

# PD 1054

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*Reclassification Of Area Shown On Map No. 4-G.*  
(As Amended)  
(Application No. A-8735)  
(Common Address: 1450 -- 1510 W. Cermak Rd.)

[SO2021-5275]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the symbols and indications of Institutional Planned Development Number 1054 as shown on Map Number 4-G in the area bounded by:

West 21<sup>st</sup> Street; South Loomis Street; West Cermak Road; South Ashland Avenue; West 21<sup>st</sup> Place; the alley immediately west of and parallel to closed South Blue Island Avenue; West 21<sup>st</sup> Street; South Laflin Street; the alley next south of and parallel to West 21<sup>st</sup> Street; a line 265.71 feet west of and parallel to South Loomis Street; and West 21<sup>st</sup> Street,

to those of Institutional Planned Development Number 1054, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in full force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Institutional Planned Development No. 1054, As Amended.*

*Plan Of Development Statements.*

1. The area delineated herein as an Institutional Planned Development consists of approximately five hundred sixty-seven thousand six hundred seventeen (567,617) square feet (13.03 acres) net site area which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders, and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder, and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications, or changes (administrative, legislative, or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.

3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development (DPD) and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the City's Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by CDOT's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement was executed prior to any CDOT and Planned Development Part II review permitting. The Agreement reflects that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the CDOT Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by CDOT.

4. This Planned Development consists of fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Site/Landscape Plan; Green Roof Plan and Building Elevations prepared by OWP/P Architects and EVA Design and Engineering, dated November 17, 2021. Full-size sets of the Site/Landscape Plan, Green Roof Plan and Building Elevations are on file with the DPD. The Planned Development is applicable to the area delineated herein and these and no other zoning controls shall apply. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The uses permitted within the area delineated herein as "Institutional Planned Development" shall be educational and recreational facilities, offices, accessory parking, and related uses incidental thereto.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the DPD. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a net site area of 567,617 square feet.
9. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the DPD. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
10. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that code.
11. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders, and any ground lessors.

12. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
13. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs, and conserves energy and natural resources. Any new construction must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the DPD. The Applicant has provided a vegetated ("green") roof on at least twenty-five percent (25%) of the net roof area of each building previously constructed within this Planned Development. "Net roof area" is defined as total roof area minus any required perimeter setbacks, rooftop structures, and roof-mounted equipment.
14. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. If the project involves a City funding, the applicant is required to achieve the following standards, at a minimum: 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and \*(ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). Furthermore, to assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at two points in the City approval process. First, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD (a) the applicant's outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) the applicant's M/WBE and city resident participation goals. Second, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects

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\* Editor's Note: Numbering sequence error; (i) missing in original document.

regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

15. Unless substantial construction has commenced within six (6) years following adoption of this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire and automatically revert back to Institutional Planned Development Number 1054 as reviewed and approved by City Council on March 14, 2007, provided that the change to the minimum parking requirement in the Bulk Regulations and Data Table of this Planned Development shall remain in full force and effect.

[Plat of Survey; Site/Landscape Plan; Existing Land-Use Map; Existing Zoning Map; Green Roof Plan; Boundary Map; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 43849 through 43856 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Institution Planned Development No. 1054, As Amended.*

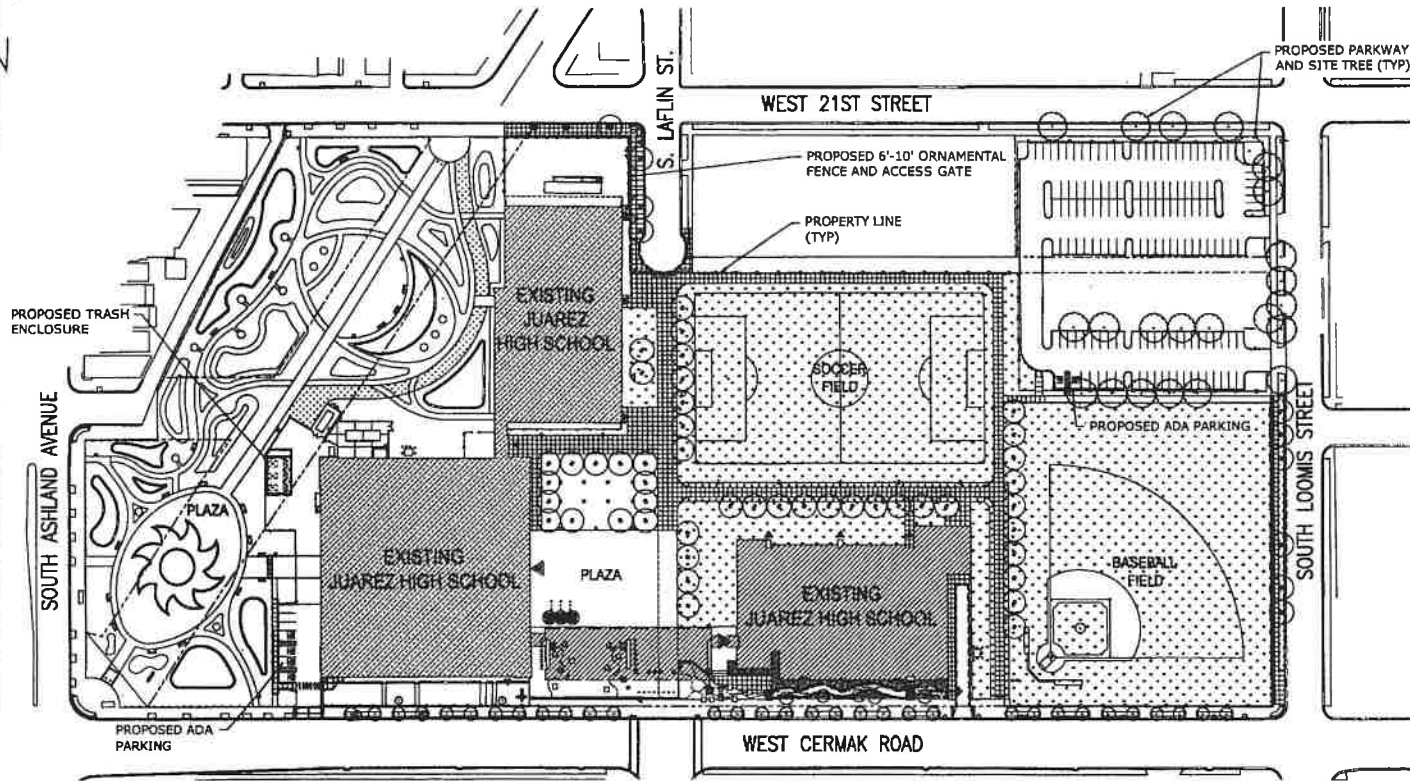
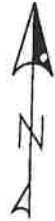
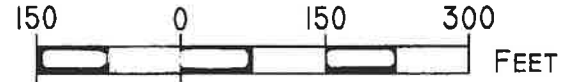
*Bulk Regulations And Data Table.*

Gross Site Area (758,711 square feet/17.42 acres) = Net Site Area (567,617 square feet/13.03 acres) + Area Remaining in Public Right-of-Way (191,094 square feet/4.38 acres)

Net Site Area:	567,617 square feet (13.03 acres)
Maximum Permitted FAR For Net Site Area:	1.20
Permitted Uses:	As per Statement Number 6
Minimum Number of Off-Street Parking Spaces:	105
Minimum Number of Bicycle Spaces:	50
Minimum Number of Off-Street Loading Spaces:	1
Minimum Setbacks:	As per the Site/Landscape Plan



**FINAL FOR PUBLICATION**



**PLANTING SCHEDULE**

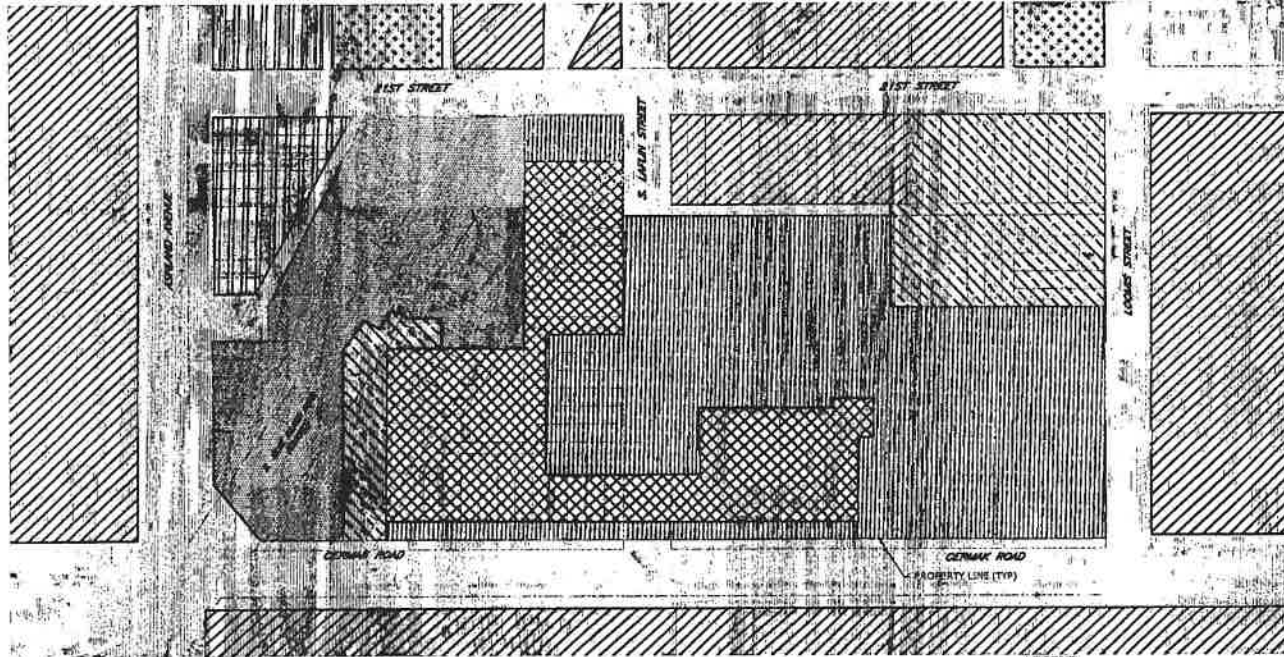
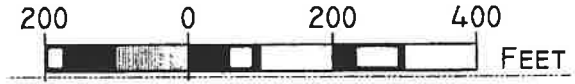
PLANT SCHEDULE	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
<b>SHADE TREES</b>							
CA.SP	1		<i>Catalpa speciosa</i>	Northern Catalpa	BBB	4' cal	
CE.DC	3		<i>Carya occidentalis</i>	Common Hickory	BBB	4' cal	matching heads
QY.EB	2		<i>Gymnocladia dioica 'Espresso'</i>	Espresso Kentucky Coffee Tree	BBB	4' cal	matching heads
QU.BI	3		<i>Quercus bicolor</i>	Swamp White Oak	BBB	4' cal	matching heads
QU.MJ	2		<i>Quercus muhlenbergii</i>	Chinquapin Oak	BBB	4' cal	matching heads
LL.NH	3		<i>Liriodendron 'New Horizon'</i>	New Horizon Elm	BBB	4' cal	matching heads
<b>UNDERSTORY TREES (USED BESIDE OVER-HEAD AERIAL WIRES / EXISTING TREE CANOPIES)</b>							
AMAB	1		<i>Amelanchier grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Starflower	BBB	4' cal	
OS.VI	3		<i>Osyris virginiana</i>	American Hopbush	BBB	4' cal	matching heads
BY.B	4		<i>Syringa reticulata 'Ivory Bell'</i>	Ivory Bell Japanese Tree Lilac	BBB	4' cal	matching heads
MARJ	1		<i>Malus 'Red Jewel'</i>	Red Jewel Crabapple	BBB	4' cal	

**SITE/LANDSCAPE PLAN**

SCALE: 1" = 150'

11/17/2021

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EXISTING LAND-USE MAP

SCALE: 1" = 200'

LEGEND	
	PROPERTY LINE
	PARK
	SCHOOL BUILDING
	SCHOOL PARKING/LOADING
	SCHOOL OPEN SPACE/PROGRAM USE
	COMMERCIAL
	MIXED COMMERCIAL/RESIDENTIAL
	RESIDENTIAL

11/17/2021

1/26/2022

REPORTS OF COMMITTEES

43851

11/17/2021

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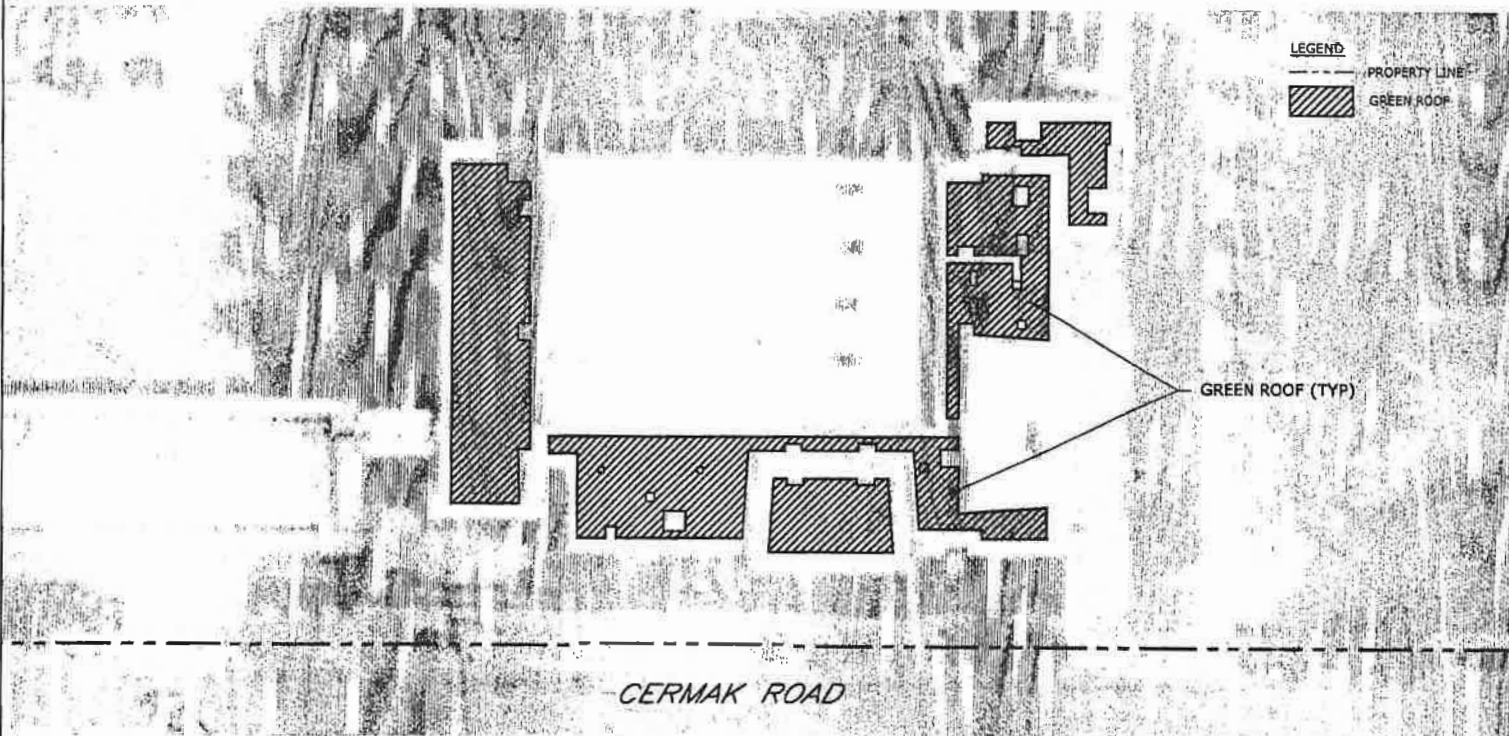
PROJECT SITE  
PD 1054



EXISTING ZONING MAP

SCALE: NTS

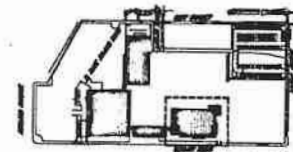
11/17/2021 **FINAL FOR PUBLICATION**



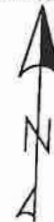
### GREEN ROOF PLAN

SCALE: 1" = 50

\*NOTE: NO BUILDING WORK IS PROPOSED. REFERENCE ORIGINAL PD DOCUMENTATION FOR ORIGINAL GREEN ROOF INFORMATION



KEY MAP

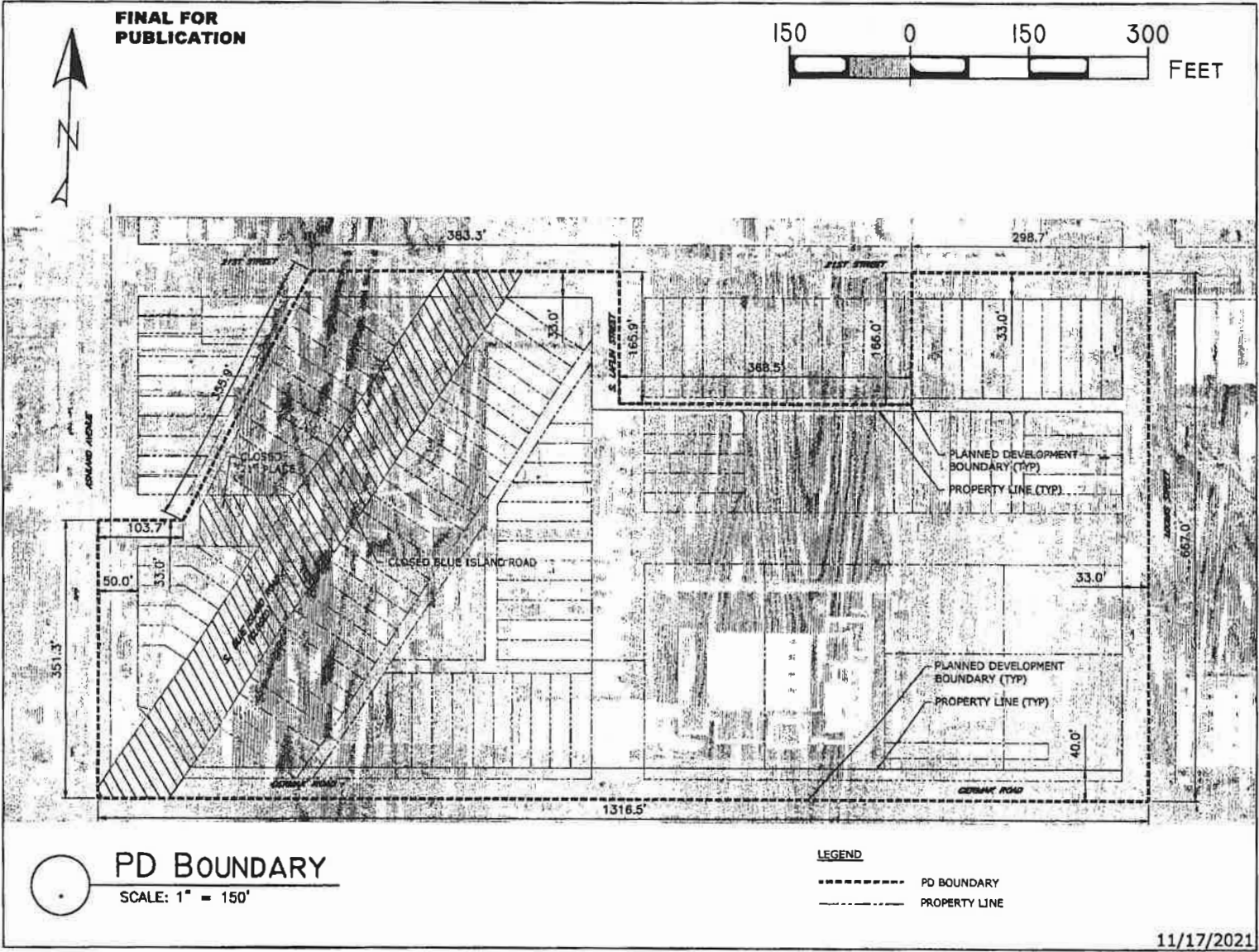
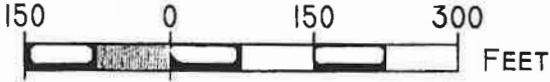


1/26/2022

REPORTS OF COMMITTEES

43853

FINAL FOR PUBLICATION



PD BOUNDARY

SCALE: 1" = 150'

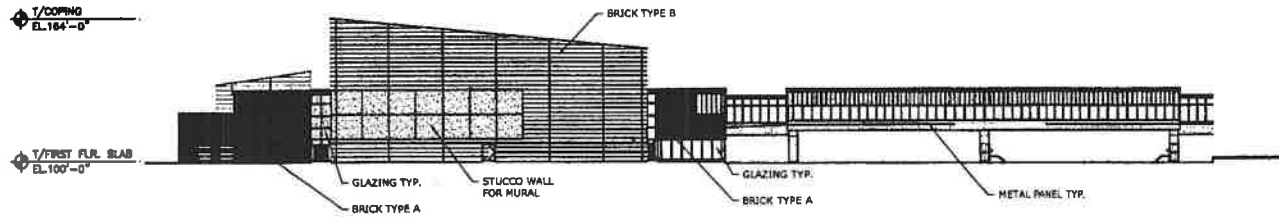
LEGEND

- PD BOUNDARY
- PROPERTY LINE

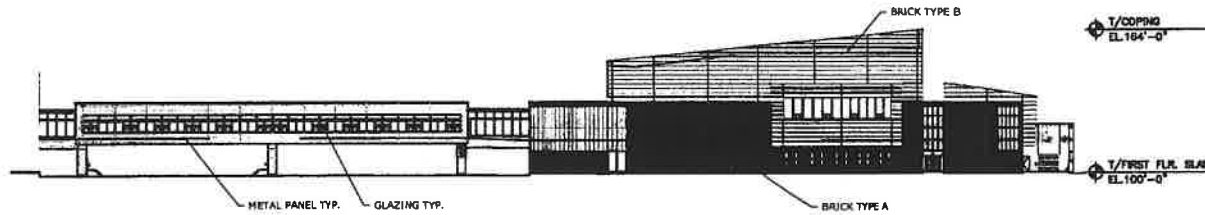
11/17/2021

FINAL FOR PUBLICATION

11/17/2021



NORTH ELEVATION



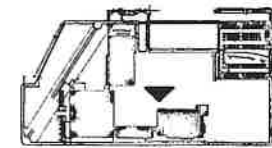
SOUTH ELEVATION



**BUILDING ELEVATIONS**

SCALE: 1/64" = 1'-0"

\*NOTE: NO BUILDING WORK IS PROPOSED. REFERENCE ORIGINAL PD DOCUMENTATION FOR ORIGINAL BUILDING ELEVATIONS



KEY MAP

1/26/2022

REPORTS OF COMMITTEES

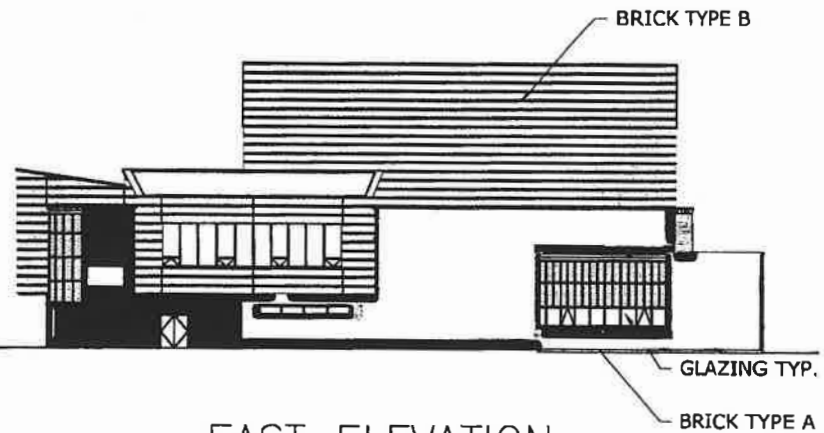
43855

11/17/2021

**FINAL FOR PUBLICATION**

T/COPING  
EL.164'-0"

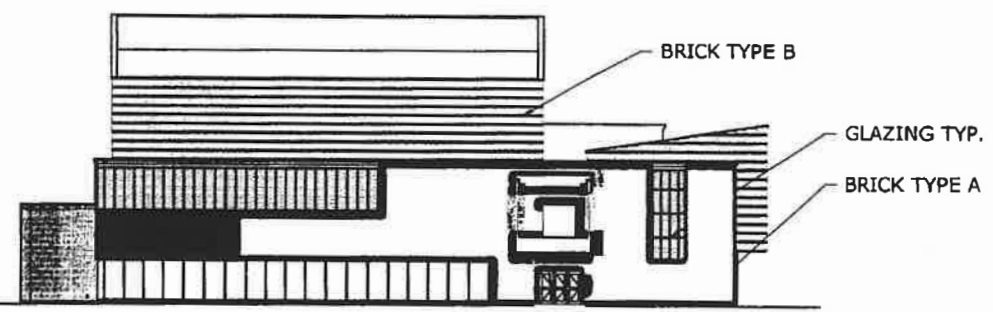
T/FIRST FLR. SLAB  
EL.100'-0"



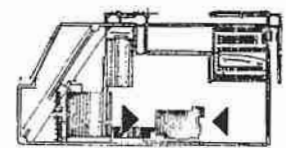
EAST ELEVATION

T/COPING  
EL.164'-0"

T/FIRST FLR. SLAB  
EL.100'-0"



WEST ELEVATION



KEY MAP

**BUILDING ELEVATIONS**

SCALE: 1/32" = 1'-0"

\*NOTE: NO BUILDING WORK IS PROPOSED. REFERENCE ORIGINAL PD DOCUMENTATION FOR ORIGINAL BUILDING ELEVATIONS

3/14/2007

REPORTS OF COMMITTEES

A-7015  
101175

*Reclassification Of Area Shown On Map Number 4-G.  
(As Amended)  
(Application Number A-7015)*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-2 General Manufacturing District and C1-2 Restricted Commercial District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 21<sup>st</sup> Street; South Loomis Street; West Cermak Road; South Ashland Avenue; West 21<sup>st</sup> Place; the alley immediately west of and parallel to closed South Blue Island Avenue; West 21<sup>st</sup> Street; South Laflin Street; the alley next south of and parallel to West 21<sup>st</sup> Street; a line 265 feet west of and parallel to South Loomis Street; and West 21<sup>st</sup> Street,

to an RT4 Residential District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the RT4 Residential District symbols in the area described in Section 1 to Institutional Planned Development Number 1054, which is hereby established in the area above described, subject to such use and Bulk Regulations as set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 3. This ordinance shall be in full force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Institutional Planned Development Number 1054.*

*Plan Of Development Statements.*

1. The area delineated herein as an Institutional Planned Development consists of approximately five hundred thirty-four thousand nine hundred sixty-five hundred (534,965) square feet (twelve and twenty-eight hundredths (12.28) acres) net site area which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way

Adjustment Map (the "Property") and which is owned or controlled by the Board of Education of the City of Chicago ("Applicant") and the Public Building Commission of Chicago, on behalf of the Applicant.

2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this planned development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or their successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns, grantees and lessees, if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholders or any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors.
4. This planned development consists of sixteen (16) statements; a Bulk Regulations and Data Table; and an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; a Site/Landscape Plan; Green Roof Plan and Building Elevations prepared by OWP/P Architects, dated January 18, 2007. Full-size sets of the Site/Landscape Plan, Green Roof Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated herein and these and no other zoning controls shall apply. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.
5. The planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, the requirements thereof, and satisfies the established criteria for approval as a planned development.

6. The uses permitted within the area delineated herein as "Institutional Planned Development" shall be educational and recreational facilities, offices, accessory parking and related uses incidental thereto.
7. Identification and other necessary signs, including temporary construction signs, may be permitted within the area delineated herein as "Institutional Planned Development", subject to the review and approval by the Department of Planning and Development. Off-premise signs shall not be permitted.
8. Off-street parking and off-street loading facilities shall be provided in compliance with this planned development, subject to review and approval of the Departments of Transportation and Planning and Development. A minimum of two percent (2%) of all parking spaces shall be designated for parking for the handicapped.
9. Service drives or other means of ingress or egress, including for emergency vehicles shall be adequately designed and paved in accordance with the Municipal Code and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking within such paved areas or fire lanes. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development.
10. For purposes of building height calculations and measurements, the definitions in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of any building or any appurtenance thereto, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
11. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
12. Improvements of the Property, including landscaping, all entrances and exits to the parking area, shall be designed and installed in substantial conformance with the Site/Landscape Plan, Building Elevations and the Bulk Regulations and Data Table attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the attached Site/Landscape Plan and the landscape provisions of the Chicago Zoning Code.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and

maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design (L.E.E.D.) Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development.

The Applicant shall provide a vegetated ("green") roof on at least twenty-five percent (25%) of the net roof area of each building to be constructed within this planned development. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
15. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate, and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this planned development by the Commissioner shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
16. Unless substantial new construction on the property has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert to its prior M2-2 General Manufacturing and C1-2 General Commercial District designations.

3/14/2007

REPORTS OF COMMITTEES

A-7015  
101179

[Existing Land-Use Map; and Green Roof Plan referred to in these Plan of Development Statements unavailable at time of printing.]

[Existing Zoning Map; Planned Development Boundary, Property Line and Right-of Way Adjustment Map; Site and Landscape Plan; and Building Elevations referred to in these Plan of Development Statements printed on pages 101180 through 101184 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

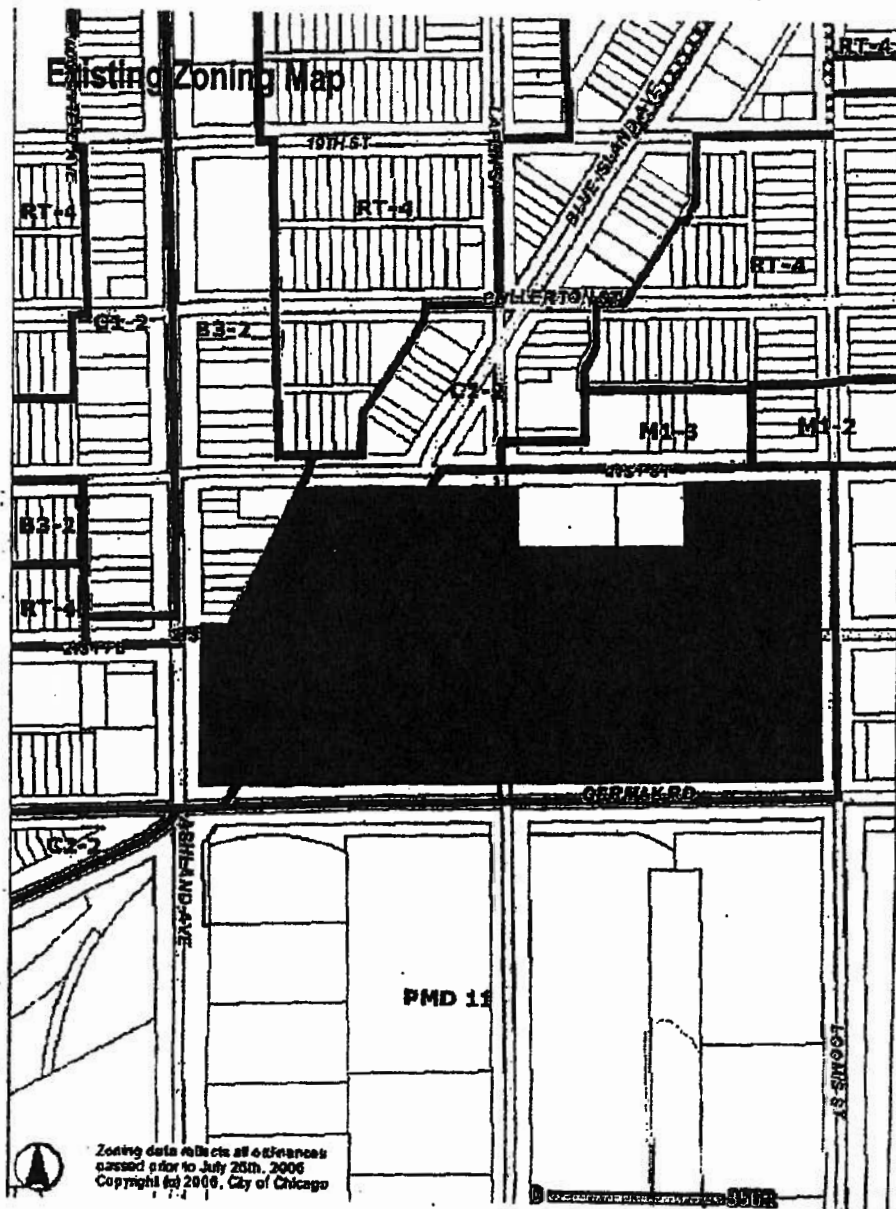
*Institutional Planned Development Number* 1054

*Planned Of Development Bulk Regulations  
And Data Table.*

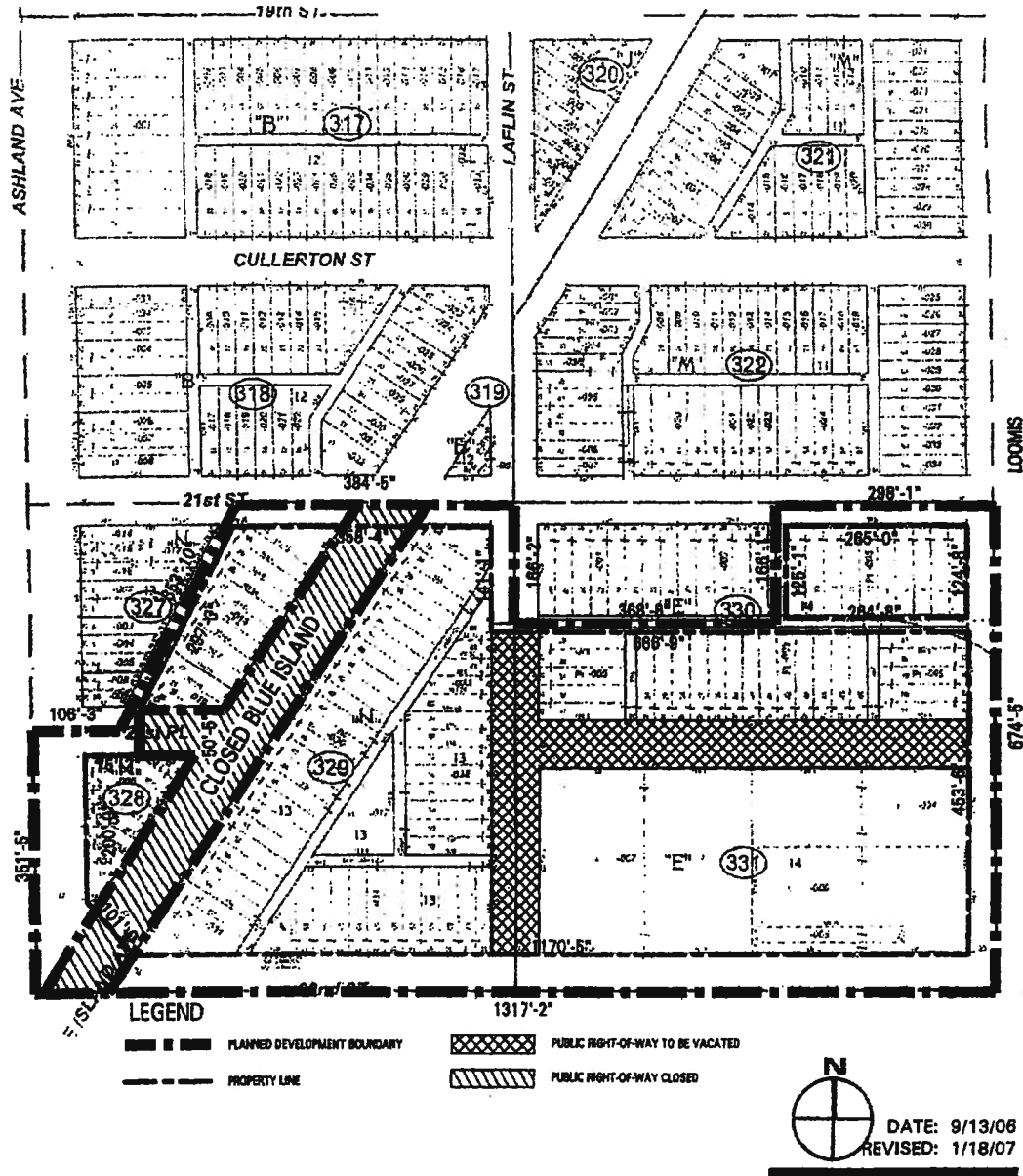
Gross Site Area (759,089 square feet/17.43 acres) = Net Site Area (534,965 square feet/12.28 acres) + Area Remaining in Public Right-of-Way (224,124 square feet/5.15 acres)

Net Site Area:	534,965 square feet (12.28) acres
Maximum Permitted F.A.R. for Net Site Area:	1.20
Permitted Uses:	As per Statement Number 6
Maximum Number of Off-Street Parking Spaces:	105
Minimum Number of Bicycle Spaces:	50
Minimum Number of Off-Street Loading Spaces:	1
Minimum Setbacks:	As per the Site/Landscape Plan

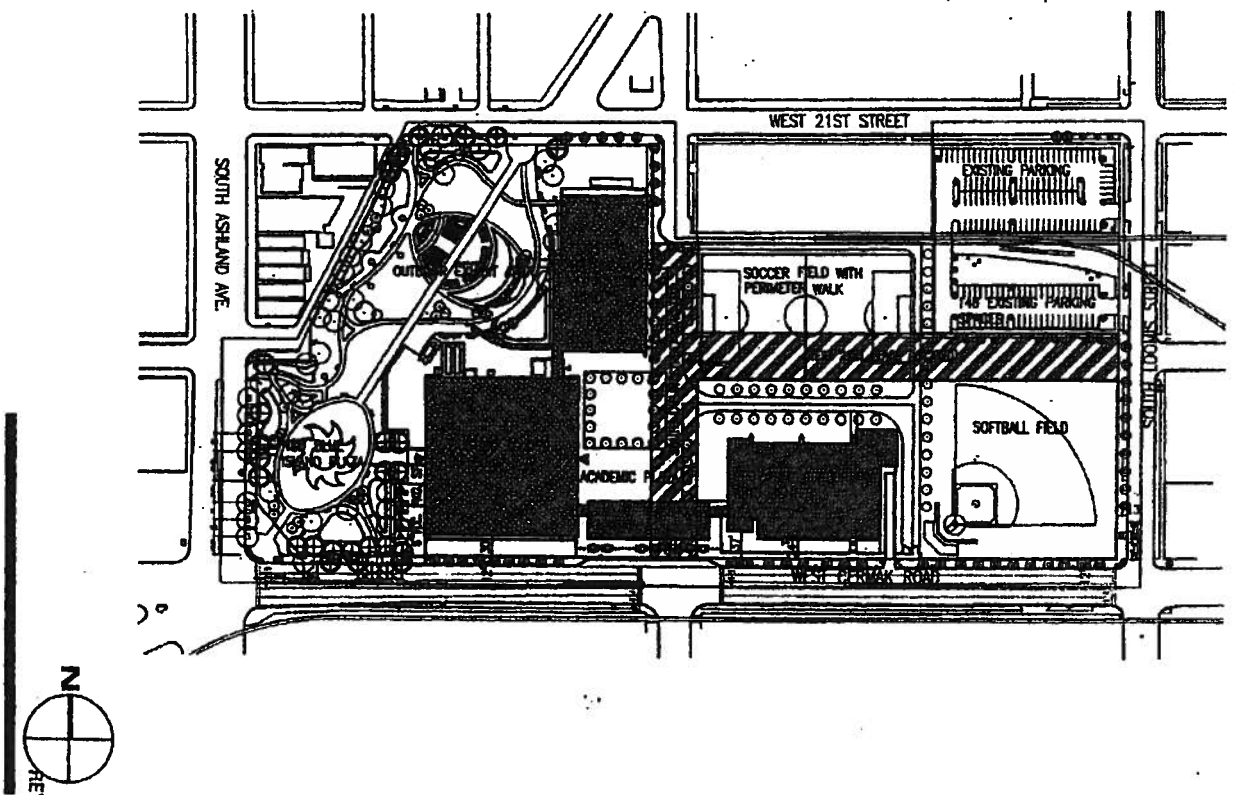
Existing Zoning Map.



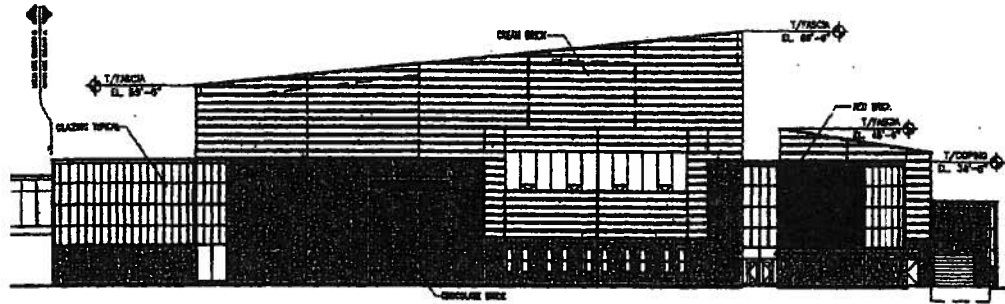
### Planned Development Boundary, Property Line And Right-Of-Way Adjustment Map.



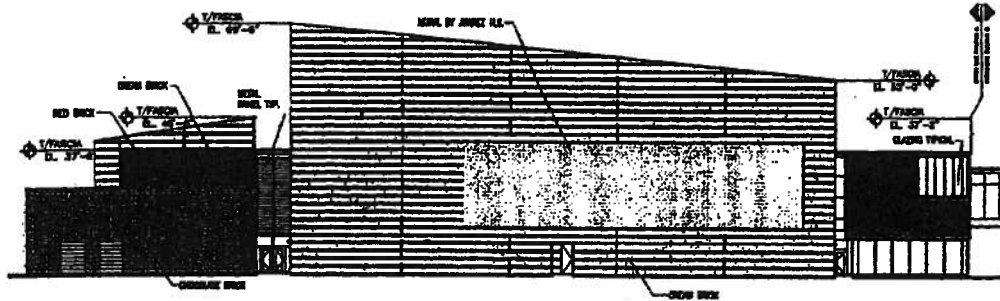
Site And Landscape Plan.



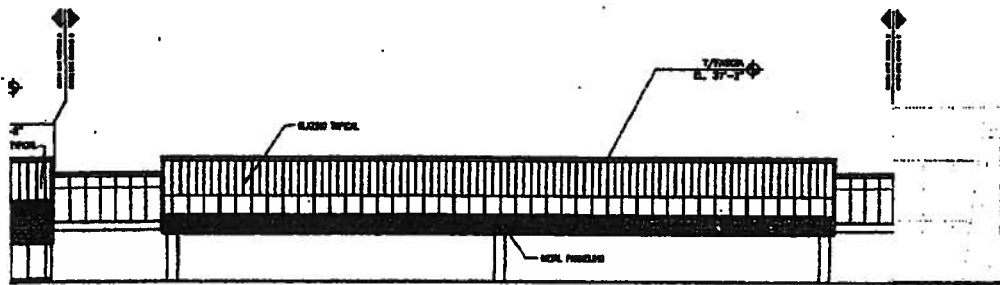
Building Elevations.  
(Page 1 of 2)



⊕ SOUTH ELEVATION



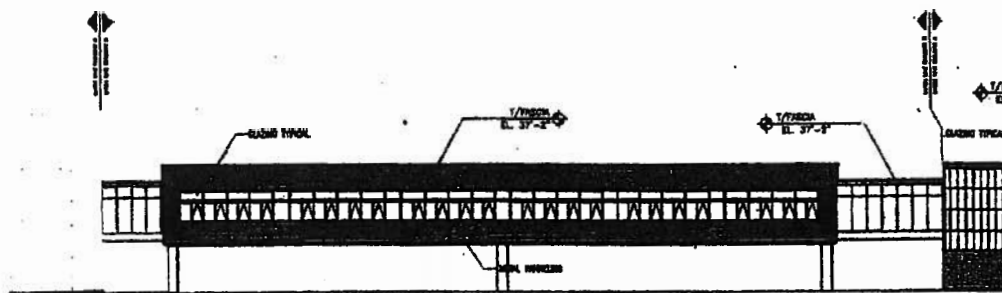
⊕ WEST ELEVATION



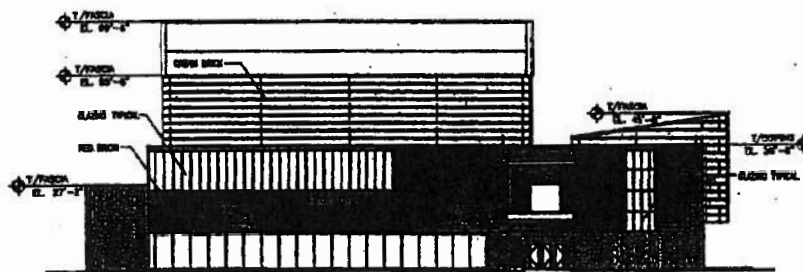
⊕ NORTH ELEVATION



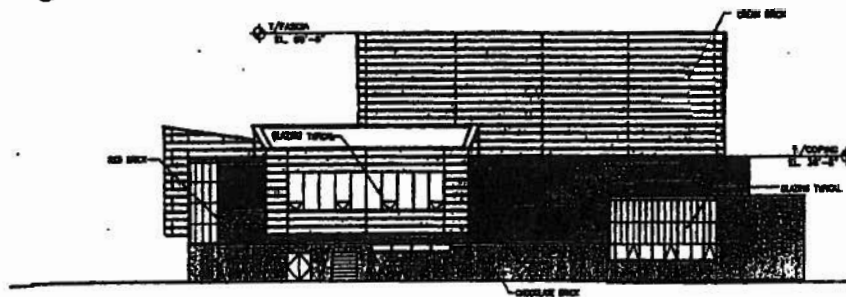
Building Elevations.  
(Page 2 of 2)



⊕ SOUTH ELEVATION



⊕ WEST ELEVATION



⊕ EAST ELEVATION

