

PD 1064

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5/9/2007

REPORTS OF COMMITTEES

15619
106107

*Reclassification Of Area Shown On Map Number 16-C.
(As Amended)
(Application Number 15619)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the RM6 Residential Multi-Unit District symbols and indications as shown on Map Number 16-C in the area bounded by:

a line 199.85 feet north of East 68th Street; South South Shore Drive; East 68th Street; and the alley next west of South South Shore Drive,

to those of an RM6.5 Residential Multi-Unit District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the RM6.5 Residential Multi-Unit District symbols and indications as shown on Map Number 16-C in the area bounded by:

a line 199.85 feet north of East 68th Street; South South Shore Drive; East 68th Street; and the alley next west of South South Shore Drive,

to those of a Residential Planned Development which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Planned Development. 1064

Plan Of Development Statements.

1. The area delineated herein as a Residential Planned Development (the "Planned Development") consists of approximately thirty-five thousand eight hundred sixty-five (35,865) square feet (eighty-two hundredths (0.82) acre) of real property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and is owned or controlled by the applicant, South Shore View, L.L.C.

2. The applicant or its successors, assignees or grantees shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustments of rights-of-way shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors, assignees or grantees and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors, assignees or grantees and, if different than the applicant, any legal titleholders and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. An agreement among property owners, the board of directors of any property owners association or condominium association, or a covenant binding property owners may designate the authorized party for any future amendment, modification or change.
4. This plan of development consists of fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; an Existing Land-Use Map; a Site/Landscape Plan; a First Floor Plan; East, South, North and West Building Elevations; a Green Roof Plan and Green Roof Calculations prepared by Johnson & Lee Architects and Hartshorne Plunkard Architecture dated April 19, 2007. A full-size set of the Site/Landscape Plan and the Building Elevations is on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.
5. Subject to the Bulk Regulations and Data Table, the following uses shall be permitted in this Planned Development: residential uses and related and accessory uses.
6. On-premise signs shall be permitted within the Planned Development

subject to the review and approval of the Department of Planning and Development. Temporary signs such as construction and marketing signs also shall be permitted subject to the review and approval of the Department of Planning and Development. Off-premise signs shall be prohibited.

7. Off-street parking and loading facilities shall be provided in accordance with the provisions of this Planned Development subject to the review and approval of the Departments of Transportation and Planning and Development. Any service drive or other ingress or egress shall be adequately designed and paved, in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency areas. Tandem parking spaces shall be permitted within the Planned Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. In addition to the maximum height of buildings and any appurtenances attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
9. The improvements on the Property shall be designed, constructed and maintained in substantial conformance with this Planned Development. Landscaping shall be installed in accordance with the Site/Landscape Plan and maintained in accordance with the parkway tree planting and parking lot landscaping provisions of the Chicago Zoning Ordinance. A dog run containing approximately five hundred thirty (530) square feet will be provided at the fourth (4th) floor level, as depicted on the Fourth Floor Plan.
10. Notwithstanding any statement to the contrary, this Planned Development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this Planned Development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this Planned Development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
11. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance in effect as of the date of adoption of this Planned Development shall apply; provided, however, that in addition to

the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, floor area devoted to mechanical equipment on the roof of the building and floor area devoted to mechanical equipment that occupies a contiguous area of one thousand (1,000) square feet or more, regardless of location in the building, shall be excluded.

12. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the applicant or its successors, assignees or grantees and after a determination by the Commissioner that such a modification is minor, appropriate and consistent with the nature of the development of the Property contemplated herein and will not result in increasing the maximum floor area ratio for the total net site area or the maximum number of units for the total net site area established in this Planned Development. Any such modification shall be deemed a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. The applicant shall use its best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development. The applicant agrees to install green roof area equal to at least twenty-five percent (25%) (approximately six thousand nine hundred fifty (6,950) square feet of green roof) of the net roof area (approximately twenty-seven thousand five hundred one (27,501) square feet), as depicted on the Green Roof Plan. "Net roof area" is defined as total roof area minus any required perimeter setbacks, rooftop structures and roof mounted equipment. Water surface of any rooftop pools shall count as green roof area.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.

15. Unless substantial construction of the improvements contemplated in this Planned Development has been commenced within six (6) years following adoption of this ordinance, and unless completion thereof is diligently pursued, this Planned Development shall expire and the zoning classification of the Property shall revert to that of an RM6 Residential Multi-Unit District.

[Existing Zoning Map; Planned Development Boundary and Property Line Map; Existing Land-Use Map; Site/Landscape Plan; First Floor Plan; Building Elevations; and Green Roof Plan referred to in these Plan of Development Statements printed on pages 106113 through 106122 of this *Journal*.]

Bulk Regulations and Data Table and Green Roof Calculations referred to in these Plan of Development Statements read as follows:

Residential Planned Development Number 1064.

Plan Of Development Bulk Regulations And Data Table.

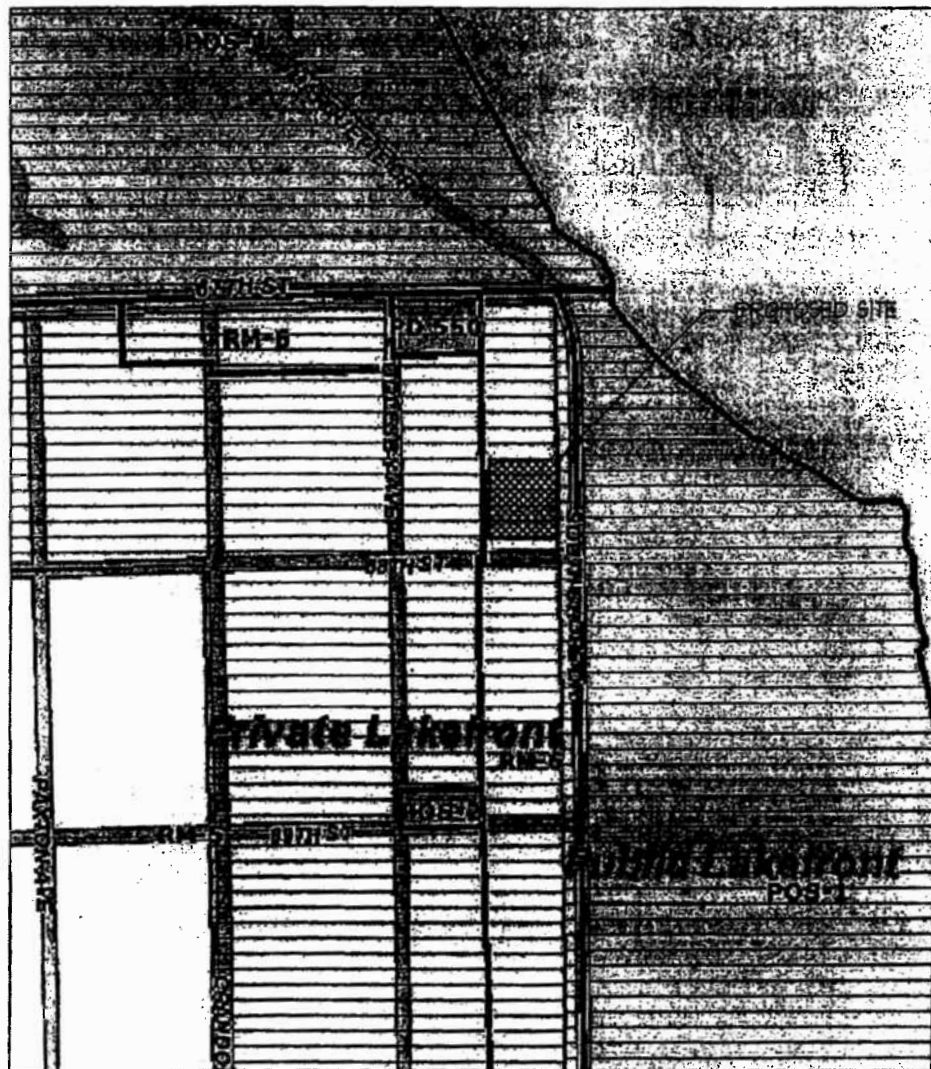
Gross Site Area = Net Site Area + Areas Remaining in Public Rights-of-Way
(47,985 square feet (1.1 acres) = 35,865 square feet (0.82 acre) + 12,120 square feet (0.28 acre).

Permitted Uses:	Residential uses and related and accessory uses
Maximum Floor Area Ratio:	5.50
Maximum Number of Dwelling Units:	132
Minimum Number of Off-Street Parking Spaces:	170
Minimum Number of Off-Street Loading Berths:	1
Setbacks:	In accordance with the Site/Landscape Plan
Minimum Bicycle Spaces:	50 spaces
Maximum Height:	216 feet

Green Roof Calculations.

Floor	Roof Type	Area
4 th Floor	Roof Deck	9,718 square feet
	Dog Run	530 square feet
	Green Roof	4,437 square feet
	Pool (water surface area = green roof)	720 square feet
	Integral Planters (green roof)	785 square feet
	Mechanical Roof	1,920 square feet
	Exposed Roof	2,321 square feet
	Total Roof Area	20,431 square feet
5 th Floor	Total Roof Area	1,116 square feet
Main Roof	Green Roof	1,008 square feet
	Mechanical Roof	1,920 square feet
	Exposed Roof	7,085 square feet
	Total Roof Area	10,013 square feet
Main Roof	Mechanical Roof	1,293 square feet
	Total Roof Area	1,293 square feet
	Total Roof Area	32,853 square feet
	Total Mechanical Roof Area	5,352 square feet
	Net Roof Area	27,501 square feet
	Green Roof Factor	25%
	Total Green Roof Required	6,875 square feet
	Total Green Roof Provided	6,950 square feet
	25.3%	

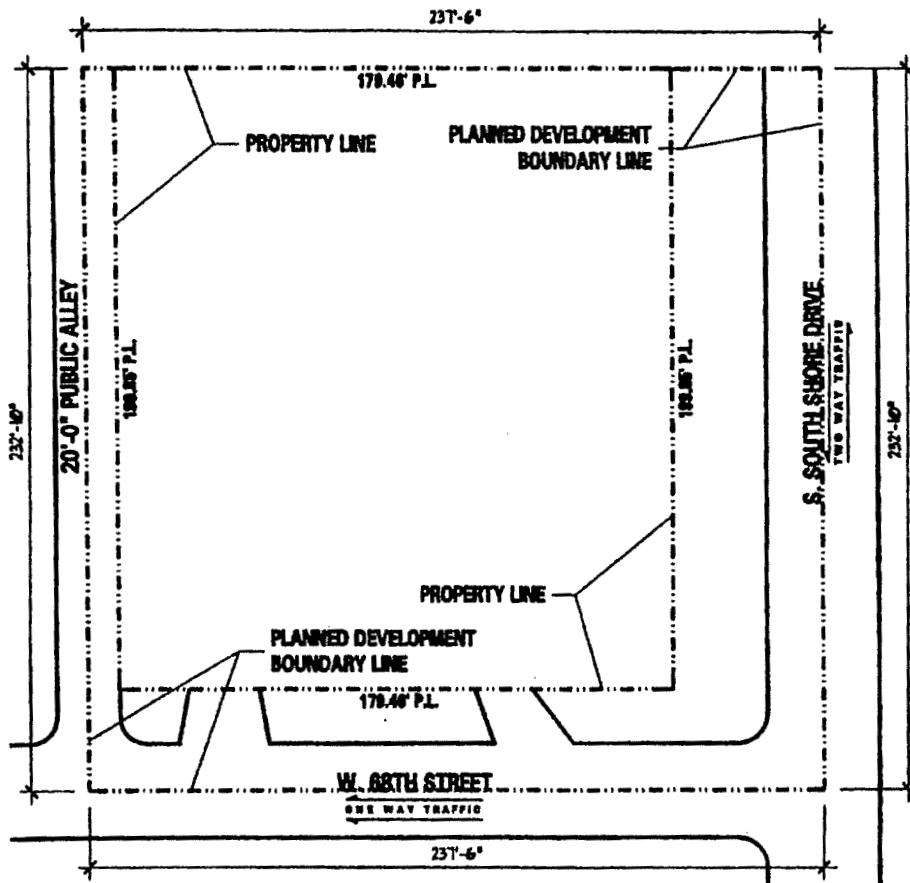
Existing Zoning Map.



① EXISTING ZONING MAP
NTS



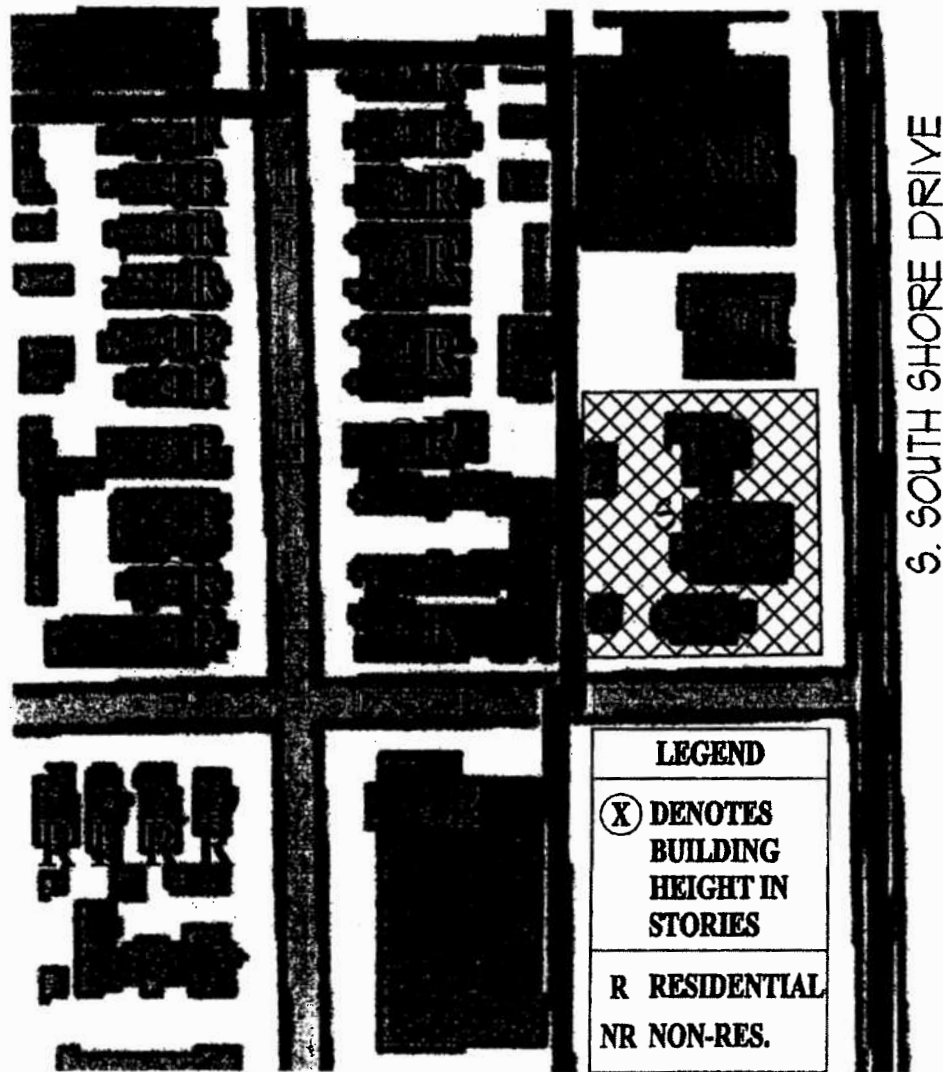
Planned Development Boundary And Property Line Map.



1 PLANNED DEVELOPMENT BOUNDARY & PROPERTY LINE MAP
NTS



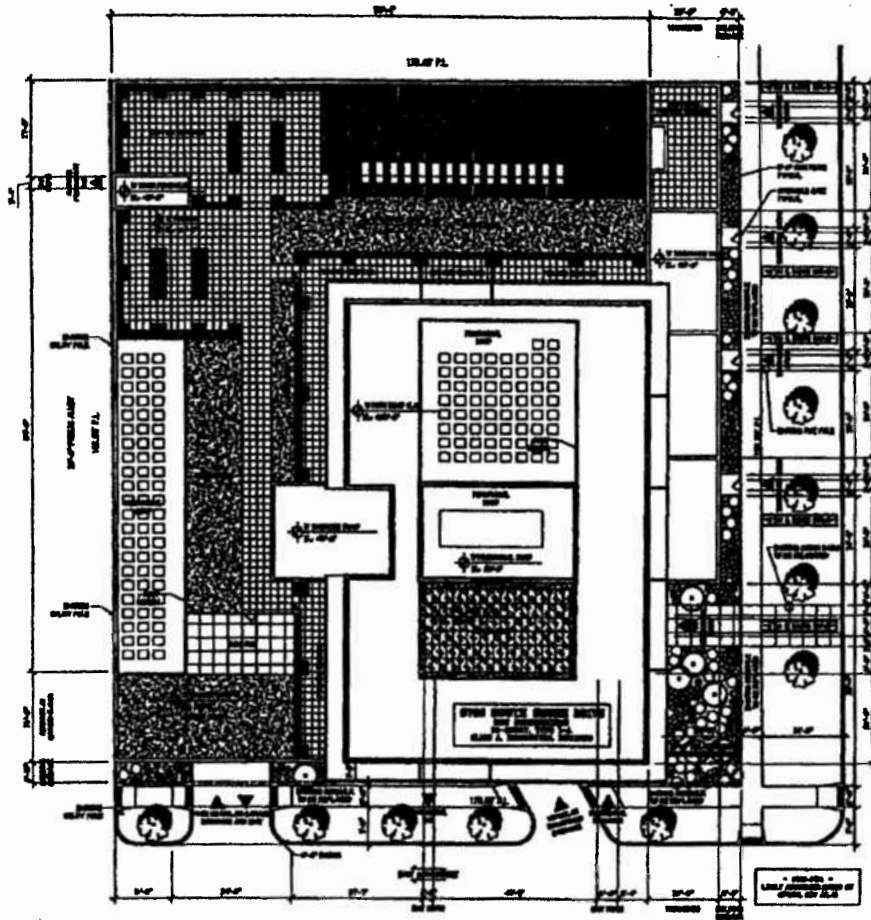
Existing Land-Use Map.



① EXISTING LAND USE MAP
KTS



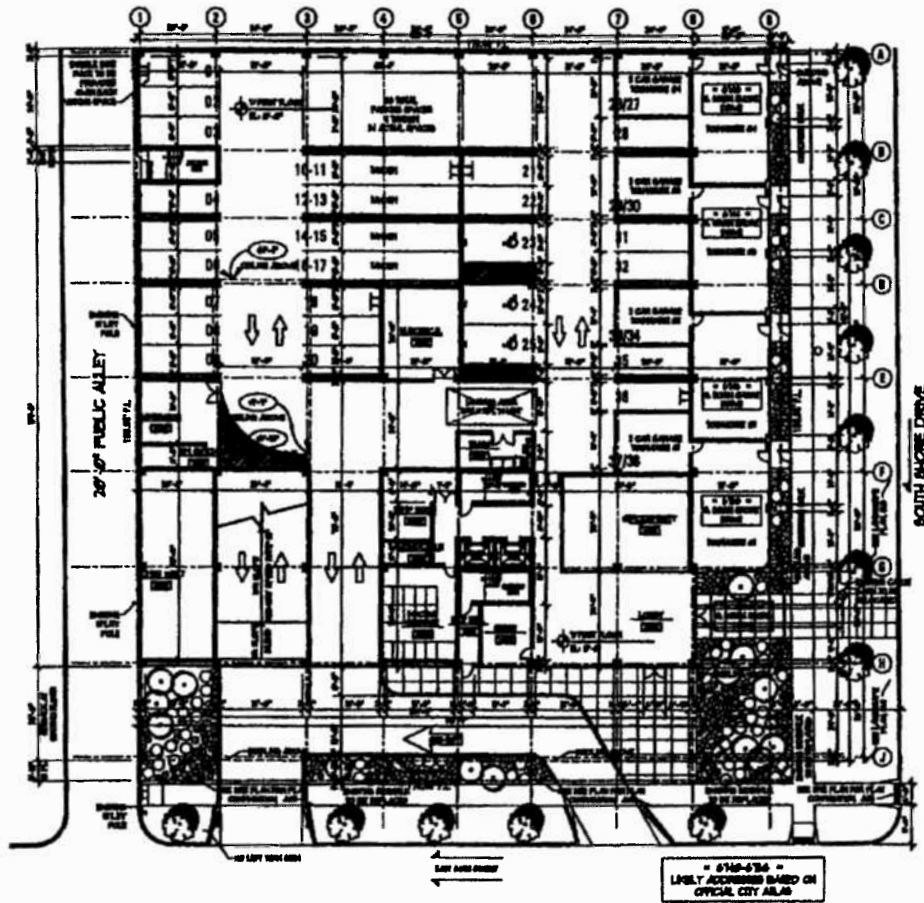
Site/Landscape Plan.



1 SITE / LANDSCAPE PLAN
NTS

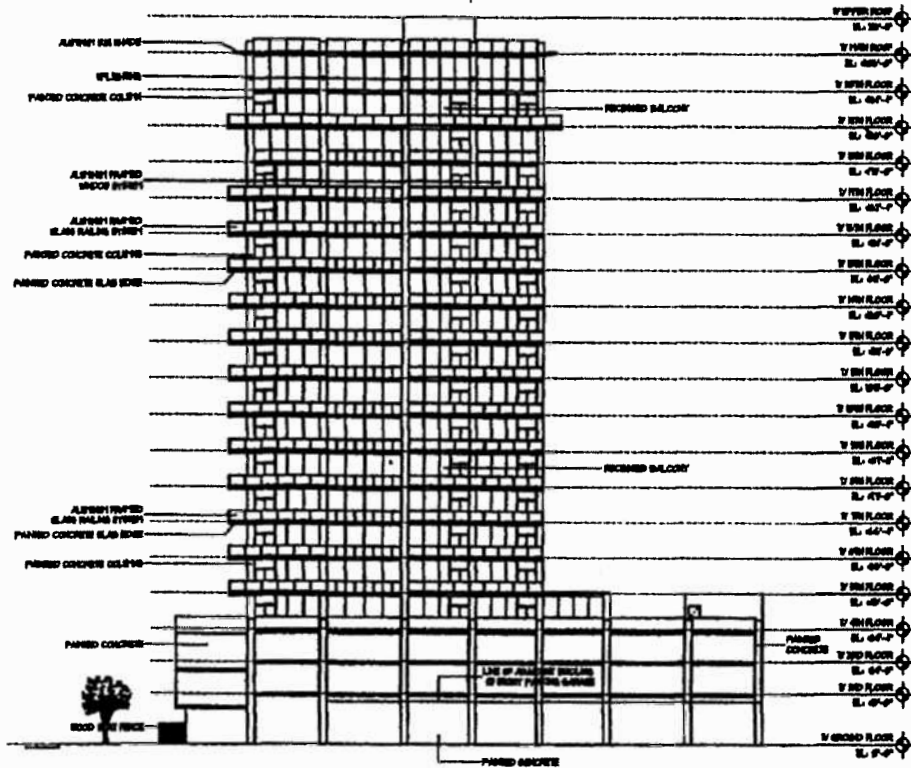


First Floor Plan.



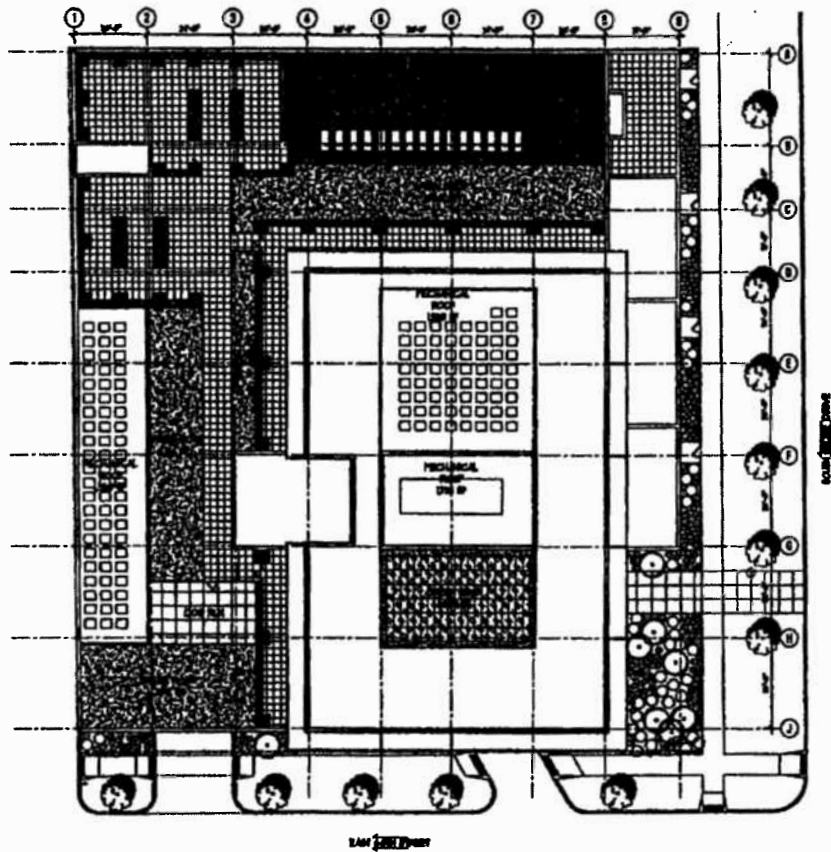
1 FIRST FLOOR PLAN
NTS

North Elevation.



1 NORTH ELEVATION
NTS

Green Roof Plan.



1 GREEN ROOF PLAN
MTS

