

PD 1046

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 4, 2015

Andrew Scott
Dykema Gossett PLLC
10 S. Wacker Drive
Suite 2300
Chicago, IL 60606

**Re: Administrative Relief request for Residential Planned Development No. 1046
3700 North Milwaukee Avenue**

Dear Mr. Scott:

Please be advised that your request for a minor change to Residential Planned Development No. 1046 ("PD 1046"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1046.

On May 27, 2015, administrative relief was granted for several changes, including a reconfiguration of the site plan and right-of-way adjustment plan, a reduction in the number of units from 49 to 48, and revised elevations. On August 15, 2015, administrative relief was granted for modifications to the bulk table and plans as a result of shifting the rear alley approximately two feet to the east to allow for the safety and stability of the adjacent railroad embankment. Your client and the owner of all of the property within PD 1046, Basecamp Old Irving Park LLC, is now seeking administrative relief to:

- Allow the alley abutting lots 1 to 4 and the alley abutting lots 45 to 48 to be private rather than dedicated. This results in a 2,400 SF reduction in the area to be dedicated to the public right of way and a corresponding increase of 2,400 SF in the net site area. The attached, revised Bulk Regulations and Data Table and the attached, revised Right-of-Way Adjustment Plan/Lot Plan, dated October 23, 2015, shall be inserted into the main file.
- Allow the option to provide garage roof-top decks for all of the 48 lots.
- Allow the option to provide deeper single family homes on lots 13 and 48.


With regard to your request, the Department of Planning and Development has determined that allowing the two alleys abutting lots 1 to 4 and 45 to 48 to be private will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase

in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 1046, I hereby approve the privatization of these two alleys, but no other changes to this Planned Development. You also requested that the City of Chicago garbage collection be referenced and made part of the Planned Development statements for the seven lots affected by the alley change. However, garbage collection is not regulated by this Department, therefore, we are not referencing it in the Planned Development statements. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

In regards to your request to allow the option of garage roof-top decks on all of the lots and the option of deeper homes on lots 13 and 48, these two requests are denied. If roof-top decks were allowed, stairs to the roof decks would encroach into the rear yard setbacks. Only stairs providing secondary access as required by the Building Code are allowed to encroach in the required rear yard setback. It should also be noted that almost all of the lots are substandard in size, and the majority vary in length between 72 and 76 feet.

Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

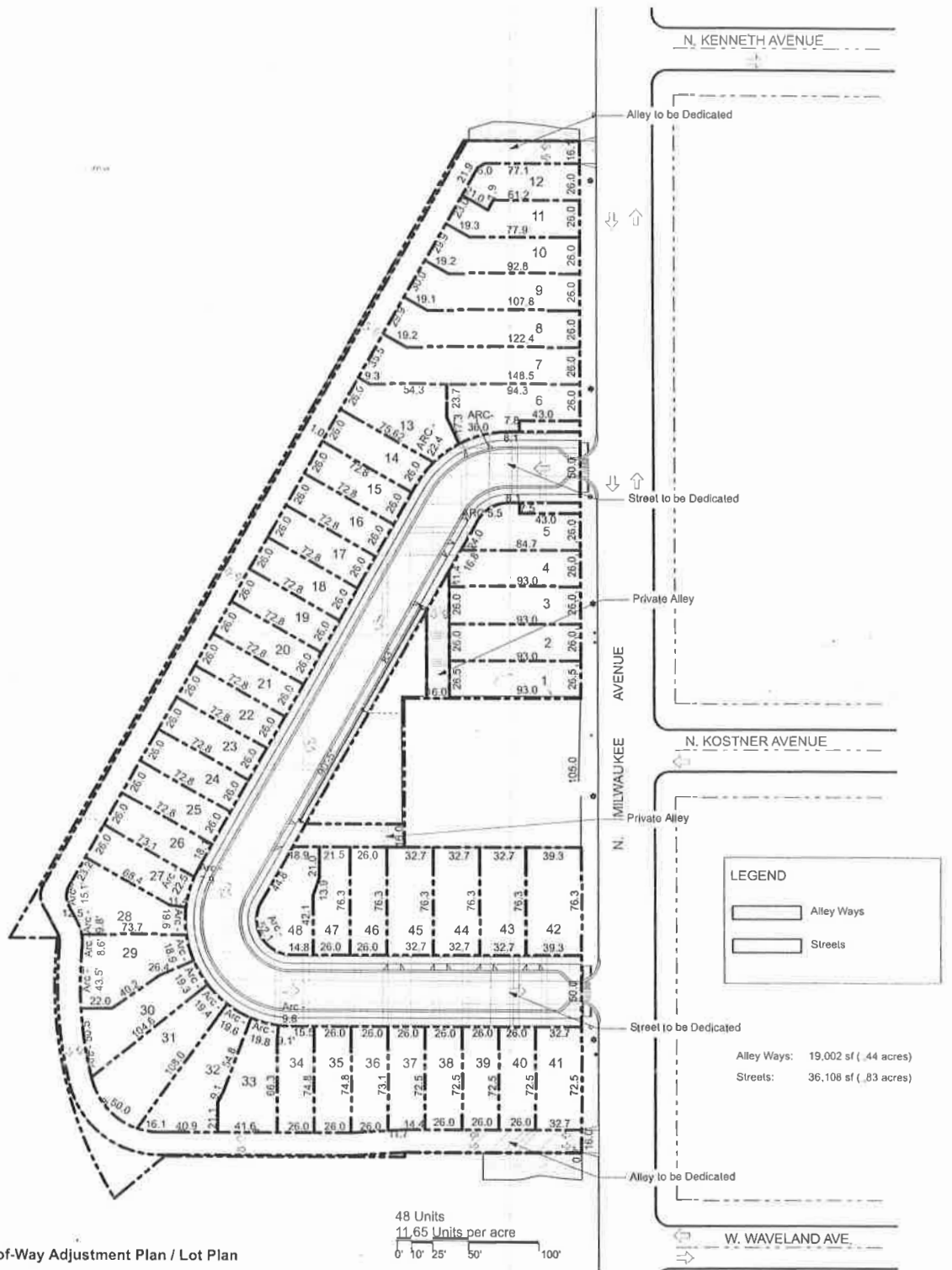
C: Mike Marmo, Erik Glass, Fred Deters, Bill Higgins, Main file

Residential Planned Development Number 1046, As Amended

Bulk Regulations And Data Table

Gross Site Area:	199,700 square feet (4.60 acres)
Area Remaining in Public Right-of-Way:	20,066 square feet (0.46 acres)
Area to be Dedicated to Public Right-of-Way:	55,110 square feet (1.27 acres)
Net Site Area:	124,524 square feet (2.86 acres)
Maximum Floor Area Ratio:	1.0
Maximum Number of Residential Units:	48 Units
Maximum Site Coverage:	74%
Number of Off-Street Parking Spaces *:	Maximum of 138 Spaces, Minimum of 96
Minimum Building Setbacks:	Per Site Plan - Typical Home Option
Maximum Building Height:	35'

*Note: In the event fewer residential dwelling units are built, then fewer parking spaces may be built as long as the parking ratio of 2.0 parking spaces per dwelling unit is maintained.





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 5, 2015

Andrew Scott
Dykema Gossett PLLC
10 S. Wacker Dr., Suite 2300
Chicago, IL 60606

**Re: Administrative Relief request for Residential Planned Development No. 1046
3700 North Milwaukee Avenue**

Dear Mr. Scott:

Please be advised that your request for a minor change to Residential Planned Development No. 1046 ("PD 1046"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1046.

Your client and the owner of all of the property within PD 1046, Basecamp Old Irving Park LLC, is seeking administrative relief to allow for modifications to the bulk table and plans as a result of shifting the rear alley approximately two feet to the east to allow for the safety and stability of the adjacent railroad embankment. On May 27, 2015, administrative relief was granted for several changes, including a reconfiguration of the site plan and rights-of-way, a reduction in the number of units from 49 to 48, and revised elevations. You are now seeking to substitute the attached, revised Bulk Regulations and Data Table, Right-of-Way Adjustment Plan/Lot Plan, Site Plan, and Site Landscape Plan, all dated July 22, 2015.

With regard to your request, the Department of Planning and Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 1046, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Patricia A. Scudero
Zoning Administrator

C: Mike Marmo, Erik Glass, Fred Deters, Ron Daye, Bill Higgins, Main file

Residential Planned Development Number 1046, As Amended

Bulk Regulations And Data Table

Gross Site Area:	199,700 square feet (4.60 acres)
Area Remaining in Public Right-of-Way:	20,066 square feet (0.46 acres)
Area to be Dedicated to Public Right-of-Way:	57,510 square feet (1.32 acres)
Net Site Area:	122,124 square feet (2.80 acres)
Maximum Floor Area Ratio:	1.0
Maximum Number of Residential Units:	48 Units
Maximum Site Coverage:	74%
Number of Off-Street Parking Spaces *:	Maximum of 138 Spaces, Minimum of 96
Minimum Building Setbacks:	Per Site Plan - Typical Home Option
Maximum Building Height:	35'

*Note: In the event fewer residential dwelling units are built, then fewer parking spaces may be built as long as the parking ration of 2.0 parking spaces per dwelling unit is maintained.

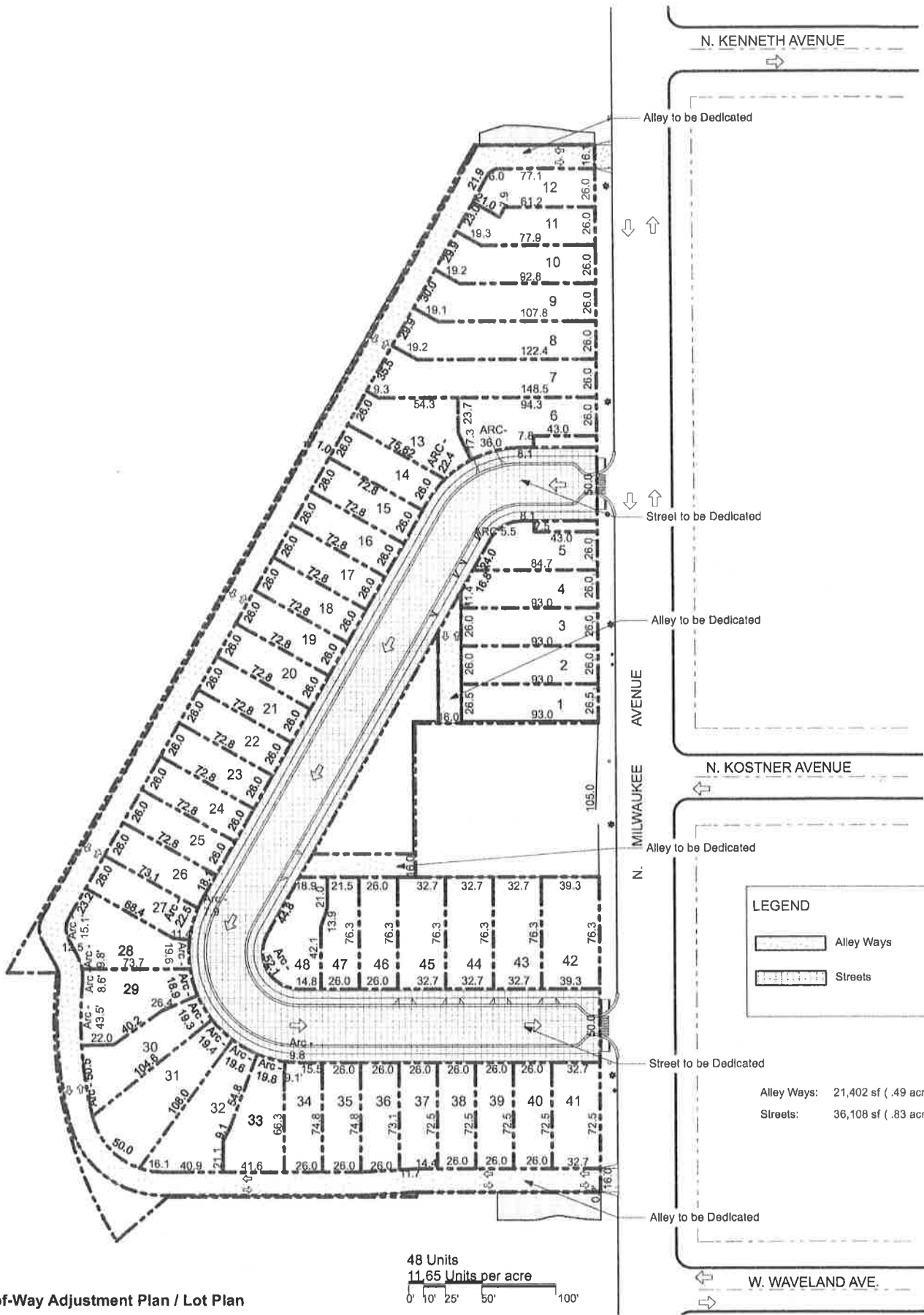
Bulk Regulations and Data Table

Applicant:
Basecamp Old Irving Park, LLC
2020 North California
Suite 7
Chicago, Illinois 60647



Date: July 22, 2015

Property Address:
3670-3688 and 3700-3738 North
Milwaukee Avenue
Chicago, Illinois



Right-of-Way Adjustment Plan / Lot Plan

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

Date: July 22, 2015



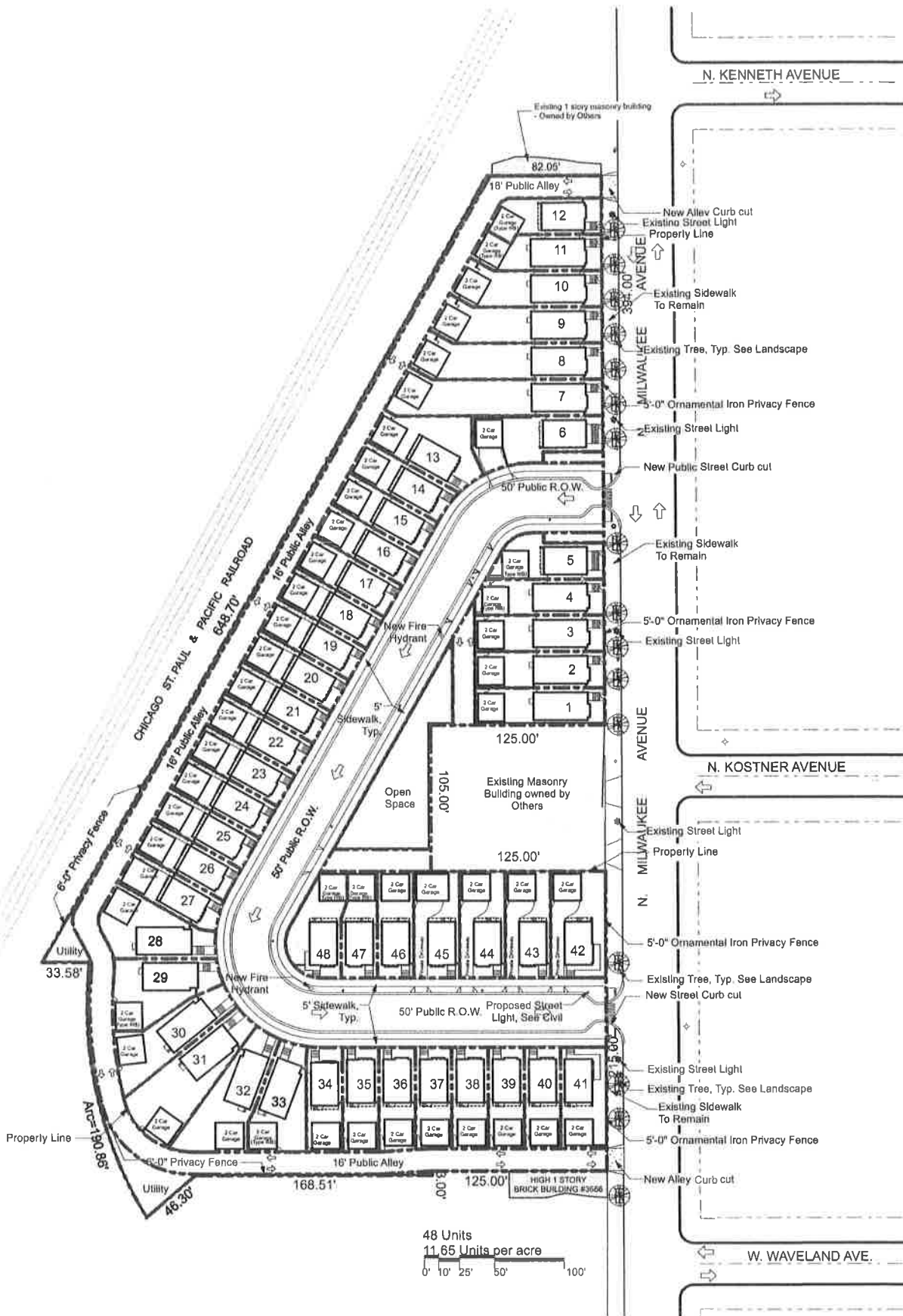
48 Units
 11.65 Units per acre
 0' 10' 25' 50' 100'

LEGEND

- Alley Ways
- Streets

Alley Ways: 21,402 sf (.49 acres)
 Streets: 36,108 sf (.83 acres)

Property Address:
 3670-3688 and 3700-3738 North
 Milwaukee Avenue
 Chicago, Illinois



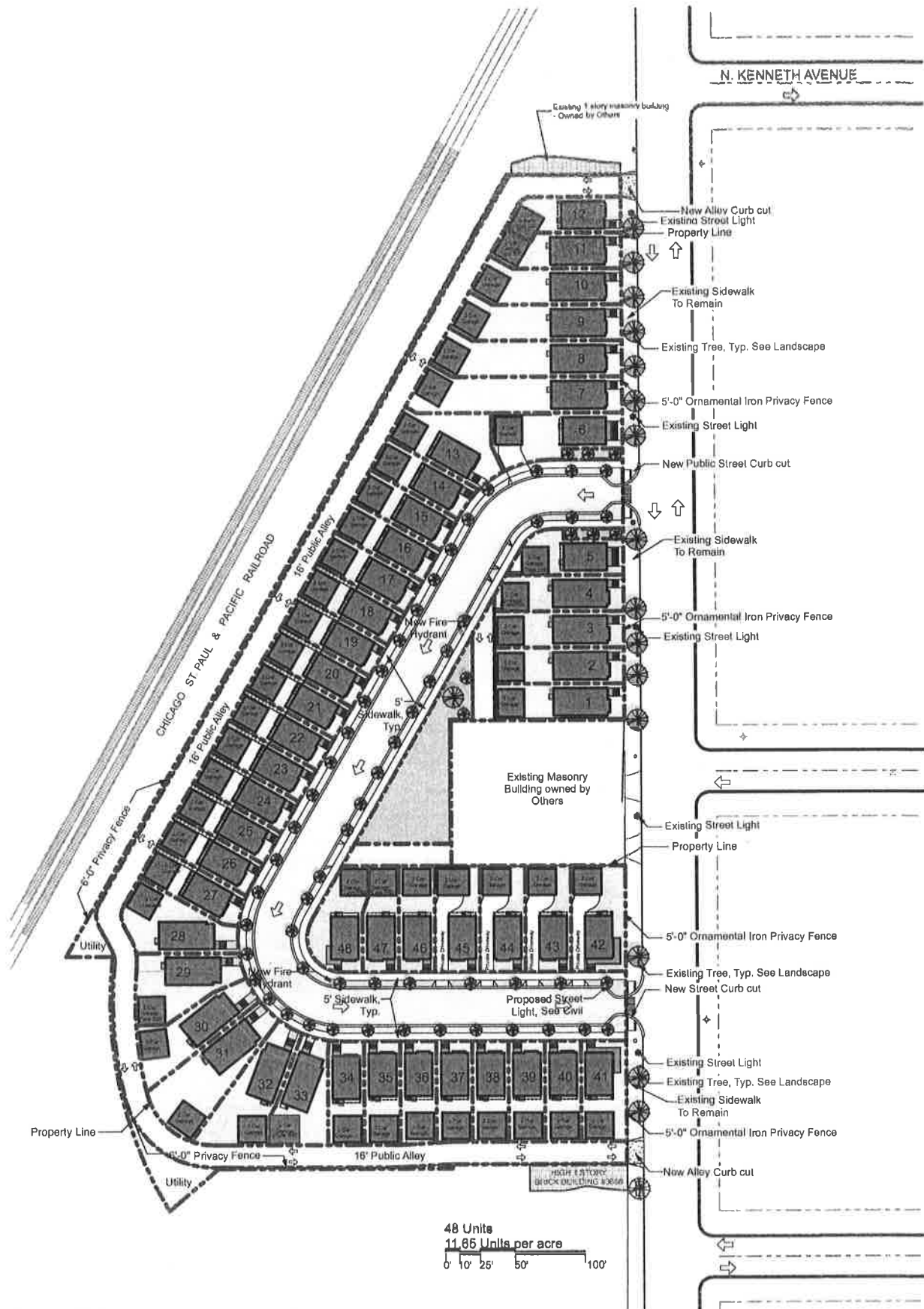
Site Plan

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

Date: July 22, 2015



Property Address:
 3670-3688 and 3700-3738 North
 Milwaukee Avenue
 Chicago, Illinois



Site Landscape Plan

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647



Date: July 22, 2015

Property Address:
 3670-3688 and 3700-3738 North
 Milwaukee Avenue
 Chicago, Illinois



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 27, 2015

Bernard I. Citron
Thompson Coburn LLP
55 East Monroe Street, 37th Floor
Chicago, IL 60603

**Re: Administrative Relief request for Residential Planned Development No. 1046
3700 North Milwaukee Avenue**

Dear Mr. Citron:

Please be advised that your request for a minor change to Residential Planned Development No. 1046 ("PD 1046"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1046.

Your client and the owner of all of the property within PD 1046, 3670/3720 North Milwaukee LLC, is seeking administrative relief to allow for:

- Design revisions to the plans and elevations for the proposed single-family development. The PD was amended on April 30, 2014 and approved a 49 unit development with a net site area of 116,560 square feet ("SF") and 63,520 SF of area dedicated to the public right-of-way. One alley (or 4,555 SF) behind the northernmost seven lots has been eliminated, resulting in an increase in net site area to 121,115 SF and a corresponding decrease in public right-of-way area to 58,965 SF. The alley elimination also results in an increase in the depth of the northernmost seven lots. In order to create more common open space, the maximum number of residential units has been decreased from 49 to 48 units. The maximum building height remains 35 feet, as defined in the Zoning Ordinance, however, the revised elevations reflect an increase in the maximum average roof height from 28 to 35 feet.

The attached, revised Bulk Regulations and Data Table, and revised Right-of-Way Adjustment Plan/Lot Plan, Site Plan, Site Landscape Plan, Lot Landscape Plan, Milwaukee Street Elevations Front Elevations Options 1 and 2, Front Elevations Options 3 and 4, Front Elevation Option 5 and Corner Elevation, Front Elevation Option 1C and 2C (28-33 Lots), Front Elevation Option 3C and 4C (28-33 Lots), Typical Side and Rear Elevations, and Typical Garage Elevations, all dated May 1, 2015, shall be inserted into the main file.

- A revision to Statement No. 9 of the PD which states in part: No part II Approval shall be issued for individual homes until a plat of subdivision has been approved and recorded and all of the public improvements on the site (street, alleys, water, sewer and utility lines, et cetera) have been reviewed and approved for construction, according to City standards. No Part II Approval for individual homes shall be issued for the 25th home until the two open spaces indicated on the Site Plan-Typical Home Option and Site Landscape Plan have been graded and seeded to grass.

You are seeking to revise this Statement in part, to read: Part II approval shall be granted, in accordance with the Department of Planning and Development procedures, only after:


- i. Submission to and acceptance by the Department of Transportation (“CDOT”) of a Final Plat of Subdivision application and supporting documentation as required by the Department.
- ii. Submission to CDOT and Water Management of engineering design drawings for all required site improvements. Upon preliminary approval of the engineering drawings, Part II approval may be issued.
- iii. Execution by the developer of the required “Duty to Build” agreement requiring the developer to construct all of the site improvements.
- iv. The Plat of Subdivision shall be approved by City Council and recorded prior to issuance of a certificate of occupancy for the 24th home.

NOTE: No homes, once constructed, may be sold until all site improvements have been constructed and the Plat of Subdivision has been approved and recorded.

With regard to your request, the Department of Planning and Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Additionally, CDOT has approved the revised Site Plan and the requested modifications.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 1046, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Fred Deters, Ron Daye, Bill Higgins, Main file

Residential Planned Development Number 1046, As Amended

Bulk Regulations And Data Table

Gross Site Area:	199,700 square feet (4.60 acres)
Area Remaining in Public Right-of-Way:	19,620 square feet (0.46 acres)
Area to be Dedicated to Public Right-of-Way:	58,965 square feet (1.35 acres)
Net Site Area:	121,115 square feet (2.78 acres)
Maximum Floor Area Ratio:	1.0
Maximum Number of Residential Units:	48 Units
Maximum Site Coverage:	74%
Number of Off-Street Parking Spaces *:	Maximum of 138 Spaces, Minimum of 96
Minimum Building Setbacks:	Per Site Plan - Typical Home Option
Maximum Building Height:	35'

*Note: In the event fewer residential dwelling units are built, then fewer parking spaces may be built as long as the parking ration of 2.0 parking spaces per dwelling unit is maintained.

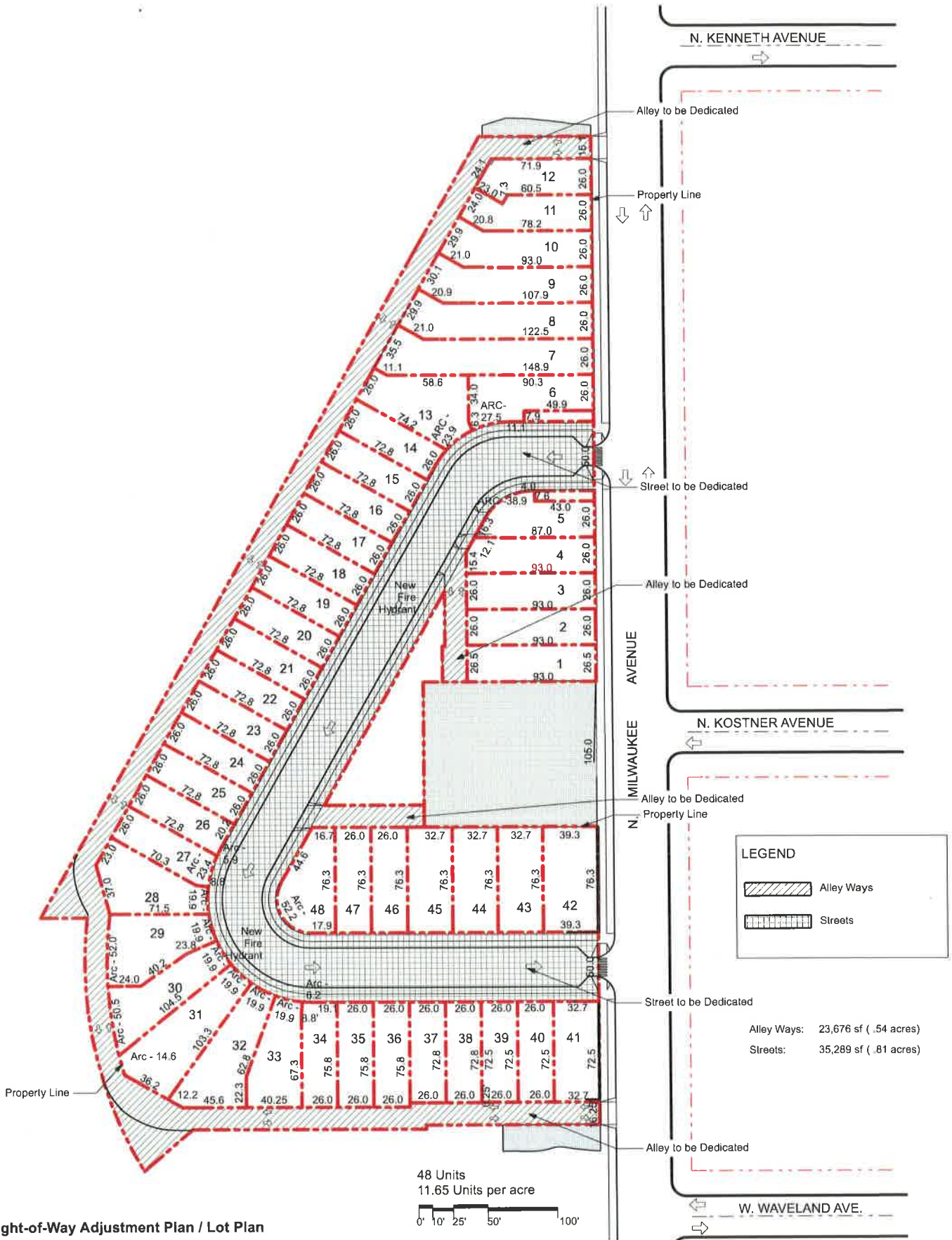
Bulk Regulations and Data Table

Applicant:
Basecamp Old Irving Park, LLC
2020 North California
Suite 7
Chicago, Illinois 60647



Date: May 1, 2015

Property Address:
3670-3688 and 3700-3738 North
Milwaukee Avenue
Chicago, Illinois



LEGEND

- Alley Ways
- Streets

Alley Ways: 23,676 sf (.54 acres)
 Streets: 35,289 sf (.81 acres)

48 Units
 11.65 Units per acre

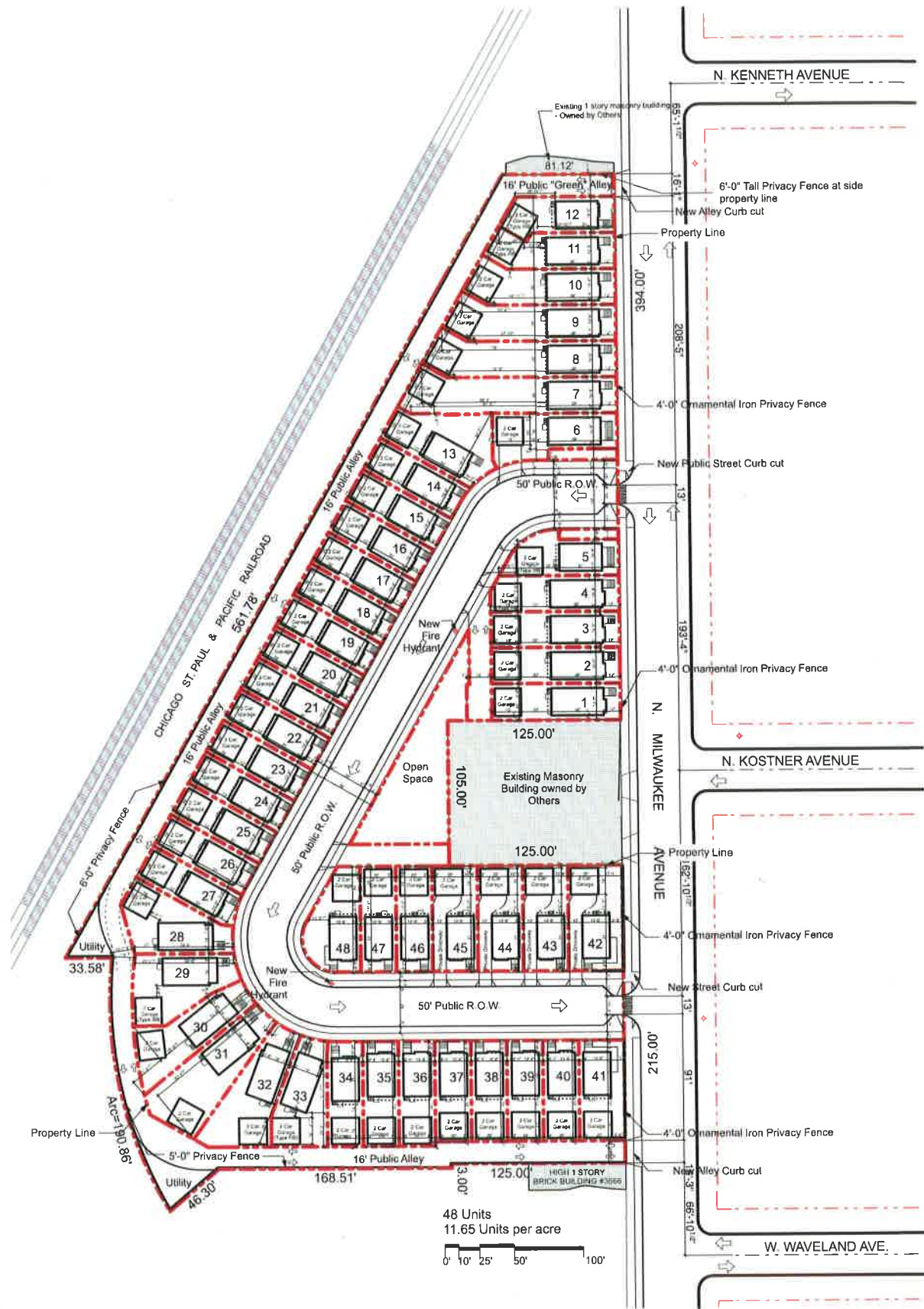
Right-of-Way Adjustment Plan / Lot Plan

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

Date: May 1, 2015



Property Address:
 3670-3688 and 3700-3738 North
 Milwaukee Avenue
 Chicago, Illinois



48 Units
 11.65 Units per acre
 0' 10' 25' 50' 100'

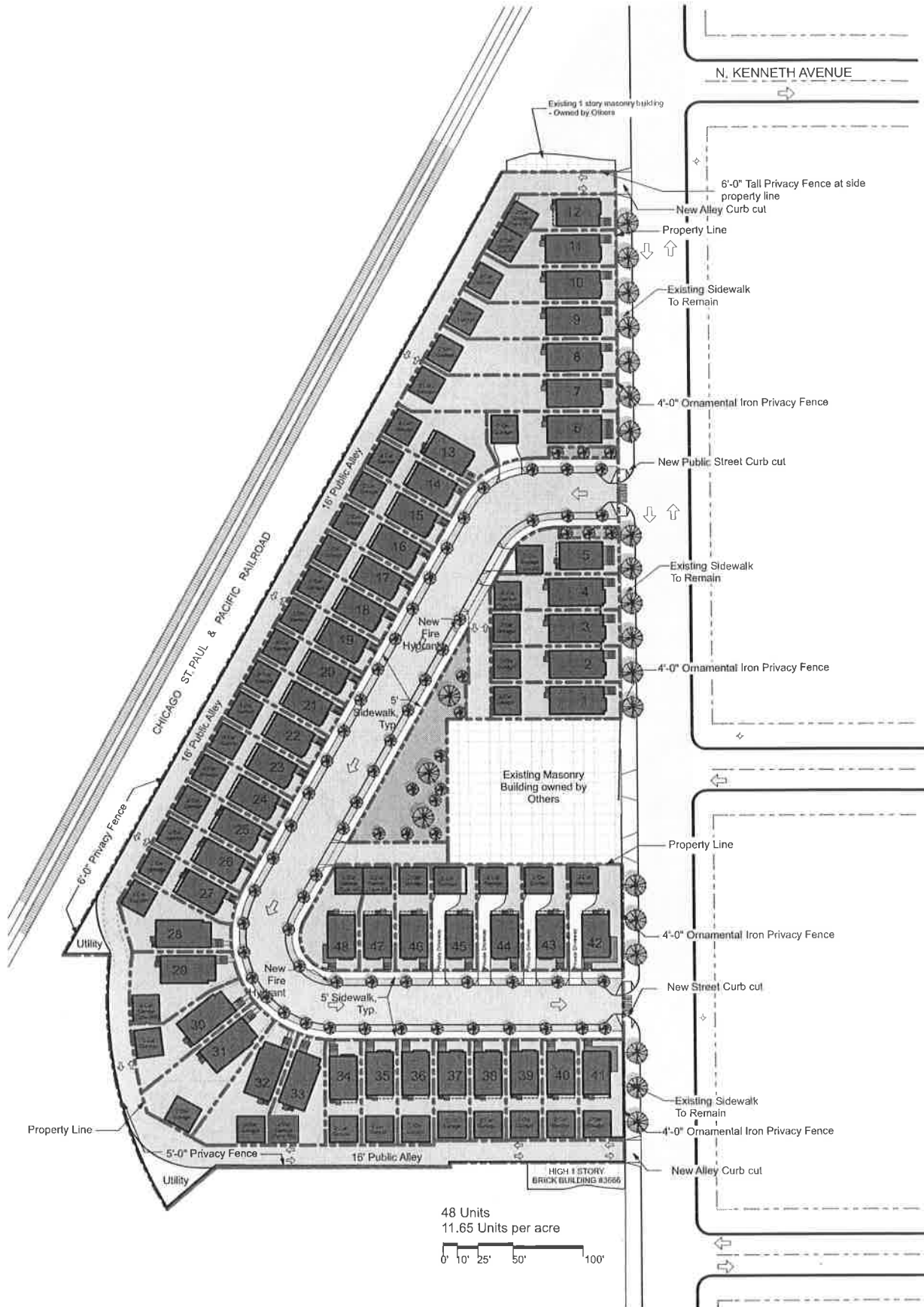
Site Plan

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647



Date: May 1, 2015

Property Address:
 3670-3688 and 3700-3738 North
 Milwaukee Avenue
 Chicago, Illinois



48 Units
11.65 Units per acre



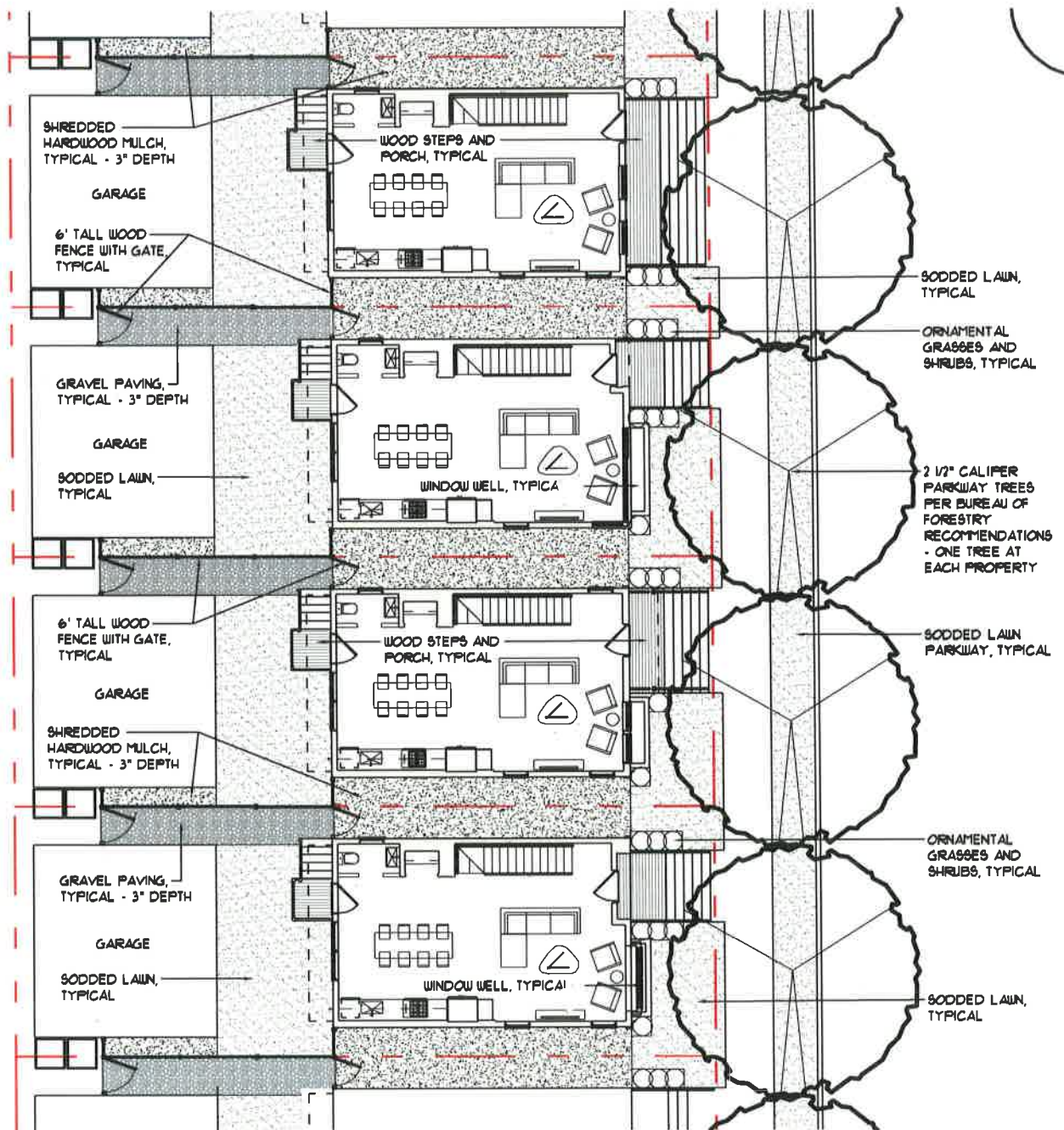
Site Landscape Plan

Applicant:
Basecamp Old Irving Park, LLC
2020 North California
Suite 7
Chicago, Illinois 60647



Date: May 1, 2015

Property Address:
3670-3688 and 3700-3738 North
Milwaukee Avenue
Chicago, Illinois



Lot Landscape Plan

Applicant:
 Nahshon Development, LLC
 4252 North Cicero
 Chicago, Illinois 60641

Introduced: September 11, 2008
 Plan Commission: May 1, 2015

Property Address:
 3670-3688 & 3700-3788 North Milwaukee
 Chicago, IL



N. Milwaukee Ave. Elevation

1

Brick Base At Milwaukee Avenue Elevations Only

4' Tall PTD Metal Fence On Milwaukee Avenue Only



N. Milwaukee Ave. Elevation

2

Brick Base At Milwaukee Avenue Elevations Only

4' Tall PTD Metal Fence On Milwaukee Avenue Only



N. Milwaukee Ave. Elevation

3

Brick Base At Milwaukee Avenue Elevations Only

4' Tall PTD Metal Fence On Milwaukee Avenue Only

Milwaukee Street Elevation

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

Date: May 1, 2015

Property Address:

3670-3688 & 3700-3788 North Milwaukee
 Chicago, IL



Typical Home Type Option 2

Typical Home Type Option 1

Front Elevation Options 1 and 2

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

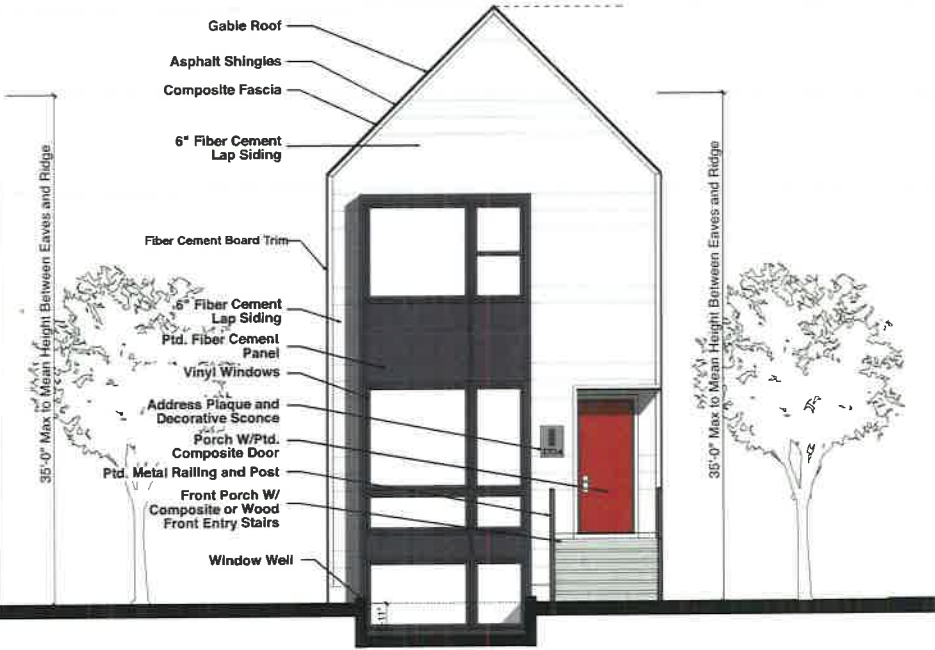
Date: May 1, 2015

Property Address:
 3670-3688 & 3700-3788 North Milwaukee
 Chicago, IL





Typical Home Type Option 4



Typical Home Type Option 3

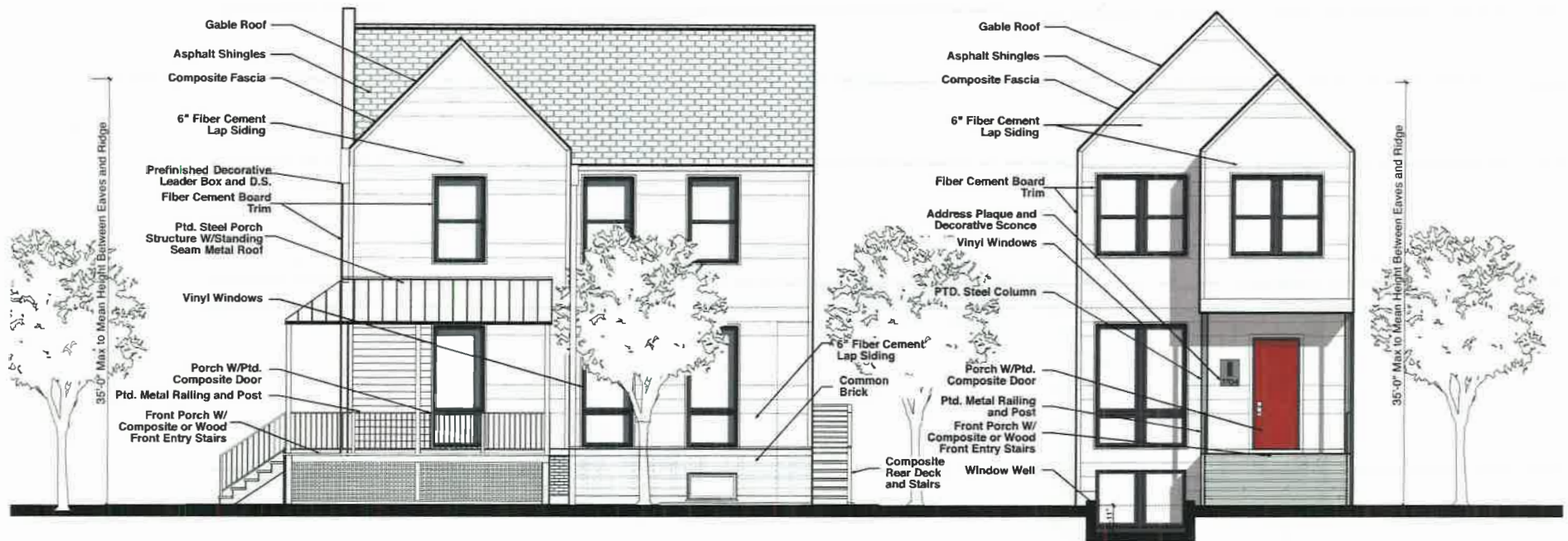


Front Elevation Options 3 and 4

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

Date: May 1, 2015

Property Address:
 3670-3688 & 3700-3788 North Milwaukee
 Chicago, IL



Typical Home Type Corner Option

Typical Home Type Option 5

Front Elevation Option 5 and Corner Elevation



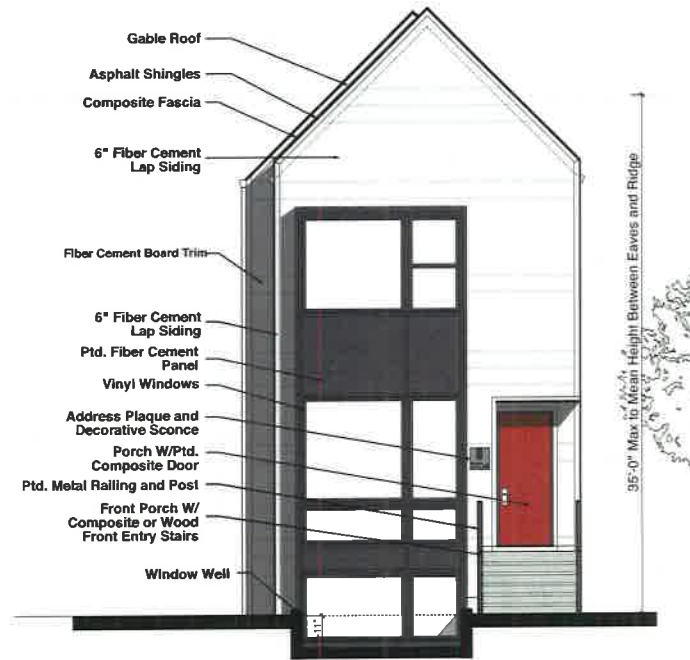
Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

Date: May 1, 2015

Property Address:
 3670-3688 & 3700-3788 North Milwaukee
 Chicago, IL



**Typical Home Type Option 4C
(Lots 28-33)**



**Typical Home Type Option 3C
(Lots 28-33)**

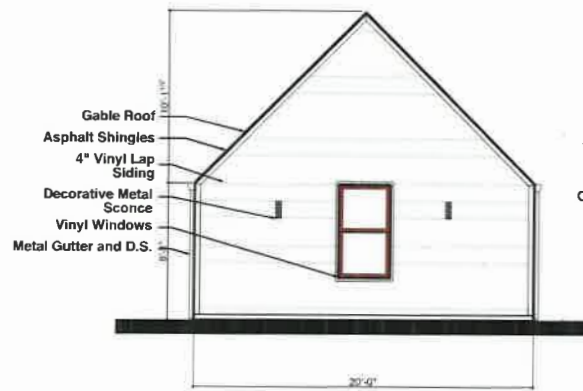


Front Elevation Option 3C and 4C (28-33 Lots)

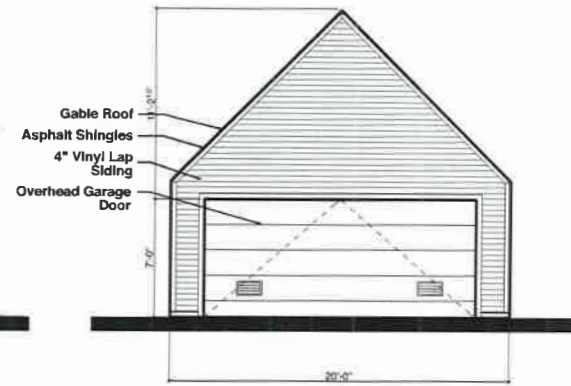
Applicant:
Basecamp Old Irving Park, LLC
2020 North California
Suite 7
Chicago, Illinois 60647

Date: May 1, 2015

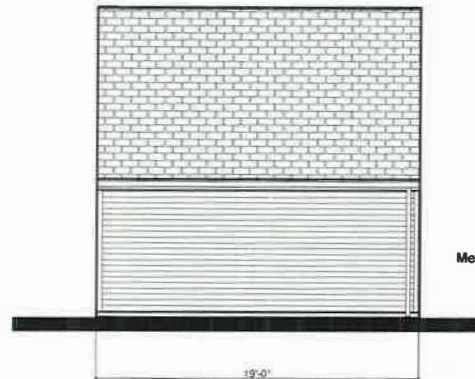
Property Address:
3670-3688 & 3700-3788 North Milwaukee
Chicago, IL



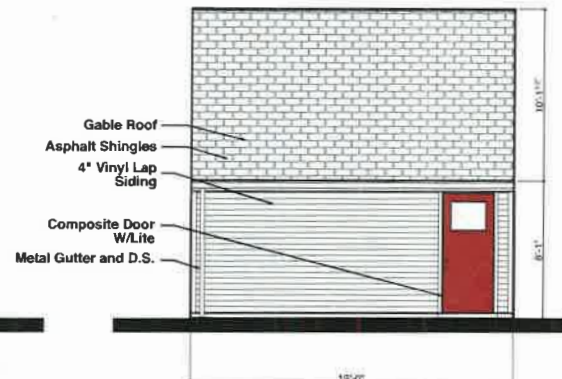
Typical Garage Yard Elevation



Typical Garage Alley Elevation



Typical Garage Side Elevation



Typical Garage Side Elevation



Typical Garage Elevations

Applicant:
 Basecamp Old Irving Park, LLC
 2020 North California
 Suite 7
 Chicago, Illinois 60647

Date: May 1, 2015

Property Address:
 3670-3688 & 3700-3788 North Milwaukee
 Chicago, IL

17829

80598

JOURNAL--CITY COUNCIL--CHICAGO

4/30/2014

*Reclassification Of Area Shown On Map No. 9-I.
(Application No. 17966)
(Common Address: 3700 -- 3714 N. California Ave.)*

[O2014-1446]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 9-I in area bounded by:

the alley next west of and parallel to North California Avenue; a line 150.65 feet north of and parallel to West Waveland Avenue; North California Avenue; and West Waveland Avenue,

to those of an RT3.5 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and approval.

*Reclassification Of Area Shown On Map No. 9-K.
(As Amended)
(Application No. 17829)*

BPD 1046, 99

(Common Address: 3670 -- 3688 And 3700 -- 3738 N. Milwaukee Ave.)

[SO2013-6101]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Planned Development Number 1046 symbols and indications as shown on Map Number 9-K in the area bounded by:

starting at a point 851.48 feet north of the north line of West Addison Street on the east line of the Chicago, St. Paul and Pacific Railroad right-of-way; a line extending 81.12 feet northeast and perpendicular to North Milwaukee Avenue; the west line of North Milwaukee Avenue southeast for a distance of 394.00 feet; a line perpendicular to North Milwaukee Avenue traveling southwest for a distance of 125.00 feet; a line parallel to North Milwaukee Avenue traveling southeast for a distance of 105.00 feet; a line perpendicular to North Milwaukee Avenue traveling northeast a distance of 125.00 feet to North Milwaukee Avenue; the west line of North Milwaukee Avenue southeast for a distance of 215.00 feet;

a line perpendicular to North Milwaukee Avenue traveling southwest for 125.00 feet; a line parallel to North Milwaukee Avenue traveling southeast 3.00 feet; a line perpendicular to North Milwaukee Avenue traveling southwest for 168.51 feet; a line traveling southwesterly 46.30 feet intersecting the arc hereinafter described; a 190.86 foot arc traveling northwest to a point of intersection with a line beginning 202.28 feet north of the north line of West Addison Street, running perpendicular to North Milwaukee Avenue and southwest for 33.58 feet to its intersection with a point 202.28 feet north of the north line of West Addison Street, said point being along the Chicago, St. Paul and Pacific Railroad right-of-way; and the Chicago, St. Paul and Pacific Railroad right-of-way line for a distance of 649.2 feet to the point of beginning,

to those of Residential Planned Development Number 1046, as amended, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Planned Development No. 1046, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Residential Planned Development Number 1046, as amended, ("Planned Development") consists of approximately 199,800 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by 3670-3720 North Milwaukee LLC. The applicant is Nahshon Development LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the owner and the applicant, their successors and assigns and, if different than the owner and the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the owner and the applicant shall inure to the benefit of the owner's and applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.

3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assign or grantees and approval by the City Council.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of these fifteen (15) statements and the following prepared by Pappageorge Haymes Ltd. and dated April 23, 2014 submitted herein:
 - a Bulk Regulations and Data Table;
 - an Existing Zoning Map;
 - an Existing Land-Use Map;
 - a Planned Development Boundary and Property Line Map;
 - a Right-of-Way Adjustment and Lot Plan;
 - Site Plan-Typical Home Option;
 - Site Landscape Plan;
 - Lot Landscape Plan;
 - Milwaukee Street Elevations;
 - Front Elevation Options;

- Typical Side and Rear Elevations;
- Typical Home Porch Options;
- Optional Full Width Porch on Typical Lot; and
- Typical Side and Rear Elevations.

Full-sized copies of the Site Plan-Typical Home; Site Landscape Plan and Lot Landscape Plan; Milwaukee Street Elevations, Typical Side and Rear Elevations, and Front Elevations Options are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The following uses are permitted in the area delineated herein as Residential Planned Development Number 1046, as amended: single-family detached dwelling units; accessory parking; and related uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of 116,560 square feet. The permitted maximum FAR of 1.0 shall apply to the entire Planned Development and each individual lot therein, including those created by combining and/or subdividing lots. In no case shall development of a lot exceed 3,000 square feet of floor area as defined by the Chicago Zoning Ordinance.

9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.

No Part II Approval shall be issued for individual homes until a plat of subdivision has been approved and recorded and all of the public improvements on the site (street, alleys, water, sewer and utility lines, et cetera) have been reviewed and approved for construction according to City standards.

No Part II Approval for individual homes shall be issued for the 25th home until the two open spaces indicated on the Site Plan-Typical Home Option and Site Landscape Plan have been graded and seeded to grass.

10. The improvements on the Property shall be designed, constructed, installed and maintained in substantial conformance with the Site Plan-Typical Home Option, Site Landscape Plan, Lot Landscape Plan, and Building Elevations and in accordance with the landscape provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval. The Site Plan-Typical Home Option, and Site Landscape Plan and Lot Landscape Plan shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II Approval.

Optional features, including, but not limited to, a three-car garage on those lots for which availability is shown on the site plan, rear porches, rear decks, chimneys, a bonus room and larger or smaller footprint (as long as the footprints meet zoning setback standards and for those lots which are designated on the site plan), and any other features allowed to encroach into the required setbacks pursuant to Section 17-17-0309 of the Zoning Ordinance are permitted.

The design features of any home proposed to be constructed which are different than the elevations included with the Planned Development shall include pitched or gabled roofs, porches, and double-hung windows, and shall utilize materials similar to those shown on the elevations, except that masonry may be substituted. Exposed poured concrete and exposed concrete masonry units are prohibited.

Individual lots may be combined and/or subdivided with the approval of the Zoning Administrator as a minor change. No resulting lot may be less than 1,880 square feet or more than 4,200 square feet or have less than 26 feet of street frontage. Front, rear,

and side setback, and rear yard open space requirements for the RT3.5 Residential Two-Flat, Townhouse and Multi-Unit District shall control development on the resulting lots.

11. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of the hearing before the Chicago Plan Commission, the current City of Chicago Sustainable Development Policy did not require building certification or a green roof for single-family detached houses.
15. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Unless substantial construction of at least one building has begun within the Planned Development within six years of the date of passage of the Planned Development, this Planned Development ordinance shall lapse and the Zoning Administrator shall initiate a Zoning Map Amendment to rezone the Property to the RT3.5, Residential Two-Flat, Townhouse and Multi-Unit District.

[Existing Zoning Map; Existing Land-Use Map; Boundary and Property line map; Right-of-Way Adjustment Plan and Lot Plan; Site Plan; Site Landscape Plan; Side Driveway Site Plan; Building Elevations; Typical Home Porch Options; and optional full width Porch on Typical lot referred to in these Plan of Development Statements printed on pages 80605 through 80618 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential Planned Development No. 1046, As Amended.

Bulk Regulation And Data Table.

Gross Site Area: 199,700 square feet (4.60 acres)

Area to Remain in Public
Right-of-Way: 19,620 square feet (0.46 acre)

Area to be dedicated to Public
Right-of-Way: 63,520 square feet (1.45 acres)

Net Site Area: 116,560 square feet (2.68 acres)

Maximum Floor Area Ratio: 1.0

Maximum Number of Residential Units: 49 Units

Maximum Site Coverage: 74 percent

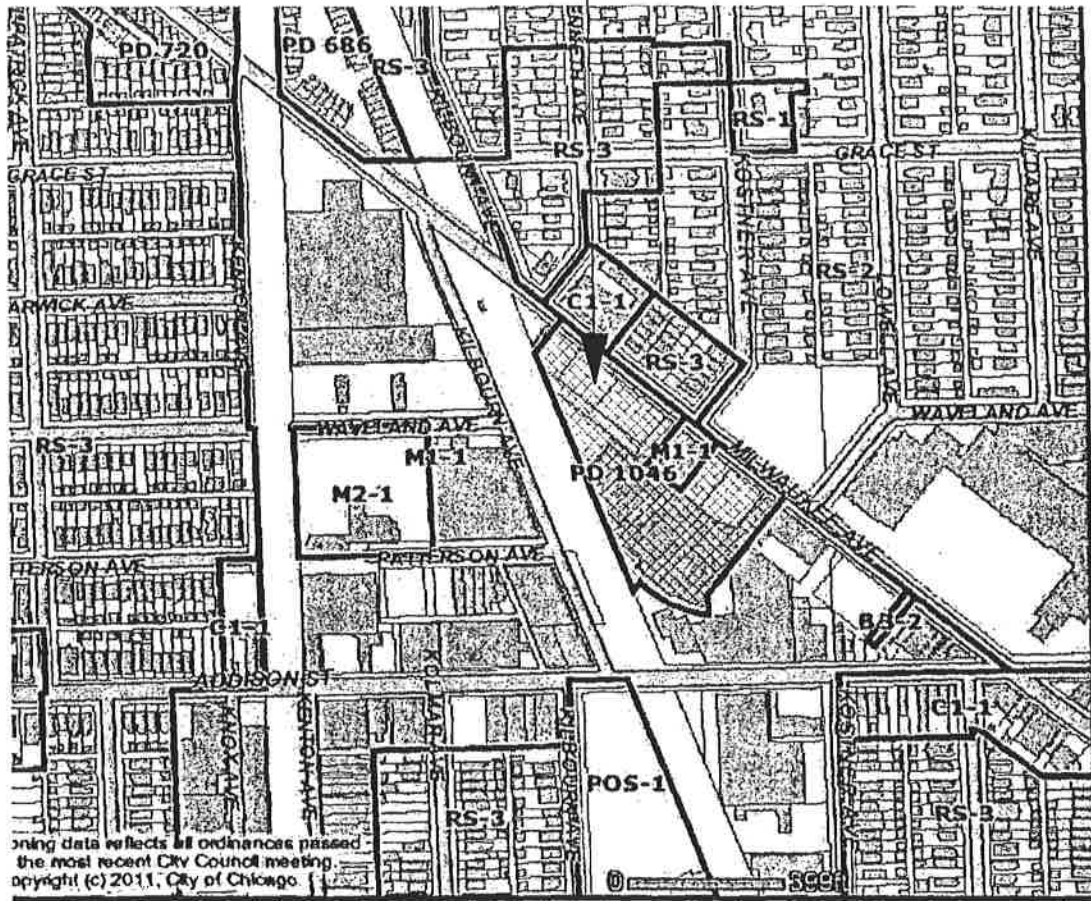
Number of Off-Street Parking Spaces: 98 Minimum; 138 Maximum

Note: In the event fewer residential dwelling units are built, then fewer parking spaces may be built as long as the parking ratio of 2.0 parking spaces per dwelling unit is maintained.

Minimum Building Setbacks: Per Site Plan-Typical Home Option

Maximum Building Height: 35 feet

Proposed Site



Map data reflects all ordinances passed
 the most recent City Council meeting.
 Copyright (c) 2011, City of Chicago.

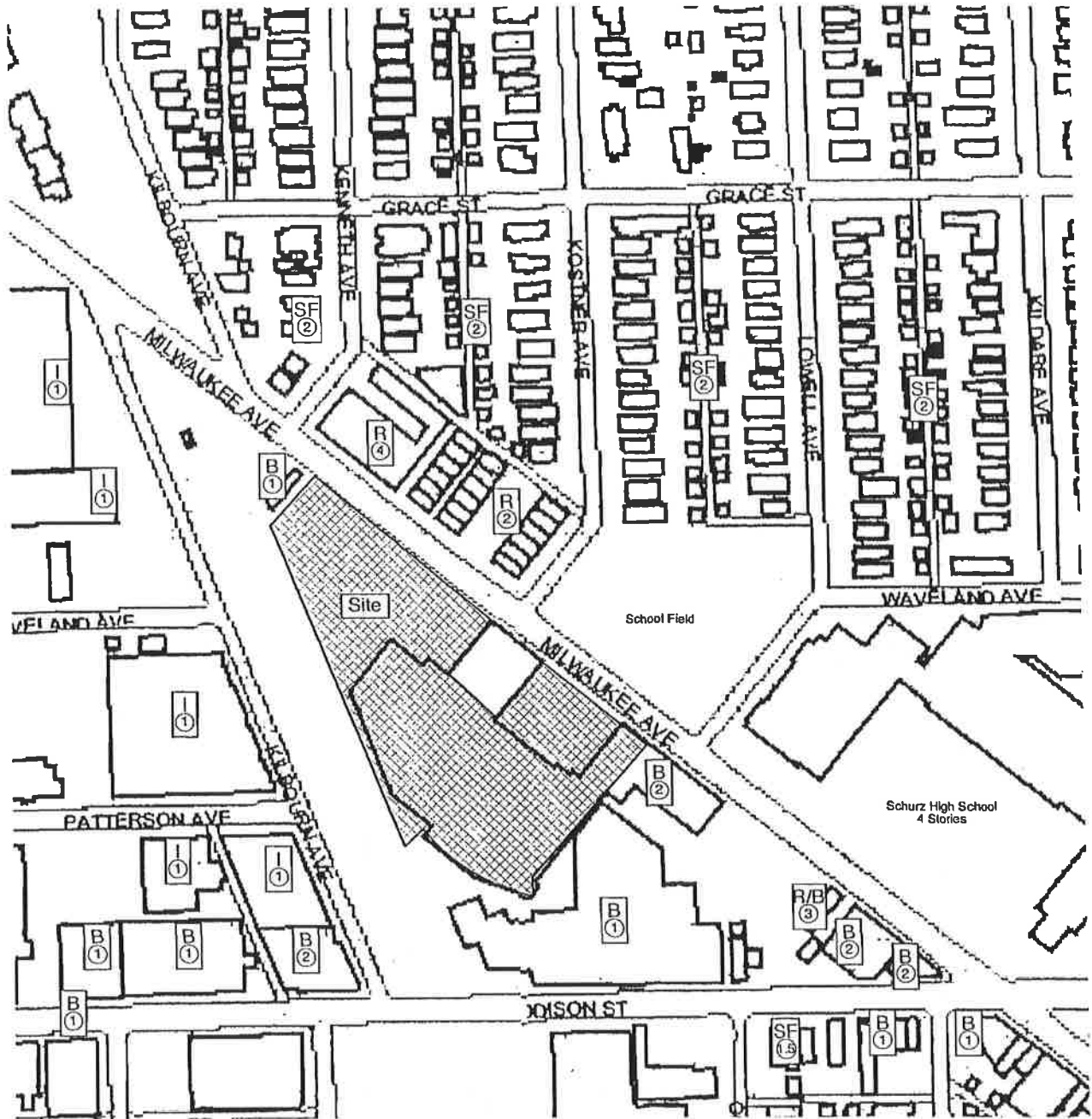
Existing Zoning Map

Applicant:
 Nahshon Development, LLC
 4252 North Cicero
 Chicago, Illinois 60641



Property Address:
 3670-3688 and 3700-3736 North
 Milwaukee Avenue
 Chicago, Illinois

Introduced: September 11, 2008
 Plan Commission: April 23, 2014



- | | | | | |
|--------------|----------|--------------------------------------|---------|---------------------------|
| # of Stories | R/B
③ | Residential w/ Ground Floor Business | SF
② | Single Family Residential |
| | B
② | Business | R
④ | Residential |
| | I
① | Industrial / Manufacturing | | |
| | | | | |

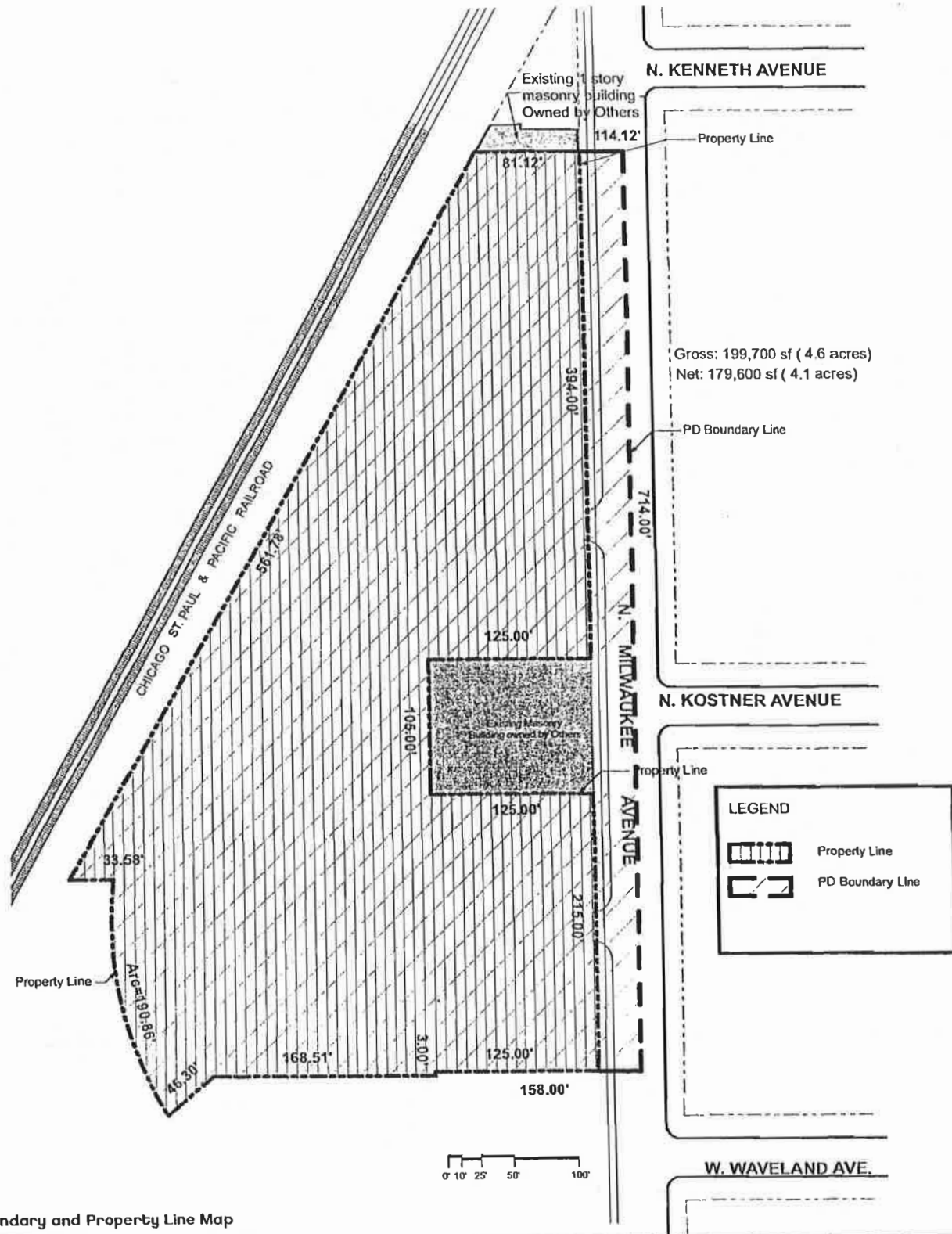
Existing Land Use Map

Applicant:
 Nahston Development, LLC
 4252 North Cicero
 Chicago, Illinois 60641



Introduced: September 11, 2008
 Plan Commission : April 23, 2014

Property Address:
 3670-3688 and 3700-3736 North
 Milwaukee Avenue
 Chicago, Illinois



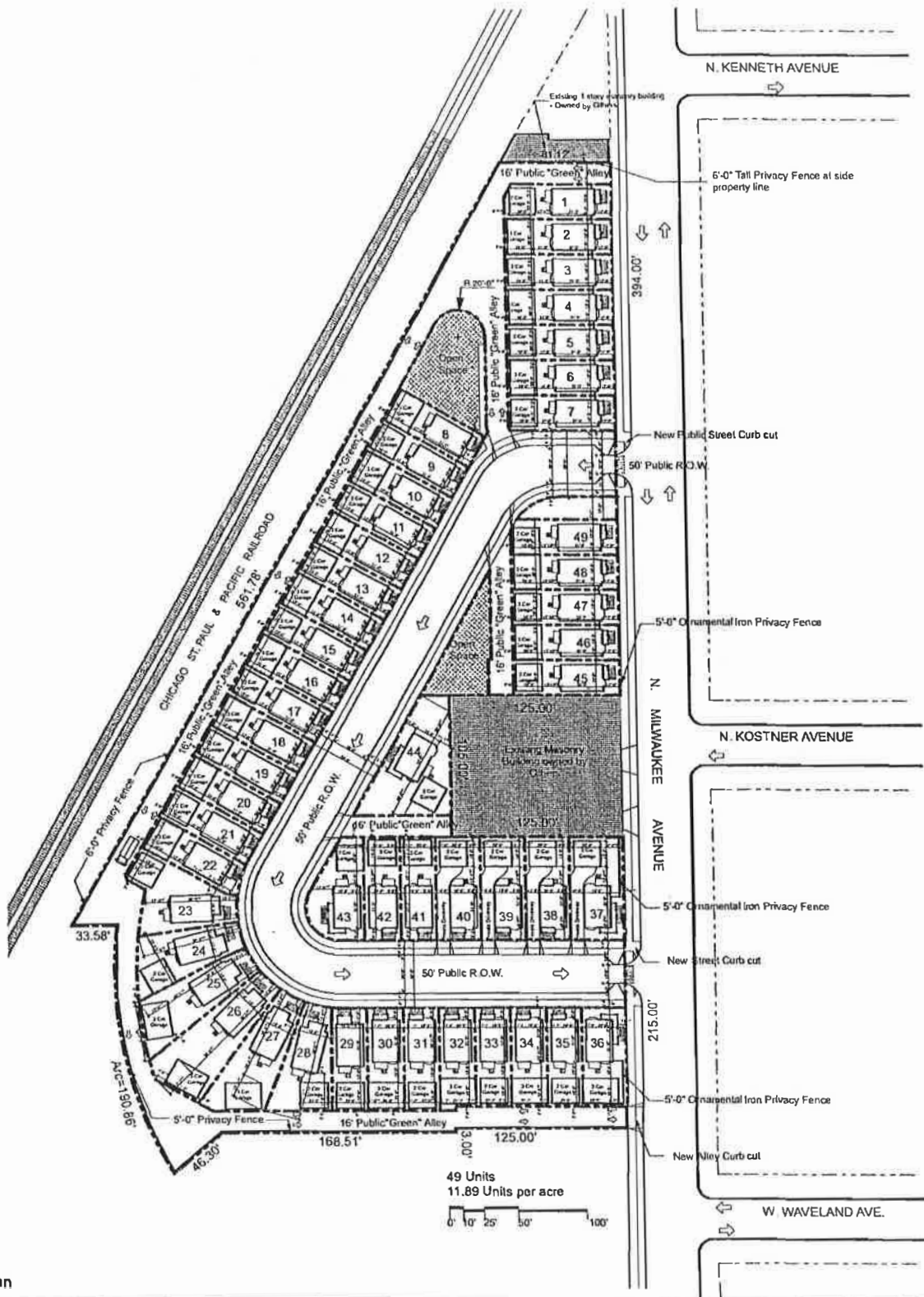
PD Boundary and Property Line Map

Applicant:
 Nahshan Development, LLC
 4252 North Cicero
 Chicago, Illinois 60641



Introduced: September 11, 2008
 Plan Commission : April 23, 2014

Property Address:
 3670-3688 and 3700-3738 North
 Milwaukee Avenue
 Chicago, Illinois



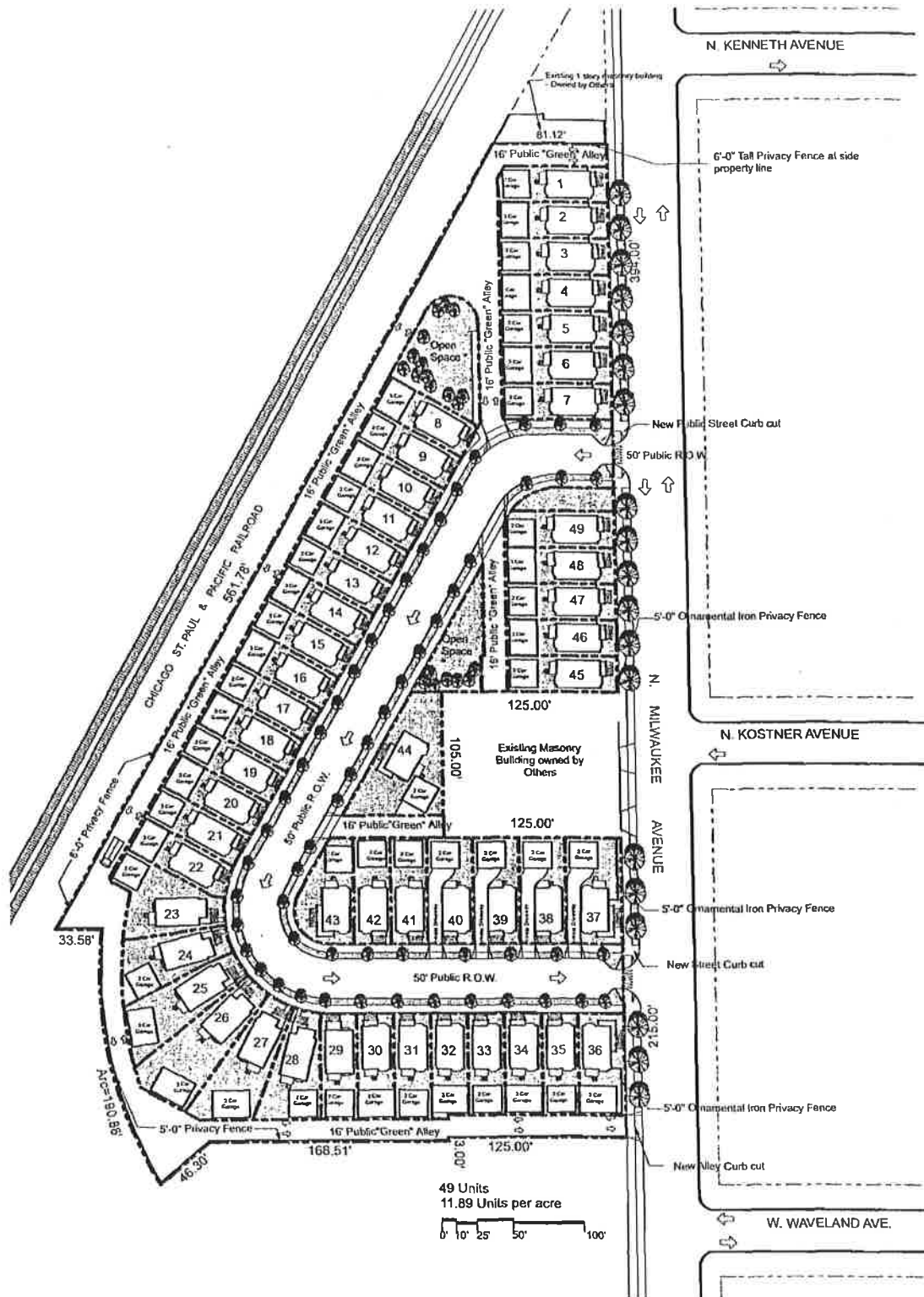
Site Plan

Applicant:
 Nahshon Development, LLC
 4252 North Cicero
 Chicago, Illinois 60641



Introduced: September 11, 2008
 Plan Commission : April 23, 2014

Property Address:
 3670-3688 and 3700-3738 North
 Milwaukee Avenue
 Chicago, Illinois



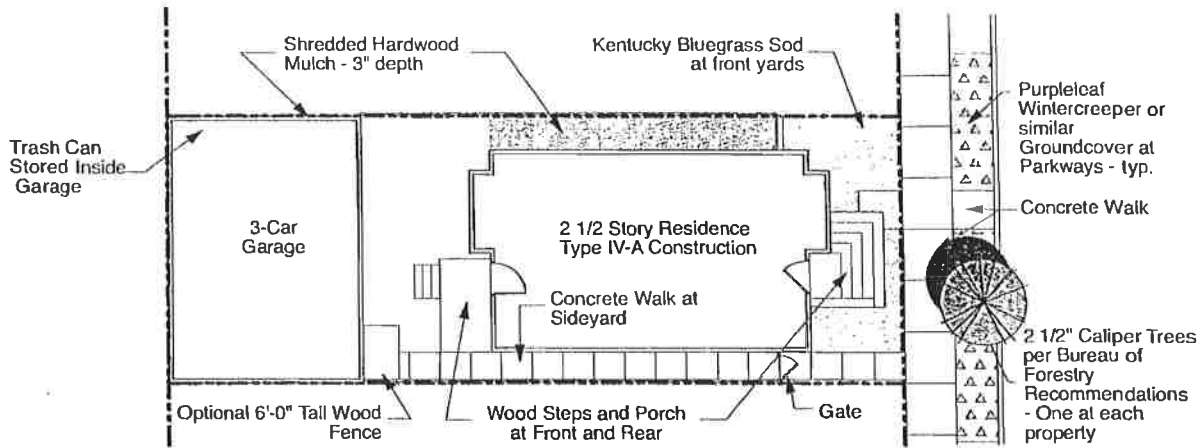
Site Landscape Plan

Applicant:
Nahshon Development, LLC
4252 North Cicero
Chicago, Illinois 60641

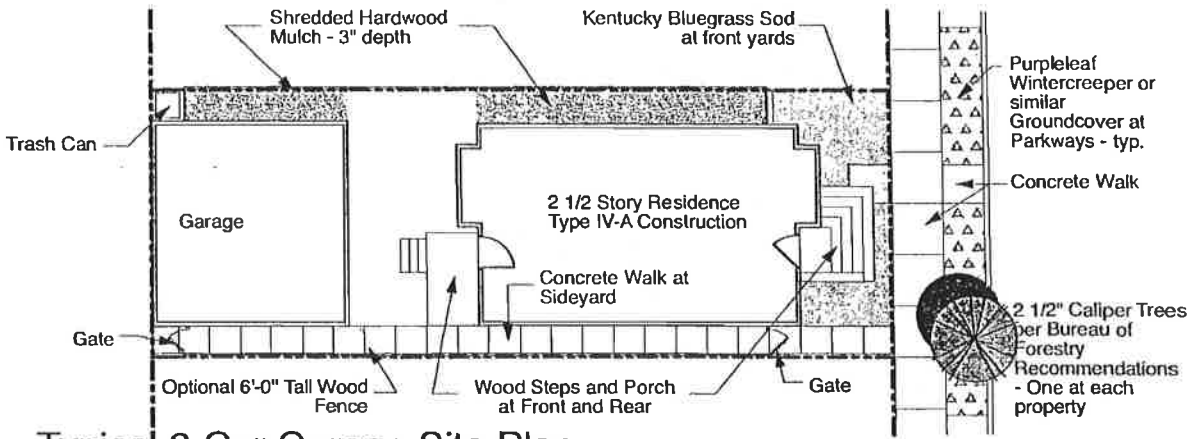


Introduced: September 11, 2008
Plan Commission : April 23, 2014

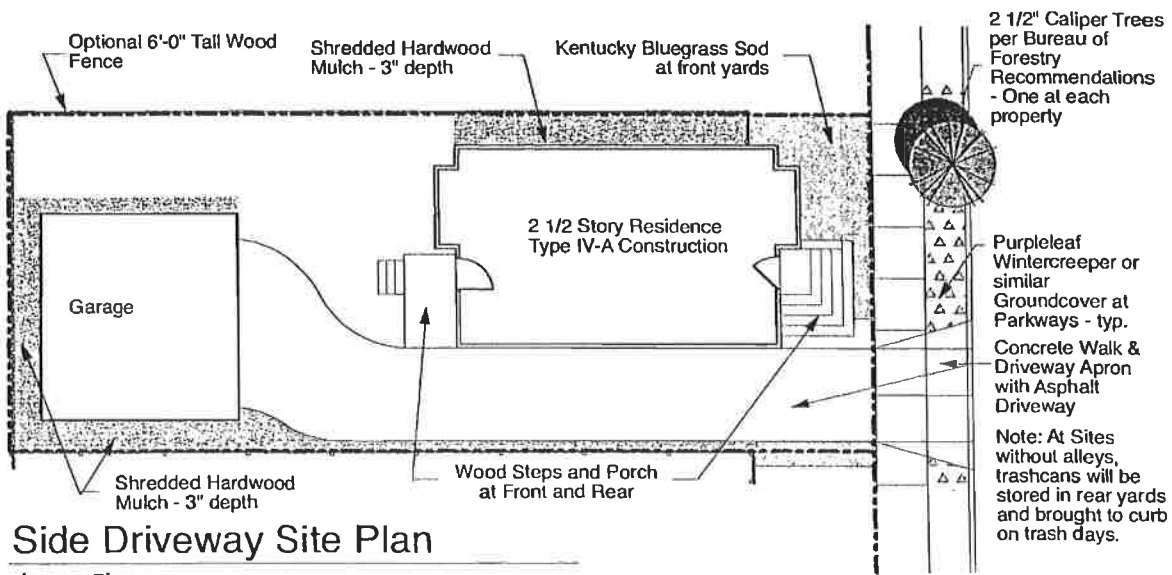
Property Address:
3670-3688 and 3700-3738 North
Milwaukee Avenue
Chicago, Illinois



Typical 3-Car Garage Option Site Plan



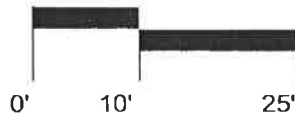
Typical 2-Car Garage Site Plan



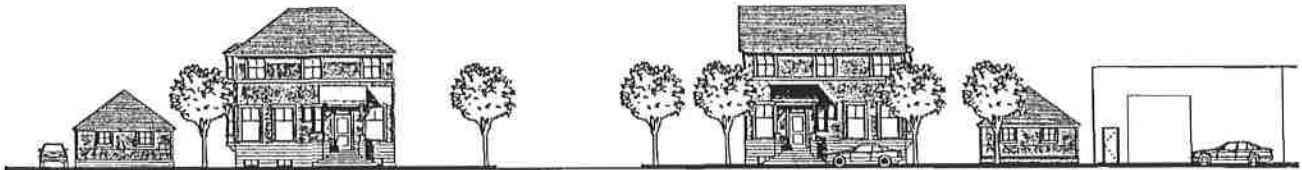
Side Driveway Site Plan

Lot Landscape Plan

Applicant:
Nahshon Development, LLC
4252 North Cicero
Chicago, Illinois 60641



Property Address:
3670-3688 and 3700-3738 North
Milwaukee Avenue
Chicago, Illinois



N. Milwaukee Ave. Elevation

1



N. Milwaukee Ave. Elevation

2



N. Milwaukee Ave. Elevation

3

Milwaukee Street Elevation

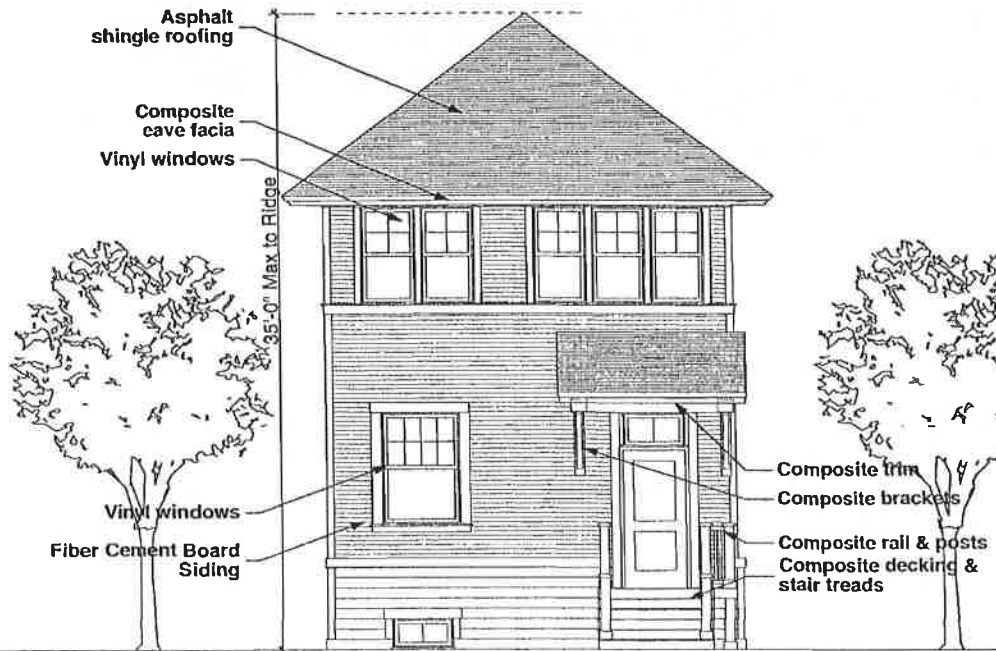
Applicant:
Nahshon Development
4252 North Cicero
Chicago, Illinois 60641

Introduced: September 11, 2008
Plan Commission : April 23, 2014

Property Address:
3700 North Milwaukee Avenue
Chicago, Illinois



Typical Side Elevation



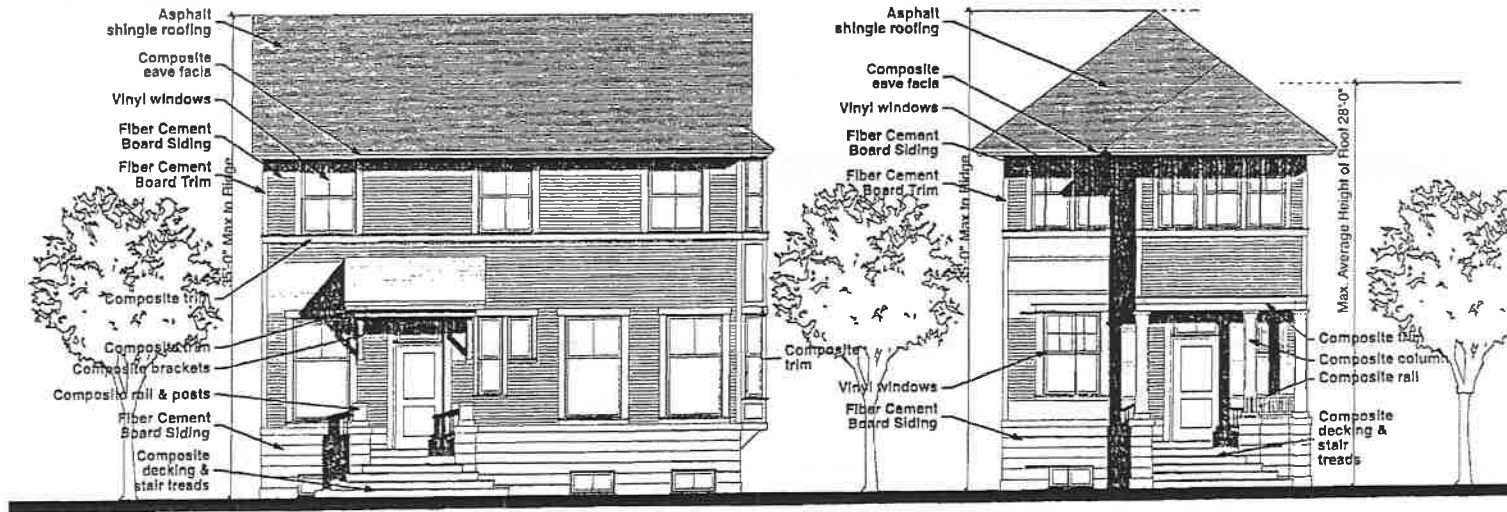
Typical Rear Elevation

Typical Side and Rear Elevation

Applicant:
Nahshon Development
4252 North Cicero
Chicago, Illinois 60641

Introduced: September 11, 2008
Plan Commission : April 23, 2014

Property Address:
3700 North Milwaukee Avenue
Chicago, Illinois

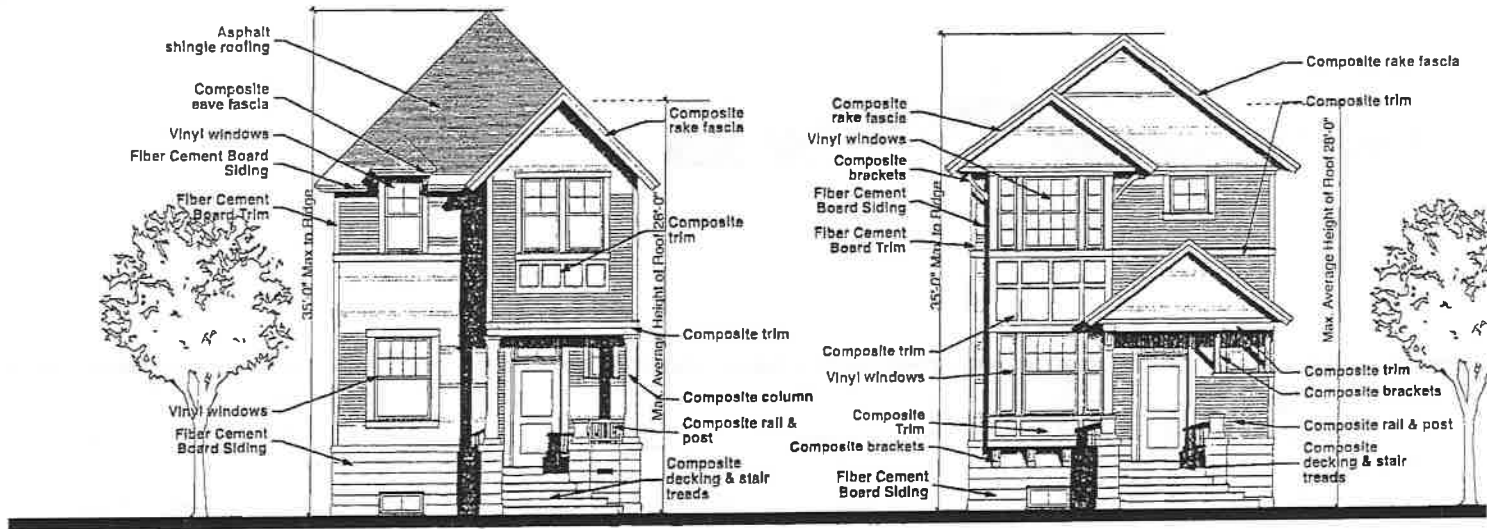


Front Elevation Options

Applicant:

Nahshon Development
4252 North Cicero
Chicago, Illinois 60641
Introduced: September 11, 2008
Plan Commission : April 23, 2014

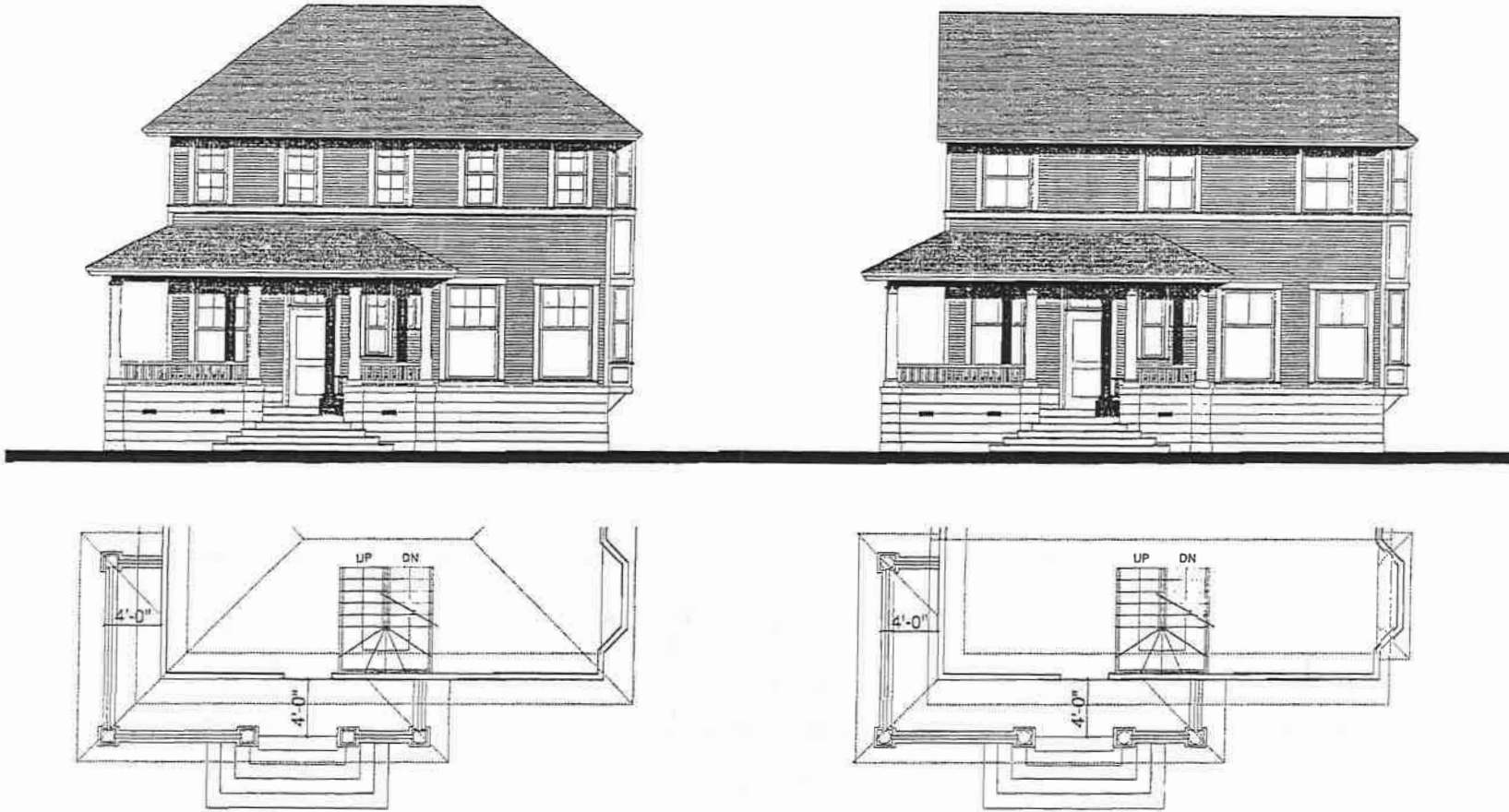
Property Address:
3700 North Milwaukee Avenue
Chicago, Illinois



Front Elevation Options 2

Applicant:
 Nahshon Development
 4252 North Cicero
 Chicago, Illinois 60641
 Introduced: September 11, 2008
 Plan Commission : April 23, 2014

Property Address:
 3700 North Milwaukee Avenue
 Chicago, Illinois

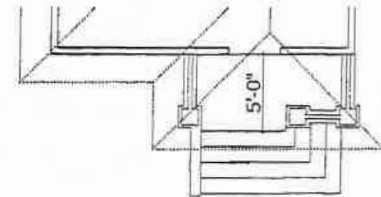
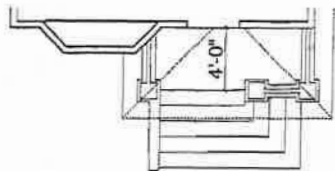
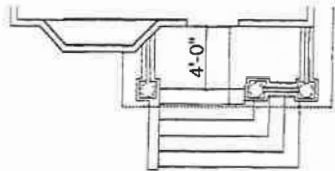


Corner Lot Porch Options

Applicant:
Nahshon Development
4252 North Cicero
Chicago, Illinois 60641
Introduced: September 11, 2008
Plan Commission : April 23, 2014

Property Address:
3700 North Milwaukee Avenue
Chicago, Illinois

Note: Elevations Subject to Change Due to Minor Floor Plan Changes

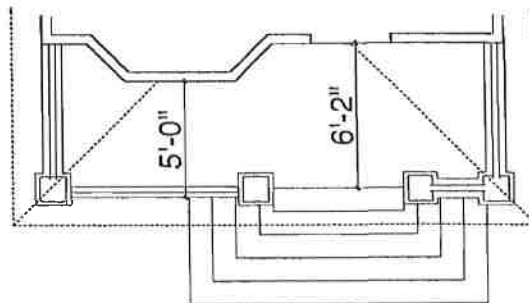


Typical Home Porch Options

Applicant:
Nahshon Development
4252 North Cicero
Chicago, Illinois 60641
Introduced: September 11, 2009
Plan Commission : April 23, 2014

Property Address:
3700 North Milwaukee Avenue
Chicago, Illinois

Note: Elevations Subject to Change Due to Minor Floor Plan Changes



Optional Full Width Porch on Typical Lot

Applicant:
Nahshon Development
4252 North Cicero
Chicago, Illinois 60641

Introduced: September 11, 2008
Plan Commission : April 23, 2014

Property Address:
3700 North Milwaukee Avenue
Chicago, Illinois

~~Wolcott Avenue; West Waveland Avenue; a line 113.65 feet east of and parallel to North Wolcott Avenue; a line beginning at a point 71.6 feet north of West Waveland Avenue and 70.4 feet southwest of North Lincoln Avenue and ending at a point 51.6 feet north of West Waveland Avenue and 125 feet southwest of North Lincoln Avenue; the alley next southwest of and parallel to North Lincoln Avenue; the alley next north of and parallel to West Waveland Avenue; North Wolcott Avenue; a line 50.12 feet south of and parallel to West Grace Street; the alley next west of and parallel to North Wolcott Avenue; West Grace Street; a line 140.5 feet west of North Lincoln Avenue (as measured along the north line of West Grace Street and perpendicular thereto); a line beginning at a point 87 feet north of West Grace Street and 87.6 feet southwest of North Lincoln Avenue and ending a point 69.53 feet north of West Grace Street and 126.8 feet southwest of North Lincoln Avenue; the alley next southwest of and parallel to North Lincoln Avenue; a line 98.9 feet west of North Lincoln Avenue (as measured along the south line of West Berenice Avenue and perpendicular thereto); West Berenice Avenue; a line 136.1 feet west of North Lincoln Avenue (as measured along the north line of West Berenice Avenue and perpendicular thereto); a line beginning at a point 84.3 feet north of West Berenice Avenue and 84.6 southwest of North Lincoln Avenue and ending at a point 65.3 feet north of West Berenice Avenue and 127 feet southwest of North Lincoln Avenue; the alley next southwest of and parallel to North Lincoln Avenue; the alley next south of and parallel to West Byron Avenue; and the alley next east of and parallel to North Damen Avenue,~~

as a Pedestrian Retail Street.

SECTION 2. This ordinance shall be effective after its passage and publication.

Reclassification Of Area Shown On Map Number 9-K.

(As Amended)

(Application Number 15780)

RPD 1046

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 9-K in the area bounded by:

starting at a point 851.48 feet north of the north line of West Addison Street on the east line of the Chicago, St. Paul and Pacific Railroad right-of-way; a line

extending 81.12 feet northeast and perpendicular to North Milwaukee Avenue; the west line of North Milwaukee Avenue southeast for a distance of 394.00 feet; a line perpendicular to North Milwaukee Avenue traveling southwest for a distance of 125.00 feet; a line parallel to North Milwaukee Avenue traveling southeast for a distance of 105.00 feet; a line perpendicular to North Milwaukee Avenue traveling northeast a distance of 125.00 feet to North Milwaukee Avenue; the west line of North Milwaukee Avenue southeast for a distance of 215.00 feet; a line perpendicular to North Milwaukee Avenue traveling southwest for 125.00 feet; a line parallel to North Milwaukee Avenue traveling southeast 3.00 feet; a line perpendicular to North Milwaukee Avenue traveling southwest for 168.51 feet; a line traveling southwesterly 46.30 feet intersecting the arc hereinafter described; a 190.86 foot arc traveling northwest to a point of intersection with a line beginning 202.28 feet north of the north line of West Addison Street, running perpendicular to North Milwaukee Avenue and southwest for 33.58 feet to its intersection with a point 202.28 feet north of the north line of West Addison Street, said point being along the Chicago, St. Paul and Pacific Railroad right-of-way; and the Chicago, St. Paul and Pacific Railroad right-of-way line for a distance of 649.2 feet to the point of beginning,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District and a corresponding use district is hereby established in the area above described.

SECTION 2. In the area above described, the City Zoning Ordinance be amended by changing all of the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols to those of a Residential Planned Development and a corresponding use is hereby established.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Residential Planned Development Number 1046.

Plan Of Development Statements.

1. The area delineated herein as a Residential Planned Development consists of a net site area of approximately four and twelve-hundredths (4.12) acres which is controlled by Dubin Residential Communities Corp. ("Applicant").
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of

rights-of-way or consolidation or resubdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant, its successors and assigns. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control of the subarea for which the request is being made. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant, the owners of all the property comprising the subarea for which the request is being made within the planned development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development as it may relate to the subarea in question, except as "control" may have been resolved within title documents. In the case of a legislative amendment, single designated control shall mean all owners of property within the entire planned development.
 4. This plan of development consists of these fourteen (14) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Subarea Map; a Site Plan, Landscape Plan; and Building Elevations dated November 16, 2006, prepared by Hartshorne and Plunkard Architects, which are all incorporated herein. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code in Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.
 5. The following uses shall be permitted within the planned development:
 - Subarea A: Single-family attached dwelling units; accessory parking; and related uses;
 - Subarea B: Single-family detached dwelling units; accessory parking; non-accessory parking; and related uses; and
-

Subarea C: Single-family detached dwelling units; accessory parking; non-accessory parking; and related uses.

6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development.
7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking or storage of garbage receptacles within such paved areas (except as noted on the Site Plan) or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and off-street loading facilities shall be provided in compliance with this plan of development subject to review of the Department of Transportation and Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. In addition to the maximum height of any building or any appurtenance attached thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
10. Improvements of the property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial conformance with the exhibits to this planned development. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Landscape Plan and the Parkway Tree Provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. The townhomes proposed shall have optional roof decks accessible from the townhome unit, and in those instances, no green roofs are required. In the event the townhomes

are not constructed with roof decks accessible from the townhome unit, then twenty-five percent (25%) of the flat net roof area (less any mechanical equipment) shall be green roof. Additionally, an approximately one thousand two hundred (1,200) square foot fenced dog run, which will consist of a pea gravel surface, will be provided.

11. The terms, conditions and exhibits of this planned development ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of requirements of this planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating. Copies of these standards may be obtained from the Department of Planning and Development.
14. If substantial construction has not yet begun within the planned development within six (6) years of the date of passage of the planned development, the zoning of the property designated herein shall revert to the M1-1 District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary, Property Line and Subarea Map; Site Plan; Landscape Plan; and Building Elevations referred to in these Plan of Development Statements printed on pages 97085 through 97092 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential Planned Development Number _____.

Bulk Regulations And Data Table.

Gross Site Area:		199,800 square feet (4.6 acres)
Net Site Area:	Total =	179,588 square feet (4.12 acres)
Subarea A:	Total =	131,409 square feet (3.0 acres) (Gross Site Area) - 5,577 square feet (Area in Public Streets and Alleys) = 125,832 square feet (2.9 acres) (Net Site Area)
Subarea B:	Total =	33,976 square feet (.78 acre) (Gross Site Area) - 7,100 square feet (Area in Public Streets and Alleys) = 26,876 square feet (.62 acre) (Net Site Area)
Subarea C:	Total =	34,415 square feet (.80 acre) (Gross Site Area) - 7,535 square feet (Area in Public Streets and Alleys) = 26,880 square feet (.62 acre) (Net Site Area)
Maximum Floor Area Ratio:		
Total:		0.96
Subarea A:		1.03
Subarea B:		0.85
Subarea C:		0.76
Maximum Number of Residential Units:		
Subarea A:		57 townhomes

Subarea B:	8 single-family homes
Subarea C:	8 single-family homes
Total:	73

Maximum Site Coverage:

Total:	49%
Subarea A:	38%
Subarea B:	57%
Subarea C:	51%

**Minimum Number of Off-Street
Parking Spaces:**

Total:	176 parking spaces
Subarea A:	144 parking spaces (includes 30 guest parking spaces)
Subarea B:	16 parking spaces
Subarea C:	16 parking spaces

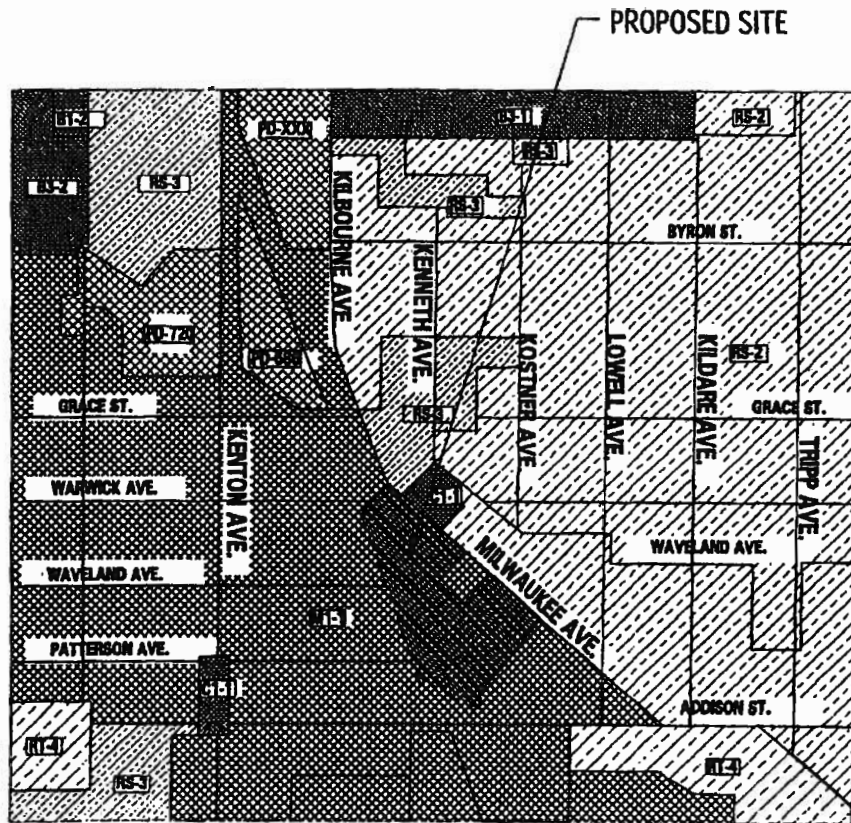
Note: In the event fewer residential dwelling units are built, then fewer parking spaces may be built as long as the parking ration of 2.0 parking spaces per dwelling unit is maintained.

Minimum Building Setbacks: In accordance with Site Plan.

Maximum Building Height:

Subarea A:	33 feet, 0 inches
Subarea B:	32 feet, 0 inches
Subarea C:	32 feet, 0 inches

Existing Zoning Map.



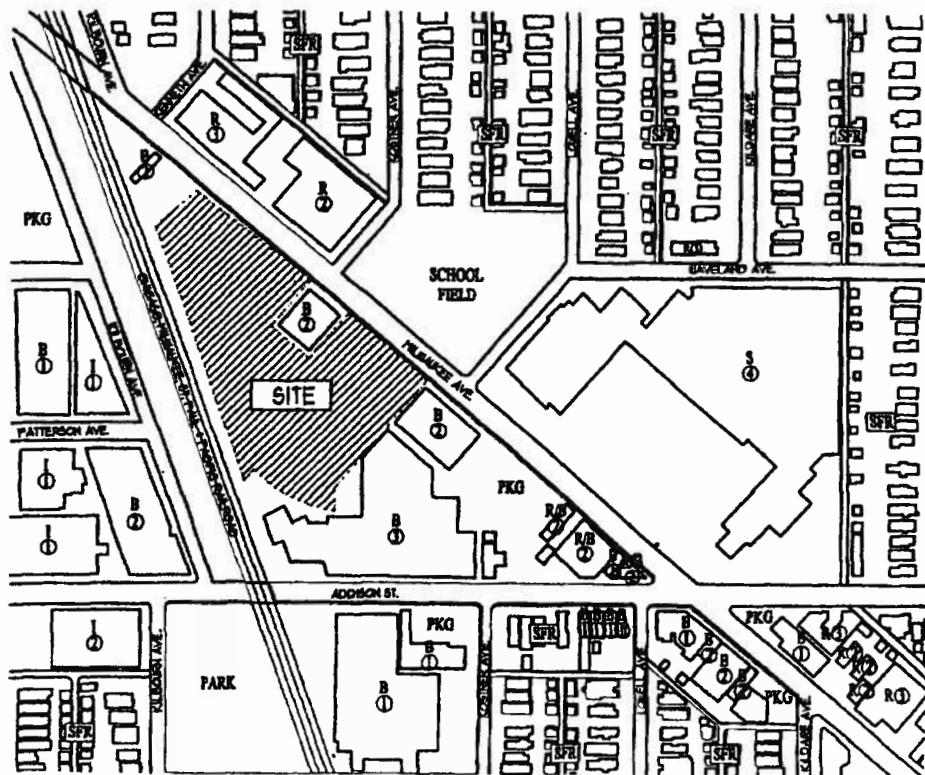
1 EXISTING ZONING MAP
NTS



APPLICANT:	Dubin Residential Communities Corp.	SK#
ADDRESS:	3670 - 3720 North Milwaukee Avenue; Chicago, IL	2
DATE:	July 10, 2006	
REVISED:	November 16, 2006	

Existing Land-Use Map.

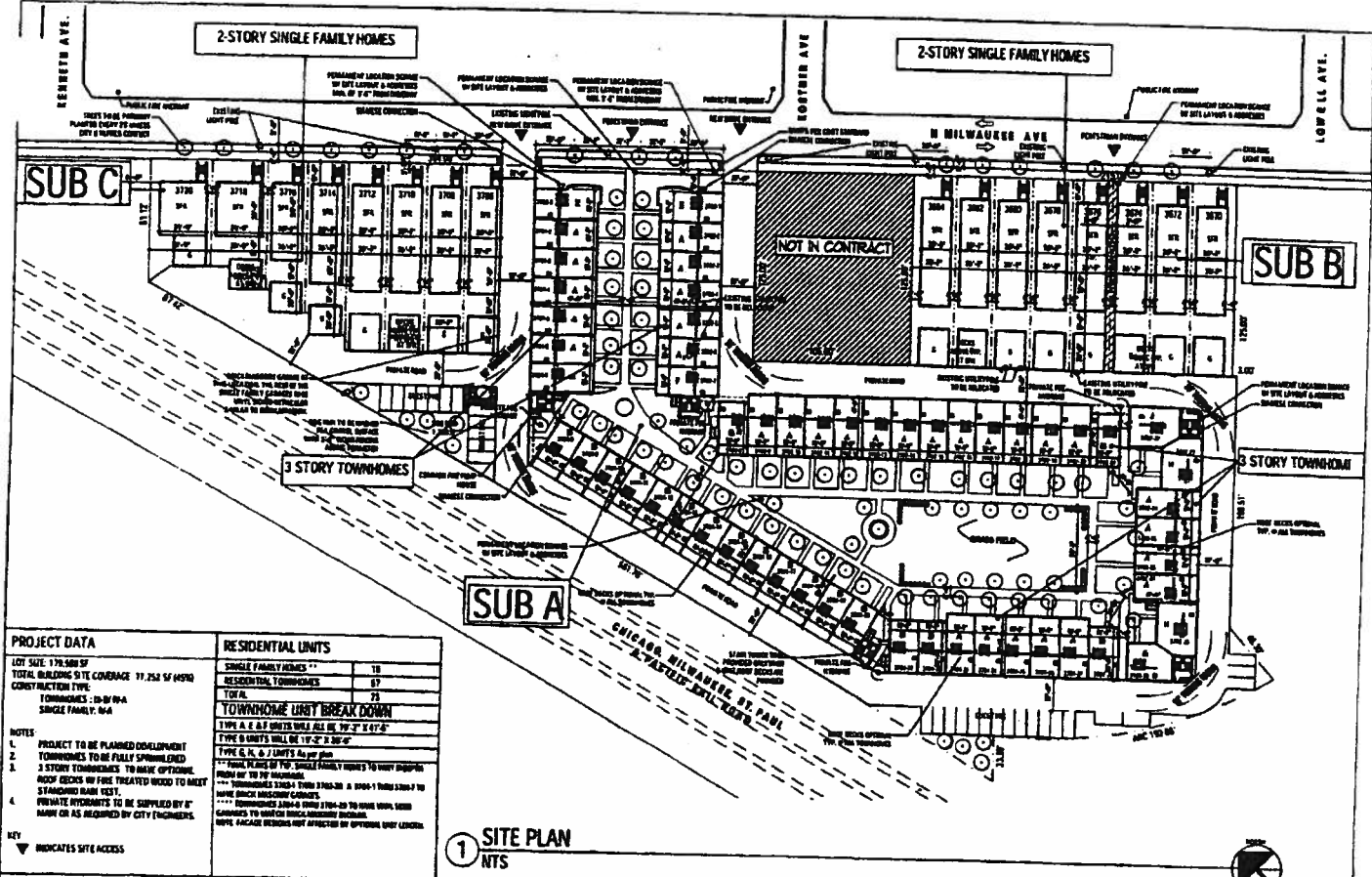
LEGEND	
SFR	SINGLE FAMILY RESIDENTIAL
B	BUSINESS/COMMERCIAL
I	INDUSTRIAL/MANUFACTURING
R	RESIDENTIAL
R/B	RESIDENTIAL/GROUND FL. BUSINESS
S	SCHOOL
(X)	BUILDING HEIGHT IN STORIES
(Hatched Box)	SUBJECT PREMISES



1 EXISTING LAND USE MAP
NTS

APPLICANT:	Dubin Residential Communities Corp.	SK# 3
ADDRESS:	3670 - 3720 North Milwaukee Avenue; Chicago, IL	
DATE:	July 10, 2006	
REVISED:	November 16, 2006	

Site Plan.



PROJECT DATA	RESIDENTIAL UNITS
LOT SIZE: 179,589 SF	SINGLE FAMILY HOMES ** 10
TOTAL BUILDING SITE COVERAGE 17,754 SF (9.9%)	RESIDENTIAL TOWNHOMES 67
CONSTRUCTION TYPE:	TOTAL 77
TOWNHOMES: 24-BY-B-A	TOWNHOME UNIT BREAK DOWN
SINGLE FAMILY: B-A	TYPE A & B UNITS WILL BE 70'-2" X 47'-6"
NOTES:	TYPE C UNITS WILL BE 11'-2" X 30'-0"
1. PROJECT TO BE PHASED DEVELOPMENT	TYPE E, H, & J UNITS AS SHOWN
2. TOWNHOMES TO BE FULLY SPRINKLERED	** SOME PLACES OF 10' SINGLE FAMILY HOMES TO HAVE DEPENDENT
3. 2 STORY TOWNHOMES TO HAVE OPTIONAL ROOF DECKS OF FINE TREATED WOOD TO MEET STANDARD BARK TEST.	FRONT BY 10' TO BALCONY
4. PRIVATE REFRIGERATORS TO BE SUPPLIED BY 6" MAIN OR AS REQUIRED BY CITY TOWNHOMES.	*** TOWNHOMES 2800-4 FROM 2800-6 TO 2800-1 FROM 2800-7 TO HAVE BRICK MASONRY GARAGES.
KEY:	**** TOWNHOMES 2800-6 FROM 2800-10 TO 2800-10000, 2800-10000 TO 2800-10000 BRICK MASONRY GARAGES.
▼ INDICATES SITE ACCESS	NOTE: GARAGE DECKS NOT AFFECTED BY OFFICIAL UNIT LEVELS.

1 SITE PLAN NTS

APPLICANT:	Dubin Residential Communities Corp.	SK#
ADDRESS:	3670 - 3720 North Milwaukee Avenue, Chicago, IL	5
DATE:	July 10, 2006	
REVISED:	November 16, 2006	

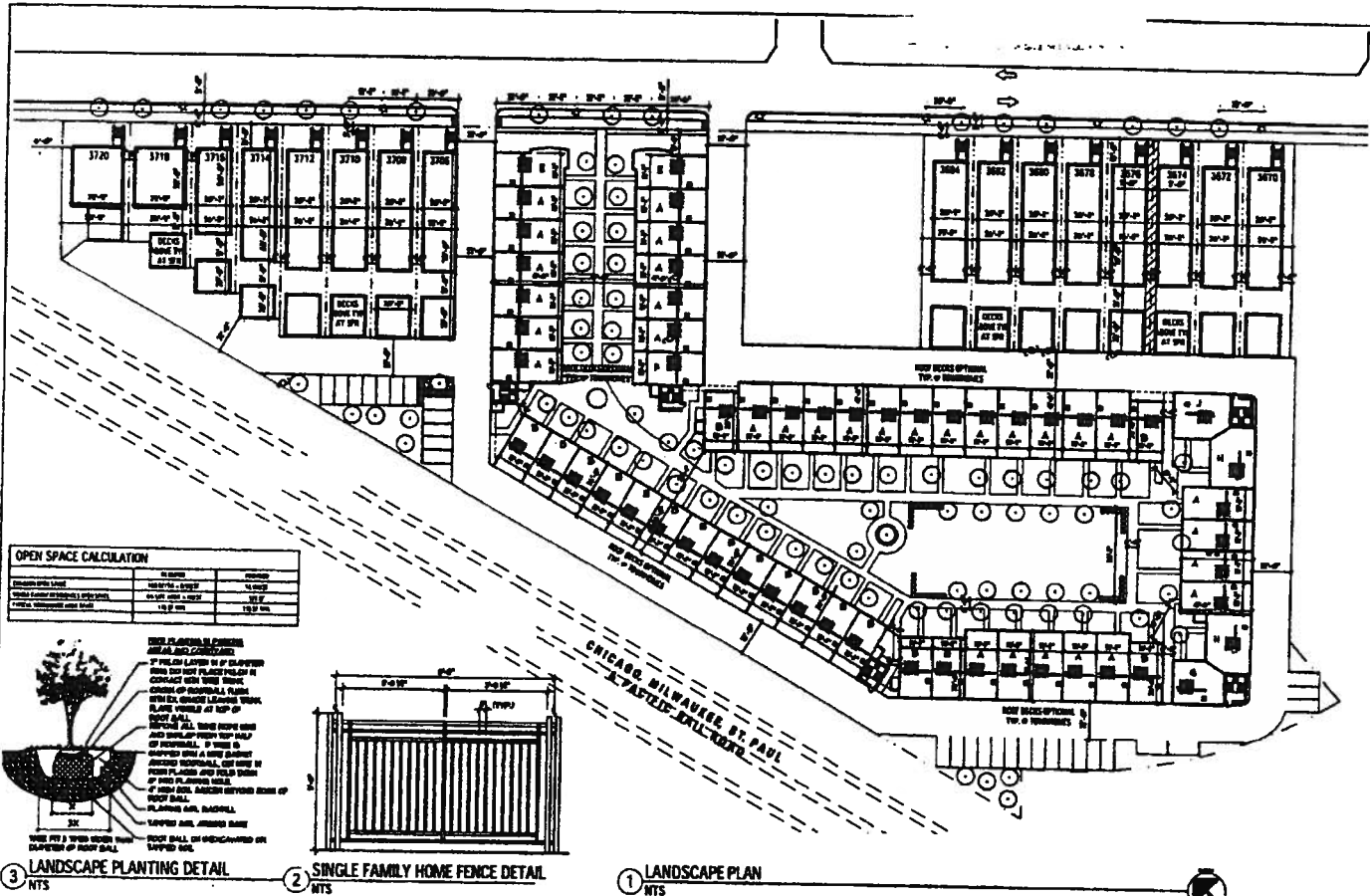
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1/11/2007

REPORTS OF COMMITTEES

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Landscape Plan.

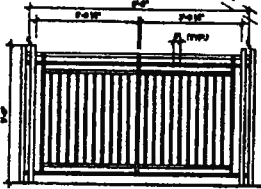


OPEN SPACE CALCULATION

DESCRIPTION	AREA	PERCENT
Open Space	14,000 sq ft	14.00%
Open Space (Minimum)	14,000 sq ft	14.00%
Open Space (Maximum)	14,000 sq ft	14.00%



3 LANDSCAPE PLANTING DETAIL
NTS



2 SINGLE FAMILY HOME FENCE DETAIL
NTS

1 LANDSCAPE PLAN
NTS

APPLICANT:	Dubin Residential Communities Corp.	SK#
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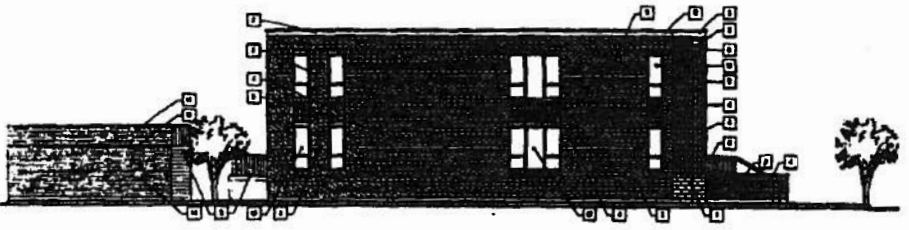
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Building Elevations.
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MATERIALS LEGEND

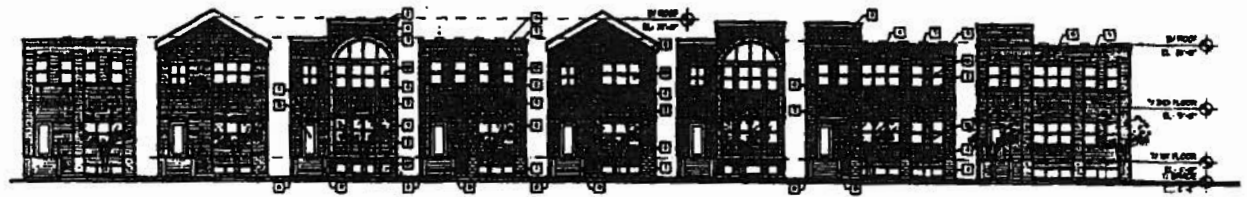
- ☐ STONE BARK
- ☐ STONE ALTERN. PANE OF BRK.
- ☐ METAL CORNER
- ☐ BRICK TYPE 1
- ☐ BRICK TYPE 2
- ☐ BRICK TYPE 3 (CLAY)
- ☐ BRICK SOLIDBROWN/CR
- ☐ PAINTED METAL BRICKS
- ☐ PAINTED METAL STAIR (BRICK APPROX.)
- ☐ WHITE GLAZED BRICKS
- ☐ METAL CORNER
- ☐ PAINTED METAL CORNER
- ☐ WHITE BRICK TYPE 1
- ☐ WHITE BRICK TYPE 2
- ☐ BRICK & METAL TYPE 1
- ☐ METAL CORNER
- ☐ METAL CORNER
- ☐ METAL CORNER
- ☐ BRICK & STONE TYPE 1



3 TYP. SINGLE FAMILY SIDE ELEVATION & GARAGE
NTS



2 SINGLE FAMILY GARAGE ELEVATIONS (ALLEY)
NTS



1 MILWAUKEE AVENUE STREETScape-SINGLE FAMILY HOMES
NTS

APPLICANT:	Dubin Residential Communities Corp.	SK#
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3-1 Project: T. Current Projects 0511 0226-3720 N Milwaukee | Drawings: 03-Forming - 2006/11/06 AM PO Schmidt/SK7/BR/1/1/2007.dwg

Building Elevations.
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① OVERALL SITE ELEVATION ALONG MILWAUKEE
NTS

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