

# PD 1052

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February 22, 2022

Sofia Simotas  
Chicago Permit Services  
4348 N. Elston Avenue  
Chicago, IL 60641

**Re: Minor Change to PD 1052  
3201 N. Ashland Avenue**

Dear Ms. Simotas:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1052 ("PD 1052") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement Number 12 of PD 1052.

Ashland Belmont LLC, the sole owner of PD 1052, is seeking a minor change to allow the minimum automobile parking to be reduced from 295 spaces to 293spaces, to allow for the installation of electric vehicle charging stations. The PD was amended in 2015 and a subsequent minor change was previously granted to allow a parking reduction from 300 spaces to 295 spaces. The revised parking plan is attached.

Regarding your request, the Department of Planning and Development has determined that allowing the proposed parking reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Additionally, due to the site's proximity to the Ashland Ave. bus segment, the site is a transit-served location, and per Section 17-10-0102-B2 of the Zoning Ordinance, the minimum off-street automobile parking ratios for non-residential uses may be reduced by up to 100 percent from the otherwise applicable standards. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1052, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

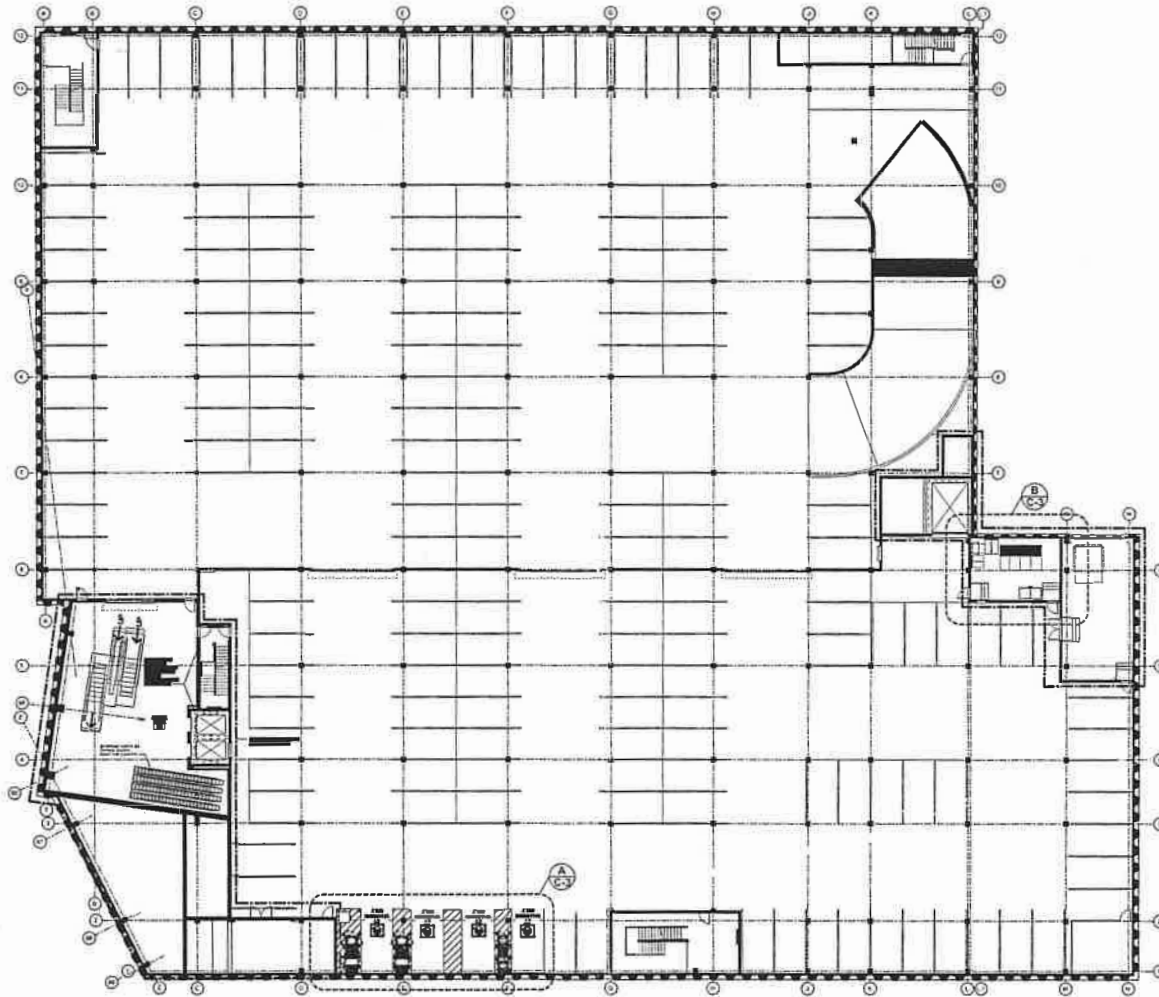
A handwritten signature in black ink, appearing to read "SAC", with a long horizontal line extending to the right.

Steven Valenziano  
Assistant Zoning Administrator



*Handwritten signature and date: 1/11/2010*

Project No. \_\_\_\_\_  
Date: \_\_\_\_\_  
Sheet No. \_\_\_\_\_  
Sheet Title: \_\_\_\_\_



**OVERALL SITE PLAN**  
SCALE: 1/8" = 1'-0"

**C-1**



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

June 21, 2016

Karen Rugh  
Ashland Belmont LLC  
3423 N. Drake Avenue  
Chicago IL 60618

**Re: Administrative Relief request for Residential Business Planned Development No. 1052,  
Landscaping for Whole Foods at 3201 N. Ashland Ave. and 1522 W. Belmont Ave.**

Dear Ms. Rugh:

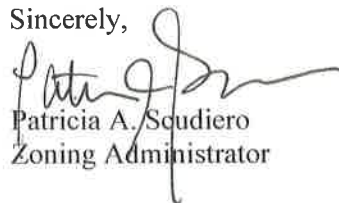
Please be advised that your request for a minor change to Residential Business Planned Development No. 1052 ("PD 1052"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1052.

Ashland Belmont, LLC is the owner of all of the property within PD 1052, and they are seeking administrative relief for the following modifications, as requested by the Department of Transportation ("CDOT"): omit three trees along Ashland Ave. to accommodate a future bus stop, add a scoring pattern along the Belmont Ave. sidewalk, revise the tree grate detail for the Belmont Ave. pavers, shift the trees and add conduit along Belmont Ave. for future CDOT lighting.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications as shown on the attached exhibits will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1052, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

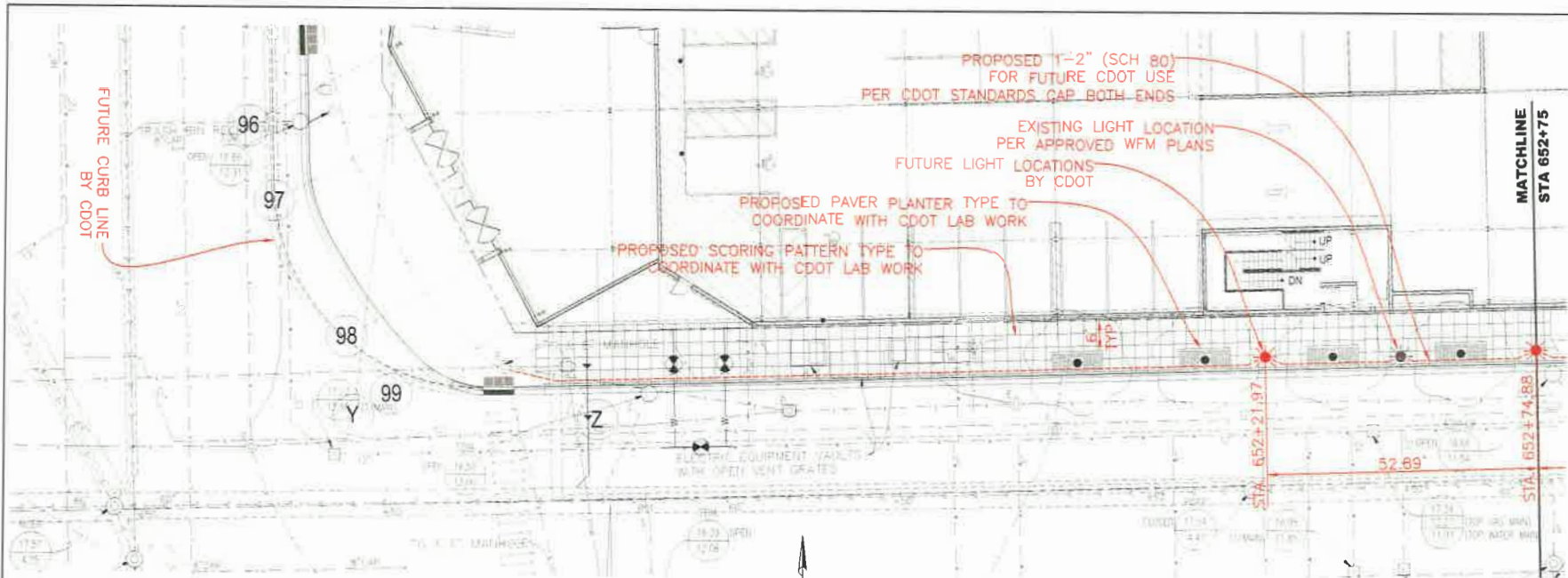
Sincerely,



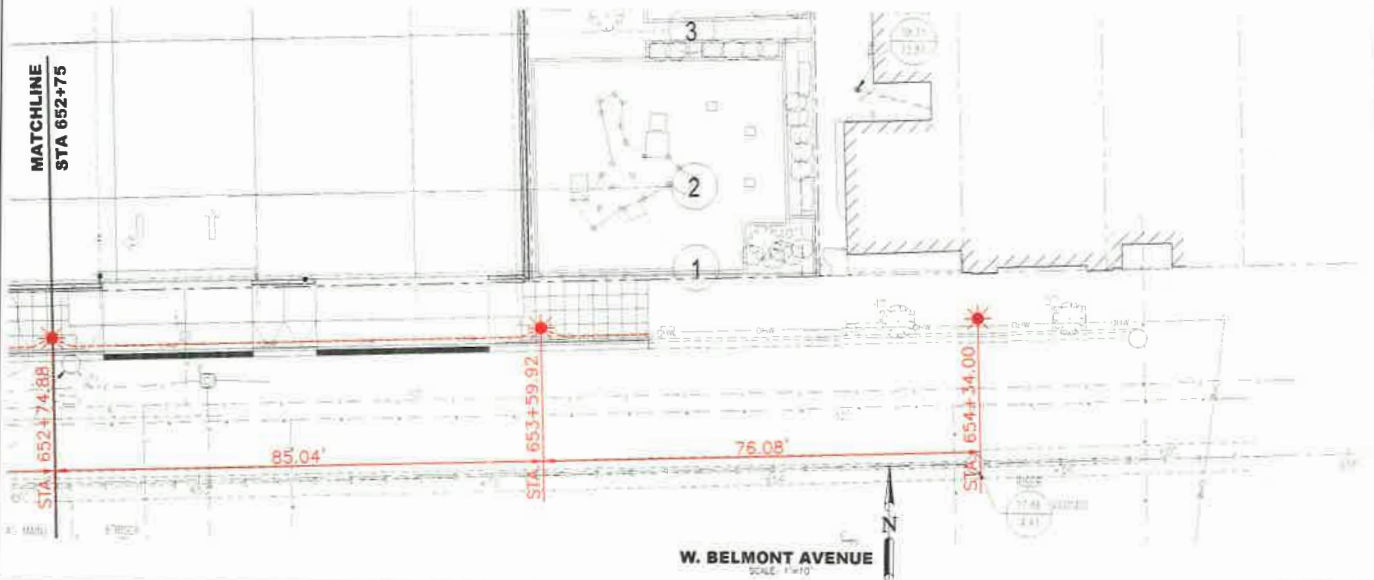
Patricia A. Scudiero  
Zoning Administrator

PAS:PM:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file



**W. BELMONT AVENUE**  
SCALE 1"=10'



**W. BELMONT AVENUE**  
SCALE 1"=10'

**LEGEND**

FUTURE POLE LOCATIONS BY CDOT



**REVISIONS FROM PREVIOUS APPROVED PLANS TO COORDINATE WITH CDOT LAB IMPROVEMENTS**

- ADDED SCORING PATTERN TO BELMONT SIDEWALK TO MATCH CDOT PLANS
- REVISED TREE GRATES TO PAVERS FOR BELMONT TREES
- SHIFTED BELMONT TREES TO ACCOMMODATE FUTURE LIGHTS BY CDOT NO QUANTITY CHANGE
- ADDED CONDUIT FOR FUTURE BELMONT LIGHTING BY CDOT



DATE	DESCRIPTION
11/22/11	REVISED PER CDOT
11/22/11	REVISED PER CDOT
11/22/11	REVISED PER CDOT
11/22/11	REVISED PER CDOT



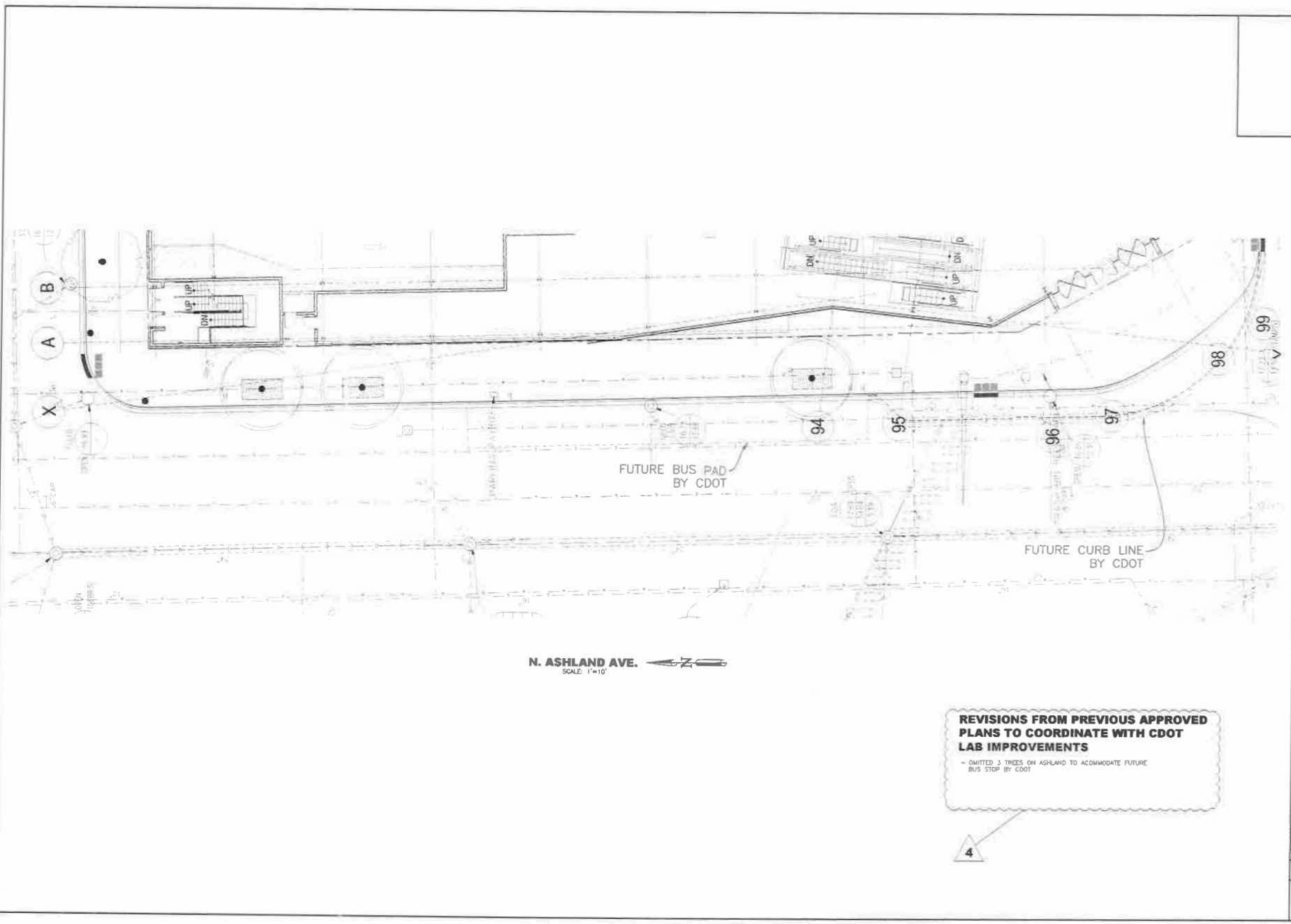
**CDOT LAB COORDINATION PLAN**

PROJECT NAME: **WHOLE FOODS MARKET LAKEVIEW**  
3201 N. ARLAND AVE  
CHICAGO, IL 60642

PROJECT NO: **14.NOVK.001**

SHEET NO: **C1**

710 Richardson Drive, 100 Hours, 60608-7548, 848.8300, www.rtm.com

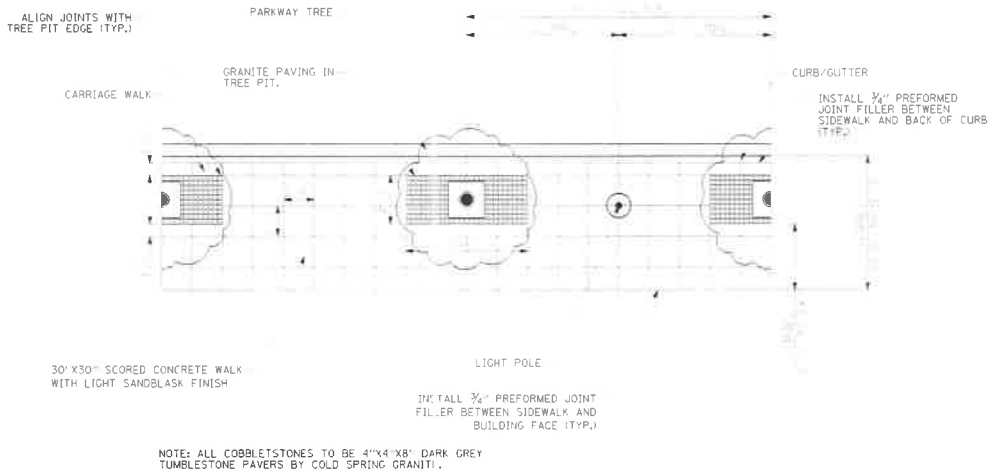


PROJECT NAME <b>WHOLE FOODS MARKET LAKEVIEW</b> 3201 N. ASHLAND AVE CHICAGO, ILLINOIS	SHEET NO. <b>C2</b>	PROJECT NO. <b>14.NOVK.001</b>	SHEET TITLE <b>CDOT LAB COORDINATION PLAN</b>	 <small>rtm          Engineering &amp; Architecture          1111 Ridgebrook Drive, Suite 1000, Oak Brook, IL 60455          Phone: 630.584.1100          Fax: 630.584.1101          Email: info@rtm.com</small>	DATE 11/14/14	DESIGNER J. J. JONES
					CHECKED BY J. J. JONES	
					APPROVED BY J. J. JONES	
					COMMENTS 1. SEE SHEET C1 FOR COORDINATION WITH CDOT 2. SEE SHEET C2 FOR COORDINATION WITH CDOT 3. SEE SHEET C3 FOR COORDINATION WITH CDOT 4. SEE SHEET C4 FOR COORDINATION WITH CDOT	

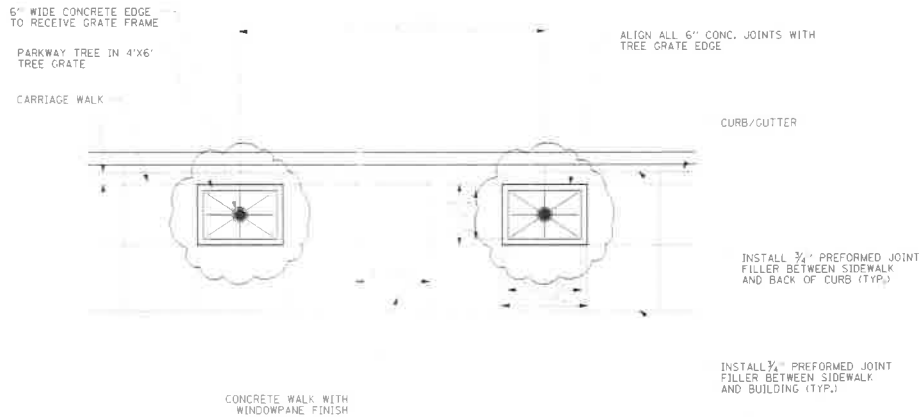




TOTAL SHEETS	SHEET NO.
128	125



A TYP. COBBLESTONE TREE PLANTING AREA ON BELMONT AVENUE  
NTS



B TYP. TREE GRATES ON LINCOLN AVENUE  
NTS

10/7/2010 4:07:57 PM g:\10101837\10101\_000001\_000001\_drawing\landscape\landscape\11\_LANDSCAPE\_DETAIL.dwg

NO.	REV.	DATE	BY	CHKD.	DESCRIPTION
1	AS				
2	AS				
3	BM				
4	BM				
5	BM				
6	BM				
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19	BM				
20	BM				



LINCOLN ASHLAND  
BELMONT  
STREETSCAPE  
SECTION 2

60% SUBMITTAL - NOT FOR CONSTRUCTION

LANDSCAPE DETAILS

S-8-141

L-11

14608



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

November 23, 2015

William J.P. Banks  
Schain Banks Kenny & Schwartz Ltd.  
70 W. Madison St., Suite 5300  
Chicago, IL 60602

**Re: Administrative Relief request for Residential Business Planned Development No. 1052,  
Parking reduction for proposed Whole Foods at 3201-3225 N. Ashland Ave. and 1522-1556  
W. Belmont Ave.**

Dear Mr. Banks:

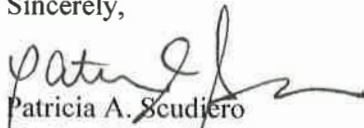
Please be advised that your request for a minor change to Residential Business Planned Development No. 1052 ("PD 1052"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1052.

Your client and the owner of all of the property within PD 1052, Ashland Belmont, LLC, is seeking administrative relief to reduce the minimum number of parking spaces from 300 to 295 spaces. This reduction in parking is due to necessary increases in stairwell sizes, a Commonwealth Edison vault, and enlarged parking entrances for the proposed Whole Foods at 3201-3225 N. Ashland Ave. and 1522-1556 W. Belmont Ave.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed parking reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1052, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file

9/24/2015

## REPORTS OF COMMITTEES

7549

On motion of Alderman Solis, the said proposed substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Hopkins, Dowell, Burns, Hairston, Sawyer, Mitchell, Harris, Beale, Sadlowski Garza, Thompson, Cárdenas, Quinn, Lopez, Foulkes, D. Moore, Curtis, O'Shea, Cochran, Brookins, Muñoz, Zalewski, Scott, Solis, Maldonado, Burnett, Ervin, Taliaferro, Reboyras, Santiago, Waguespack, Mell, Ramirez-Rosa, Villegas, Mitts, Sposato, Laurino, O'Connor, Napolitano, Reilly, Smith, Tunney, Arena, Cappleman, Pawar, Osterman, J. Moore, Silverstein -- 48.

Nays -- None.

ABPD 1052, 99

Alderman Beale moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 9-G.*

(As Amended)

(Application 18378)

(Common Address: 3201 -- 3225 N. Ashland Ave. And 1522 -- 1556 W. Belmont Ave.)

[SO2015-3703]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Residential Business Planned Development Number 1052 District symbols and indications as shown on Map Number 9-G in the area bounded by:

West Melrose Street; a line 263.43 feet east of and parallel to North Ashland Avenue; a southeasterly line 19.72 feet long starting at a point 127.33 feet south of West Melrose Street and 263.43 feet east of North Ashland Avenue and ending at a point 277.37 feet east of North Ashland Avenue (as measured along the south line of West Melrose Street) at a point 125.31 feet north of West Belmont Avenue; a line 125.31 feet north of and parallel to West Belmont Avenue; a line 358.6 feet east of and parallel to North Ashland Avenue (as measured along the south line of West Melrose Street); West Belmont Avenue; and North Ashland Avenue,

to those of Residential Business Planned Development Number 1052 (as amended).

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Standards referred to in this ordinance read as follows:

*Residential-Business Planned Development No. 1052, As Amended.*

*Plan Of Development Standards.*

1. The area delineated herein as Residential-Business Planned Development, as amended (the "Planned Development") consists of approximately eighty-one thousand five hundred ninety-three (81,593) net square feet of real property generally located at the northeast corner of North Ashland Avenue and West Belmont Avenue.

Ashland Belmont LLC, an Illinois limited liability company (the "Applicant") is the Applicant for this Planned Development.

2. The requirements, obligations and conditions of this Planned Development shall be binding upon the Applicant, its successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors and their respective successors and assignees. Pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time of any subsequent applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation.

Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of 15 Statements; a Bulk Regulations and Data Table; and the following plans prepared by Gensler Architects (collectively, the "Plans"): Site Plan; Landscape Plan; Existing Zoning Map; Planned Development Boundary and Property Line Map; Generalized Land-Use Map; and Elevations. Full-sized copies of the Plans are on file with the Department of Planning and Development ("Department"). These and no other zoning controls shall apply to the property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereof, and satisfies the established criteria for approval as a planned development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance this Planned Development Ordinance shall control.
5. The following uses are permitted on the property under this Planned Development: food and beverage retail sales, liquor sales (as accessory use only), eating and drinking establishments (restaurant, limited only), business and professional offices, on-site accessory parking, and parks and recreation uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR"), for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 81,593 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and

binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.

10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.

A parklet is proposed along the south side of West Melrose Street with approximate dimensions of 160 feet E-W by 25 feet N-S that extends from the garage entrance to the eastern limit of the site. The parklet will consist of a meandering sidewalk, decorative paving with an architectural wall seat, a public art sculpture as a focal point, and extensive landscape plantings and trees. The parklet will be constructed, installed and maintained by the Applicant, Ashland Belmont LLC, as well as any successors and assignees as stated under statement number 2 of this Planned Development.

The Belmont Avenue park located east of and adjacent to the property will be owned and maintained by St. Luke Church. The park will be open to the public daily from dawn until dusk except for certain periods of time when the park will be used for school, church, and/or private church functions.

11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environment, reduces operating costs and conserves energy and natural resources.

At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy, which for this project would be 50 percent green roof and LEED certification. In lieu of 50 percent green roof (32,000 square feet), the project will incorporate 3,500 square feet of green wall integrated vertically into facade. Irrigation for the wall will be the captured storm water from the roof of the building, which will provide the equivalent storm water mitigation performance of the 50 percent green roof (see attachment "Sustainability Matrix"). In lieu of LEED certification the project will achieve certification under the Green Globes SI program.

15. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the property to a B1-3, Neighborhood Shopping District.

[Zoning Map; Site Plan; Level B01 Lower Level Plan; Level 101 Ground Floor Plan; Level 02 Store Floor Plan; Roof Plan; and North, South, East and West Building Elevations referred to in these Plan of Development Standards printed on pages 7556 through 7566 of this *Journal*.]

Bulk Regulations and Data Table and Sustainable Development Policy Matrix Compliance Strategy referred to in these Plan of Development Standards read as follows:

*Plan Of Development Bulk Regulations And Data Table.*

Gross Site Area:	119,646 square feet
Net Site Area:	81,593 square feet
Area Remaining in Public Right-of-Way:	38,053 square feet
Maximum FAR:	1.0
Maximum Building Height:	52 feet, 6 inches
Minimum Parking Spaces:	300
Minimum Bicycle Stalls:	35
Maximum Dwelling Units:	0
Minimum Loading Berths:	2

*Sustainable Development Policy Matrix  
Compliance Strategy Green Roof Offsets.*

*Planned Development 1052.*

Project: Ashland Belmont LLC  
3201 -- 3225 North Ashland Avenue, 1522 -- 1556 West Belmont Avenue

Date: July 15, 2015

Note: The at-grade volume control BMPs indicated herein are separate from and will exceed any retention or detention requirements of the Stormwater Ordinance.

The purpose of this calculation and form is solely to demonstrate strategy and calculations for compliance with the City of Chicago Sustainable Development Policy Matrix.

Volume Control Strategy

Green Roof Required*		At-grade Volume Control BMP	
Green Roof Area	32,000 square feet	Greenwall and irrigation cistern	
Percent of Total Roof Area	50 percent		
Type	Extensive		
Volume of Water Green Roof would have held	2,667 cubic feet	Volume of Water BMP(s) will hold**	2,674 cubic feet

---

\* See City of Chicago Sustainable Development Policy Matrix.

\*\* Assume 25 percent void ratio in green roof soil medium. (i.e.: for 4 inches green roof, 1 inch \*square feet + Volume (cubic foot) of water stored.)

Assume 10 percent void in topsoil. (i.e.: for 6 inches topsoil, 0.6 inch \*square feet = Volume (cubic feet) of water stored.)

## Narrative.

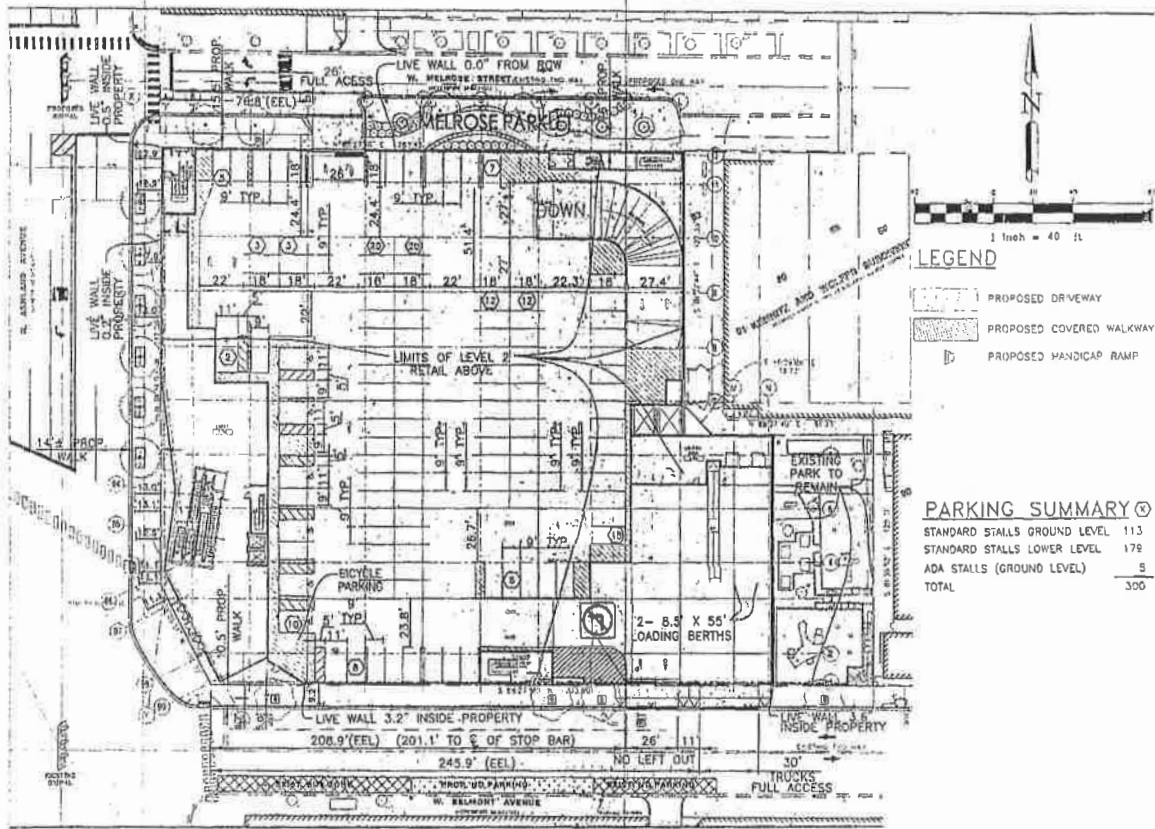
In lieu of 50 percent green roof (32,000 square feet), the project will incorporate 3,500 square feet of green wall integrated vertically into facade.

Irrigation for the wall will be the captured stormwater from the roof of the building, which will provide the equivalent stormwater mitigation performance of the 50 percent green roof.

Plan Development Number 1052 (Lots 3201, 3221, 3223)	Ordinance Allowance	Actual	Remarks
Gross Site Area	X	119,646 square feet	
Net Site Area	X	81,593 square feet	38,053 square feet
Maximum FAR	3.00	1.00	Based on net site area
Building Height	65 feet (>50 feet)	52 feet, 6 inches	T/O Mech. Equipment
Minimum Parking Spaces	175	301	Based on 2.5/1,000 square feet net building area
Minimum Bicycle Stalls	35	35	Based on minimum parking spaces
Loading Berths		2	
Green Roof	31,933	3,500 square feet green wall	>50 percent net roof area
Maximum Dwelling Units		0	
	50 percent Green Roof	0 percent	Stormwater captured on site and used to irrigate green wall. Calculations discussed with City of Chicago Stormwater engineer and Michael Berkshire



# SITE PLAN



9/24/2015

REPORTS OF COMMITTEES

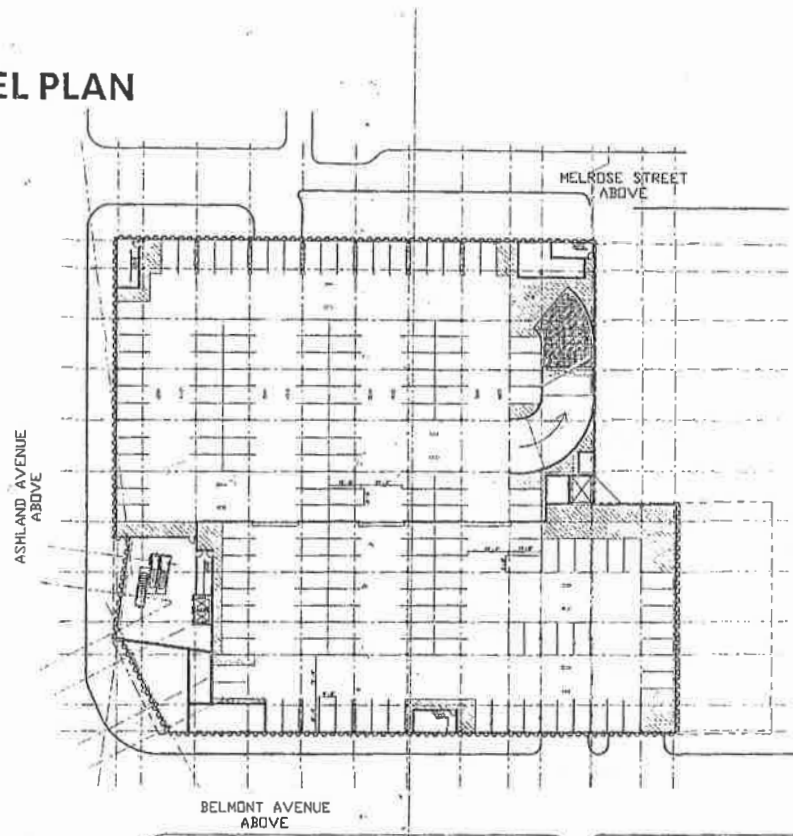
FINAL FOR PUBLICATION

7557

3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. - Planned Development Exhibits

APPLICANT: ASHLAND BELMONT LLC | ADDRESS: 3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. | DATE: AUGUST 10, 2015 | CPC DATE: AUG 20, 2015 | Genster

**LEVEL B01  
LOWER LEVEL PLAN**

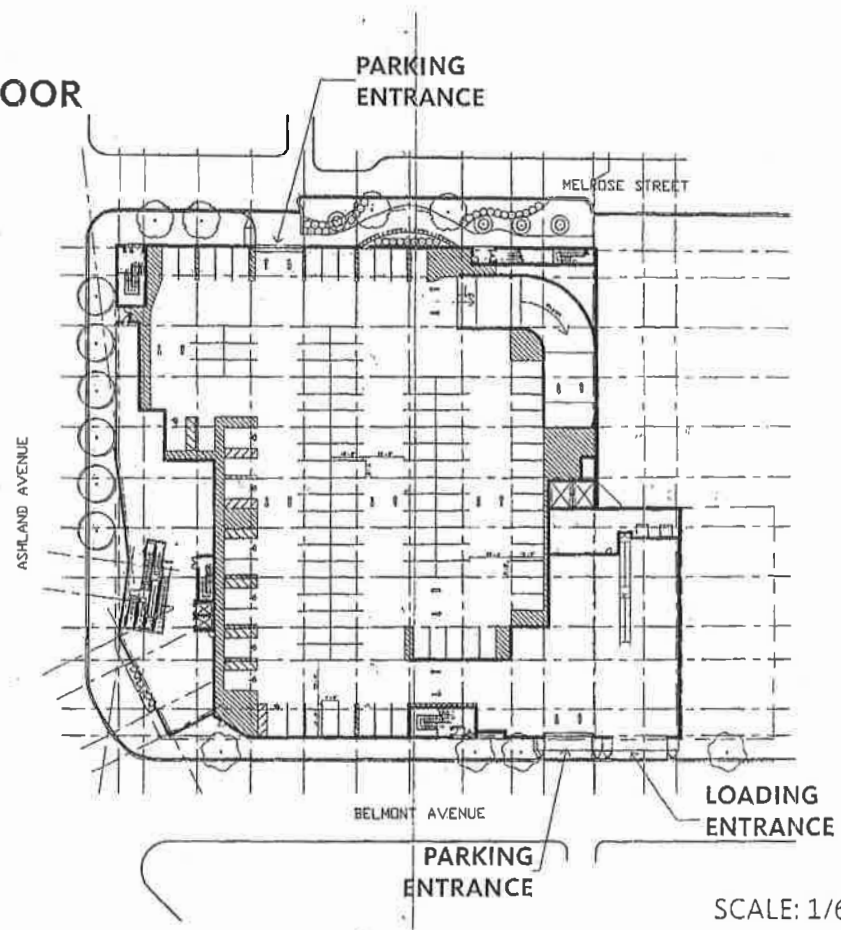


SCALE: 1/64" = 1'-0"



3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. - Planned Development Exhibit  
APPLICANT: ASHLAND BELMONT LLC | ADDRESS: 3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. | DATE: AUGUST 10, 2015 | CPC DATE: AUG 20, 2015 | Gensler

**LEVEL 01  
GROUND FLOOR  
PLAN**



FINAL FOR PUBLICATION

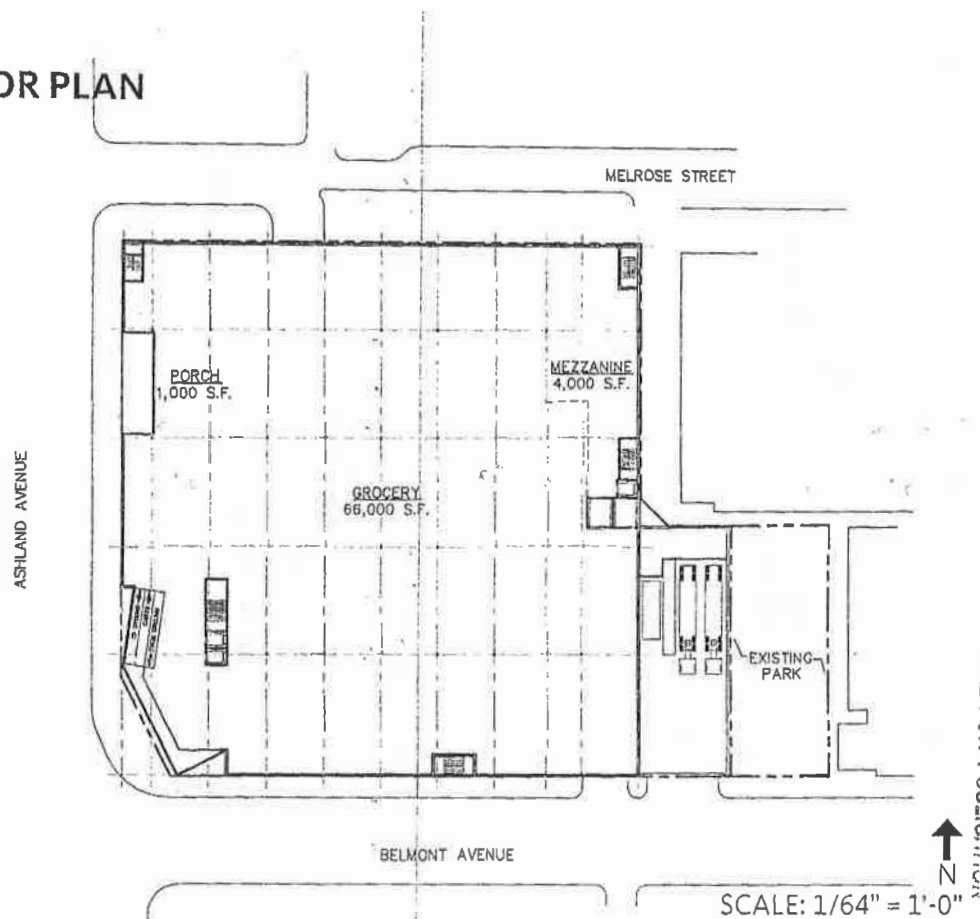
3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. - Planned Development Exhibits  
APPLICANT: ASHLAND BELMONT LLC | ADDRESS: 3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. | DATE: AUGUST 10, 2015 | CPC DATE: AUG 20, 2015 | Gensler

9/24/2015

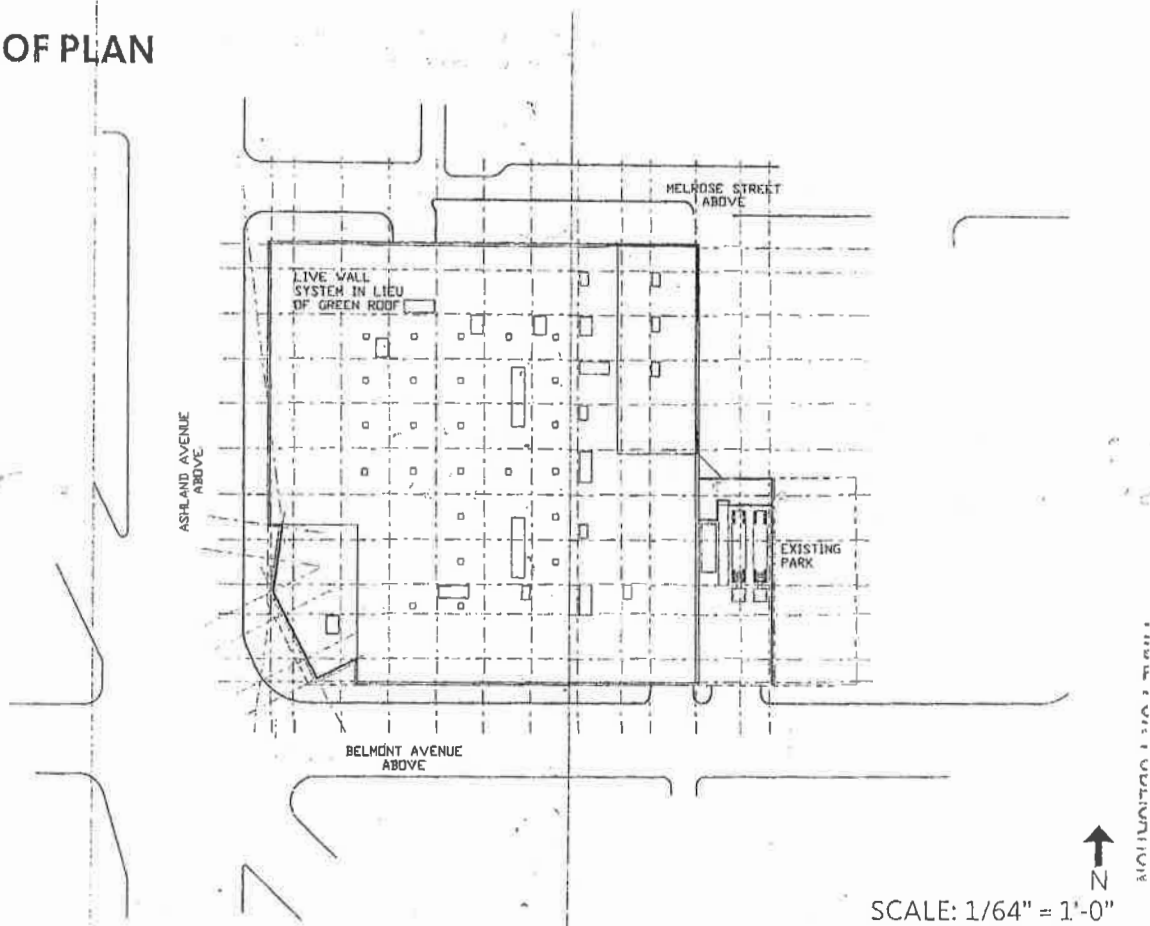
REPORTS OF COMMITTEES

7559

# LEVEL 02 STORE FLOOR PLAN



# ROOF PLAN



9/24/2015

REPORTS OF COMMITTEES

7561

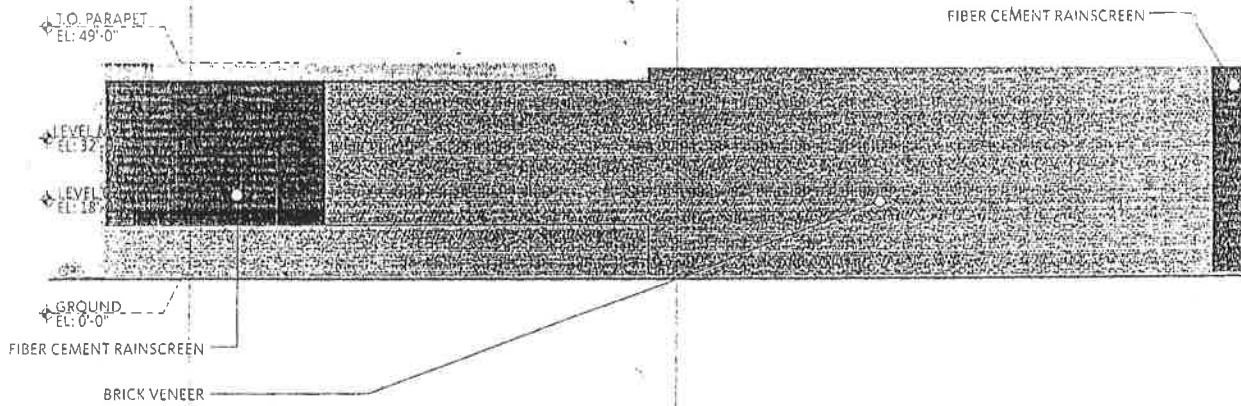
3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. - Planned Development Exhibits

APPLICANT: ASHLAND BELMONT LLC | ADDRESS: 3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. | DATE: AUGUST 10, 2015 | CPC DATE: AUG 20, 2015 | Gensler



# ELEVATIONS

## EAST ELEVATION - ASHLAND



3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. - Planned Development Exhibits  
APPLICANT: ASHLAND BELMONT LLC | ADDRESS: 3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. | DATE: AUGUST 10, 2015 | CPC DATE: AUG 20, 2015 | Gensler

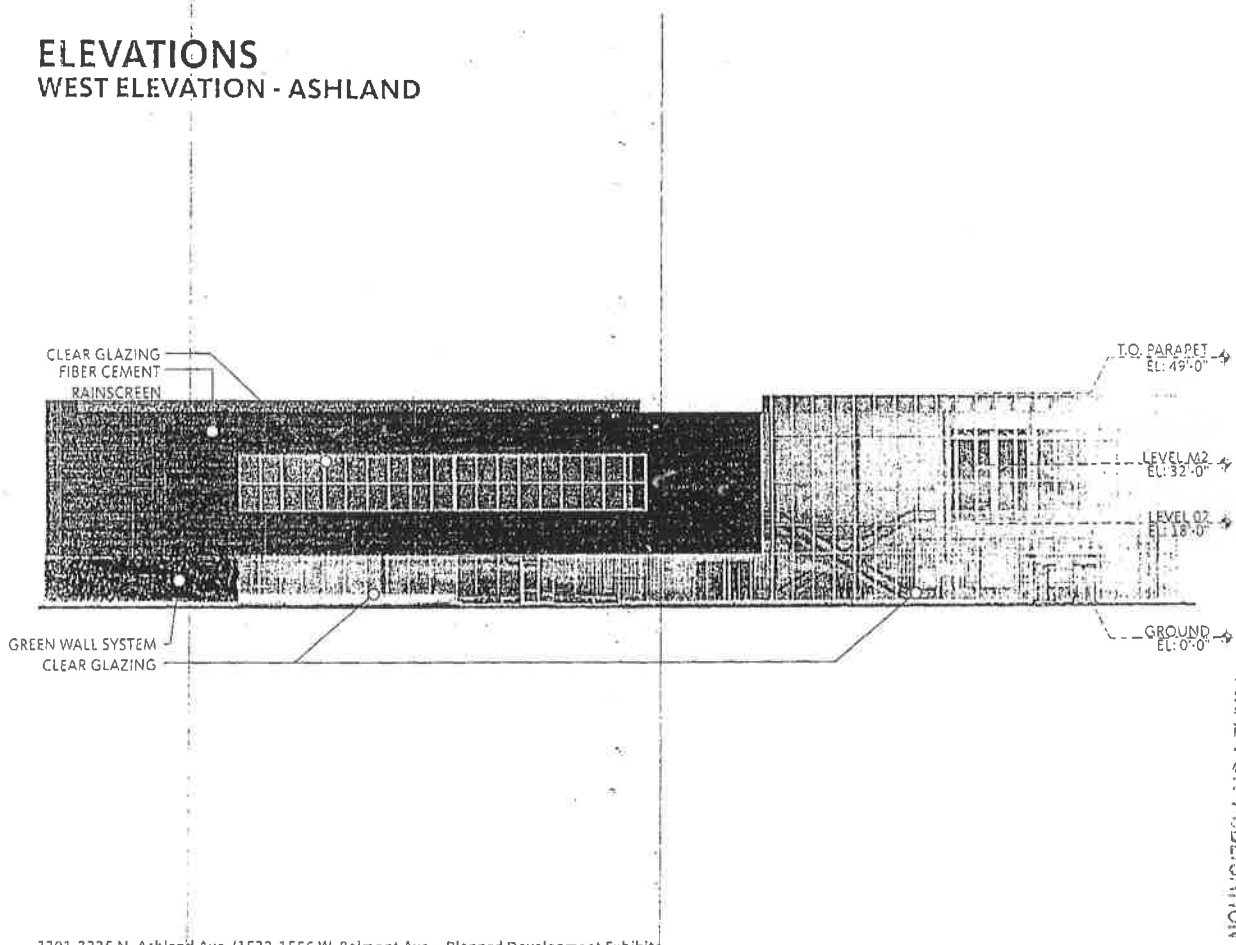
9/24/2015

REPORTS OF COMMITTEES

7563

# ELEVATIONS

## WEST ELEVATION - ASHLAND



3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. - Planned Development Exhibits  
APPLICANT: ASHLAND BELMONT LLC | ADDRESS: 3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. | DATE: AUGUST 10, 2015 | CPC DATE: AUG 20, 2015 | Gensler

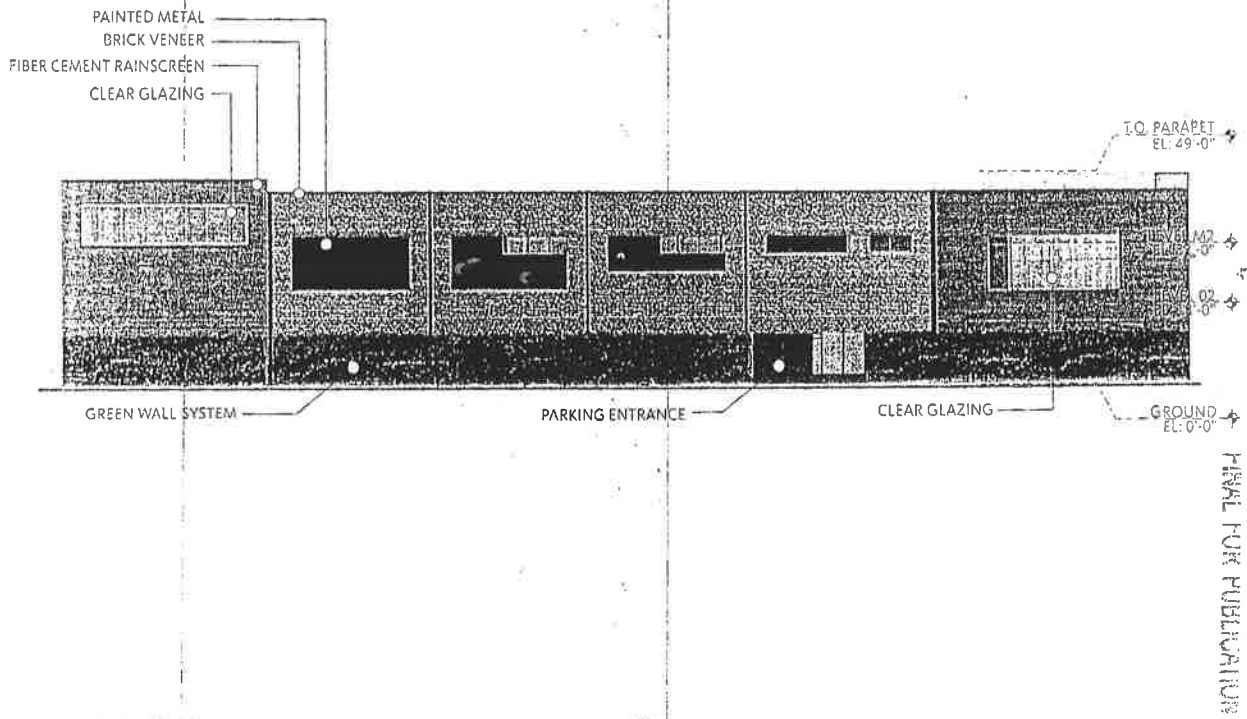
7564

JOURNAL--CITY COUNCIL--CHICAGO

9/24/2015

# ELEVATIONS

## NORTH ELEVATION - MELROSE

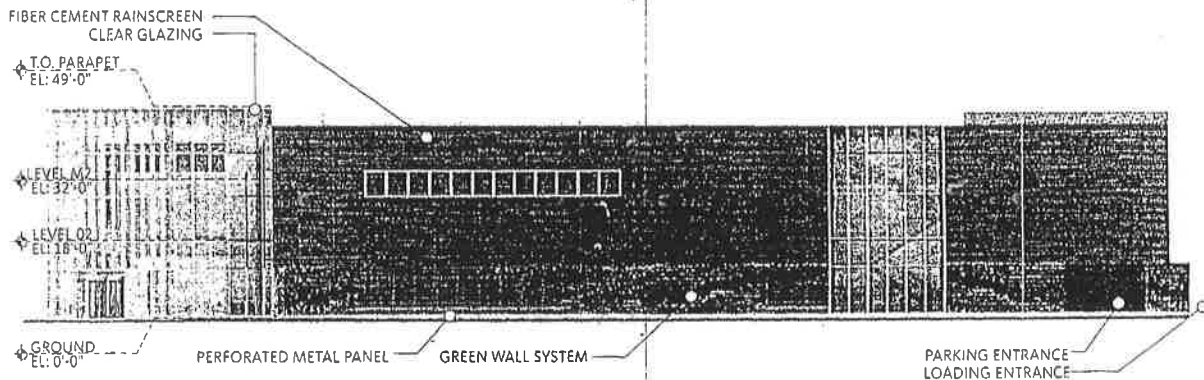


9/24/2015

REPORTS OF COMMITTEES

7565

**ELEVATIONS**  
**SOUTH ELEVATION - BELMONT**



1500 W. Belmont Ave.

3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. - Planned Development Exhibits  
 APPLICANT: ASHLAND BELMONT LLC | ADDRESS: 3201-3225 N. Ashland Ave./1522-1556 W. Belmont Ave. | DATE: AUGUST 10, 2015 | CPC DATE: AUG 20, 2015 | Gensler



City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>

September 12, 2007

Mr. Patrick D. Thompson  
DLA Piper US LLP  
203 North LaSalle Street  
Suite 1900  
Chicago, Illinois 60601-1293

**Re: Administrative Relief request for Residential Business Planned  
Development No. 1052, Belmont and Ashland Avenues**

Dear Mr. Thompson:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1052 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you are requesting to allow a shared drive-through facility between a bank and a pharmacy. There will be no new curb cuts or alterations in traffic circulation as a result of this shared drive-through facility. Statement 5 of the Planned Development allows a drive-through facility for a bank. You are requesting the drive-through facility be shared by LaSalle Bank and CVS Pharmacy.

With regard to your request, the Department of Planning and Development has determined that permitting a shared drive-through facility between LaSalle Bank and CVS Pharmacy does not create an adverse impact on the Planned Development or surrounding neighborhood, does not result in an increase in the bulk or density, does not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1052, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Arnold L. Randall  
Commissioner

ALR:MRD:tm

cc: Kathleen Nelson, Danita Childers, Mike Marmo, Pat Haynes, DPD files



3/14/2007

REPORTS OF COMMITTEES

15860  
101133

*Reclassification Of Area Shown On Map Number 9-G.  
(As Amended)  
(Application Number 15860)*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance, be amended by changing all of the current RT3.5 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 9-G in the area bounded by:

West Melrose Street; a line approximately 263.46 feet east of and parallel to North Ashland Avenue; a line approximately south 44 degrees, 56 minutes, 24 seconds east of a point approximately 127.33 feet south of West Melrose Street and approximately 263.46 feet east of North Ashland Avenue; a line approximately 125.27 feet north and parallel to West Belmont Avenue; a line approximately 333.55 feet east of and parallel to North Ashland Avenue; West Belmont Avenue; and North Ashland Avenue,

to those of a B1-3 Neighborhood Shopping District.

SECTION 2. That the Chicago Zoning Ordinance, be amended by changing all of the current B1-3 Neighborhood Shopping District symbols and indications as shown on Map Number 9-G in the area bounded by:

West Melrose Street; a line approximately 263.46 feet east of and parallel to North Ashland Avenue; a line approximately south 44 degrees, 56 minutes, 24 seconds east of a point approximately 127.33 feet south of West Melrose Street and approximately 263.46 feet east of North Ashland Avenue; a line approximately 125.27 feet north and parallel to West Belmont Avenue; a line approximately 333.55 feet east of and parallel to North Ashland Avenue; West Belmont Avenue; and North Ashland Avenue,

to those of Residential-Business Planned Development.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

*Residential-Business Planned Development Number 1052.*

*Plan Of Development Statements.*

1. The area delineated herein as Residential-Business Planned Development (the "Planned Development") consists of approximately eighty-one

thousand five hundred ninety-three (81,593) net square feet (one and eighty-seven hundredths (1.87) acres) of real property generally located at the northeast corner of North Ashland Avenue and West Belmont Avenue and bounded as follows:

West Melrose Street; a line approximately 263.46 feet east of and parallel to North Ashland Avenue; a line approximately south 44 degrees, 56 minutes, 24 seconds east of a point approximately 127.33 feet south of West Melrose Street and approximately 263.46 feet east of North Ashland Avenue; a line approximately 125.27 feet north of and parallel to West Belmont Avenue; a line approximately 333.55 feet east of and parallel to North Ashland Avenue; West Belmont Avenue; and North Ashland Avenue in Chicago, Illinois (the "Property").

Lakeview Collection, L.L.C., an Illinois limited liability company (the "Applicant") is the Applicant for this Planned Development.

2. The Applicant or its successors, assignees or grantees shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees, and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors and their respective successors and assignees. Pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by all the owners of the Property and any ground lessees of the Property. For purposes of this Planned Development, where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein; provided,

however, that for so long as the Applicant or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its beneficiaries if such seller or transferor is a land trust) shall thereafter be released from any and all obligations or liability hereunder; provided, however, that the Applicant's right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property as set forth above in this statement Number 3 above shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder.

4. This Plan of Development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; and the following plans prepared by Hirsch Associates, L.L.C., all dated September 8, 2006 (collectively, the "Plans"): Site Plan; Landscape Plan; Existing Zoning Map; Planned Development Boundary and Property Line Map; Generalized Land-Use Map; and Elevations. Full-sized copies of the Plans are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The following uses are permitted on the Property under this Planned Development: dwelling units, including but not limited to multi-unit residential; residential support services; retail, service and commercial facilities, including but not limited to banks with drive-through lanes; business and professional offices; food and beverage retail sales; parks and recreation uses; temporary construction staging, temporary storage of construction materials, and temporary buildings for construction purposes; accessory and non-accessory parking; accessory uses; and all permitted uses in the B1-3 Neighborhood Shopping District.

6. Temporary signs such as construction and marketing signs shall be permitted subject to the reasonable review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development, consistent with the provisions of Section 17-12-010, et seq., of the Chicago Municipal Code. Furthermore, Off-Premise Signs (as defined in Section 17-17-02108 of the Chicago Municipal Code) are prohibited.
7. Ingress and egress for the Property shall be provided in substantial compliance with the Plans.
8. The height of each building and free-standing structure located upon the Property, and any appurtenances attached thereto, shall be subject to the Bulk Regulations and Data Table as well as any height limitations established by the Federal Aviation Administration.
9. The improvements on the Property, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Plans described in statement Number 4, above.

Open space provided upon the Property, including without limitation the area along West Belmont Avenue designated on the Site Plan as "Public Plaza" and "Park", shall be entitled to credit against otherwise applicable Open Space Impact Fees in an amount equal to such Open Space Impact Fees, on a per square foot basis, as stipulated in the Open Space Impact Fee Administrative Guidelines.

10. The Applicant or its successors or assignees shall construct the proposed landscaped "Public Plaza" and "Park" as designated on the Site Plan. The adjacent property owner, St. Luke's Lutheran Church, shall provide ongoing maintenance and management of the "Park". The square footage of the "Public Plaza" and "Park" shall be counted in determining compliance with any open space requirements within this Planned Development and also entitle the Applicant to a credit towards any applicable Open Space Impact Fees in accordance with the Open Space Impact Fee Administrative Guidelines. The "Park" will have appropriate lighting and be open to the public during normal Chicago Park District hours of operation. Signage, as approved by the Department of Planning and Development, shall be placed at the entry to the "Park" stating the "Park" is open to the public during normal Chicago Park District hours of operation. "Park" improvements shall be complete at the issuance of the occupancy permit for the building and improvements on the Property.

Applicant may voluntarily dedicate to the City, the Chicago Park District or to another qualifying entity, title or a conservation easement in and to the "Park" on the Property, and the City, the Chicago Park District or other qualifying entity must accept such dedication. The City expressly acknowledges and agrees that such dedication would be entirely at the election of the Applicant, that the Applicant has not been required by the City to make such dedication and that such dedication would not be made by the Applicant in return for any benefit or consideration from the City whatsoever. If the Applicant chooses to grant a conservation easement or transfer title to an entity that has an expressed purpose to hold open space for public use, the maintenance and management shall be provided by St. Luke's Lutheran Church, and the Applicant shall be responsible for all fees required to establish and enforce the terms of the conservation easement or land transfer. The intended purpose of the conservation easement is to protect the use of the "Park" for public access and park recreation use. In the event the City, the Chicago Park District or other qualifying entity accepts dedication of title or conservation easement in and to the "Park", then notwithstanding any other provision of this Planned Development, the Net Site Area of the Property, for purposes of calculating maximum Floor Area Ratio, Minimum Lot Area Per Dwelling Unit and Overall Percentage of Site Coverage, shall be deemed to continue to include the area of said "Park" so dedicated.

11. For purposes of floor area, floor area ratio ("F.A.R.") and building height calculations, the definitions of the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, such floor area shall not include (a) all floor area devoted to mechanical equipment which exceeds two hundred fifty (250) square feet, (b) all floor area associated with mechanical penthouse areas, (c) all floor area associated with parking and loading areas, and (d) all floor area of floors located entirely below grade. The calculation of F.A.R. shall be made based on the net site area of the Planned Development. In addition, the calculation of any building height shall not include elevator shafts, ingress/egress towers, mechanical penthouses and enclosures, telecommunications facilities or architectural design elements such as spires.
12. The requirements of the Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development (the "Commissioner") upon application and a determination by the Commissioner that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of the Planned Development by the Commissioner shall be deemed to be a minor change in the Planned

Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance. Notwithstanding the provisions of Section 17-13-0611 of the Chicago Zoning Ordinance, such minor changes may include a reduction of the minimum required distance between structures and a reduction of periphery setbacks. It is acknowledged that the demising walls for the interior spaces are illustrative only and that the location and relocation of demising walls or division of interior spaces shall not be deemed to require any further approvals pursuant hereto.

13. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Any changes to ingress and egress as depicted in the Plans and as set forth below shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and loading facilities shall be provided in compliance with this Planned Development. Accessible parking shall be provided in accordance with applicable code.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design and maintain all buildings located on the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The Applicant shall provide a green roof consisting of at least twenty-five percent (25%) of the net roof area, and measuring approximately fourteen thousand two hundred eight (14,208) square feet.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the improvements of the Property in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") at the time of application for a building permit to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. The Applicant acknowledges that the City has an interest in creating affordable housing units throughout the City. In order to assist the City with creating affordable housing units, Applicant has agreed to provide a cash payment to the City of Chicago Affordable Housing Opportunity Fund in the amount of Five Hundred Thousand Dollars (\$500,000). Prior to the City's issuance of all permits required to construct all buildings and improvements, the Applicant shall remit payment to the City.

17. Unless substantial construction has commenced within six (6) years of the date of City Council approval of this Planned Development ordinance, then the zoning of the Property shall automatically revert to the B1-3 Neighborhood Shopping District and RT3.5, Residential Two-Flat, Townhouse and Multi-Family District. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown.

[Aerial Photo; Site Plan; Landscape/Green Roof Plan; Existing Zoning Map; Planned Development and Property Line Map; Existing Land-Use Map; Building Elevations; Area Context; Public Plaza; Public Park; and Lower Level 2 Parking referred to in these Plan of Development statements printed on pages 101140 through 101151 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Residential-Business Planned Development Number* 1052.

*Plan Of Development Bulk Regulations  
And Data Table.*

Gross Site Area, 119,646 square feet (2.74 acres) = Net Site Area, 81,593 square feet (1.87 acre) + Area Remaining in Public Right-of-Way, 38,053 square feet (0.87 acres)

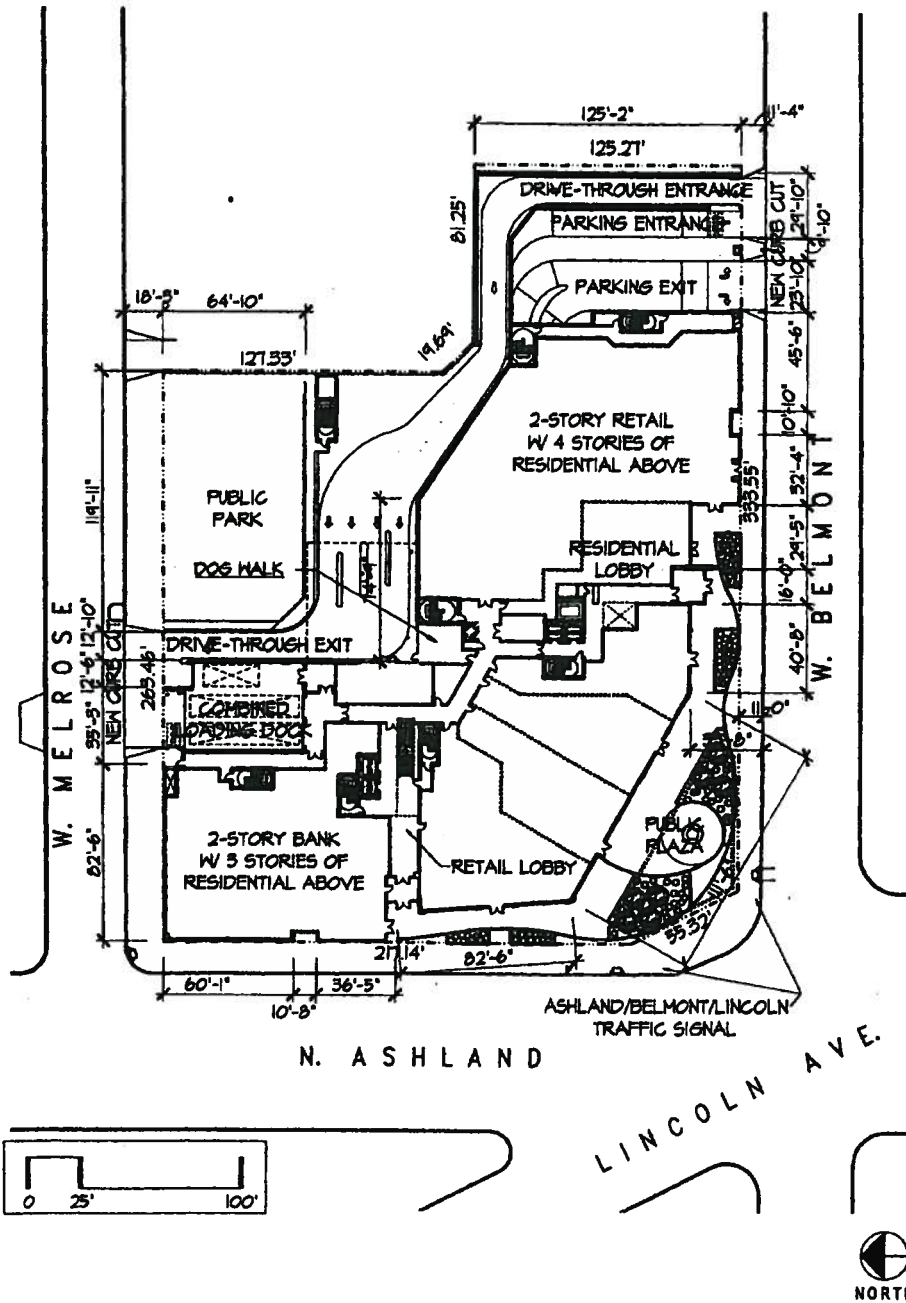
Maximum Floor Area Ratio:	3.0
Maximum Number of Dwelling Units:	150
Maximum Site Coverage:	In accordance with the Site Plan
Minimum Building Setbacks:	In accordance with the Site Plan
Minimum Number of Off-Street Parking Spaces:	300
Minimum Number of Off-Street Loading Berths:	In accordance with the Site Plan
Maximum Building Height:	In accordance with the Elevations

Aerial Photo.






Site Plan.

#1052

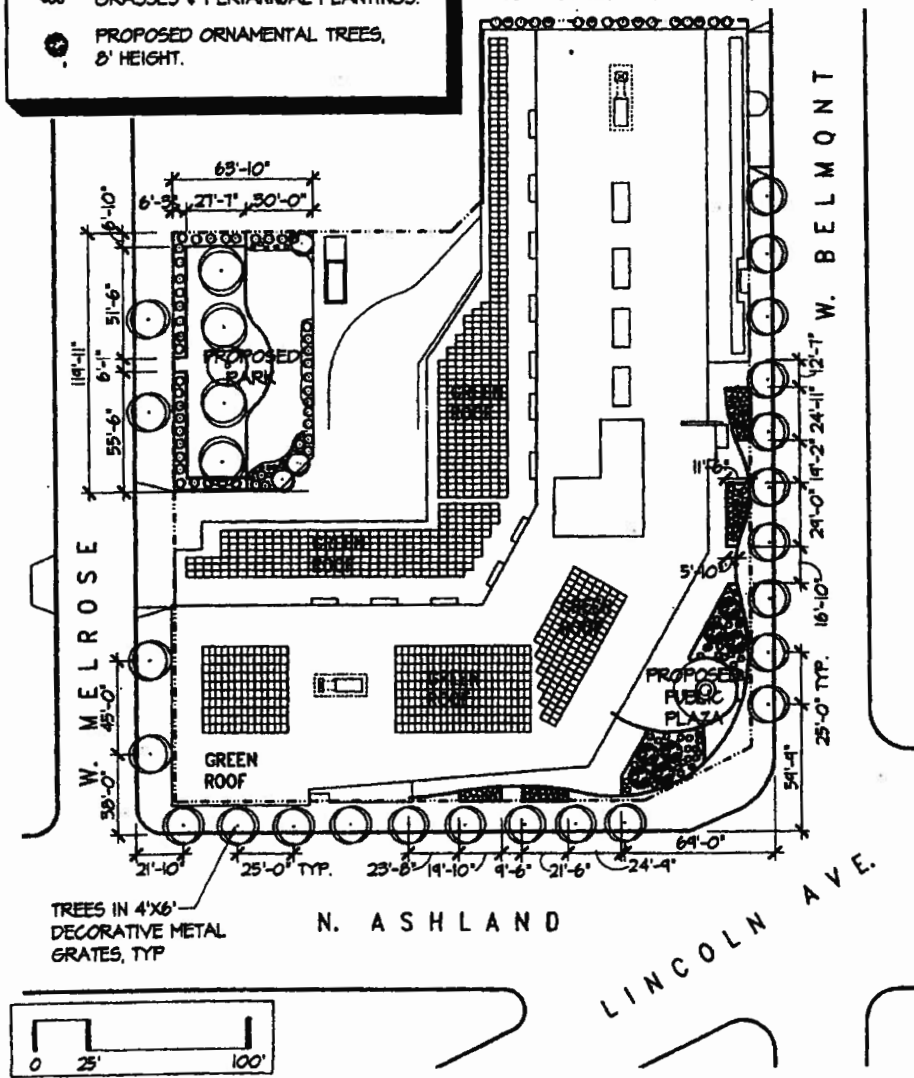


### Landscape/Green Roof Plan.

**LEGEND**

-  PROPOSED SHADE TREES, 2-1/2" CALIPER
-  PROPOSED SHRUBS, ORNAMENTAL GRASSES & PERIENNIAL PLANTINGS.
-  PROPOSED ORNAMENTAL TREES, 6' HEIGHT.

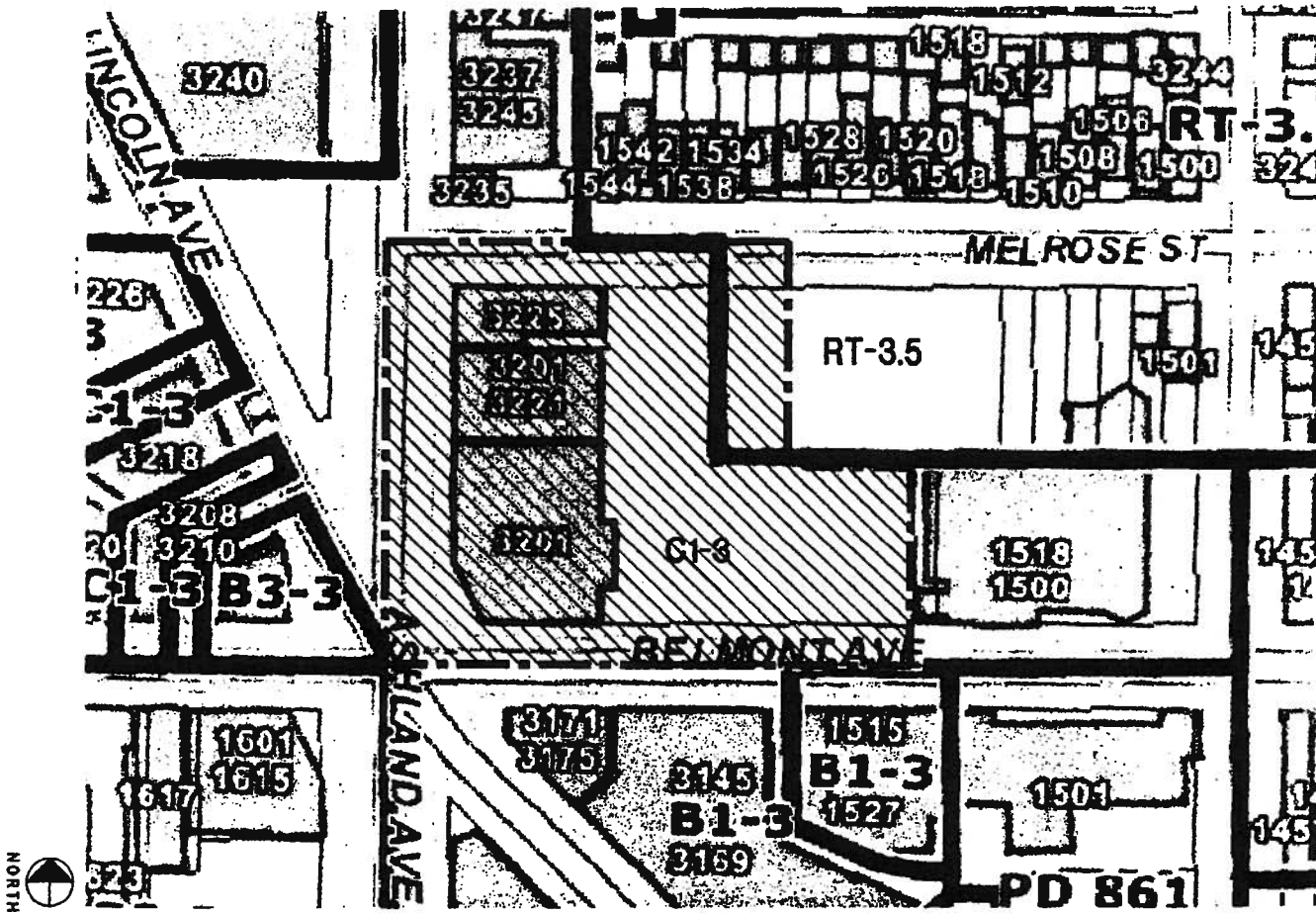
**GREEN ROOF AREAS**  
 -NET RETAIL ROOF AREA: 11,444 SF.  
 RETAIL GREEN ROOF REQUIRED - 50% = 5,722 SF.  
 -NET RESIDENTIAL ROOF AREA: 33,891 SF.  
 RESIDENTIAL GREEN ROOF REQUIRED - 25% = 8,473 SF.  
 TOTAL GREEN ROOF REQUIRED = 14,195 SF.  
 TOTAL GREEN ROOF PROVIDED = 14,208 SF.



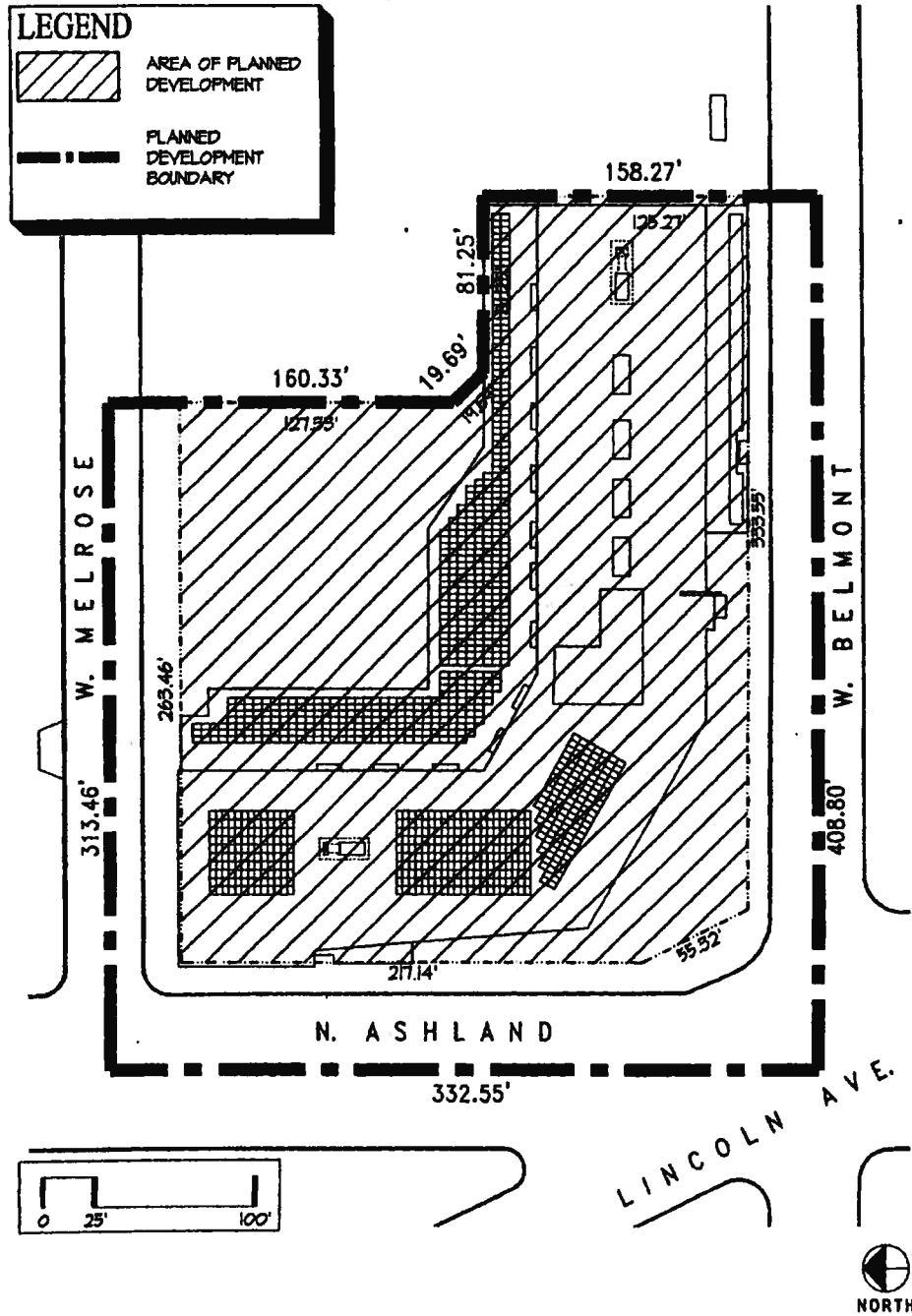
TREES IN 4'X6'  
 DECORATIVE METAL  
 GRATES, TYP



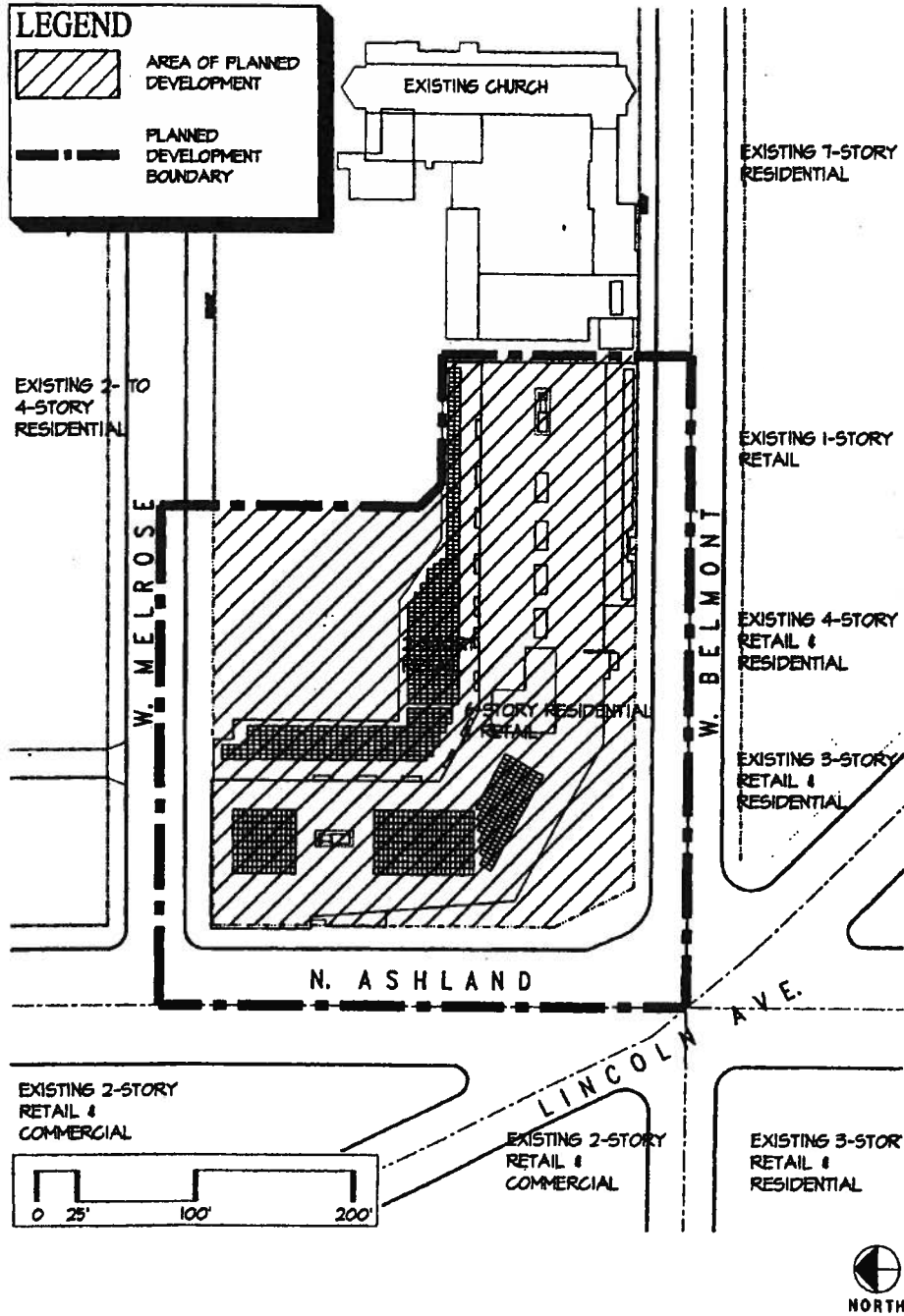
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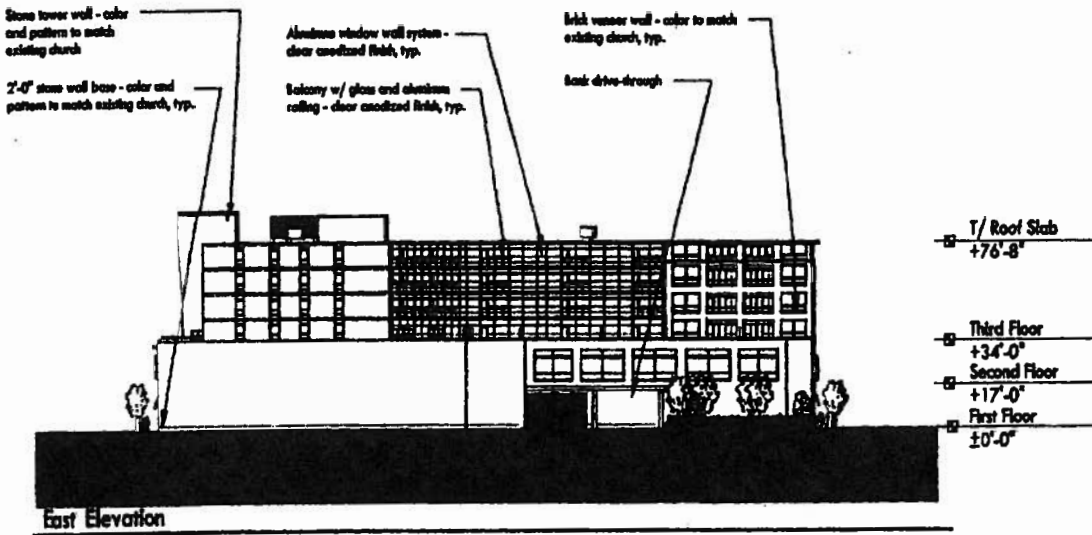
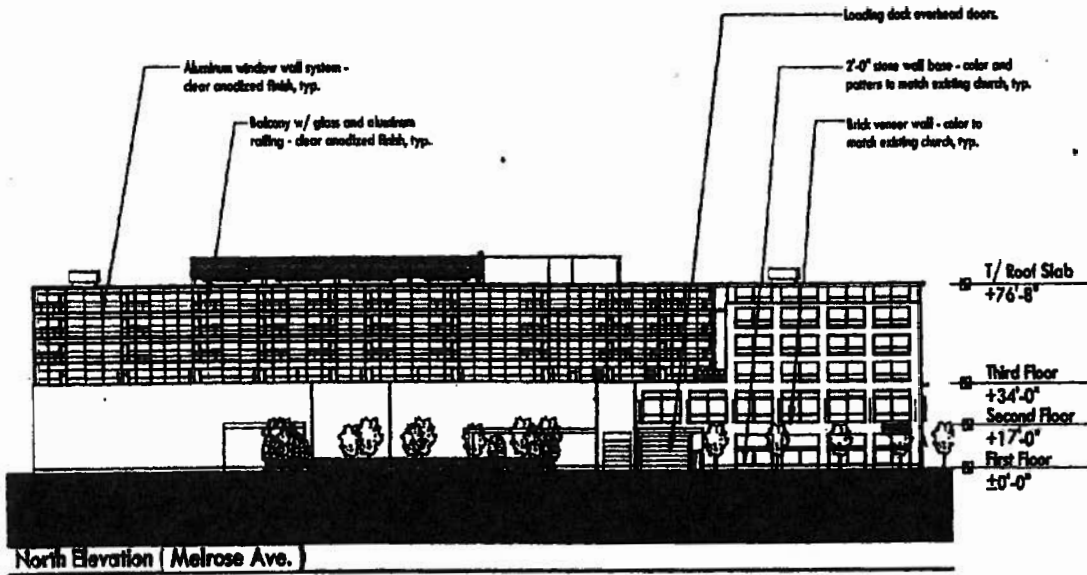
Planned Development And Property Line Map.



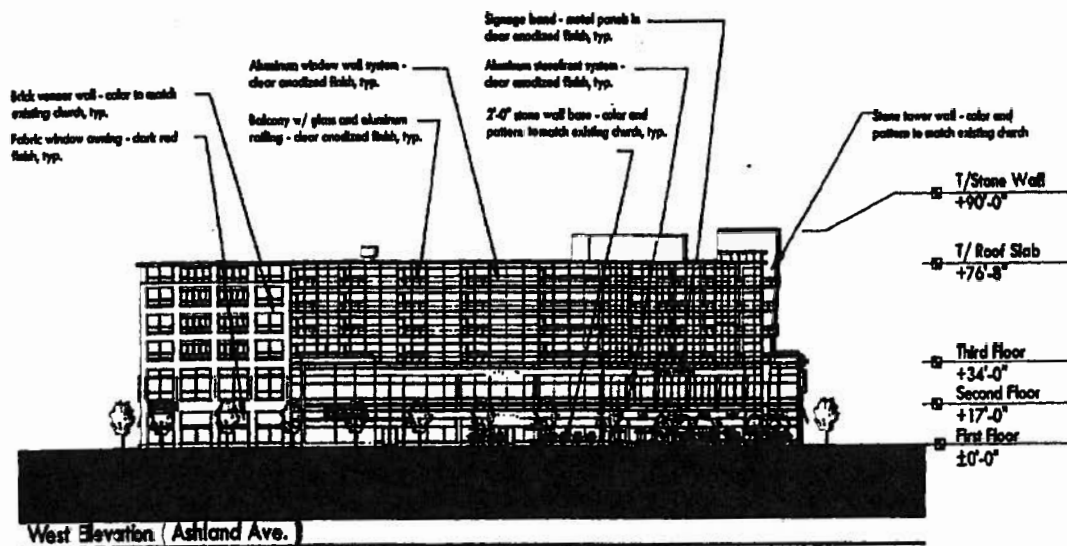
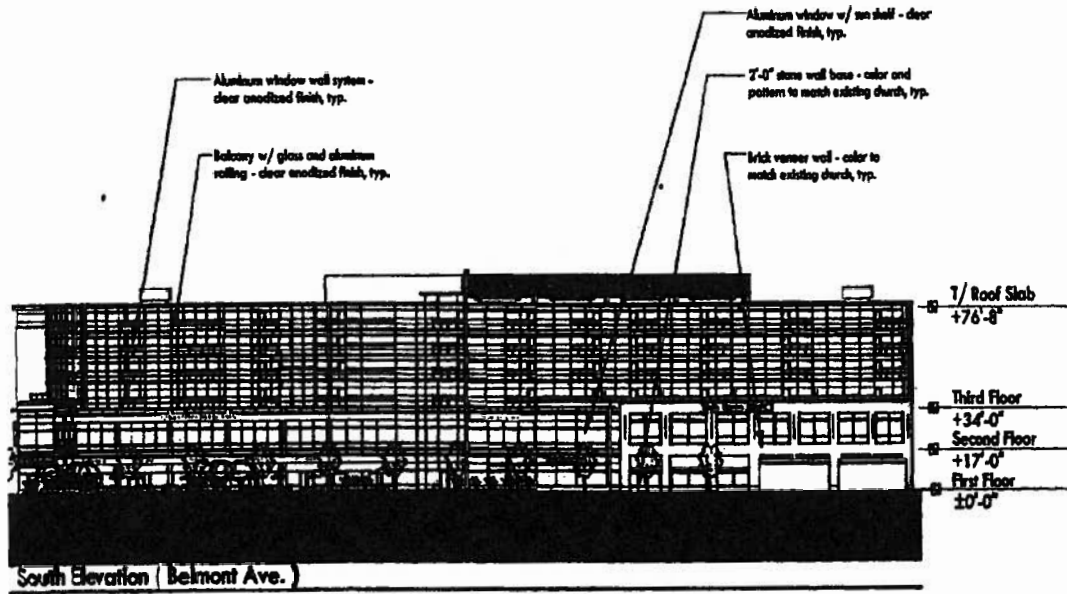
Existing Land-Use Map.



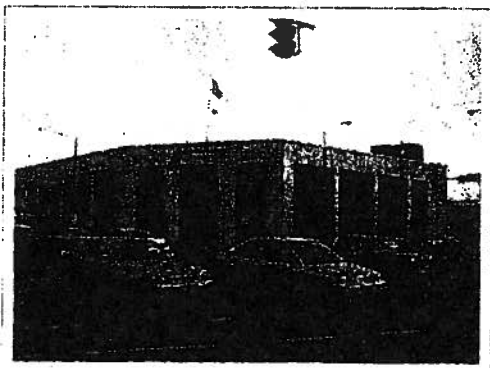
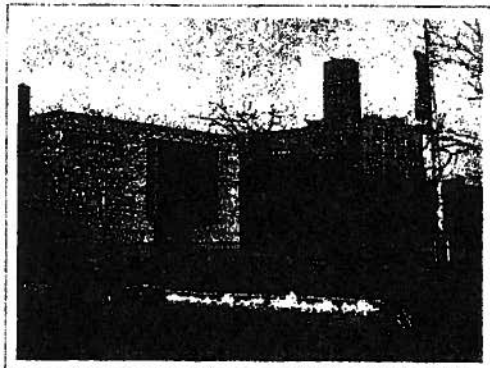
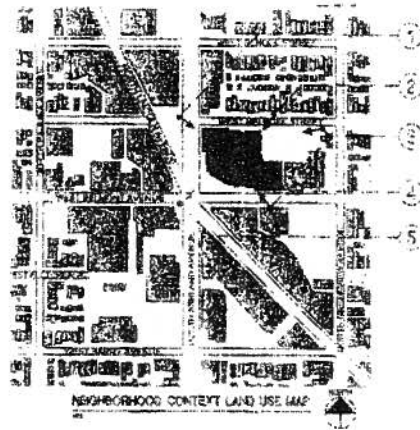
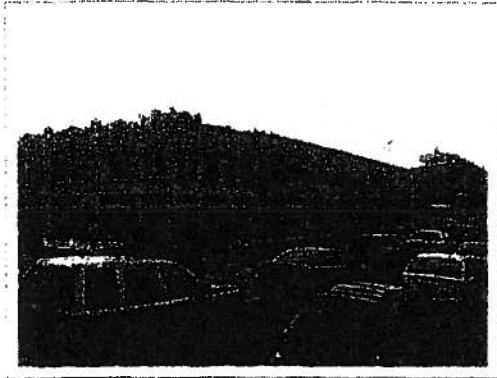
Building Elevations.  
(Page 1 of 2)



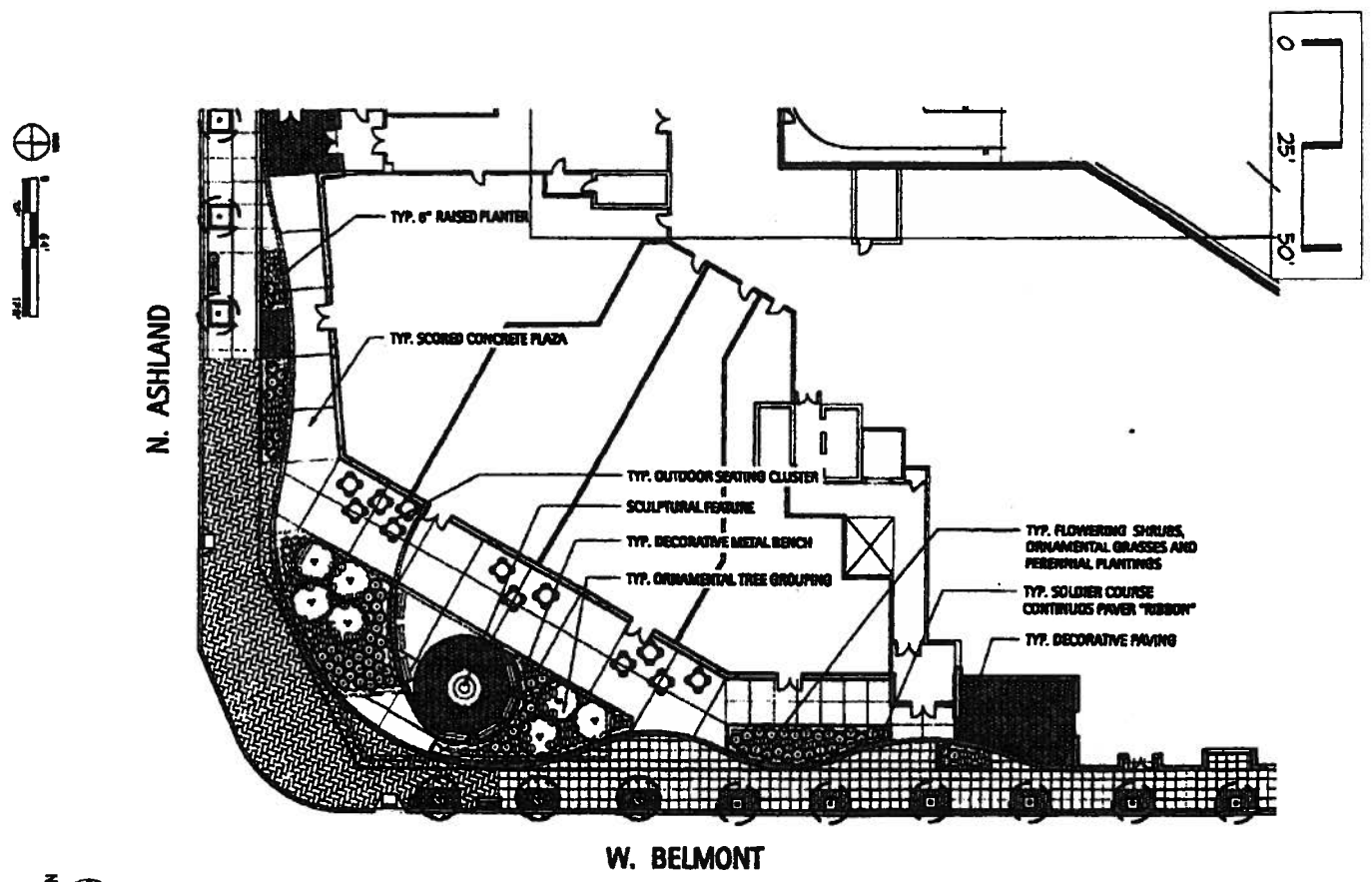
Building Elevations.  
(Page 2 of 2)



Area Context.



Public Plaza.

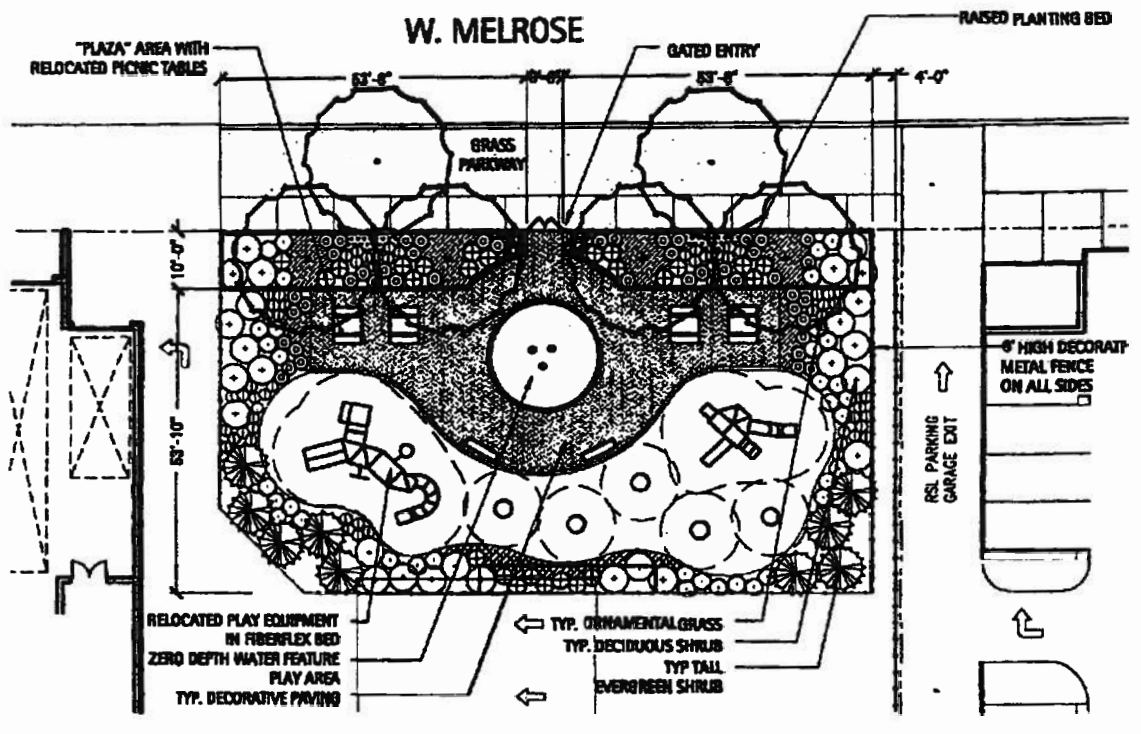


N. ASHLAND

W. BELMONT



Public Park.



Lower Level 2 Parking.

