage of Site Coverage:	In conformance with the Site Plan
Maximum Number of Units:	
Subarea A:	216
Subarea B:	None
Minimum Number of Off-Street Parking:	
Subarea A:	170 spaces
Subarea B:	17 spaces
Minimum Number of Off-Street Loading:	
Subarea A:	One (10 feet by 25 feet)
Subarea B:	None
Maximum Building Height:	
Subarea A:	121.40 feet
Subarea B:	17 feet, 8 inches, excluding tower element

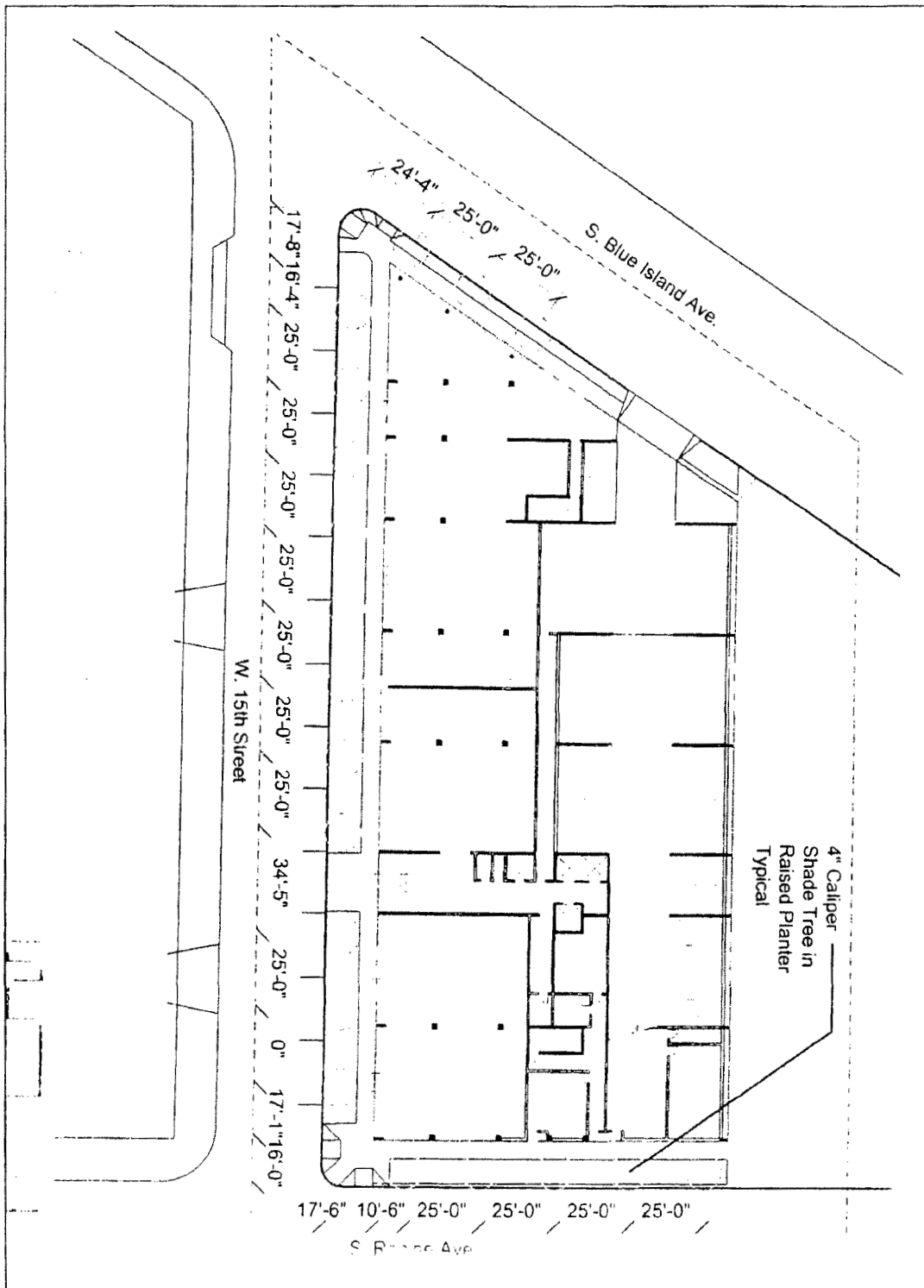
Boundary, Property Line And Right-Of-Way Map.



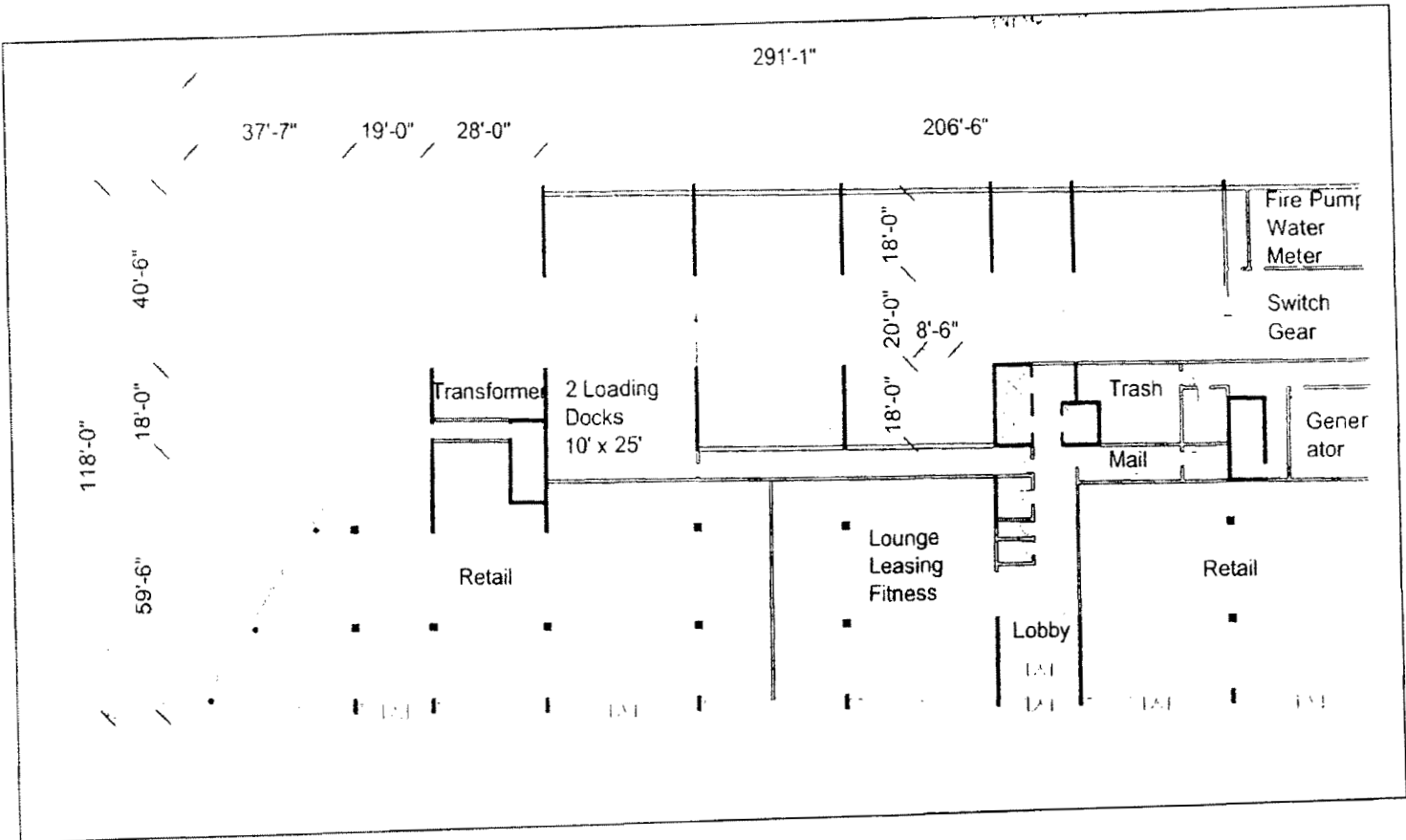


Subarea A -- Site Plan.

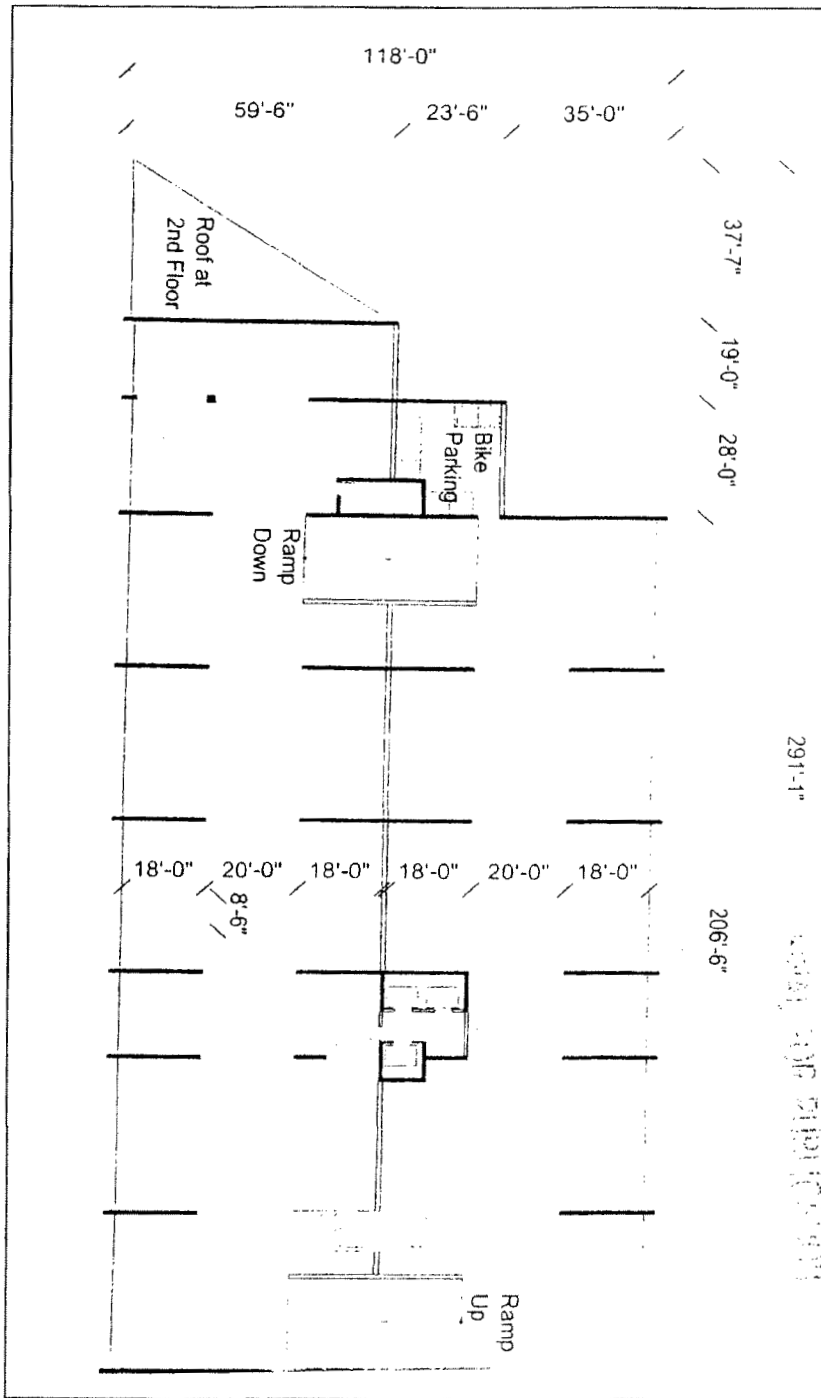
Subarea A -- Landscape Plan.



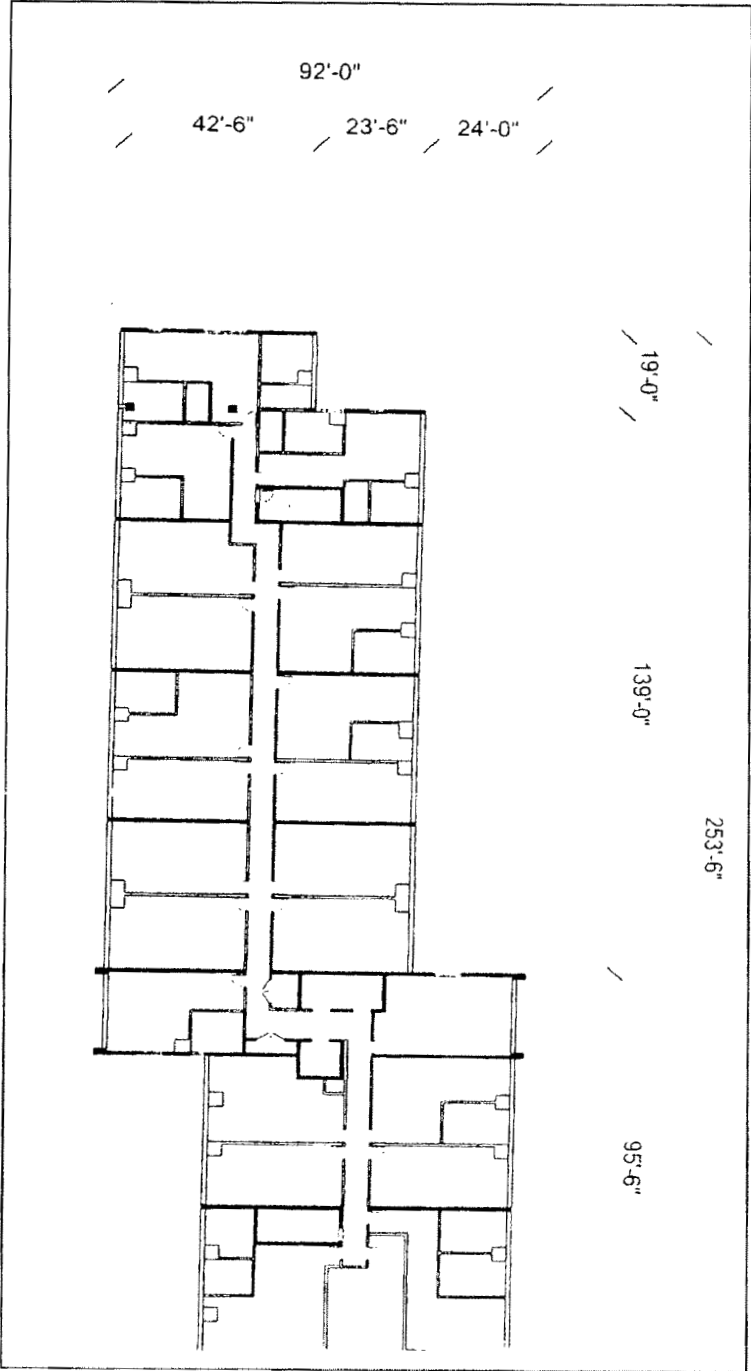
Subarea A -- Ground Floor Plan.



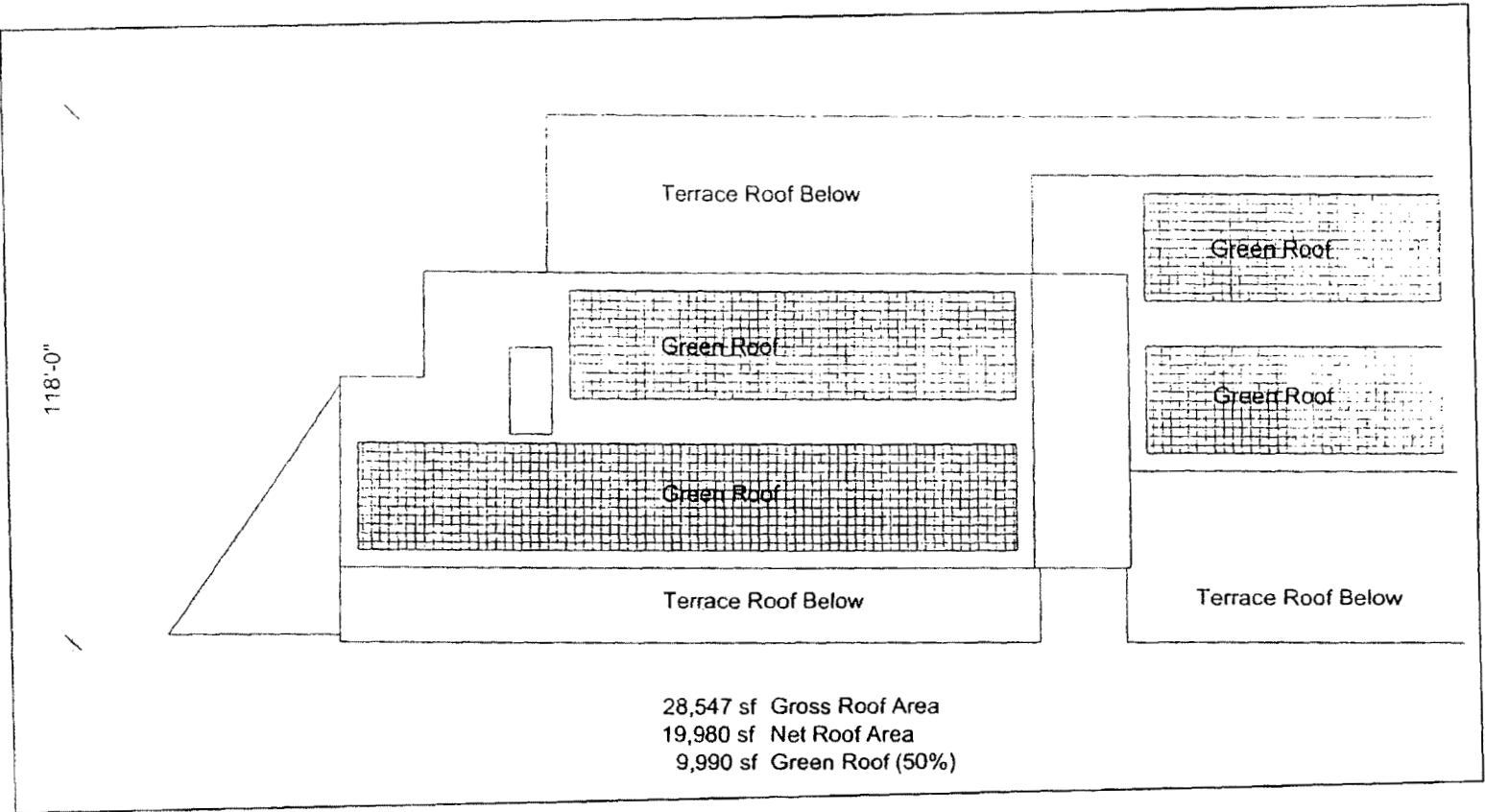
Subarea A -- Typical Parking Plan -- Floors 2 -- 3.



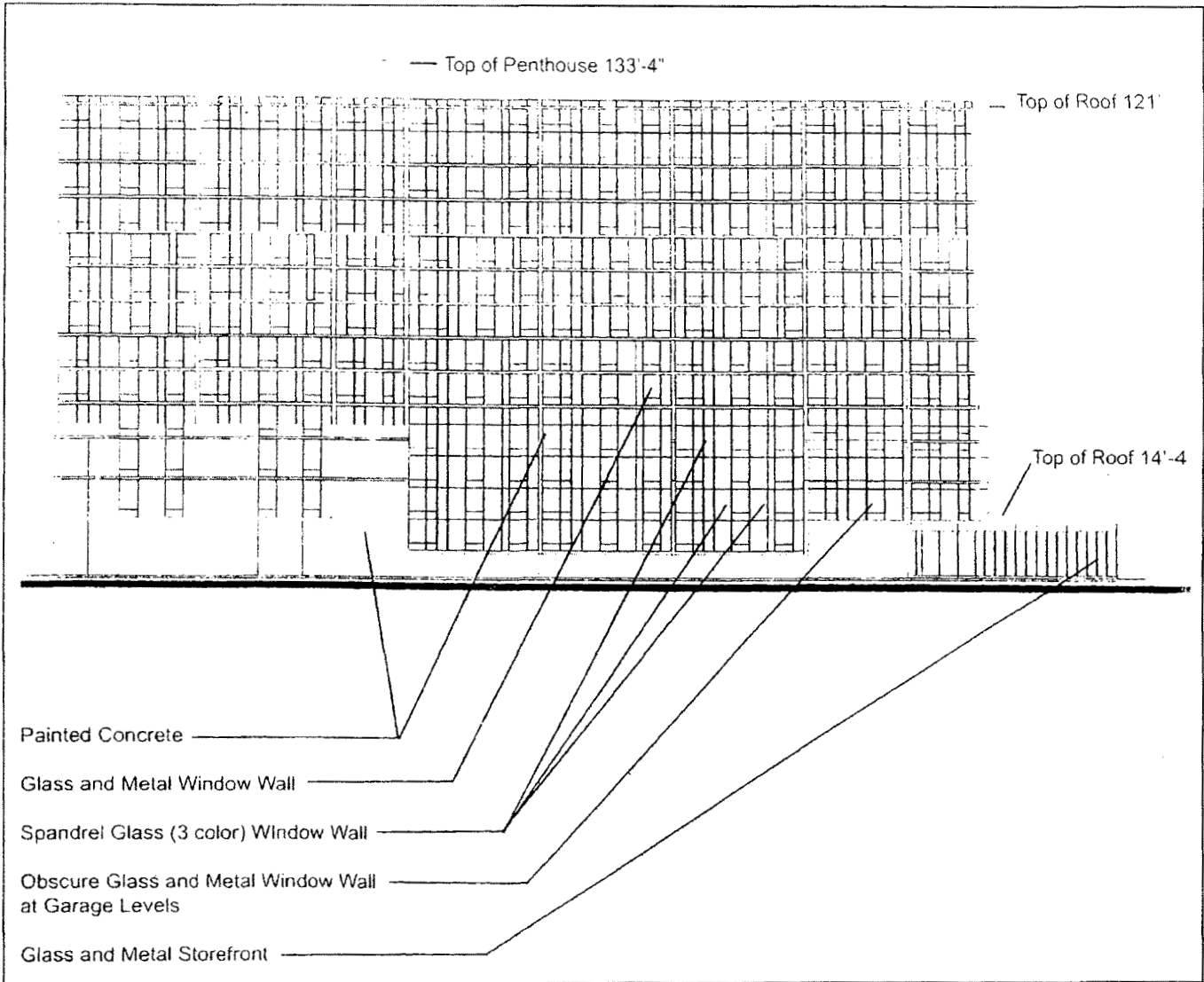
Subarea A -- Typical Residential Plan -- Floors 4 -- 12.



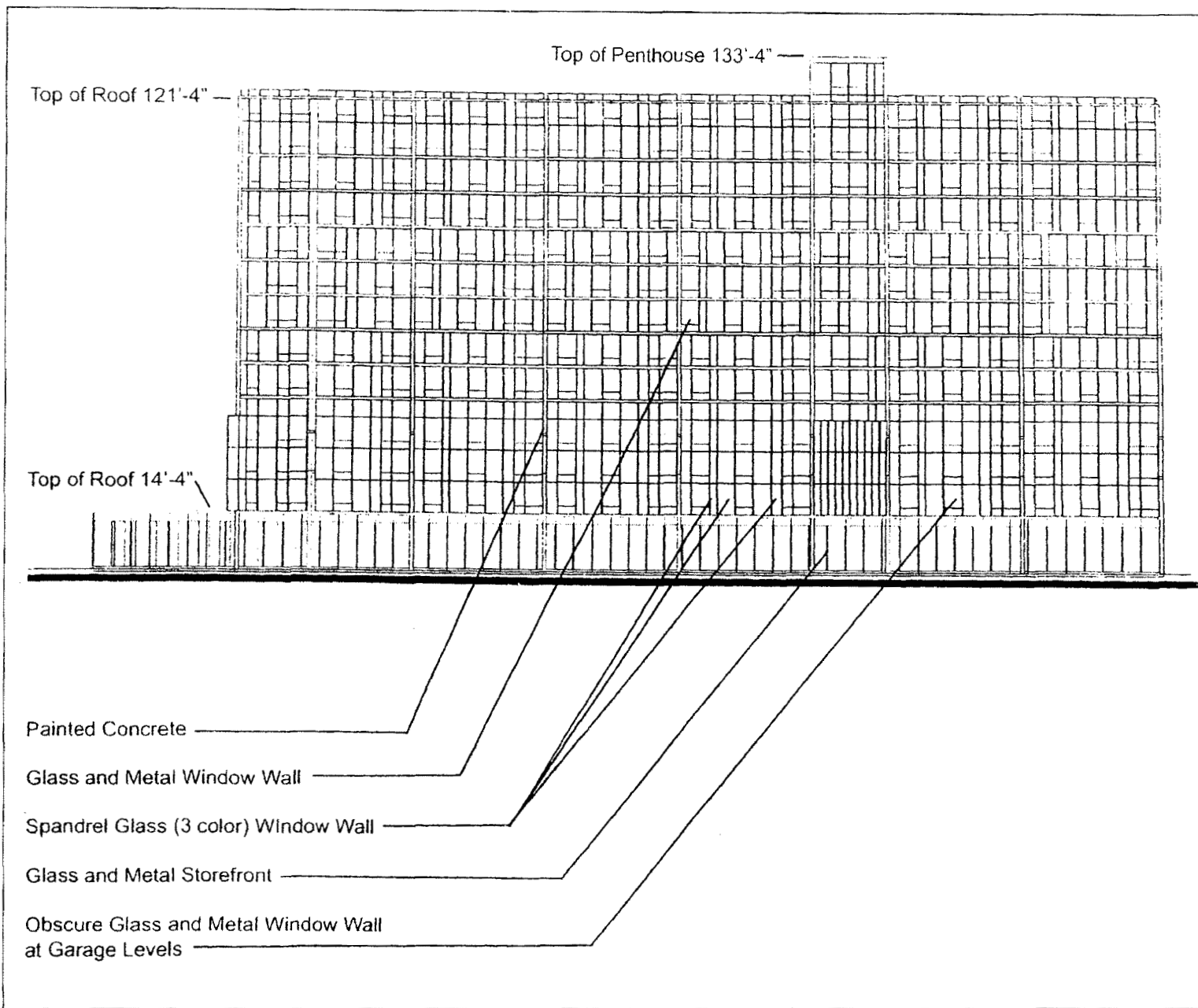
Subarea A -- Roof Plan.



Subarea A -- North Elevation.



Subarea A -- South Elevation.



Top of Roof 121'-4"

Top of Penthouse 133'-4"

Top of Roof 14'-4"

Painted Concrete

Glass and Metal Window Wall

Spandrel Glass (3 color) Window Wall

Glass and Metal Storefront

Obscure Glass and Metal Window Wall
at Garage Levels

Subarea A -- East And West Elevations.

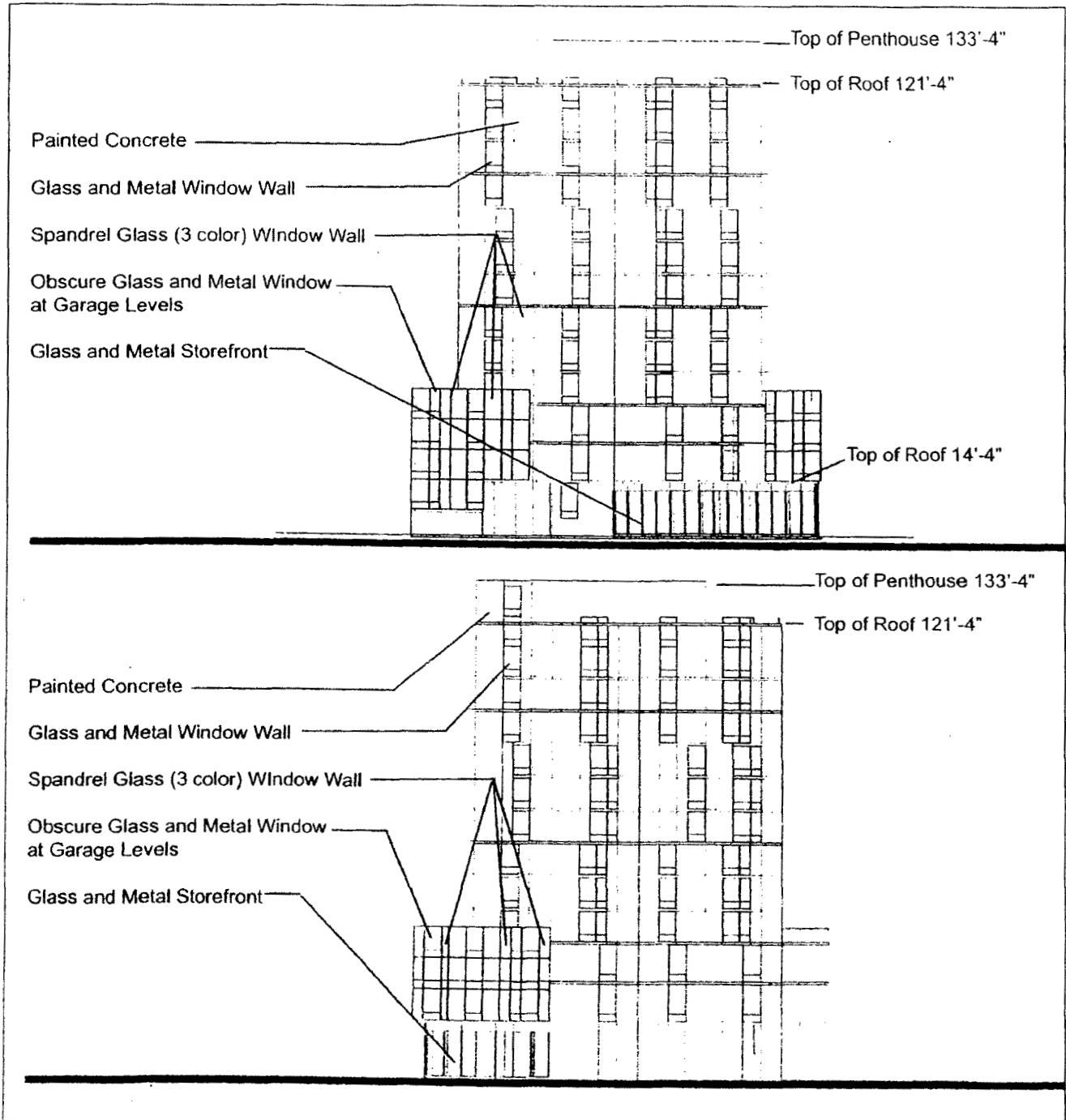


Exhibit A -- Affordable Housing Profile Form (Rental).
(Page 1 of 2)

Affordable Housing Profile Form (Rental)

Submit this form to the Department of Housing & Economic Development for each project that triggers an affordability requirement (including CPAN, ARO, and the Density Bonus).

This completed form should be returned (via e-mail, fax, postal service or interoffice mail), to: Kara Breems, Department of Housing & Economic Development, 121 N. LaSalle Street, Chicago, IL 60602. E-mail: Kara.Breems@cityofchicago.org; Telephone: (312) 744-6746.

For information on these programs/requirements, visit www.cityofchicago.org/hed

Date: 7/16/12

SECTION 1: DEVELOPMENT INFORMATION

Development Name: 15th Street & Blue Island Apts
Development Address: Northwest corner of 15th St & Blue Island Ave.
Ward: 25B

If you are working with a Planner at the City, what is his/her name? Fernando Espinoza

Type of City involvement: Land write-down
(check all that apply) Financial Assistance (If receiving TIF assistance, will TIF funds be used for housing construction?)
 Zoning increase, PD, or City Land purchase

*If yes, please provide copy of the TIF Eligible Expenses

SECTION 2: DEVELOPER INFORMATION

Developer Name: 15th Street Blue Islands LLC
Developer Contact (Project Coordinator): Keith Giles
Developer Address: K-G-ILERE Kgiles LLC, com
Email address: K-G-ILERE Kgiles LLC, com May we use email to contact you? Yes No
Telephone Number: 312 952-1453

SECTION 3: DEVELOPMENT INFORMATION

a) Affordable units required

For ARO projects:	<u>86</u> *	10% =	<u>9</u>	(always round up)
	Total units		total affordable units required	

*20% if TIF assistance is provided

For Density Bonus projects:	_____	X 25% =	_____
	Bonus Square Footage*		Affordable sq. footage required

*Note that the maximum allowed bonus is 20% of base FAR in dash-5, 25% in dash-7 or -10, and 30% of base FAR in dash-12 or -16 (www.cityofchicago.org/zoning for zoning info).

b) building details

In addition to water, which of the following utilities will be included in the rent (circle applicable):

Cooking gas electric gas heat electric heat other (describe on back)

Is parking included in the rent for the: affordable units? yes no market-rate units? yes no

If parking is not included, what is the monthly cost per space? \$150

Estimated date for the commencement of marketing:

*this is an amended PD - 3/1/2014
with 110 units subject to the ARO (original PD - ARO PD allowed 130 units)

Exhibit A -- Affordable Housing Profile Form (Rental).
(Page 2 of 2)

Estimated date for completion of construction of the affordable units:

5/1/2014

For each unit configuration, fill out a separate row, as applicable (see example).

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)
Example	1 bed:1 bath	4	1	800	\$1000	750	60%
Affordable Units	Studio	3	0	468	\$1,020	\$742	60%
	1b/1b	3	1	605	\$1,312	\$773	60%
	2b/2b	3	2	901	\$1,955	\$1,070	60%
Market Rate Units	Studio	51	0	468	\$1,020	N/A	N/A
	1b/1b	123	1	605	\$1,312	N/A	N/A
	2b/2b	33	2	901	\$1,955	N/A	N/A

*Rent amounts determined by the City of Chicago's Maximum Affordable Monthly Rent Chart

↳ annually

SECTION 4: PAYMENT IN LIEU OF UNITS

When do you expect to make the payment in-lieu? ~ / 14
(typically corresponds with payment/issuance of building permits) Month/Year

For ARO projects, use the following formula to calculate payment owed:

$$\frac{\text{Number of total units in development}}{\text{Number of total units in development}} \times 10\% = \frac{\text{(round up to nearest whole number)}}{\text{(round up to nearest whole number)}} \times \$100,000 = \$ \text{Amount owed}$$

For Density Bonus projects, use the following formula to calculate payment owed:

$$\frac{\text{Bonus Floor Area (sq ft)}}{\text{Bonus Floor Area (sq ft)}} \times 80\% \times \$ \frac{\text{median price per base FAR foot}}{\text{median price per base FAR foot}} = \$ \text{Amount owed}$$

(from table below)

Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr. on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west; Lake Shore Dr. on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

Authorization to Proceed (to be completed by Department of HED)

[Signature] 7-17-12
Kara Breems, date
Department of Housing & Economic Development

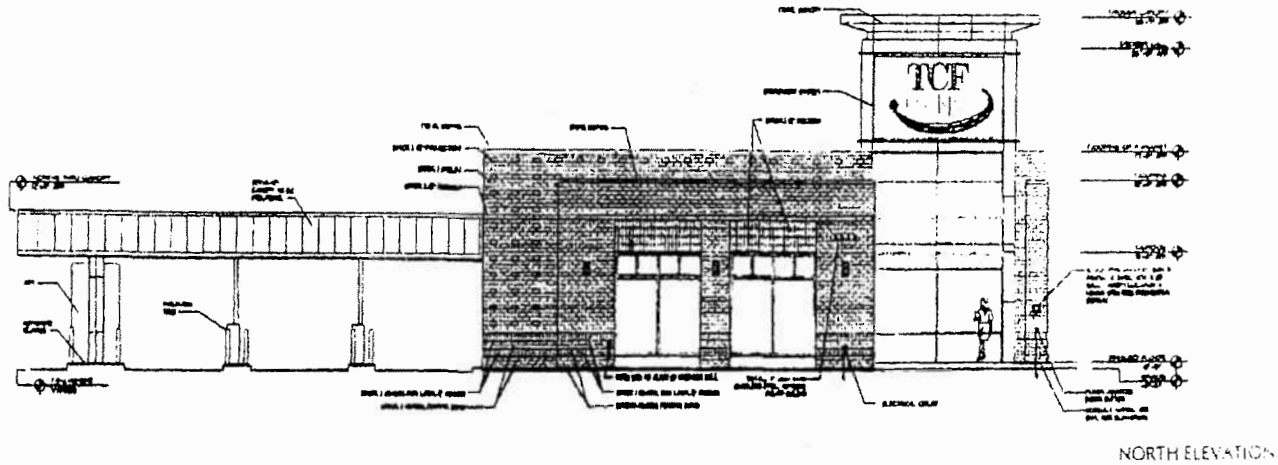


Unchanged from Original PD

7/25/2012

REPORTS OF COMMITTEES

31655



Subarea B -- North Elevation.

SUB-AREA 'B' - ELEVATION

1/2" = 17' NO SCALE 4,069 SQ.FT. W/ 4 DRIVE-UP LANES
P:\P20104710\repos_files\51070307_Blue Island-elevation-B_303067.dwg

APPLICANT: BANNER, LLC
ADDRESS: 13th & BLUE ISLAND, CHICAGO
DATE: MAY 17, 2007





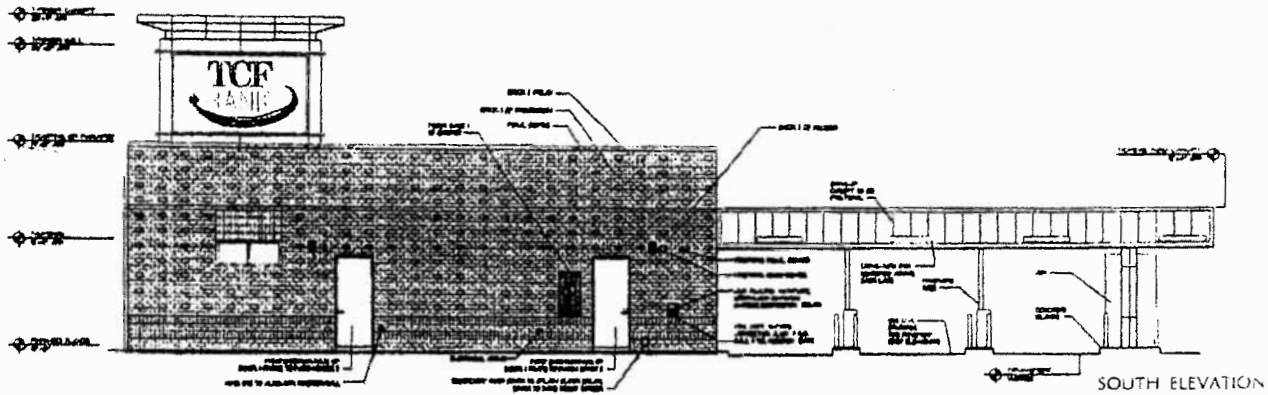
Unchanged from Original PD

31656

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7/25/2012

Subarea B -- South Elevation.



SUB-AREA 'B' - ELEVATION

1" = 12' NO SCALE 4,069 SQ.FT. W/ 4 DRIVE-UP LANES
P:\P203067\Graphic_Files\54 s\070510_Blue Island\Drawings\B-203067.dwg

APPLICANT: BANNER, LLC
ADDRESS: 15th & BLUE ISLAND, CHICAGO
DATE: MAY 17, 2007





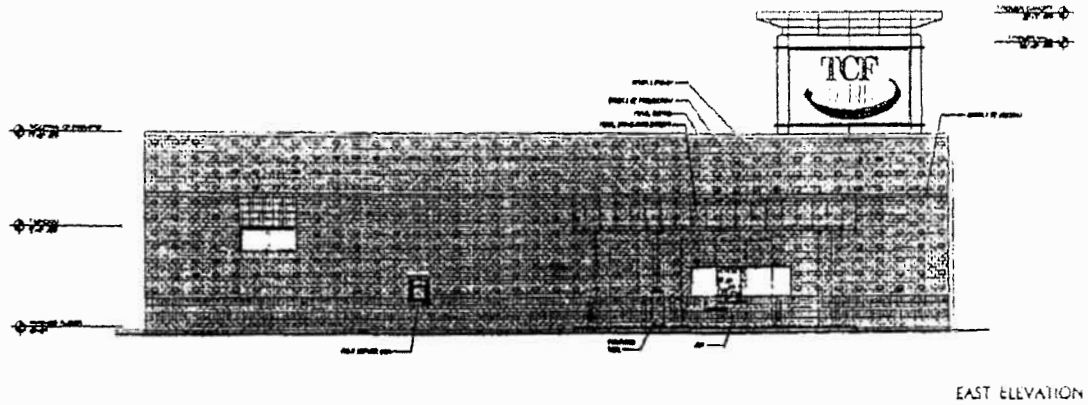
Unchanged from Original PD

7/25/2012

REPORTS OF COMMITTEES

31657

Subarea B -- East Elevation.



SUB-AREA 'B' - ELEVATION

1/12/12 NO SCALE 4,068 SQ.FT. W/ 4 DRIVE-UP LAYS
P:\P2010\Graphic_Files\1070110_Blue Island-Elevations-8_201007.dwg

APPLICANT: BANNER, LLC
ADDRESS: 15th & MILLE ISLAND, CHICAGO
DATE: MAY 17, 2007



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~~a line 151.03 feet south of and parallel to West Iowa Street; the alley next east of and parallel to North Lawndale Avenue; a line 201.03 feet south of and parallel to West Iowa Street; and North Lawndale Avenue,~~

~~to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District and a corresponding use district is hereby established in the area above described.~~

~~SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.~~

Reclassification Of Area Shown On Map Number 4-G.

(As Amended)

(Application Number 15664) RBPD 1067

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current C1-2 Neighborhood Commercial District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 14th Place; South Racine Avenue; West 15th Street; and South Blue Island Avenue,

to those of a B2-5 Neighborhood Mixed-Use District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the current B2-5 Neighborhood Mixed-Use District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 14th Place; South Racine Avenue; West 15th Street; and South Blue Island Avenue,

to those of Residential Business Planned Development Number 1067 which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Business Planned Development Number 1067.

Plan Of Development Statements.

1. The area delineated herein as a Residential Business Planned Development Number 1067 (the "Planned Development") consists of approximately fifty-seven thousand two hundred thirty-one and eighty-five hundredths (57,231.85) square feet (one and thirty-one hundredths (1.31) acres) of property which is depicted on the attached Planned Development Boundary, Property Line and Subarea Map (the "Property") and is owned or controlled by Banner, L.L.C. (the "Applicant").
2. The Applicant shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustment of right-of-way shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant, its successors and assigns or any property owners' association which is formed.
4. This plan of development consists of fourteen (14) statements; a Bulk Regulations and Data Table; Existing Zoning Map; a Planned Development Boundary, Property Line and Subarea Map; a Site Plan; a Landscape Plan; Elevations of the Subarea A building, Elevations of the Subarea B building and a Green Roof Plan all prepared by Guajardo REC and Griskells Young and Harrell and dated May 17, 2007. Full-size copies of the above mentioned drawings are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the

Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The Property within the Planned Development is indicated on the Planned Development Boundary and Property Line Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property:

Subarea A: Residential dwelling units; business and retail uses; and accessory uses including parking and loading.

Subarea B: Business and retail uses including financial institutions and drive through facilities associated therewith; and accessory uses including parking and loading.

6. Temporary signs such as construction and marketing signs shall be permitted subject to the review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Off-Premise signs shall not be permitted within the Planned Development.
7. Off-street parking shall be provided in compliance with this Planned Development subject to the review and approval of the Department of Transportation. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation.
8. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
9. The improvements depicted on the Site Plan and Elevations, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan and Elevations.

10. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this Planned Development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.
 11. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. To that end, the Applicant shall provide a vegetated ("green") roof on at least fifty percent (50%) of the net roof area of the residential building in Subarea A and twenty-five percent (25%) of the net roof area of the proposed new building in Subarea B. "Net roof area" is defined as total roof area minus any required perimeter setbacks, rooftop structures, and roof-mounted equipment.
 12. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
 13. Unless substantial construction of the improvements contemplated by this Planned Development has commenced within six (6) years of the effective date hereof and unless completion of those improvements is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to the C1-2 Neighborhood Commercial District classification. The six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.
 14. Notwithstanding any statement to the contrary, this Planned Development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where
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a provision of this Planned Development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this Planned Development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.

[Existing Zoning Map; Boundary, Property Line and Subarea Map; Site Plan; Landscape Plan; North, South, East and West Elevations; Subarea B Elevations; and Green Roof Plan referred to in these Plan of Development Statements printed on pages 5289 through 5301 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development Number 1067.

*Plan Of Development Bulk Regulations
And Data Table.*

Gross Site Area (89,540.50 square feet (2.06 acres)) = Net Site Area (57,231.85 square feet (1.31 acres)) + Area Remaining in Public Right-of-Way (32,308.65 square feet (.74 acres))

Maximum Permitted Floor
Area Ratio:

3.5

Permitted Uses:

See Statement Number 5 of this Planned Development

Setbacks from Property Line:

In substantial conformance with Site Plan and the following minimum setbacks:

14th Place: 1.5 feet

Blue Island
Avenue:

Subarea A: None

Subarea B: 2.5 feet

15th Street: None

Racine Avenue:

Subarea A: None

Subarea B: 30 feet

Maximum Percentage of
Site Coverage:

In substantial conformance with the Site
Plan

Maximum Number of
Dwelling Units:

Subarea A: 130

Subarea B: None

Minimum Number of Off-Street
Parking Spaces:

Subarea A: 1 space per dwelling unit

Subarea B: 19 spaces

Minimum Number of Off-Street
Loading Berths:

Subarea A: None

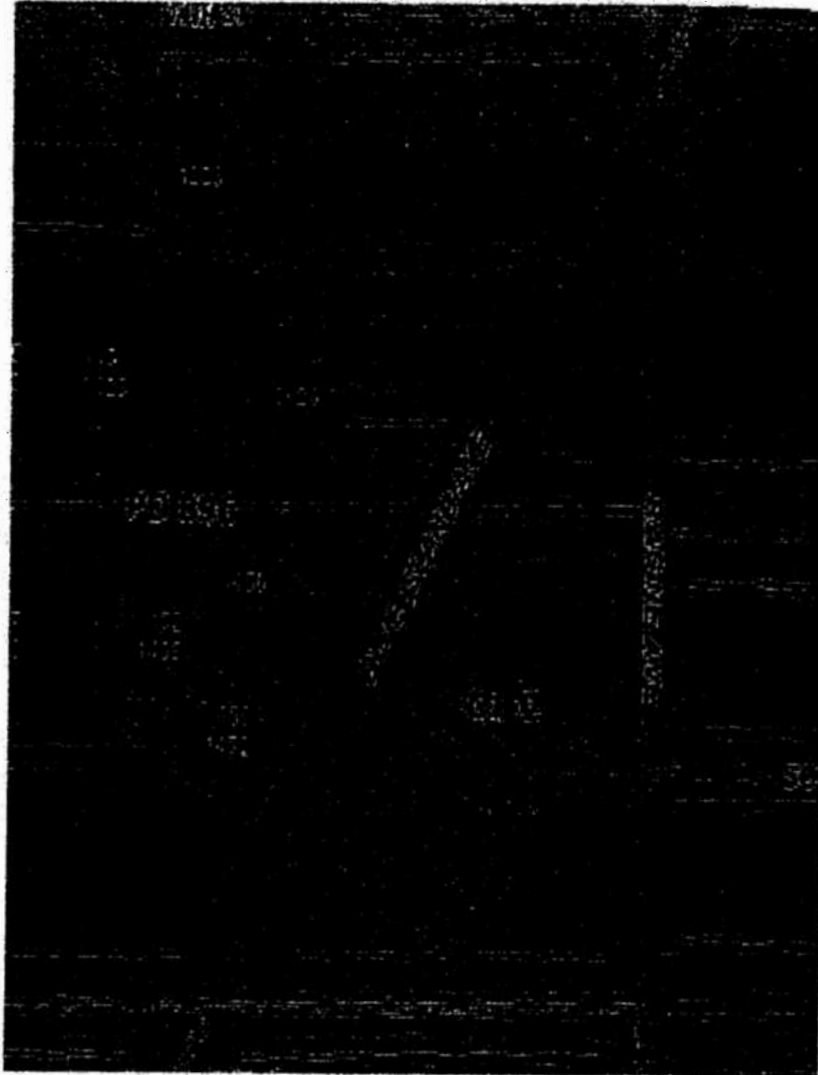
Subarea B: None

Maximum Building Height:

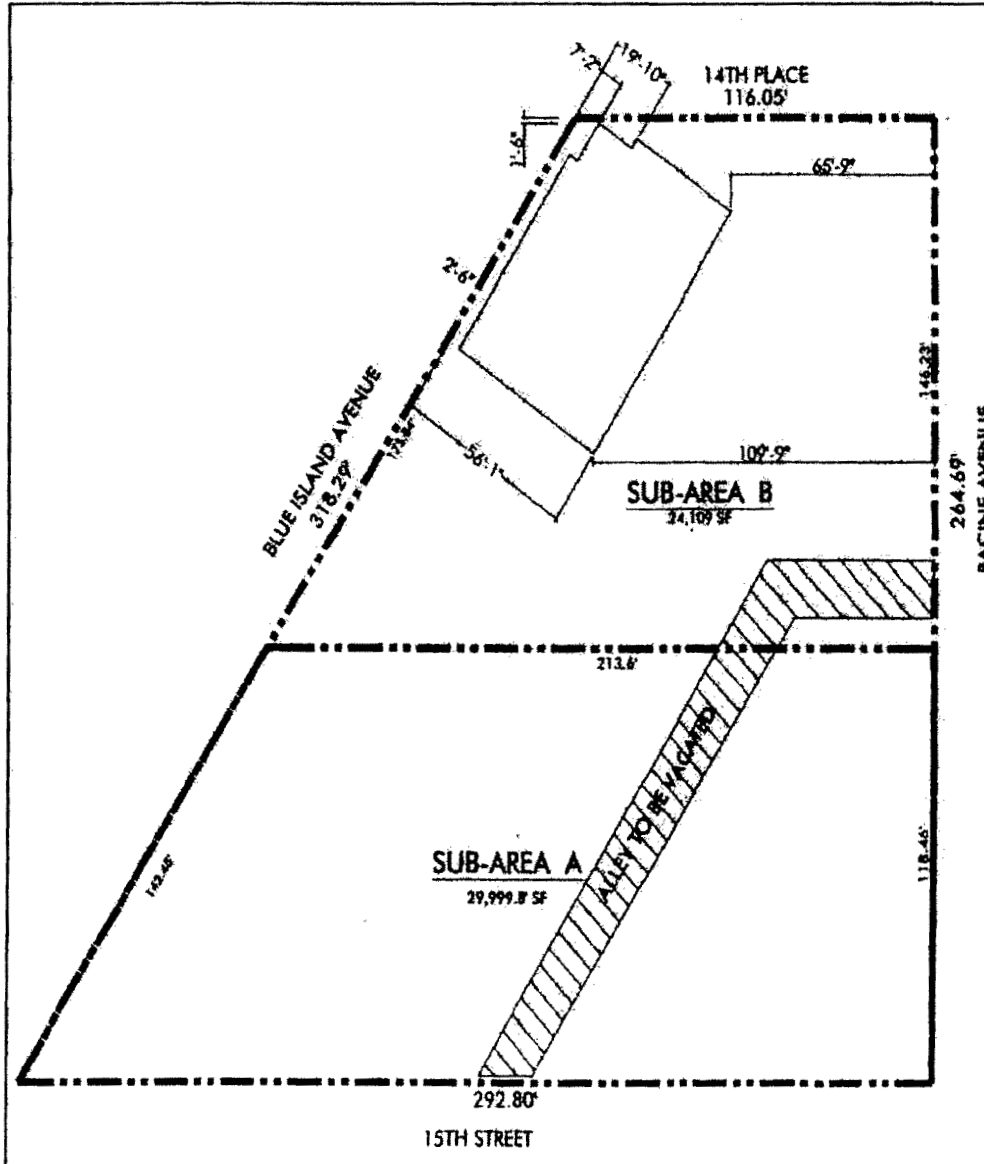
Subarea A: 126 feet

Subarea B: 17 feet, 8 inches, excluding tower
element.

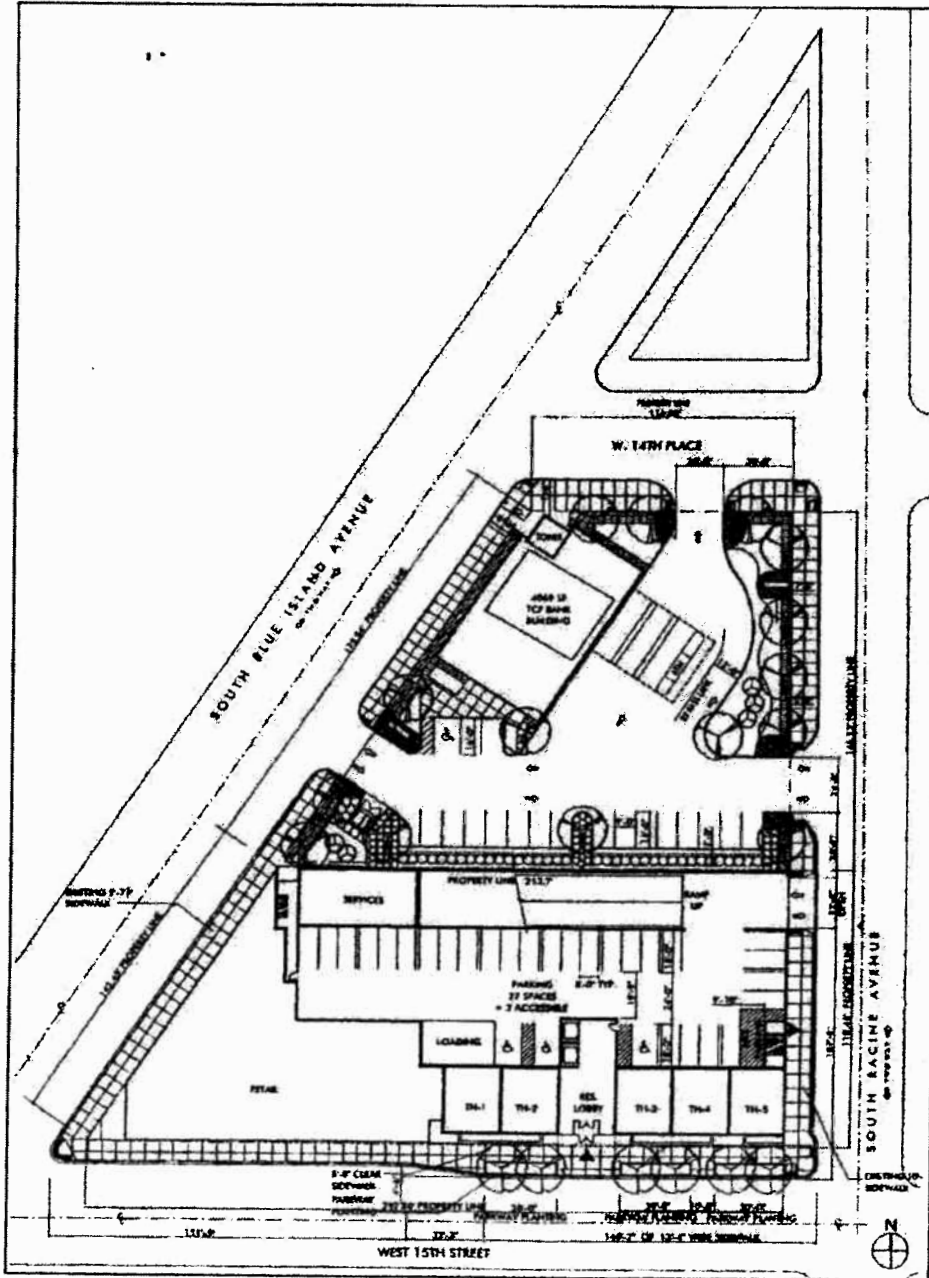
Existing Zoning Map.



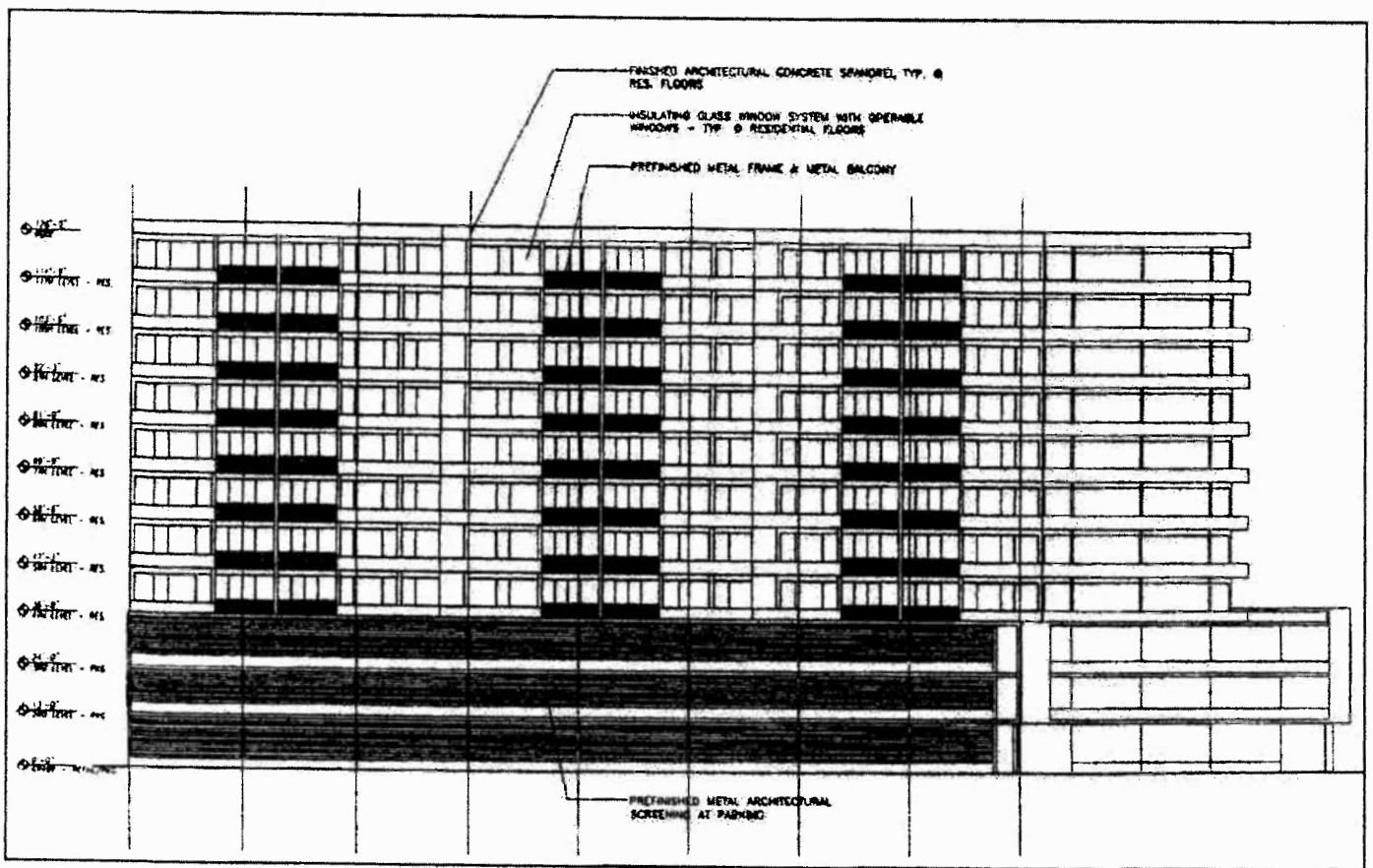
Boundary, Property Line
And Subarea Map.



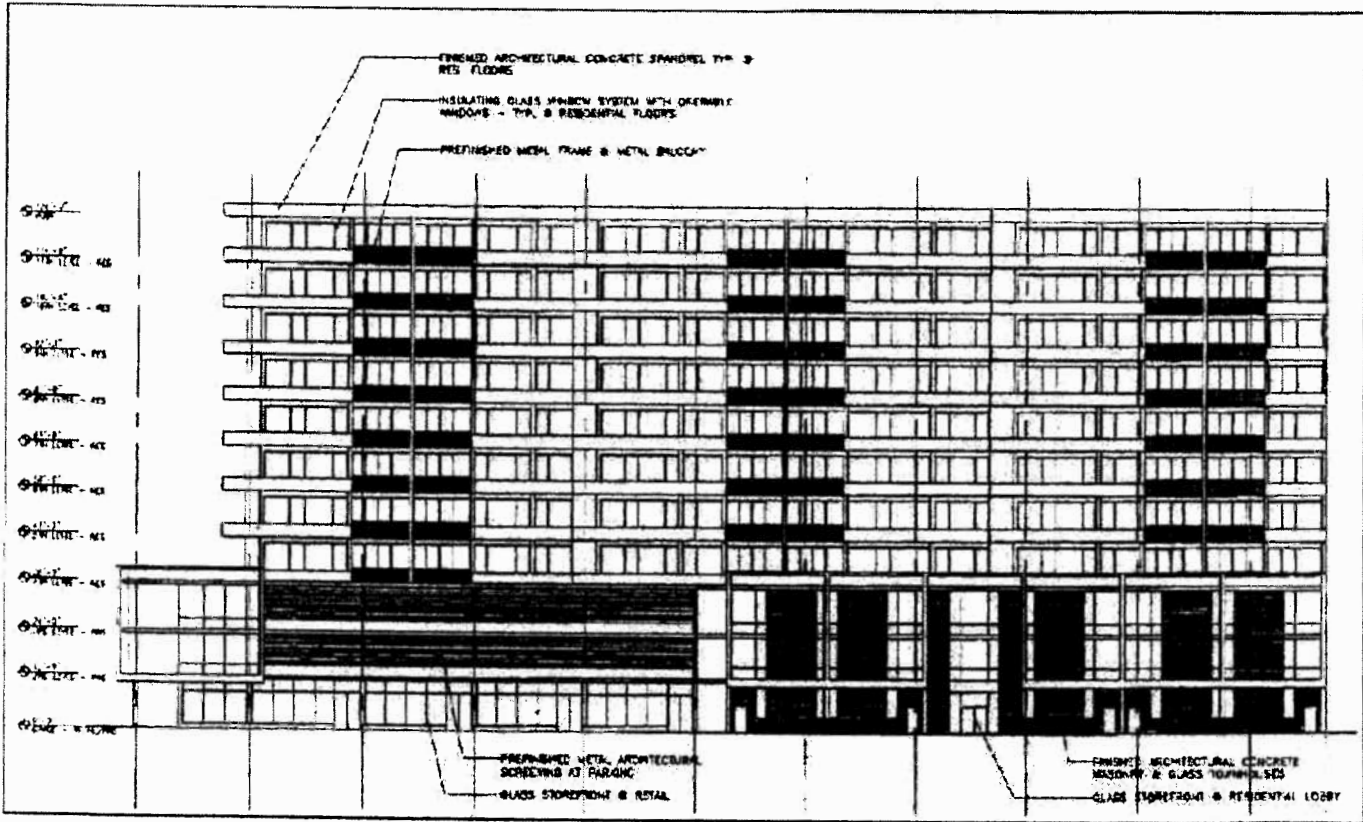
Site Plan.



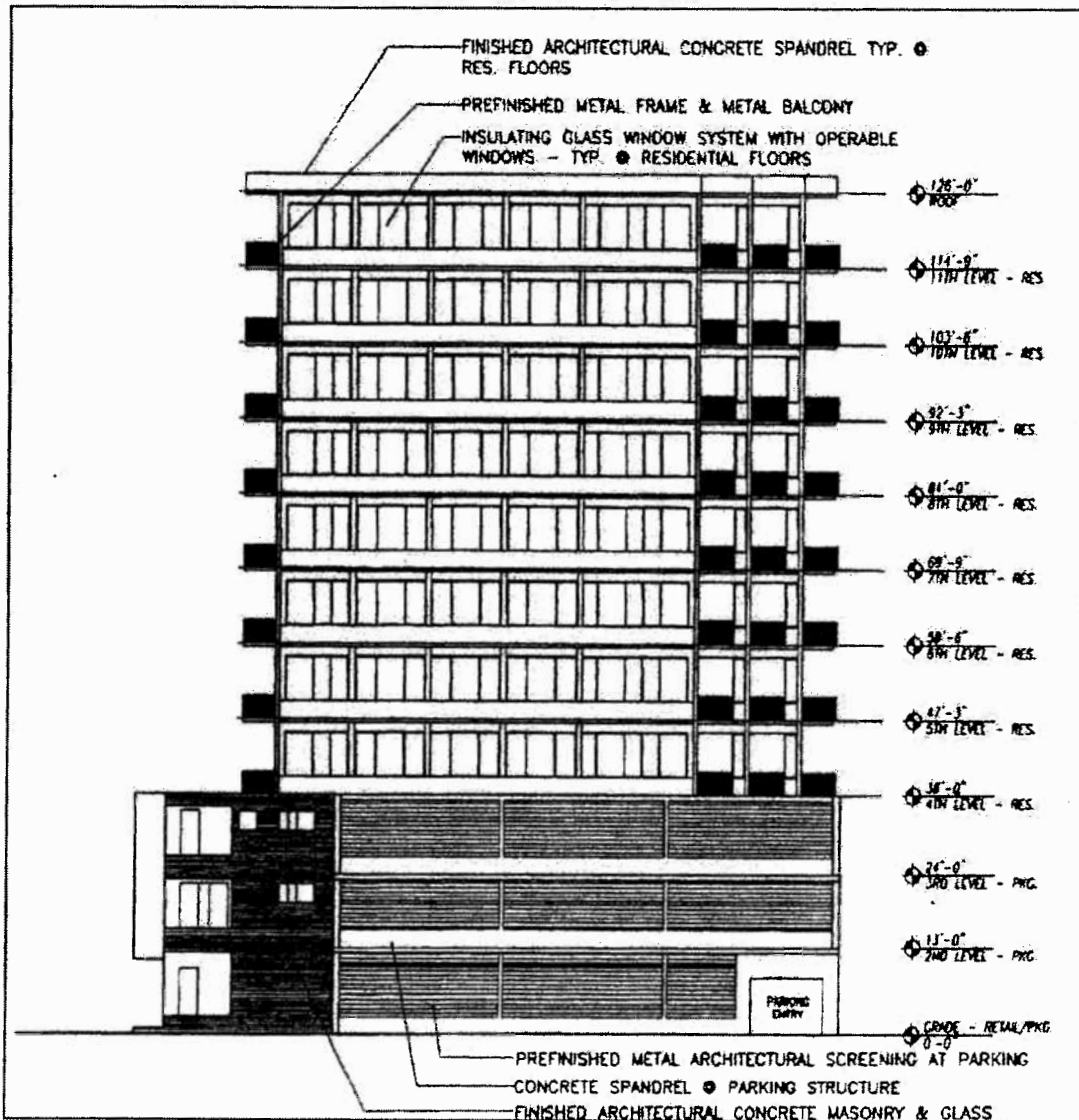
North Elevation.



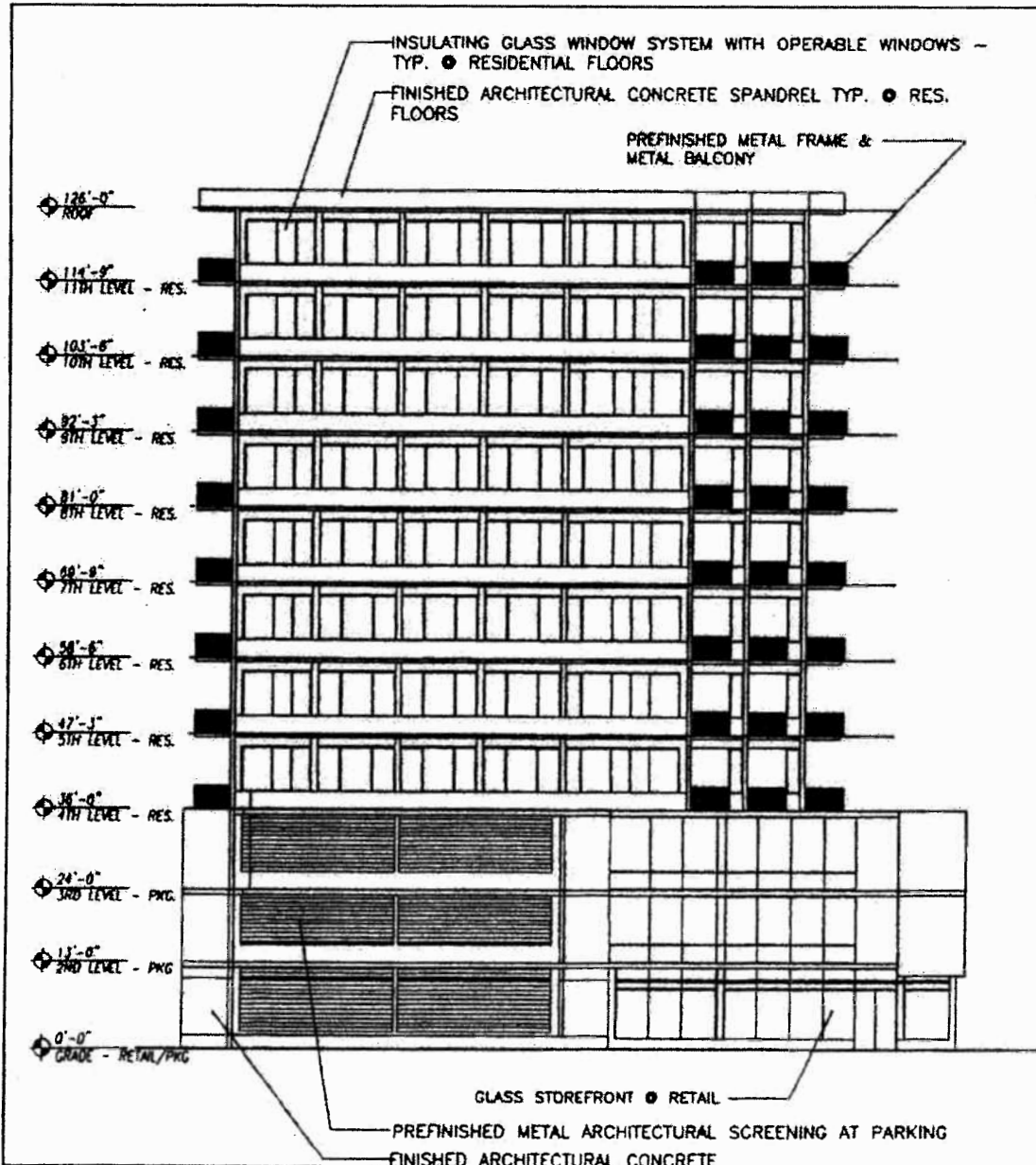
South Elevation.



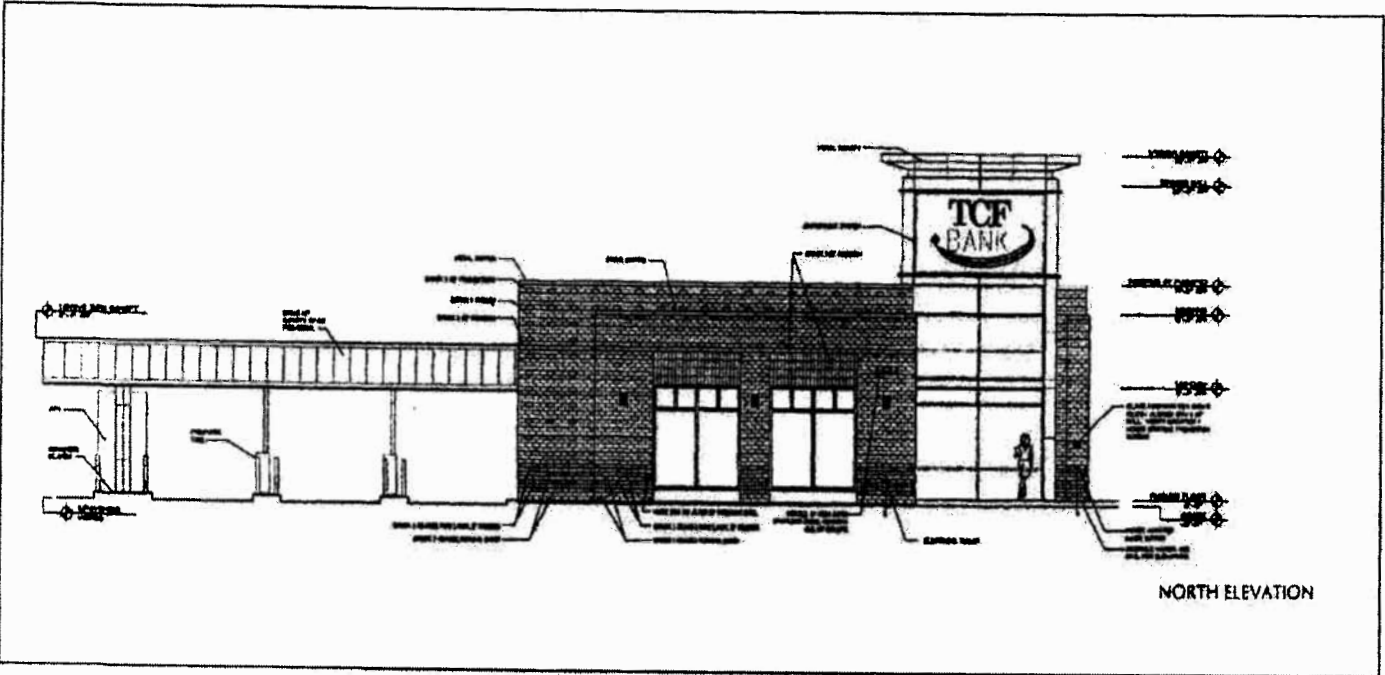
East Elevation.



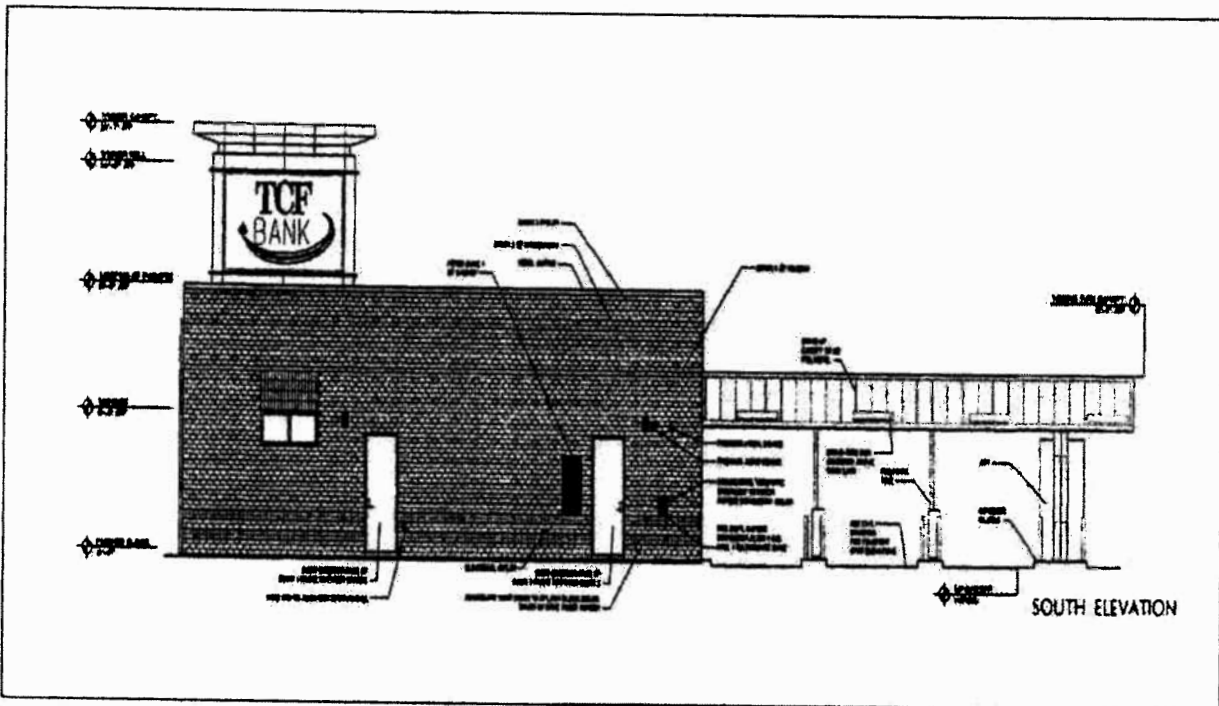
West Elevation.



Subarea "B" -- North Elevation.



Subarea "B" -- South Elevation.

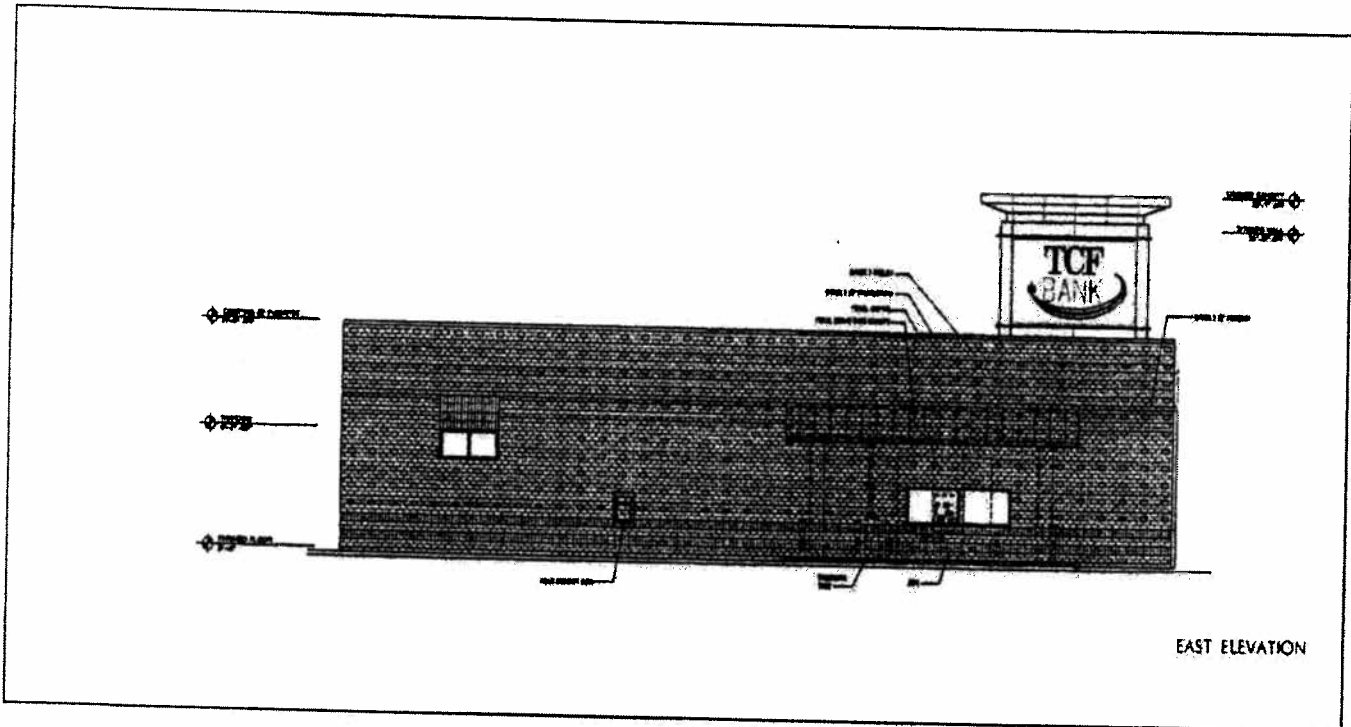


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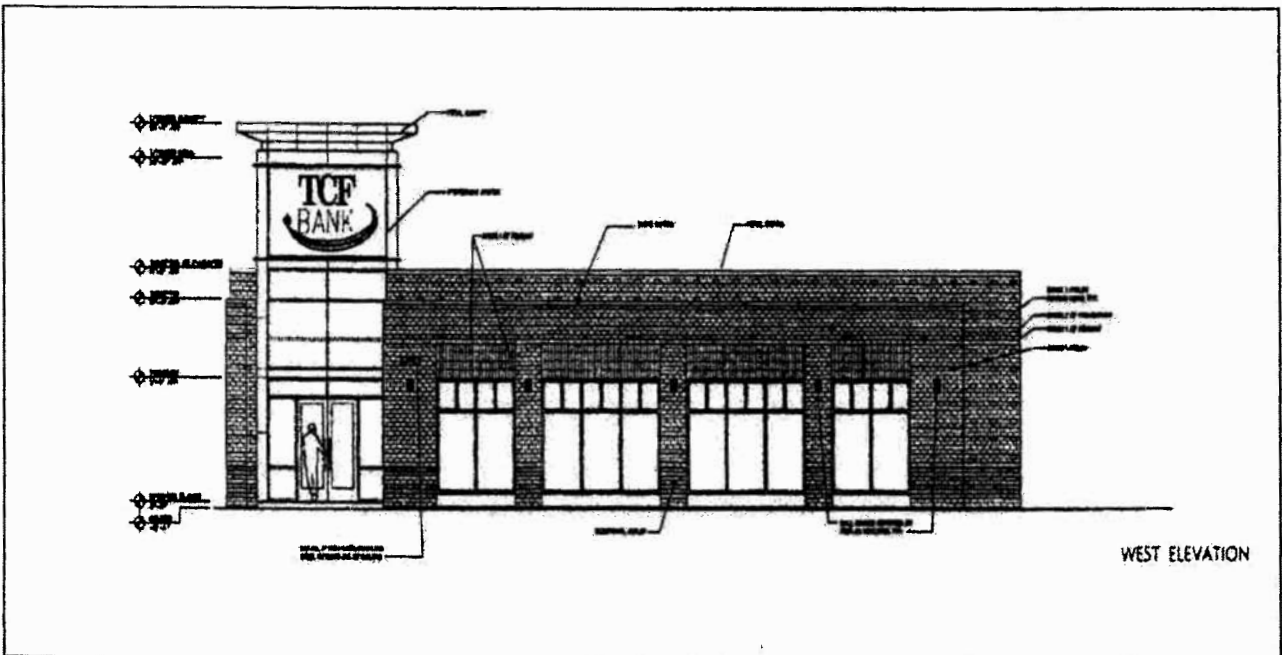
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Subarea "B" -- East Elevation.



Subarea "B" -- West Elevation.



Green Roof Plan.

