

PD 1063

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5/9/2007

REPORTS OF COMMITTEES

16062
106081

*Reclassification Of Area Shown On Map Number 12-I.
(As Amended)
(Application Number 16062)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 12-I in the area bounded by:

West 48th Street; South Washtenaw Avenue; a line 299.12 feet north of and parallel to West 48th Street; and South Talman Avenue,

to those of an RM4.5 Residential Multi-Unit District then to a Residential Planned Development.

SECTION 2. This ordinance takes effect after its passage and approval.

Plan of Development Statements attached to this ordinance read as follows:

Residential Planned Development Number 1063.

Plan Of Development Statements.

1. The area delineated herein as Residential Planned Development Number 1063 consists of approximately seventy-four thousand nine hundred sixty-one (74,961) square feet (one and seventy two-hundredths (1.72) of an acre) and is owned or controlled by the applicant, Lexington Homes, L.L.C. (the "Applicant").
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of street or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and if

different than the Applicant, then to the owners of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time any application for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for the purpose of this paragraph shall mean any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors.

4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Boundary, Property Line Map; a Site Plan; a Landscape Plan; Green Roof Plan; Elevations and Floor Plans, dated February 7, 2007 prepared by Hartshorne and Plunkard Architects which are incorporated herein. Full size sets of the Site Plan, Rooftop Plan, Landscaping Plan and Building Elevations are on file with the Department of Planning and Development. This planned development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall apply.
5. The following uses shall be permitted within the area delineated herein as Residential Planned Development Number *1063*, a total of sixty-six (66) residential units to be located within residential buildings consisting of single-family residences, two-flats, three-flats, and townhouse buildings with accessory uses, accessory parking.
6. On-premises signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.
7. Off-street parking shall be provided in compliance with this planned development subject to the review of the Department of Transportation and the approval of the Department of Planning and Development.
8. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of

the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

9. The height of any building and any appurtenance hereto shall not exceed the height established within the Bulk Regulations and Data Table and Building Elevations and shall also be subject to height limitations approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio for the parcel shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of floor area ratio ("F.A.R.") calculations and floor area measurements, the definition in the Chicago Zoning Ordinance shall apply.
11. Improvements to the property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial conformance with the Bulk Regulations and Data Table, the Site Plan, and the Landscape Plan attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the applicable standards of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
12. The terms, conditions and exhibits of this planned development may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such modification is minor, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereto. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be minor change in the planned development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance. Such minor changes may include a reduction in periphery setbacks.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of nature resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System ("L.E.E.D."). The Applicant will provide Vegetative ("green") roof totaling twenty-five percent (25%) of the net roof areas to be constructed within the Planned Development. ("Net roof area") shall be defined as the

total area of the roofs minus perimeter setbacks, rooftop structures and roof mounted equipment.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. Unless substantial construction of the improvement contemplated within this planned development has commenced within six (6) years following adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the property shall automatically convert to that of an RM-4.5 Residential Multi-Unit District. This six (6) year period may be extended for up to one (1) additional year if, before expiration of the six (6) year period, the Commissioner of Planning and Development determines that good cause for an extension is shown.

[Bulk Regulations and Data Table; Exhibit 1 -- Existing Zoning Map; Exhibit 2 -- Existing Land-Use Map; Exhibit 3 -- Planned Development Boundary and Property Line Map; Exhibit 4 -- Site Plan; Exhibit 5A -- Landscape Plan; Exhibit 5B -- Green Roof Plan; Exhibit 5C -- Details; Exhibits 6A -- 6D -- Townhouse Floor Plans; Exhibits 7A and 7B -- Townhouse Elevations; Exhibits 8A -- 8D -- Three-Flat Floor and Roof Plans; and Exhibits 9A and 9B -- Three-Flat Elevations referred to in these Plan of Development Statements printed on pages 106086 through 106105 of this *Journal*.]

Table of Bulk Regulations and Controls referred to in these Plan of Development Statements reads as follows:

Residential Planned Development Number 1063
Table Of Bulk Regulations And Controls.

| | |
|---------------------------|--------------------------------------|
| Gross Site Area: | 104,686 square feet (2.40 acres) |
| Public Street and Alleys: | 29,725 square feet (0.68 of an acre) |

| | |
|---|--|
| Net Site Area: | 74,961 square feet (1.72 acres) |
| Maximum Floor Area Ratio: | 1.7 |
| Permitted Uses: | Residential Uses, Related and Accessory uses as listed in Statement Number 5. |
| Maximum Number of Dwelling Units: | 66 Residential units |
| Maximum Number of Off-Street Parking Spaces to be provided: | |
| Townhouse Units: | 2 spaces for each residential unit |
| Other Residential Units: | 1 space for each residential unit |
| Minimum Loading Berths: | None |
| Maximum Percent of Land Covered: | In substantial conformance with the attached Site Plan |
| Maximum Building Heights: | |
| Townhouse Units: | 30 feet, 7 inches |
| Other Residential Units: | 32 feet |
| *Minimum Front Set-Backs: | 12 feet (townhouse Units) 8 feet (other residential Units) |
| *Minimum Side Set-Backs: | 5 feet (Street) 0 feet (alley) townhouse units 2 feet other residential units |
| Minimum Rear Set-Back: | 30 feet (townhouses) 37 feet 8 inches (other residential units) |

* (Bay-windows and canopies are allowed up to 1 foot, 6 inches as an allowed encroachment within the front and side set-backs).

Bulk Regulations And Data Table

| | EXISTING | PROPOSED |
|---|--|---|
| ZONE | M1-2 | RM-4.5 |
| USE | UNKNOWN | RESIDENTIAL |
| SITE AREA | LOT A (FRONTING S. WASHTENAW): 37,457 SF | LOT A: 37,457 SF |
| | LOT B (FRONTING S. TALMAN): 37,504 SF | LOT B: 37,504 SF |
| | TOTAL: 74,961 SF | TOTAL: 74,961 SF |
| F.A.R. FLOOR AREA RATIO | 2.2 | 1.7 |
| MAX. AREA PER F.A.R. | LOT A (FRONTING S. WASHTENAW): 82,405 SF | LOT A: 63,878 SF |
| | LOT B (FRONTING S. TALMAN): 82,508 SF | LOT B: 63,758 SF |
| M.L.A./DWELLING UNIT | N/A | 700 SF/DWELLING UNIT |
| | | LOT A: 53 D.U. |
| | | LOT B: 53 D.U. |
| NUMBER OF DWELLING UNIT (ACTUAL) | N/A | LOT A: 33 D.U. |
| | | LOT B: 33 D.U. |
| FAR AREA (ACTUAL) | N/A | LOT A: 52,855 SF (MAX) |
| | | LOT B: 52,855 SF (MAX) |
| BUILDING HEIGHT | N/A | TOWNHOME: 30'-7" THREE FLAT: 31'-11" |
| PARKING | UNKNOWN | TOWNHOME: 48 TOTAL (2:1) THREE FLAT: 42 TOTAL (1:1) |
| LOADING | UNKNOWN | 0 |
| YARDS | | |
| FRONT | UNKNOWN | TOWNHOME: 12'-0" MIN. THREE FLAT: 8'-0" MIN. |
| SIDE | UNKNOWN | TOWNHOME: STREET: 5'-0" MIN. ALLEY: N/A THREE FLAT: 2'-0" MIN. |
| REAR | UNKNOWN | TOWNHOME: 30'-0" AT RES. FLRS. THREE FLAT: 37'-8" MIN. |

Exhibit 1.

Existing Zoning Map.

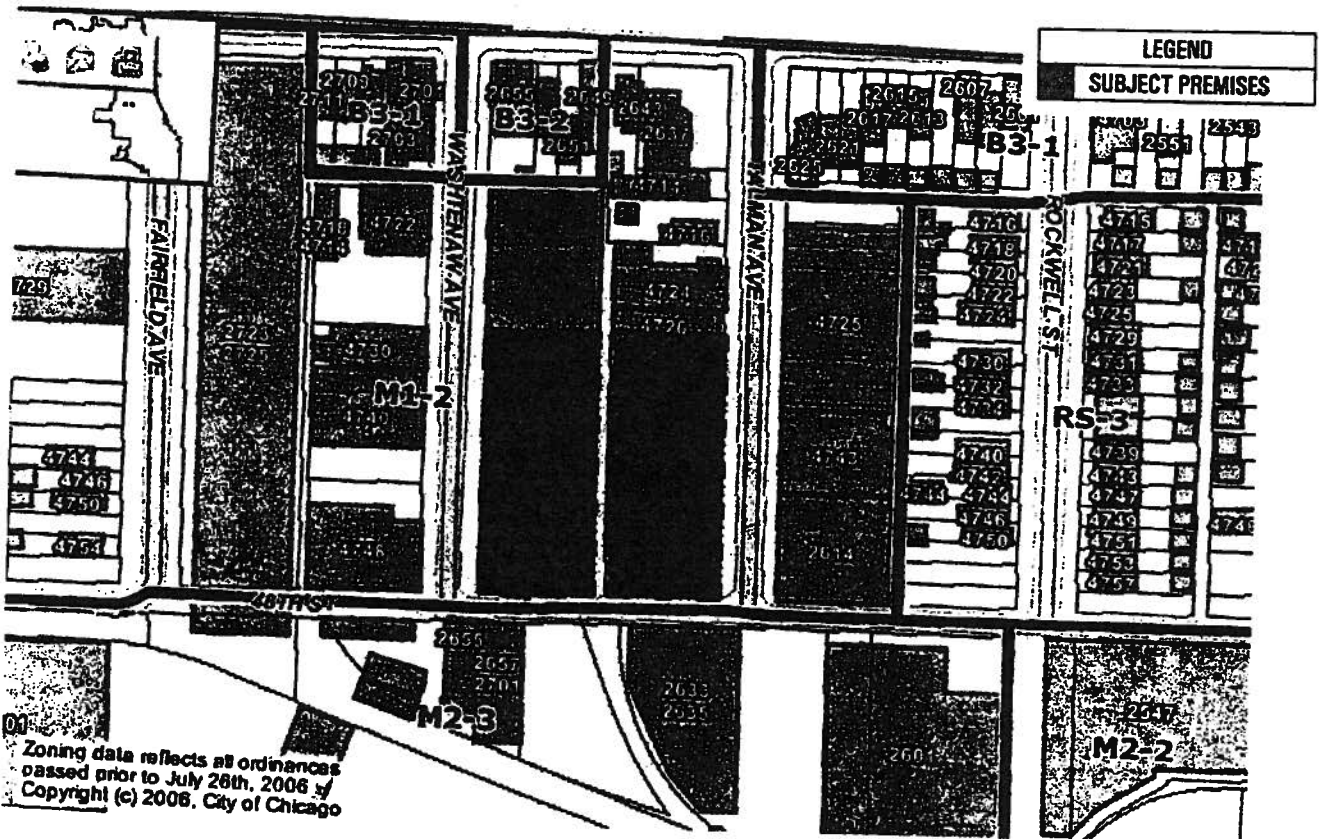


Exhibit 2.

Existing Land-Use.

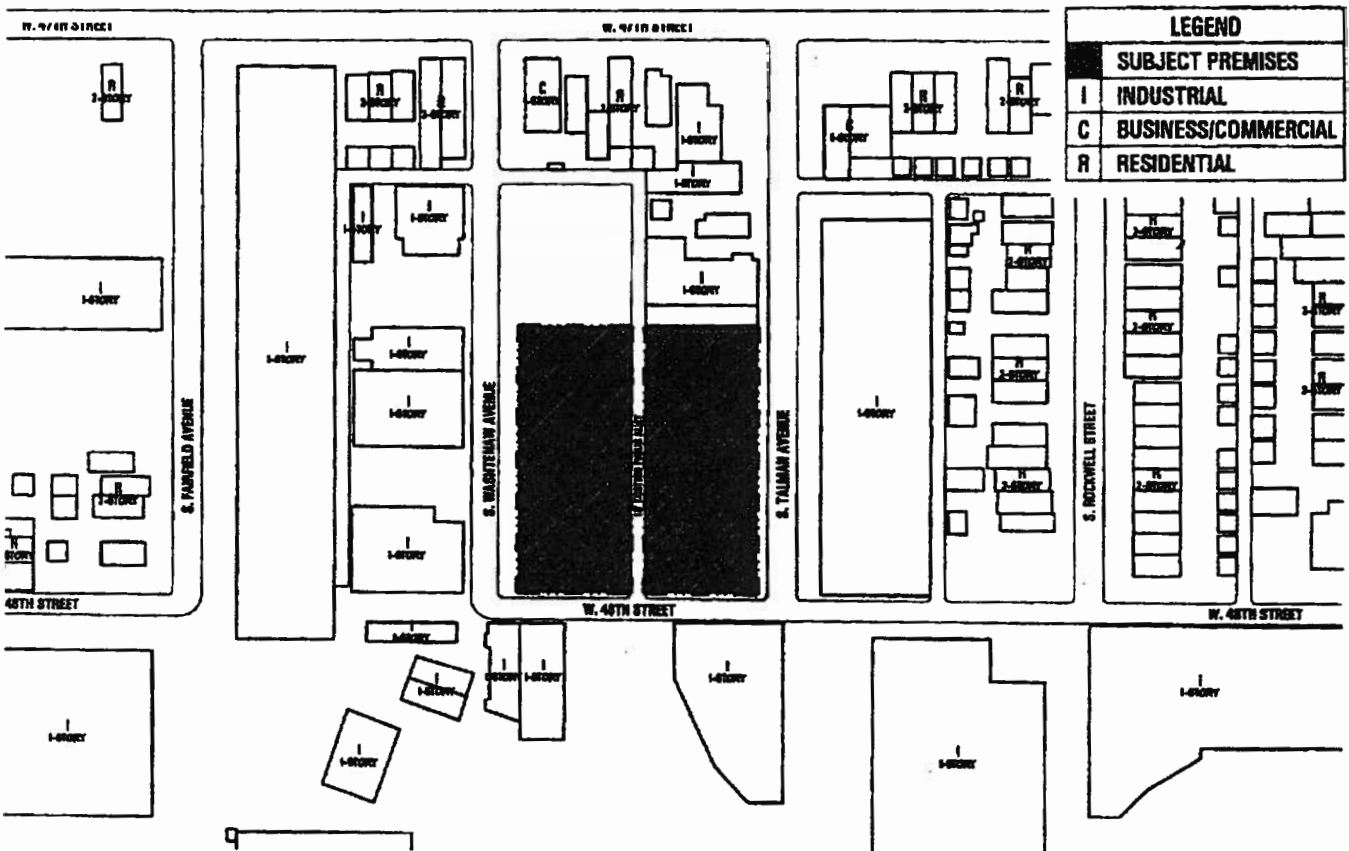


Exhibit 3.

Planned Development Boundary
And Property Line Plan.

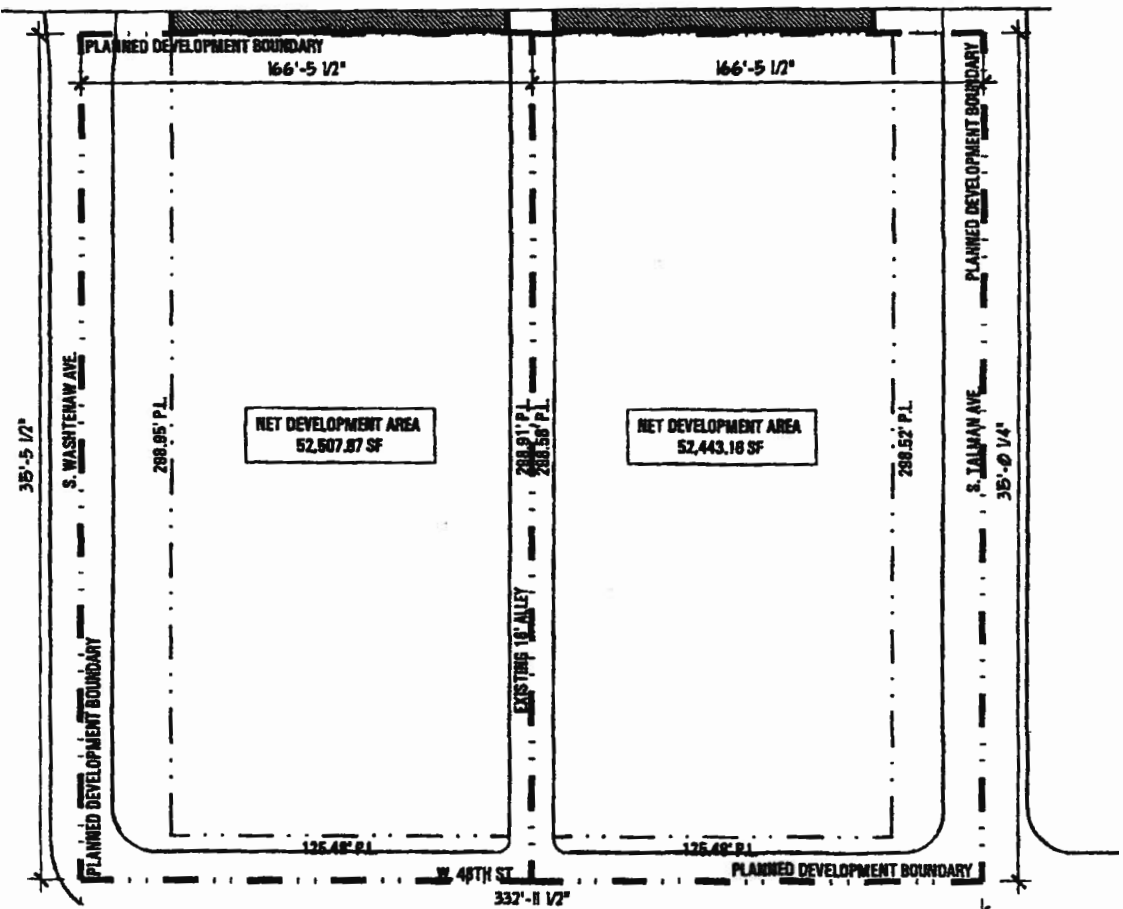


Exhibit 4.
Site Plan.

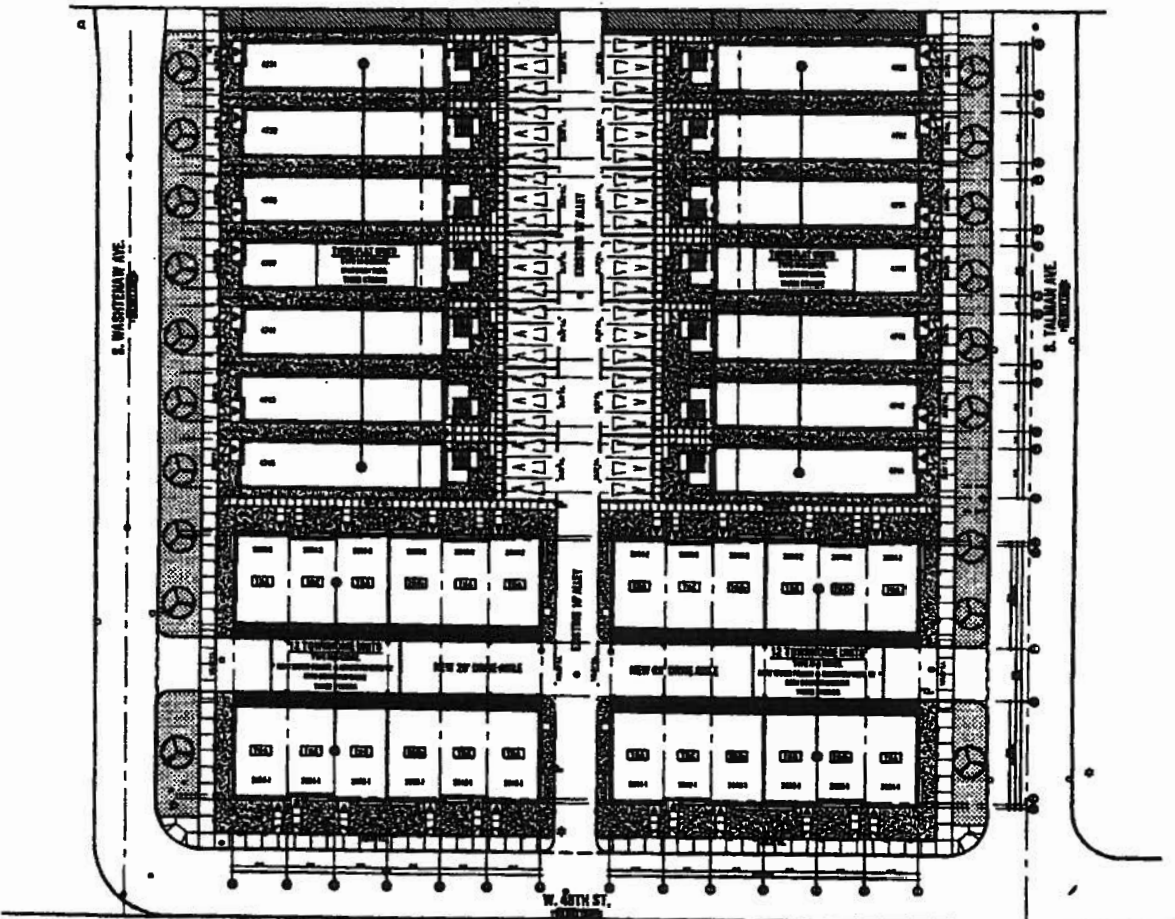
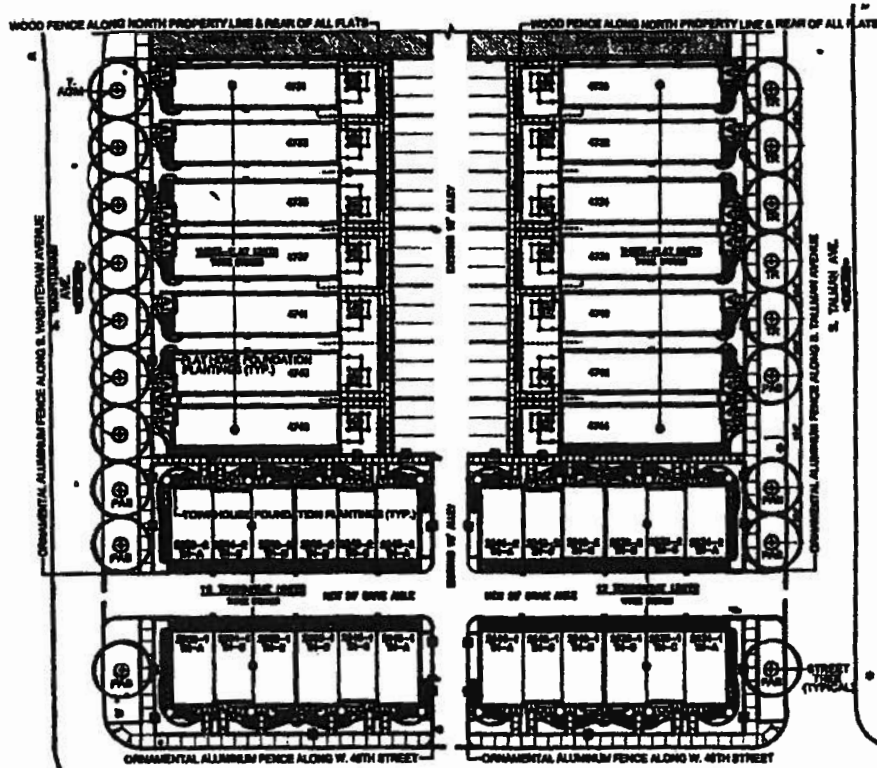


Exhibit 5A.

Landscape Plan.



GROUND LEVEL LANDSCAPE PLAN

SCALE 1" = 80'-0"

PLANT PALETTE

| Species | Planting Rate | Quantity | Species | Planting Rate | Quantity |
|-------------------------|---------------|----------|--------------------------------------|---------------|----------|
| STREET TREES | | | PERENNIALS & GROUNDCOVERS | | |
| Amelanchier alnifolia | 1' x 1' | 1 | Asplenium Platyneuron | 1' x 1' | 1 |
| Prunella serotina | 1' x 1' | 1 | Asplenium platyneuron | 1' x 1' | 1 |
| Prunella serotina | 1' x 1' | 1 | Asplenium platyneuron | 1' x 1' | 1 |
| ORNAMENTAL TREES | | | | | |
| Quercus macrocarpa | 1' x 1' | 1 | | | |
| Prunella serotina | 1' x 1' | 1 | | | |
| Prunella serotina | 1' x 1' | 1 | | | |
| DECIDUOUS SHRUBS | | | | | |
| Quercus macrocarpa | 1' x 1' | 1 | | | |
| Prunella serotina | 1' x 1' | 1 | | | |
| Prunella serotina | 1' x 1' | 1 | | | |
| EVERGREEN SHRUBS | | | | | |
| Quercus macrocarpa | 1' x 1' | 1 | | | |
| Prunella serotina | 1' x 1' | 1 | | | |
| Prunella serotina | 1' x 1' | 1 | | | |

GENERAL NOTES

- All tree tags and planting beds shall receive 1" of shredded hardwood mulch.
- Where planting beds join lot, planting beds shall have a beveled edge.
- Location of plant material may be slightly adjusted due to final location of site utilities and final engineering.
- All plant material shall be installed per the City of Chicago "Guide to the Chicago Landscape Ordinance". (See Exhibit 5C for street tree planting detail.)
- All grading medium shall be consistent with the specifications found in the City of Chicago "Guide to the Chicago Landscape Ordinance".
- Plant palette list on Exhibit 5A corresponds to ground level plantings.
- Plant palette list on Exhibit 5B corresponds to roof level plantings. (See Exhibit 5C for green roof details.)
- Specified modular green roof systems are manufactured & available through GreenRoof/Water Solutions (Chicago, IL - Tel 773-424-3305). Modular green roof systems shall be installed per manufacturer's specifications.

Exhibit 5B.

Green Roof Plan.

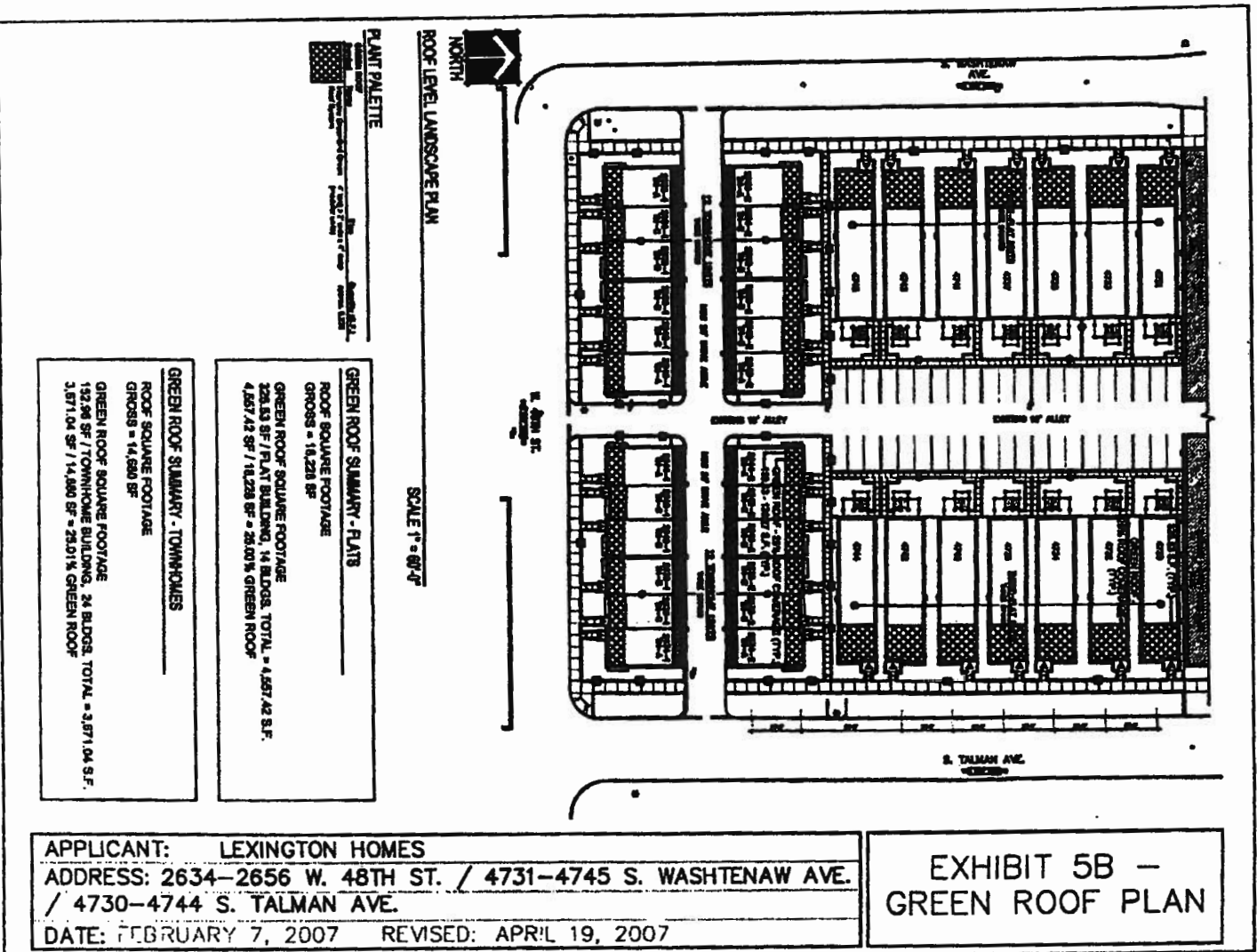


EXHIBIT 5B - GREEN ROOF PLAN



SCALE 1" = 8'-0"

GREEN ROOF SUMMARY - FLATS

ROOF SQUARE FOOTAGE
GROSS = 18,228 SF

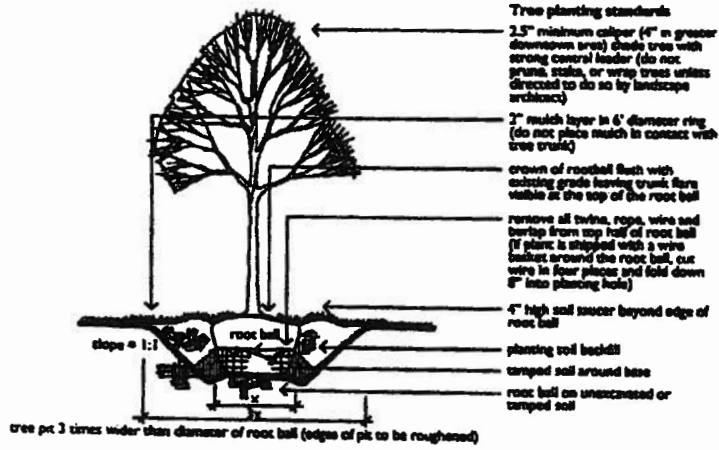
GREEN ROOF SQUARE FOOTAGE
228.83 SF / FLAT BUILDING, 14 BLDGS. TOTAL = 4,657.42 S.F.
4,657.42 SF / 18,228 SF = 25.55% GREEN ROOF

GREEN ROOF SUMMARY - TOWNHOUSES

ROOF SQUARE FOOTAGE
GROSS = 14,680 SF

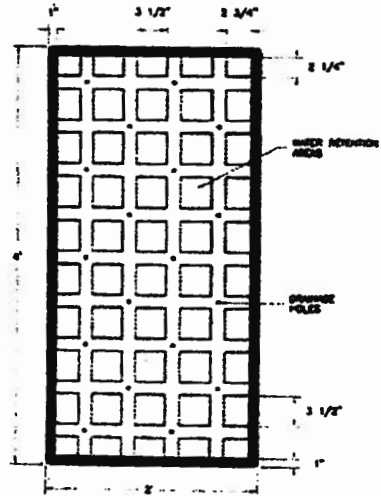
GREEN ROOF SQUARE FOOTAGE
132.26 SF / TOWNHOME BUILDING, 24 BLDGS. TOTAL = 3,871.04 S.F.
3,871.04 SF / 14,680 SF = 26.37% GREEN ROOF

STREET TREE PLANTING DETAIL (PER THE CITY OF CHICAGO "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE")

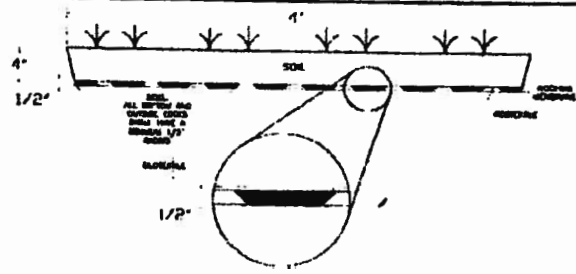


EXTENSIVE GREEN ROOF DETAIL - PLAN

NOTE! Green roof details provided by Weston Solutions (Chicago, IL - Tel #812-424-3308) - GreenGrid product



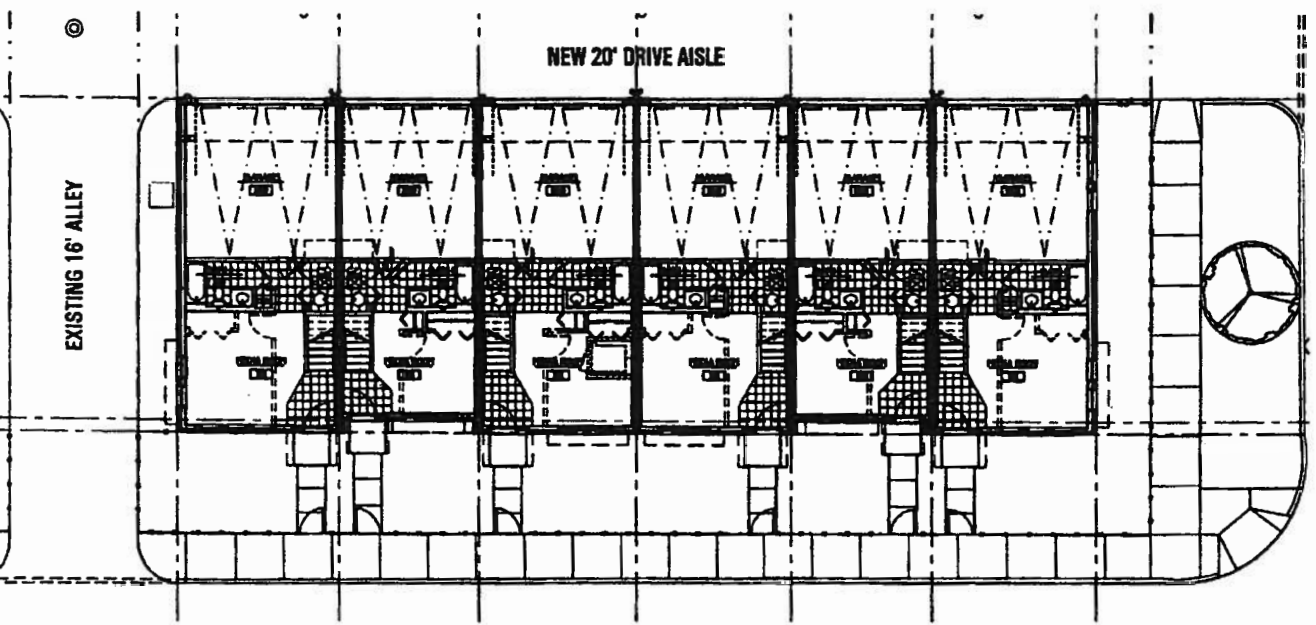
EXTENSIVE GREEN ROOF DETAIL - SECTION



Details.
Exhibit 5C.

Exhibit 6A.

Townhouse First Floor Plan.



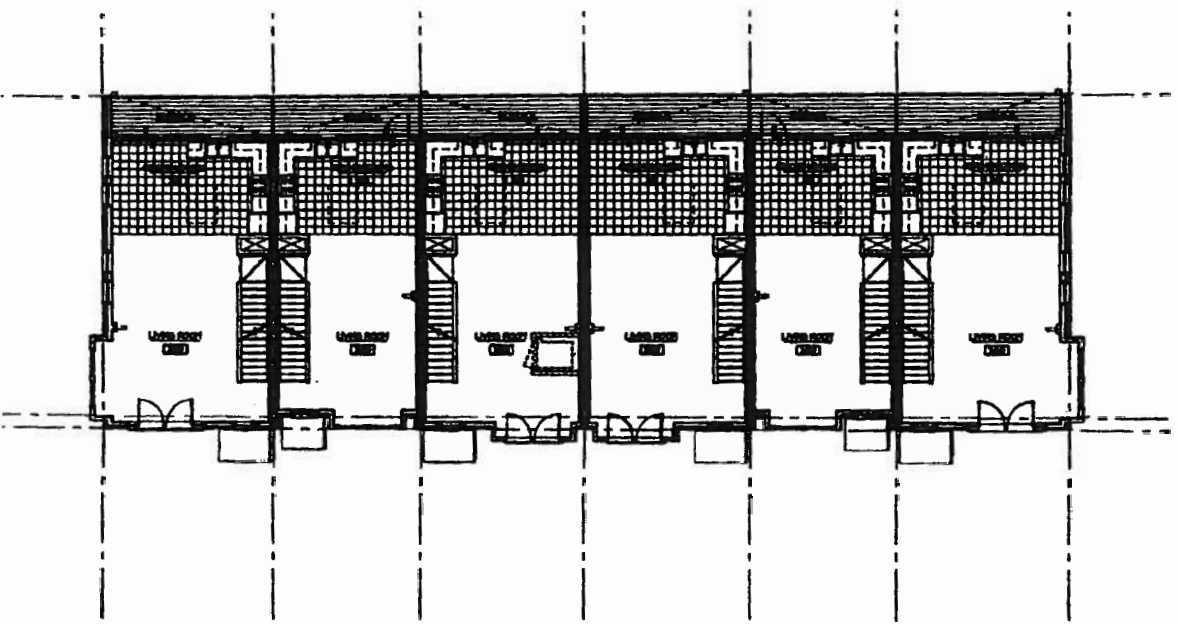
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Exhibit 6B.

Townhouse 2nd Floor Plan.



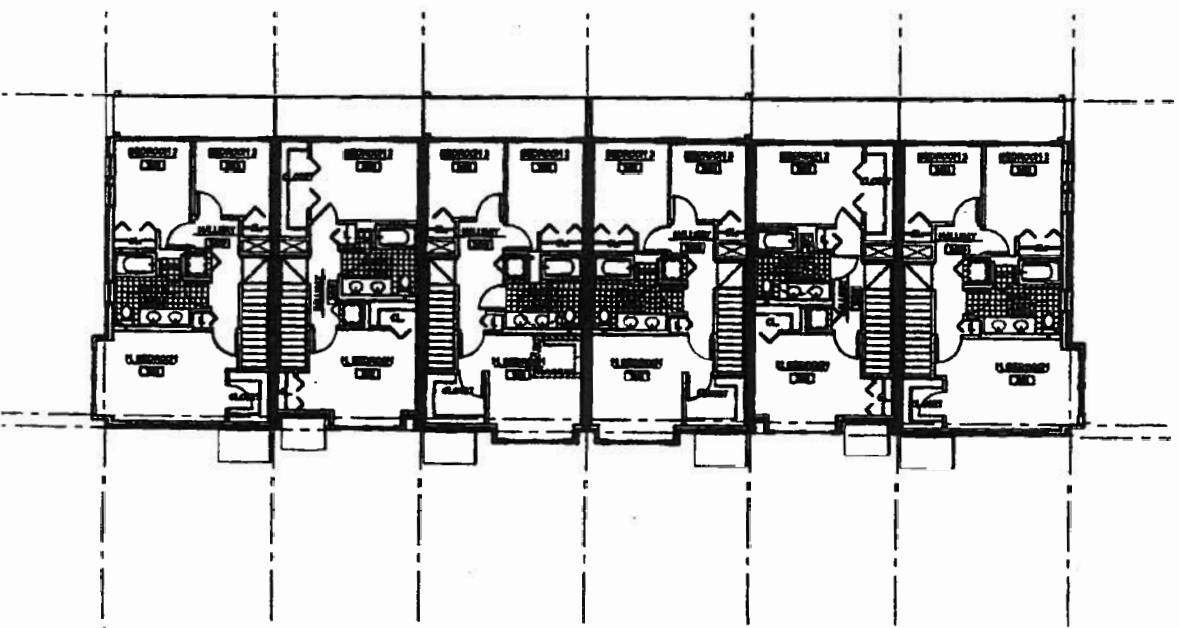
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Exhibit 6C.

Townhouse 3rd Floor Plan.



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Exhibit 6D.

Floor Plans Townhouse Roof.

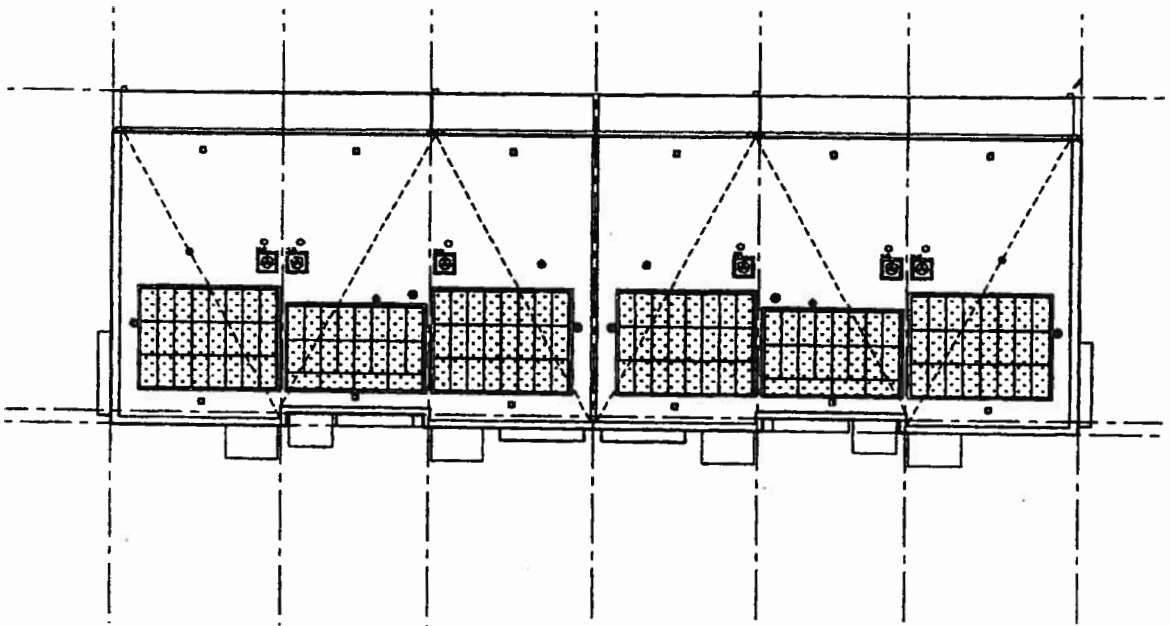
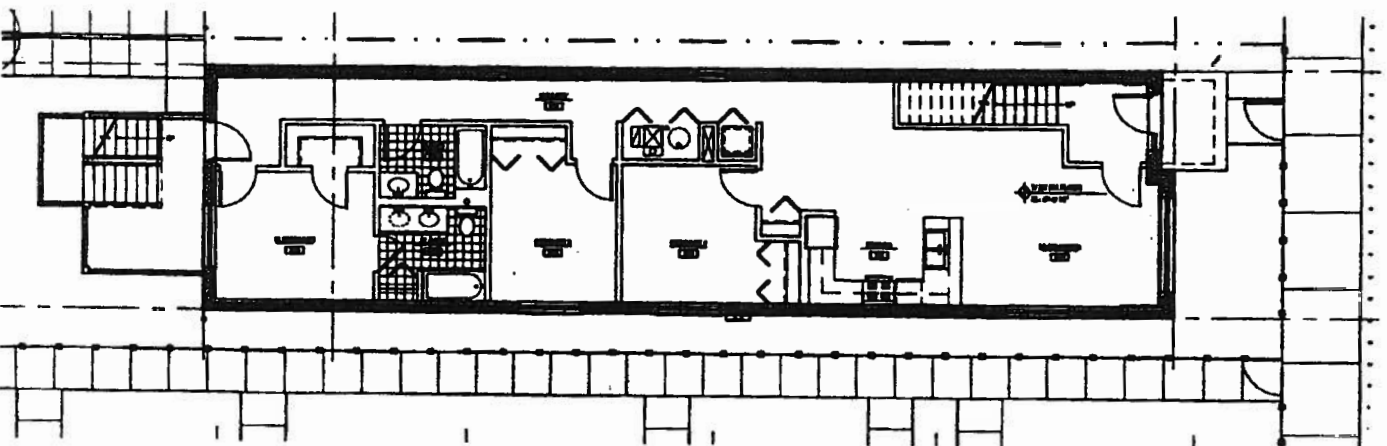


Exhibit 8A.

Three Flat -- 1st Floor Plan.



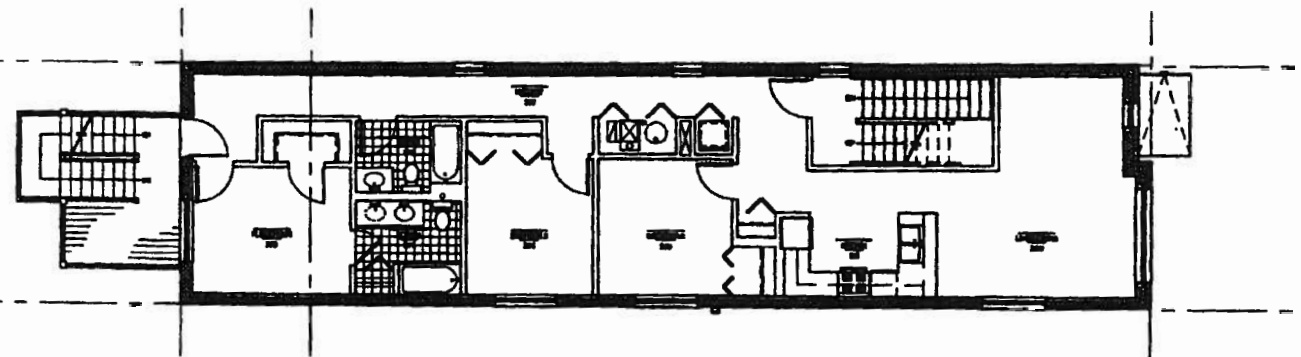
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Exhibit 8B.

Three Flat -- 2nd Floor Plan.



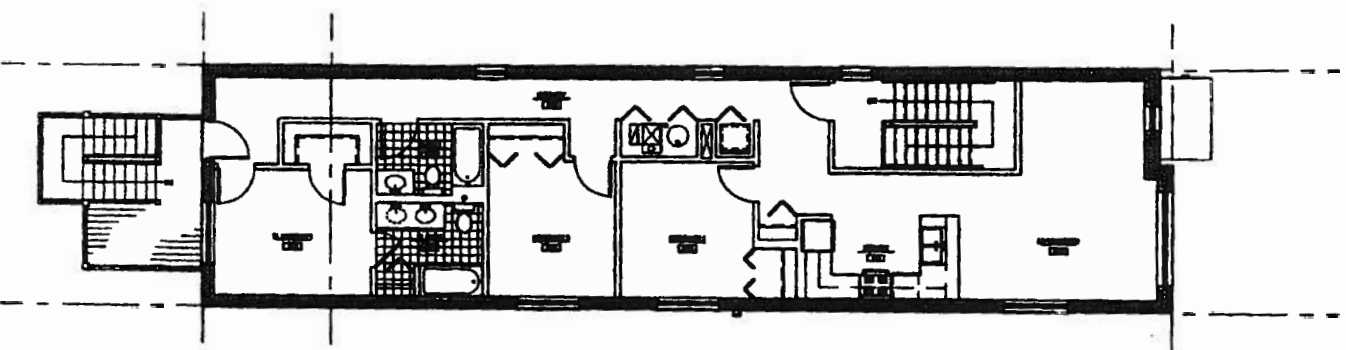
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Exhibit 8C.

Three Flat -- 3rd Floor Plan.



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Exhibit 8D.

Three Flat -- Floor And Roof Plan.

