

PD 1043

Table of Contents

10/28/2016 Minor Change	2
Exhibits	4
09/14/2016 PD Amendment	10
Ordinance	10
Statements	10
Bulk Table	18
Exhibits	20
03/13/2015 Minor Change	29
Exhibits	31
08/01/2014 Zoning Letter	45
12/13/2006 PD Adoption	47
Ordinance	47
Statements	47
Bulk Table	55
Exhibits	56



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

October 28, 2016

Paul Shadle
DLA Piper LLP
203 N. LaSalle Street
Suite 1900
Chicago, IL 60601-1293

**Re: Administrative Relief request for Planned Development No. 1043
9 West Walton Street**

Dear Mr. Shadle:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1043 ("PD 1043"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 1043.

PD 1043 was originally passed in 2006 and approved the construction of two towers along State St. between Walton St. and Delaware Pl. Tower One, built in 2009, is 32-stories in height and includes 198 condominium units. On March 13, 2015, administrative relief was granted for Tower Two, a proposed 35-story, 67 dwelling unit building now under construction at 9 W. Walton St. On September 14, 2016, PD 1043 was amended to utilize Neighborhood Opportunity Funds to increase the allowable floor area ratio.

Your client, West Walton Chicago Investors LLC, is seeking administrative relief for a height increase and green roof area reduction for 9 W. Walton St. You are seeking to increase the maximum permitted building height for Tower Two from 462'-0" to 491'-4" to the top of the parapet. Of the overall 29'-4" height increase, 16'-8" is due to a rooftop projection for the penthouse owner which will be set back from the perimeter of the building. The remaining 12'-8" increase is to allow for taller floor-to-floor heights for the top three floors.

You are also seeking to reduce the green roof area from the 39% required in Statement No. 14 to 26%, as a result of the new penthouse unit plan and associated building changes. The roof will now be an active space rather than inaccessible green roof, resulting in more landscaping than previously approved.


The following revised, attached, drawings shall be inserted into the main file: Site/Landscape Plan, Green Roof Plan, North Elevation, East Elevation, South Elevation, and West Elevation.

You have provided consent from the owners of the parcel immediately to the south (2 W. Delaware), Walton on the Park Condominium Association (on behalf of the residential condominium owners), 2 W Delaware Retail, LLC (1st floor retail), 2 W Delaware Parking, LLC (below ground parking), along with Harvest Bible Chapel for the property located at 935 N. Dearborn St. You also enclosed a Declaration of Reserved Right Over Mansion Parcels on behalf of the nearby Carpenter House Parcel (921 N. Dearborn), Thompson House Parcel (915 N. Dearborn), and the Taylor House Parcel (917-919 N. Dearborn).

With regard to your request, the Department of Planning and Development has determined that allowing the proposed height increase and green roof reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1043, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

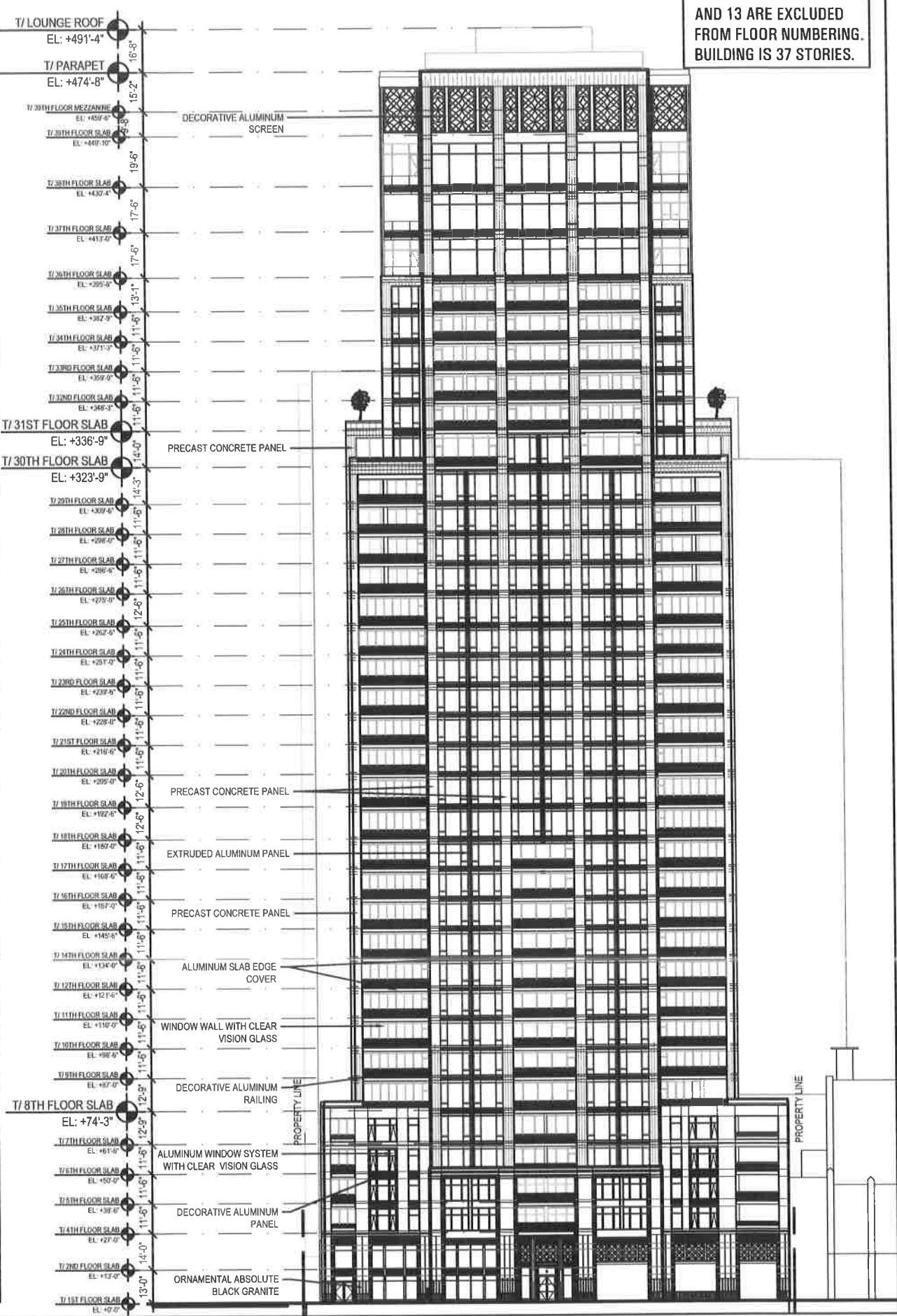
Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMBERING. BUILDING IS 37 STORIES.

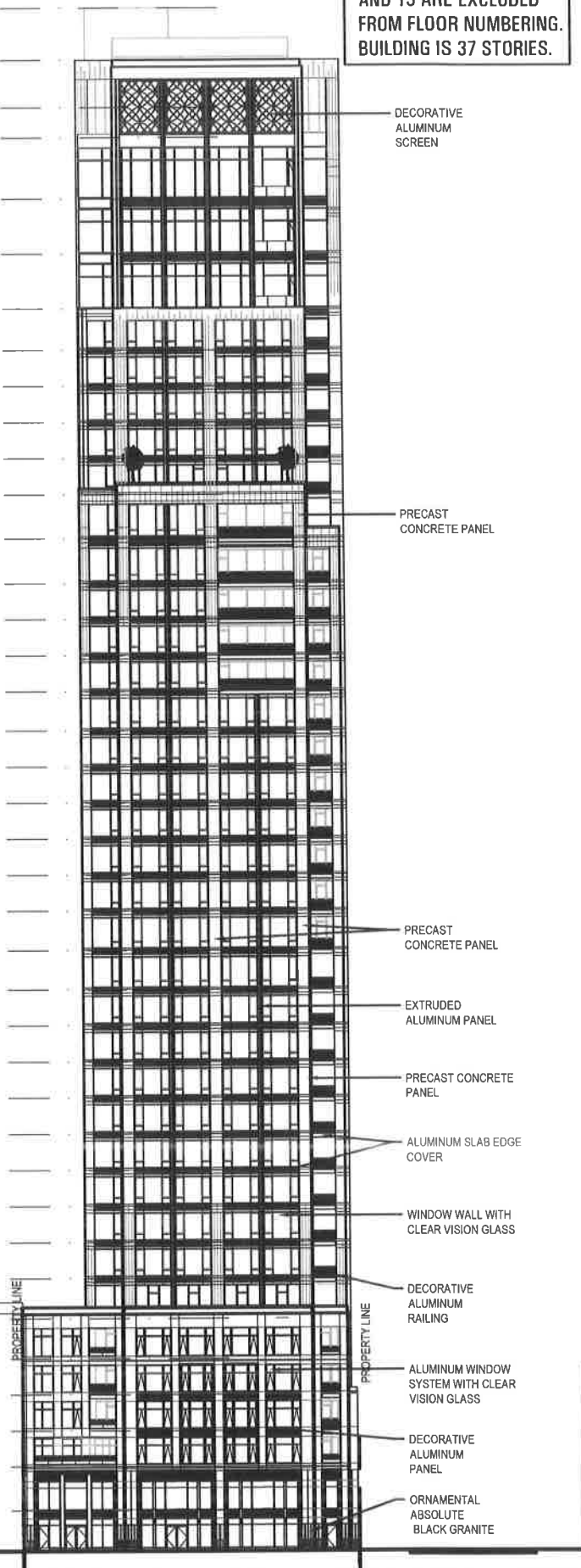


APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
INTRODUCTION DATE: JUNE 22, 2016
PLAN COMMISSION: TBD
SCALE: 1" = 50'-0"

NORTH ELEVATION

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMBERING. BUILDING IS 37 STORIES.

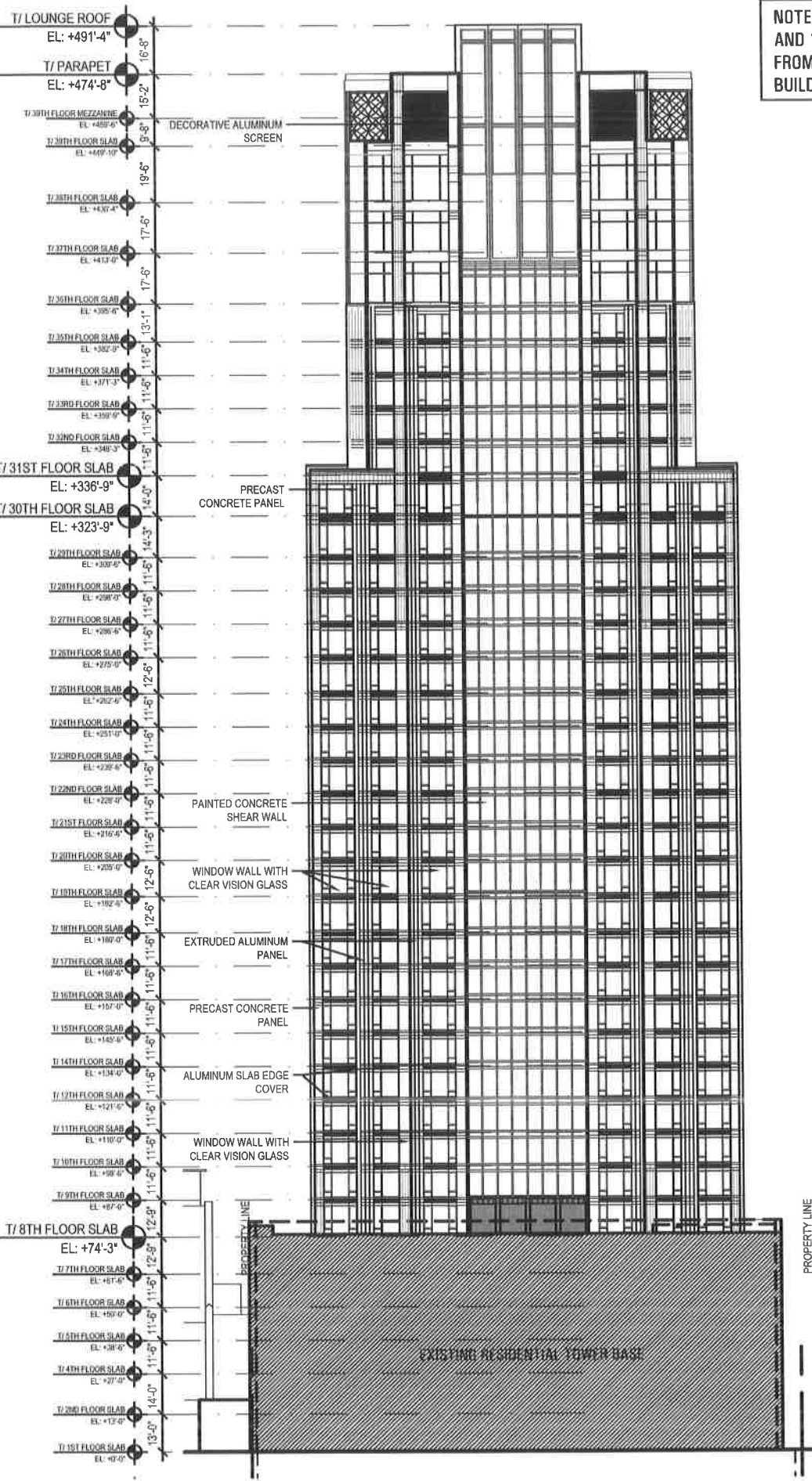
T/ LOUNGE ROOF	EL: +491'-4"	8'-8"
T/ PARAPET	EL: +474'-8"	15'-2"
T/ 29TH FLOOR MEZZANINE	EL: +459'-6"	15'-0"
T/ 29TH FLOOR SLAB	EL: +449'-10"	9'-6"
T/ 28TH FLOOR SLAB	EL: +430'-4"	19'-6"
T/ 27TH FLOOR SLAB	EL: +413'-0"	17'-6"
T/ 26TH FLOOR SLAB	EL: +395'-4"	17'-6"
T/ 25TH FLOOR SLAB	EL: +382'-9"	13'-1"
T/ 24TH FLOOR SLAB	EL: +371'-3"	11'-5"
T/ 23RD FLOOR SLAB	EL: +359'-9"	11'-5"
T/ 22ND FLOOR SLAB	EL: +346'-3"	11'-6"
T/ 31ST FLOOR SLAB	EL: +336'-9"	14'-0"
T/ 30TH FLOOR SLAB	EL: +323'-9"	14'-3"
T/ 29TH FLOOR SLAB	EL: +309'-4"	11'-6"
T/ 28TH FLOOR SLAB	EL: +299'-0"	11'-6"
T/ 27TH FLOOR SLAB	EL: +286'-6"	11'-6"
T/ 26TH FLOOR SLAB	EL: +277'-0"	12'-6"
T/ 25TH FLOOR SLAB	EL: +262'-6"	11'-6"
T/ 24TH FLOOR SLAB	EL: +257'-0"	11'-6"
T/ 23RD FLOOR SLAB	EL: +239'-4"	11'-6"
T/ 22ND FLOOR SLAB	EL: +228'-0"	11'-6"
T/ 21ST FLOOR SLAB	EL: +216'-6"	11'-6"
T/ 20TH FLOOR SLAB	EL: +205'-0"	12'-6"
T/ 19TH FLOOR SLAB	EL: +192'-6"	12'-6"
T/ 18TH FLOOR SLAB	EL: +180'-0"	11'-6"
T/ 17TH FLOOR SLAB	EL: +169'-0"	11'-6"
T/ 16TH FLOOR SLAB	EL: +157'-0"	11'-6"
T/ 15TH FLOOR SLAB	EL: +145'-0"	11'-6"
T/ 14TH FLOOR SLAB	EL: +134'-0"	11'-6"
T/ 12TH FLOOR SLAB	EL: +121'-6"	11'-6"
T/ 11TH FLOOR SLAB	EL: +110'-0"	11'-6"
T/ 10TH FLOOR SLAB	EL: +99'-0"	11'-6"
T/ 9TH FLOOR SLAB	EL: +87'-0"	12'-9"
T/ 8TH FLOOR SLAB	EL: +74'-3"	12'-9"
T/ 7TH FLOOR SLAB	EL: +61'-0"	11'-6"
T/ 6TH FLOOR SLAB	EL: +59'-0"	11'-6"
T/ 5TH FLOOR SLAB	EL: +39'-6"	11'-6"
T/ 4TH FLOOR SLAB	EL: +27'-0"	14'-0"
T/ 2ND FLOOR SLAB	EL: +13'-0"	13'-0"
T/ 1ST FLOOR SLAB	EL: +0'-0"	



- DECORATIVE ALUMINUM SCREEN
- PRECAST CONCRETE PANEL
- PRECAST CONCRETE PANEL
- EXTRUDED ALUMINUM PANEL
- PRECAST CONCRETE PANEL
- ALUMINUM SLAB EDGE COVER
- WINDOW WALL WITH CLEAR VISION GLASS
- DECORATIVE ALUMINUM RAILING
- ALUMINUM WINDOW SYSTEM WITH CLEAR VISION GLASS
- DECORATIVE ALUMINUM PANEL
- ORNAMENTAL ABSOLUTE BLACK GRANITE

APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
INTRODUCTION DATE: JUNE 22, 2016
PLAN COMMISSION: TBD
SCALE: 1" = 50'-0"
EAST ELEVATION

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMBERING. BUILDING IS 37 STORIES.



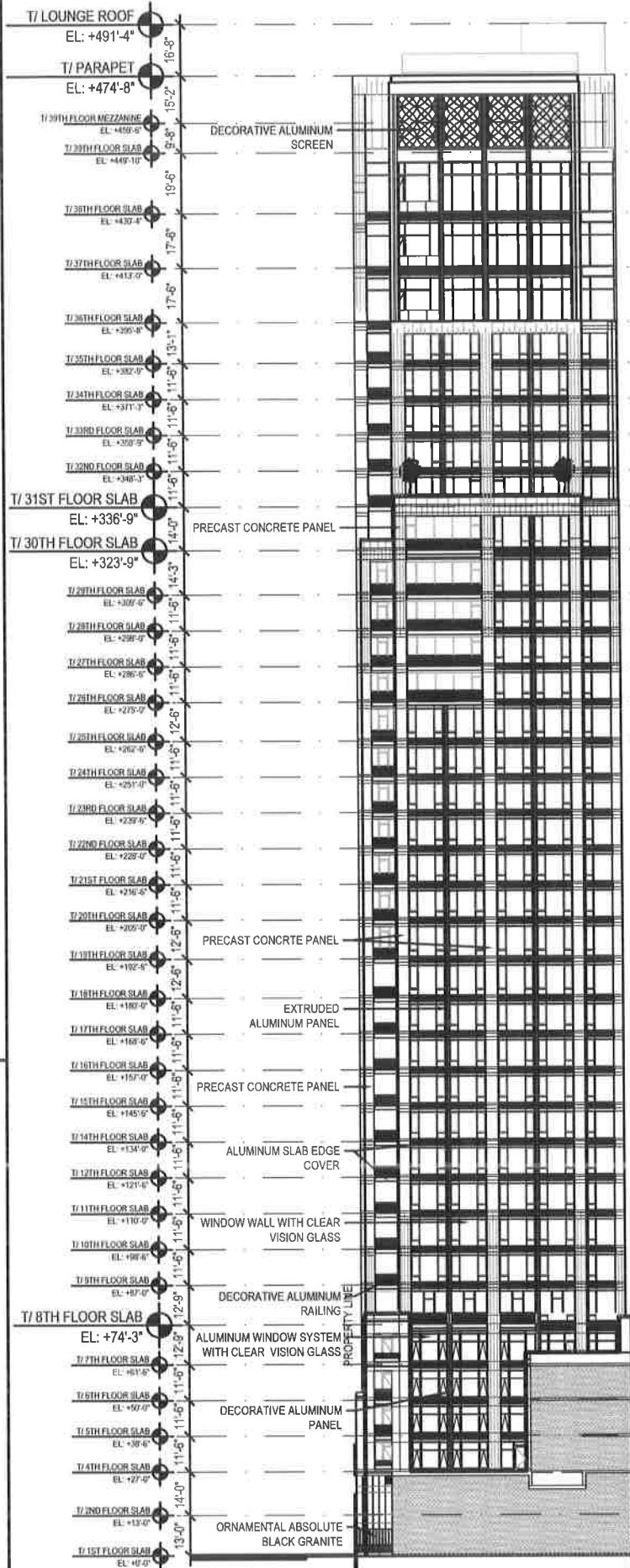
APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
INTRODUCTION DATE: JUNE 22, 2016
PLAN COMMISSION: TBD
SCALE: 1" = 50'-0"

SOUTH ELEVATION

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMBERING. BUILDING IS 37 STORIES.

APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
INTRODUCTION DATE: JUNE 22, 2016
PLAN COMMISSION: TBD
SCALE: 1" = 50'-0"

WEST ELEVATION



*Reclassification Of Area Shown On Map No. 3-F,
(As Amended)
(Application No. 18860)
(Common Address: 9 W. Walton St.)*

RBPID 1043,99

[SO2016-4778]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the Residential-Business Planned Development Number 1043 symbols and indications as shown on Map Number 3-F in the area bounded by:

West Walton Street; North State Street; West Delaware Place; and North Dearborn Street,

to the designation of Residential-Business Planned Development Number 1043, as amended, which is hereby established in the area above described subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 1043.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development consists of approximately seventy-seven thousand ninety-seven (77,097) square feet (one and seventy-seven hundredths (1.77) acres) (the "Property"). West Walton Chicago Investors LLC is the "Applicant" for this amendment with due authorization of the owners of the remainder of the Property.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, then to the owners of record title to all of the Property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. An agreement among property owners, the board of directors or any property owners association, or a covenant binding property owners, may designate the authorized party for any future amendment, modification or change. The Applicant shall retain single designated control and shall be deemed to be the authorized party for any future amendment, modification or change until the Applicant shall designate in writing the party or parties authorized to make application for any future amendment, modification or change.
4. This plan of development consists of these sixteen (16) Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Surrounding Land-Use Plan; a Planned Development Boundary and Property Line Map; a Site Plan; a Landscape Plan; an Expanded Historical District Diagram; a Site Demolition Plan; a Green Roof Plan; a Plaza Level Plan; a Typical Garage Plan; a 2-foot Floor Plan; a Ground Floor Plan; a 801 Garage Plan; a B02 Garage Plan; a B03 Garage Plan; the Existing Second and Third Floor Plans (Scottish Rite Cathedral); a Site Section; and Building Elevations (North Elevation, South Elevation, East Elevation and West Elevation) dated November 16, 2006 prepared by Pappageorge/Haymes Architects. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.

This planned development consists of the following exhibits related to the property that is the subject of this amendment: a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Site/Landscape Plan and Building Elevations (North, South, East and West) prepared by Hartshorne Plunkard Architects dated August 18, 2016.

5. The following uses shall be permitted within the area delineated herein as "Residential-Business Planned Development": all uses permitted in the DX-7 Downtown Mixed-Use District (with the exception of hotel uses) accessory and non-accessory parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the

review and approval of the Department of Planning and Development. Off-premises advertising signs are prohibited.

7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standard for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part' of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.
8. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining FAR permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical, equipment in excess of seven hundred fifty (750) square feet in a single location regardless of placement in the building, all rooftop floor area devoted to mechanical equipment irrespective of square footage, and all penetrations for elevators and stair shafts located entirely within the accessory parking garage and the rooftop mechanical system shall be excluded.
10. The improvements on the Property shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Subject to the provisions of Section 17-4-1022 of the Chicago Zoning Ordinance, the Commissioner of the Department of Planning and Development, acting on behalf of the City of Chicago and the Commission on Chicago Landmarks is authorized to enter into an agreement with the Applicant, the owners of the Property, and the owner(s) of the landmark property commonly known as the "Scottish Rite Cathedral" (the "Landmark Project") regarding the manner in which the funds for the renovation work in the Landmark Project relating to the Adopt-A-Landmark Bonus as approved by the Commission on Chicago Landmarks will be used. The agreement shall be in a form approved by the Corporation Counsel and shall be executed and submitted to the Department of Planning and Development as part of the Part II Submission for the first high-rise building to be constructed at the Property. The terms and conditions of the Landmark Project Scope of the Work and Budget may be modified administratively by the Commissioner of the Department of Planning and Development in accordance with the provisions of Statement 13 of this planned development. Upon completion of the work related to the Landmark Project, the Applicant shall apply to the Commission on Chicago Landmarks for the issuance of a Certificate of Completion of the Landmark Project. The Applicant shall provide written notice of said application to the Commission on Chicago Landmarks, the Office of the Zoning Administrator, the

Department of Law, and the Department of Planning and Development. The work related to the Landmark Project must be completed and a Certificate of Completion of the Landmark Project must be obtained from the Commission on Chicago Landmarks prior to the issuance of the Certificate of Occupancy for the first high-rise building to be constructed at the Property.

11. Demolition. The Applicant shall be entitled to demolish the portions of the existing buildings as depicted and indicated on the Site Demolition Plan contingent upon an engineer's report to be reviewed and accepted by the Commission on Chicago Landmarks. The report shall assess the impact of the demolition on the structural integrity of the historic buildings and structures to remain, including any recommended protection or stabilization measures. The permit for any demolition work shall also be contingent upon, and subject to the review and approval of the Commissioner of the Department of Planning and Development, a plan and implementation schedule for the following: (i) the relocation and replacement with working systems of the heating, ventilation, air-conditioning (existing capacities), gas, hot water and electrical service for the Scottish Rite Cathedral; (ii) providing an approved ingress and egress path from the southeast corner stairwell of the Scottish Rite Cathedral upon completion of the permitted demolition work; (iii) a plan and implementation schedule for the repair of the south facade of the cathedral building, the north facade of the Carpenter House, and the portion of the two (2) story connector along Dearborn Street between the buildings to remain, and (iv) a plan and implementation schedule for either temporary or permanent repairs to enclose and protect the rear portions of the Carpenter House and Taylor House upon completion of the demolition.

(a) Historic Buildings.

The Scottish Rite Cathedral, the Carpenter House, the facade of the two (2) story connector along Dearborn Street between these two (2) buildings, the Taylor House, and the Thompson House, including the coach house and the masonry south wall connecting it to the house, shall all be retained and preserved. Any excavation, foundation or other work related to the construction of the new residential towers shall be contingent upon an engineer's report to be reviewed and accepted by the Commission on Chicago Landmarks. The report shall assess the impact of the work on the structural integrity of the adjacent historic buildings and structures to remain, including any recommended protection or stabilization measures during construction. Subject to the review and approval of the Commissioner of the Department of Planning and Development, the Applicant shall be permitted to make modifications and construct additions to the east elevations of the Taylor House and the Carpenter House, including breezeway connections to the garages of said homes. Additionally, no side yard or rear yard setbacks shall be required for any of the single-family homes. Permitted materials for the additions shall include masonry brick, stone (both natural and man-made), precast concrete, metal, glass and glass products. There shall be no restrictions on the size of the window openings or amounts of glass and glass

products used in constructing the additions. The heights and volumes of the additions shall not exceed those heights and volumes indicated on the Site Plan and Site Section. The Applicant shall also be allowed, subject to the review and approval of the Commissioner of the Department of Planning and Development and the Commission on Chicago Landmarks, to construct additional window openings along the east elevation of the Thompson House.

(b) Landmark Designation.

The Applicant, and its successors and assigns, shall consent to amending the Washington Square District landmark designation to: (i) revise the district boundaries as depicted and indicated on the Expanded Historical District Diagram, and (ii) identify the significant historical and architectural features of the district as all exterior elevations, including rooflines. The consent shall be provided at the request of, and in a form acceptable to, the Commission on Chicago Landmarks. At the determination of the Commissioner of the Department of Planning and Development at the same or different time as amending the Washington Square District designation identified above in this Statement, the Applicant, and its successors and assigns, shall also consent to the inclusion of the second (2nd) floor sanctuary interior of the Scottish Rite Cathedral, as depicted and indicated on the Existing Second (2nd) and Third (3rd) Floor Plans (Scottish Rite Cathedral) and including the historic pipe organ, either as part of (i) the Washington Square District landmark designation or (ii) a covenant for the purposes of protecting the sanctuary interior and requiring any future changes thereto to be reviewed and approved by the Commission on Chicago Landmarks. The Commissioner of the Department of Planning and Development is authorized to enter into such a covenant with the Applicant, and its successors and assigns.

(c) Donation Of Scottish Rite Cathedral.

Prior to a donation of the Scottish Rite Cathedral to a donee, the Applicant, and its successors and assigns, shall inform the Commissioner of the Department of Planning and Development of the identity of the donee. Said Commissioner shall be authorized in her discretion, reasonably exercised, to accept or reject the proposed donee. Said Commissioner shall be entitled to impose conditions upon the conveyance including, but not limited to, a requirement that the donee complete within a reasonable time any work required under the provisions of the Chicago Building Code for occupancy of the Scottish Rite Cathedral. The Applicant, and its successors and assigns, shall maintain and keep secure the cathedral building, including heating the building, until such time as it is transferred to the donee.

(d) Easement.

The Applicant, and its successors and assigns, shall record an easement for the benefit of the Scottish Rite Cathedral property which provides for use by the Scottish Rite Cathedral property owner of the common driveway area, loading dock, loading area and the trash room of the tower building depicted in the Ground Floor Plan.

12. The permitted Floor Area Ratio identified in the Bulk Regulations and Data Table has been determined using a net site area of seventy-seven thousand ninety-seven (77,097) square feet (one and seventy-seven hundredths (1.77) acres), a base floor area ratio of 7.00 and additional floor area ratio for a series of proposed amenities, as follows:

Description	Floor Area Ratio
Base Floor Area Ratio	7.00
Adopt-A-Landmark	1.40
Affordable Housing	1.75
Neighborhoods Opportunity	<u>0.29</u>
Total Floor Area Ratio	10.44

The calculation of the additional Floor Area Ratio obtained through the series of proposed amenities is as follows:

Adopt-A-Landmark.

Restoration and renovation work and budget as approved by the Commission on Chicago Landmarks.

$$\text{Bonus Floor Area Ratio} = 7 \times 0.20 = 1.40 \text{ Floor Area Ratio}$$

$$1.40 \times 77,097 = 107,935 \text{ square feet}$$

$$107,935 \text{ square feet} \times \$25.00 \text{ per square foot} \times 0.80 = \$2,158,700.00 \text{ contribution.}$$

Affordable Housing

Bonus Floor Area Ratio = $7 \times 0.25 = 1.75$ Floor Area Ratio

$1.75 \times 77,097 = 134,919.25$ square feet

$134,919.25$ square feet \times \$25.00 per square foot \times 0.80 = \$2,698,385.00 contribution

The Applicant, its successors or assigns, shall contribute the amount of Two Million Six Hundred Ninety-eight Thousand Three Hundred Eighty-five and no/100 Dollars (\$2,698,385.00) to the City of Chicago's Affordable Housing Opportunity Fund prior to the issuance of the "Part II Approval" for the construction of the first high-rise building contemplated in this planned development.

Neighborhoods Opportunity.

$22,290$ square feet \times \$43.00 per square foot \times .80 = \$766,776 contribution

Pursuant to Section 17-4-1003-C, prior to the issuance of the first building permit for any building or buildings within the Planned Development, the Neighborhoods Opportunity Fund floor area bonus payment, as further described in this Statement 12 and Section 16-14-010, shall be paid in full; provided, however, if the planned development is constructed in phases, the bonus payment shall be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued.

The Applicant, its successors or assigns, shall contribute the amount of Seven Hundred Sixty-six Thousand Seven Hundred Seventy-six and no/100 Dollars (\$766,776.00) to the City of Chicago prior to the issuance of the "Part II Approval" for the building that is the subject of this 2016 amendment as follows: Six Hundred Thirteen Thousand Four Hundred Twenty-one and no/100 Dollars (\$613,421.00) into the Neighborhoods Opportunity Fund and Seventy-six Thousand Six Hundred Seventy-eight and no/100 Dollars (\$76,678.00) into each of the Citywide Adopt-A-Landmark Fund and Local Impact Fund. The amount of bonus floor area and corresponding payment may be modified prior to issuance of a building permit in accordance with Section 17-4-1003-C of the Zoning Ordinance, provided that the total FAR does not exceed the maximum FAR set forth in this planned development. The funds contributed pursuant to this Statement 12 shall be utilized as set forth in Section 17-4-1004 (Neighborhoods Opportunity Fund), 17-4-1005 (Local Impact Bonus) and 17-4-1006 (Citywide Adopt-A-Landmark) of the Zoning Ordinance. The Applicant's

obligations pursuant to this Statement 12 shall be fully satisfied upon payment of the amounts set forth herein (as modified pursuant to Section 17-4-1003-C).

It is currently anticipated that the Seventy-six Thousand Six Hundred Seventy-eight and no/100 Dollars (\$76,678.00) contribution to the Local Impact Fund (as such amount shall be adjusted in accordance with Section 17-4-1003-C at the time of building permit) will be utilized for improvements to Washington Square Park. Any modification of the allocation of the Local Impact Fund contribution shall be subject to Section 17-4-1005-G but in no event shall such modification cause a delay in the issuance of a Part II approval, building permit or certificate of occupancy for the planned development.

13. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System ("LEED"). The Applicant agrees to provide a twenty-five percent (25%) green roof equaling approximately sixteen thousand forty-six (16,046) square feet of net useable roof area. The Applicant agrees to provide an outdoor dog run of approximately two hundred (200) square feet to be located as depicted on the second (2nd) Floor Plan.

The Applicant for purposes of this 2016 amendment agrees to provide a thirty-nine percent (39%) green roof equaling approximately 14,328 square feet, achieve building certification (such as Green Globes or Energy Star) and provide a three-year maintenance contract for the green roof.

15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of

accessibility. No building permit shall be granted by the Department of Buildings until the Director of MOPD has approved detailed construction drawings for each building or improvement proposed to be constructed pursuant to the permit.

16. Unless substantial construction of the improvements contemplated by this amendment has commenced within six (6) years following adoption of this planned development and completion is thereafter diligently pursued, this planned development shall expire and the zoning of the Property shall revert to Residential-Business Planned Development Number 1043, as it existed prior to this amendment.

[Existing Zoning Map; Existing Land-Use Map; Boundary and Property Line Map; Site/Landscape Plan; Green Roof Plan; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 32149 through 32158 of this *Journal*.]

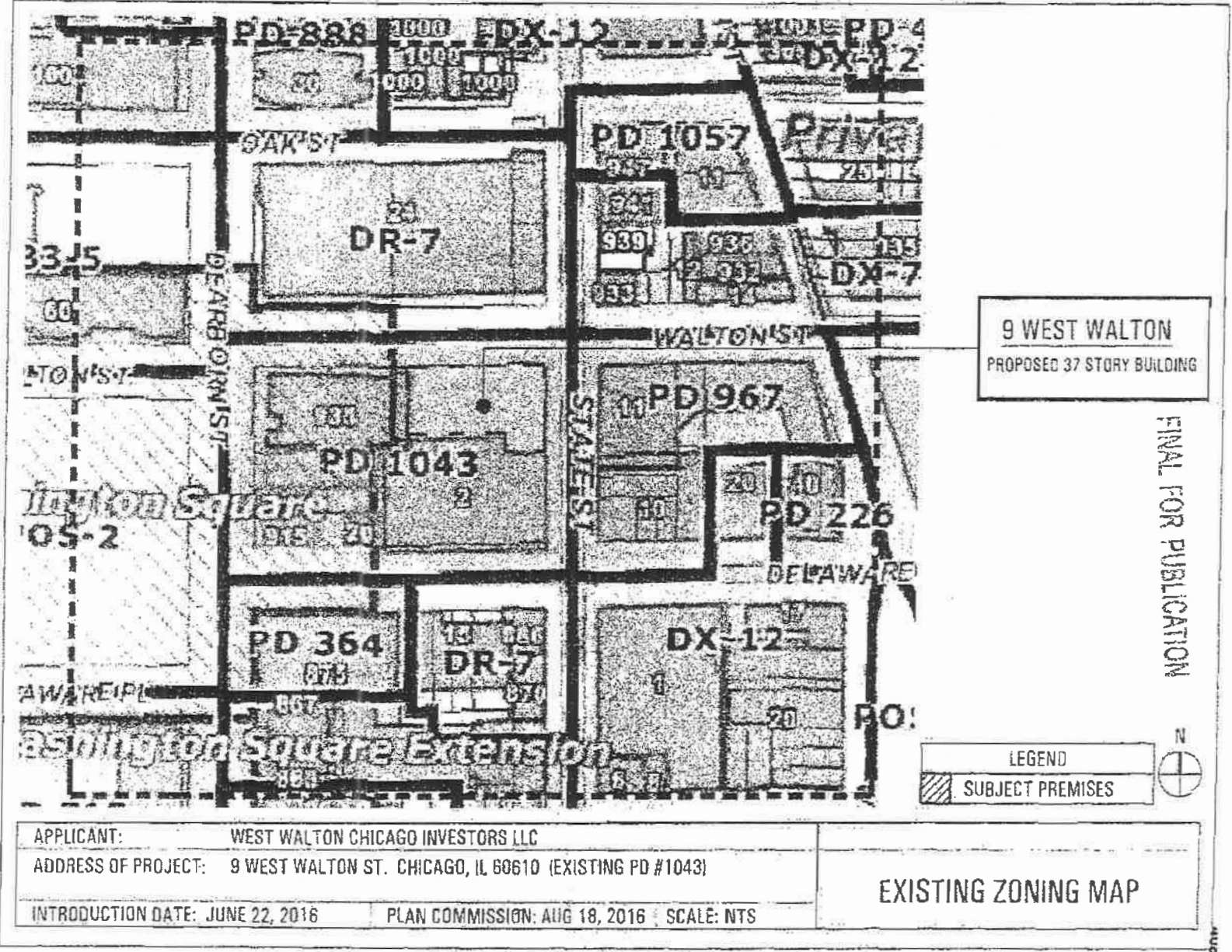
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development No. 1043.

Bulk Regulations And Data Table.

	Total
Net Site Area (square feet):	77,097
Net Site Area (acre):	1.77
Gross Site Area (square feet):	124,574
Gross Site Area (acre):	2.86
Base Floor Area Ratio:	7.00

Adopt-A-Landmark Bonus:	1.40
Affordable Housing Bonus:	1.75
Neighborhood Opportunities Bonus:	0.29
Maximum Floor Area Ratio:	10.44
Minimum Number Off-Street Parking:	1 to 1 per dwelling unit
Maximum Number Non-Accessory Parking:	50
Maximum Number Dwelling Units:	453
Maximum Permitted Building Height Tower 1:	360 feet, 0 inches to top of parapet 350 feet, 0 inches underside of mechanical ceiling 326 feet, 2 inches highest residential ceiling
Maximum Permitted Building Height Tower 2:	462 feet, 0 inches to top of parapet
Maximum Site Coverage:	Per approved Site Plan
Minimum Periphery Setbacks:	Per approved Site Plan



FINAL FOR PUBLICATION

9 WEST WALTON
PROPOSED 37 STORY BUILDING

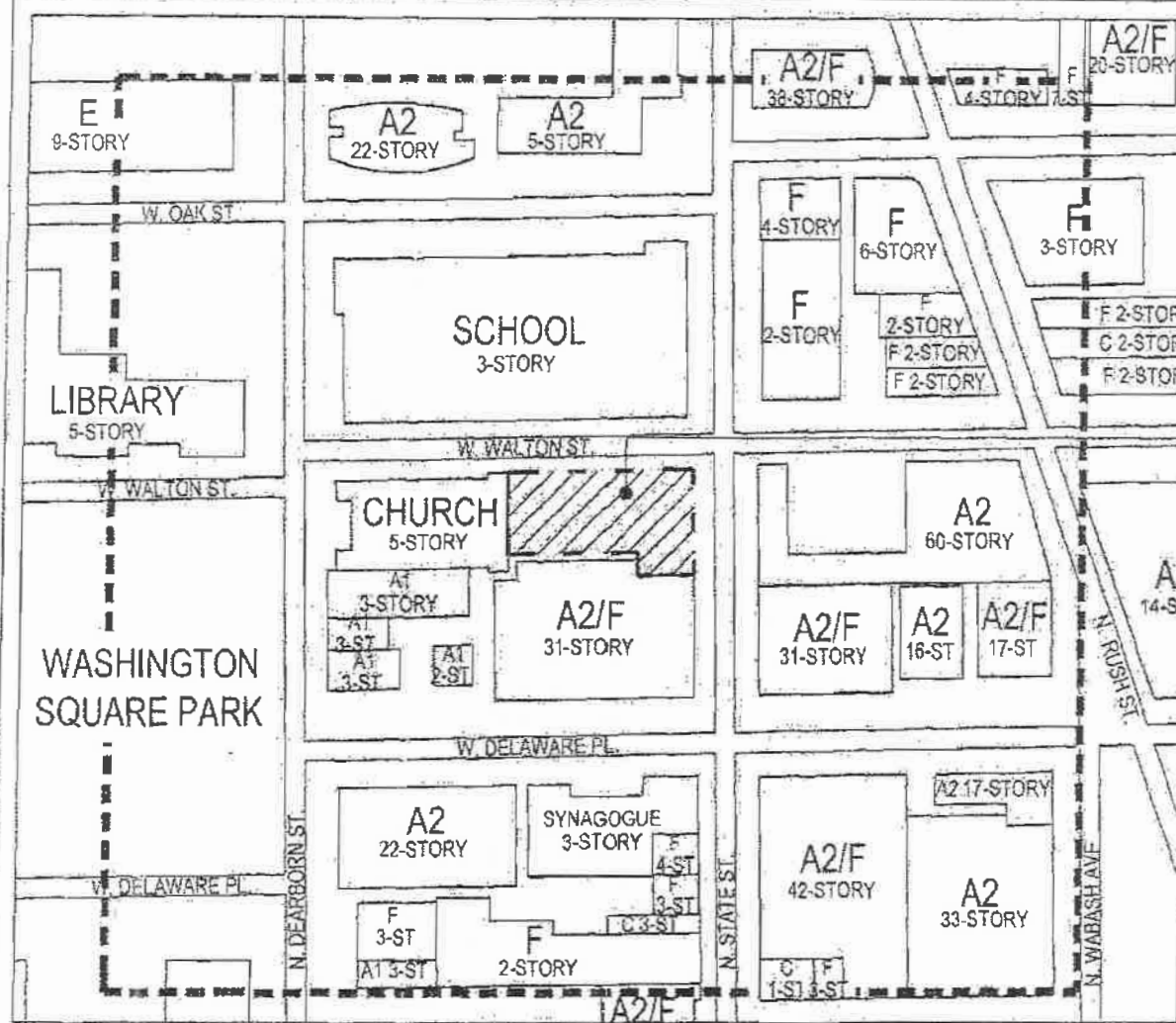
LEGEND
SUBJECT PREMISES



APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
 ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
 INTRODUCTION DATE: JUNE 22, 2016 PLAN COMMISSION: AUG 18, 2016 SCALE: NTS

EXISTING ZONING MAP

478




KEY:
 A1= SINGLE FAMILY RESIDENTIAL
 A2= MULTI-FAMILY RESIDENTIAL
 C= RESTAURANT/BAR
 E= OFFICE
 F= MERCANTILE

--- 400' BOUNDARY

9 WEST WALTON
 PROPOSED 37 STORY BUILDING

FINAL FOR PUBLICATION

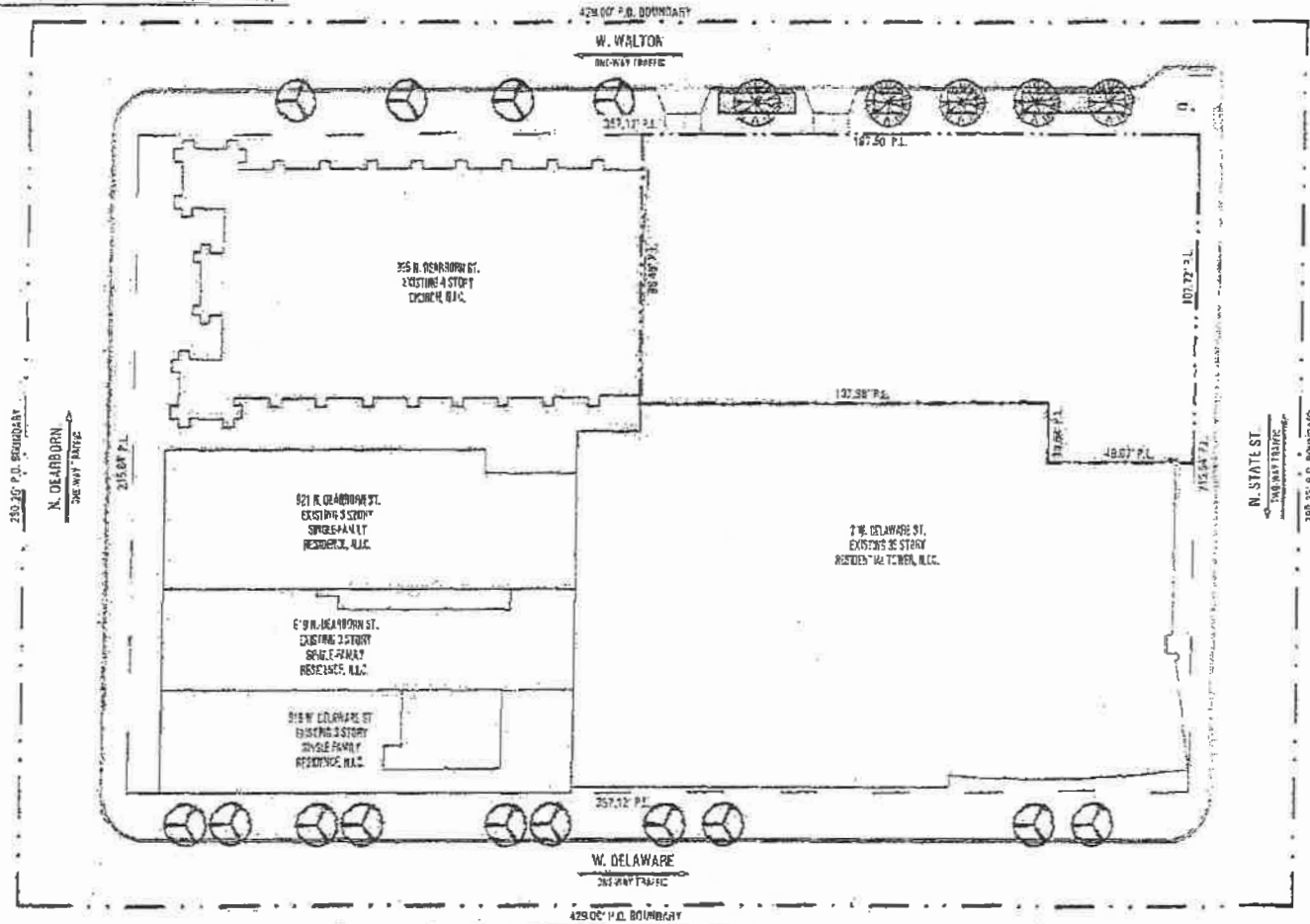
LEGEND
 [Hatched Box] SUBJECT PREMISES



APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
INTRODUCTION DATE: JUNE 22, 2016 **PLAN COMMISSION:** AUG 18, 2016 **SCALE:** 1" = 150'-0"

EXISTING LAND USE MAP

PLANNED DEVELOPMENT SITE DATA:
 GROSS SITE AREA: 124,574 SF (2.86 ACRES)
 AREA IN RIGHT OF WAY: 47,477 SF (1.09 ACRES)
 NET SITE AREA: 77,097 SF (1.77 ACRES)

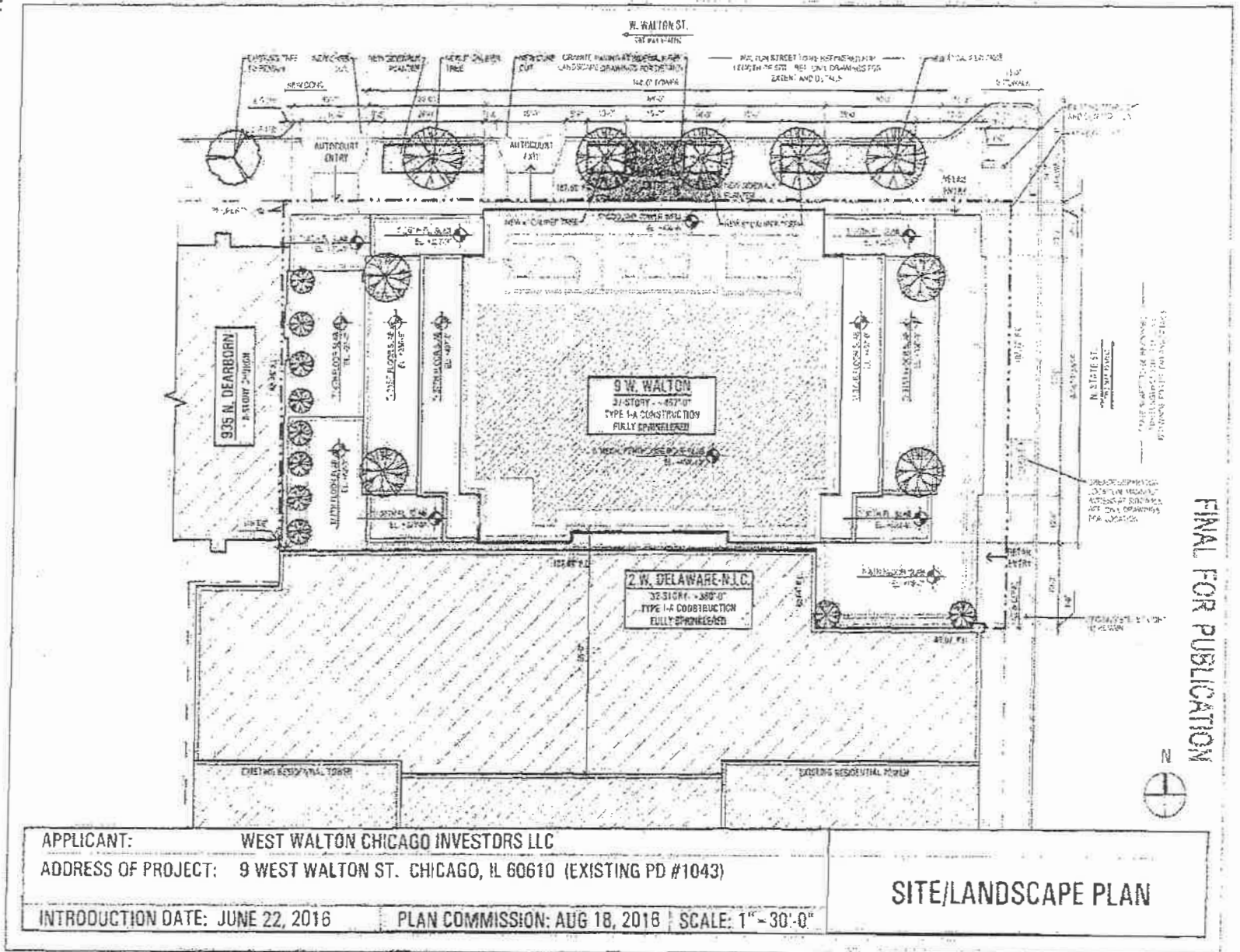


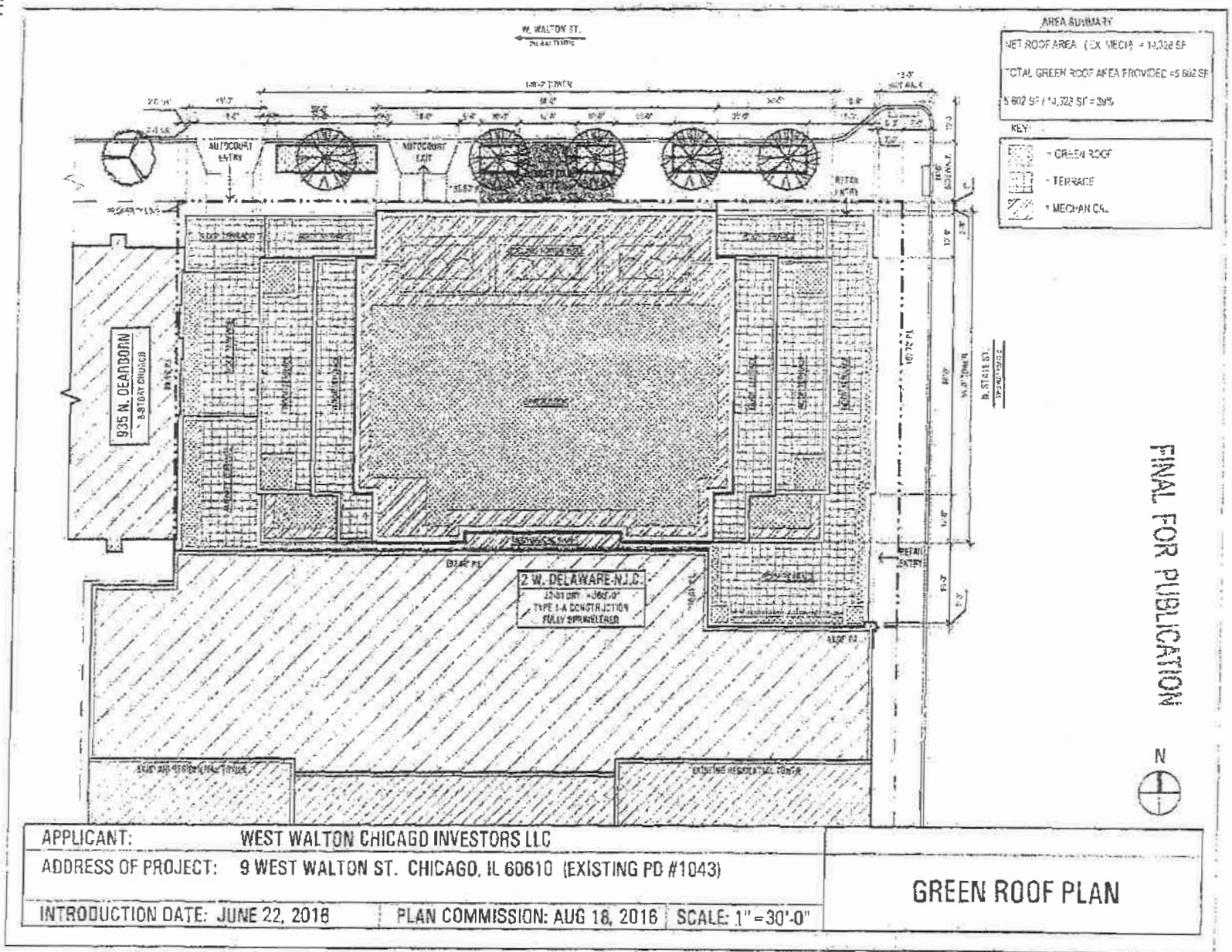
APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
 ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
 INTRODUCTION DATE: JUNE 22, 2016 PLAN COMMISSION: AUG 18, 2016 SCALE: 1" = 50'-0"

PLANNED DEVELOPMENT BOUNDARY
 AND PROPERTY LINE MAP

FINAL FOR PUBLICATION





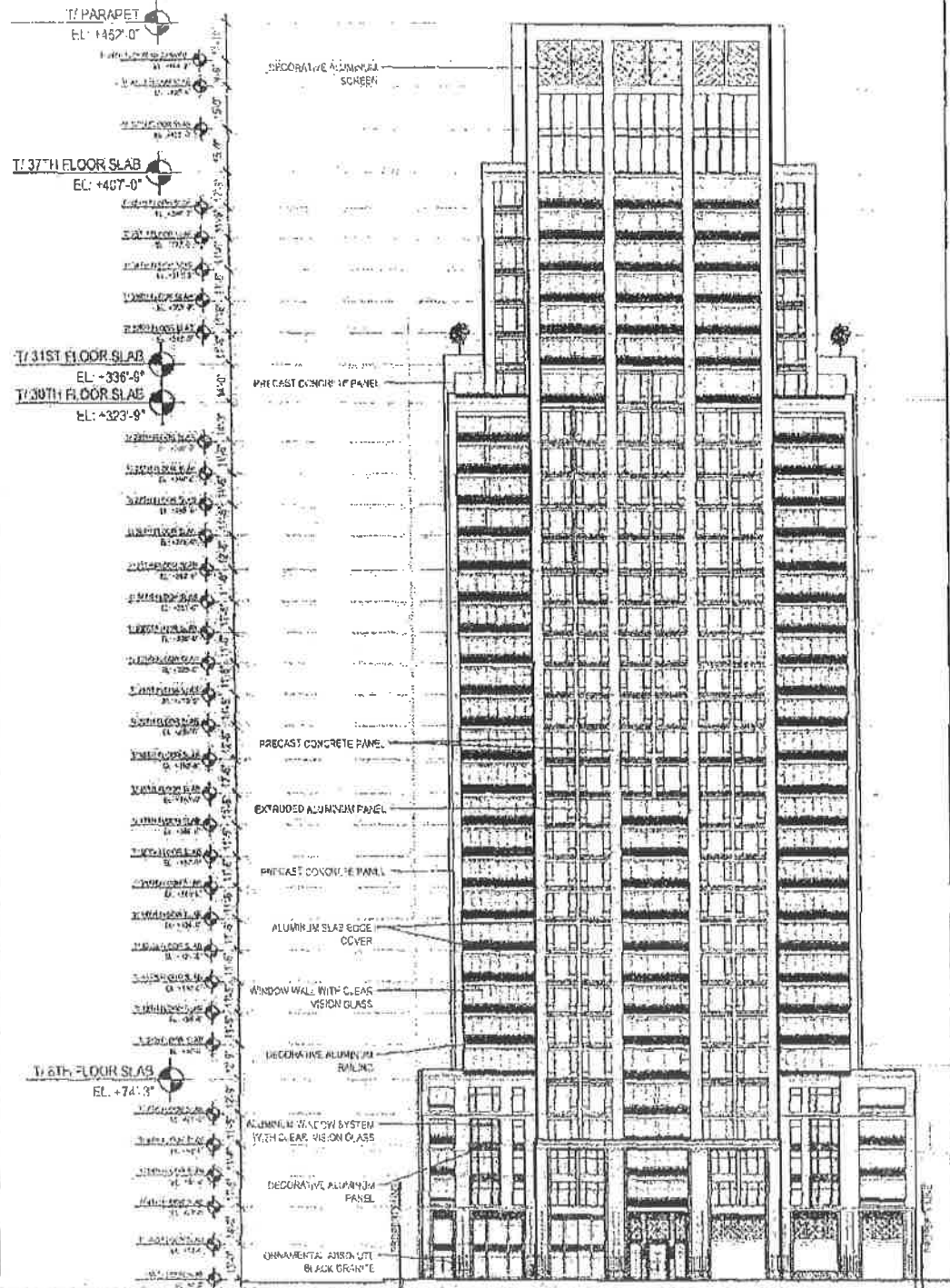


FINAL FOR PUBLICATION

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMBERING BUILDING IS 37 STORIES.

APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
 ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
 INTRODUCTION DATE: JUNE 22, 2016 PLAN COMMISSION: AUG 18, 2016 SCALE: 1" = 50'-0"

NORTH ELEVATION

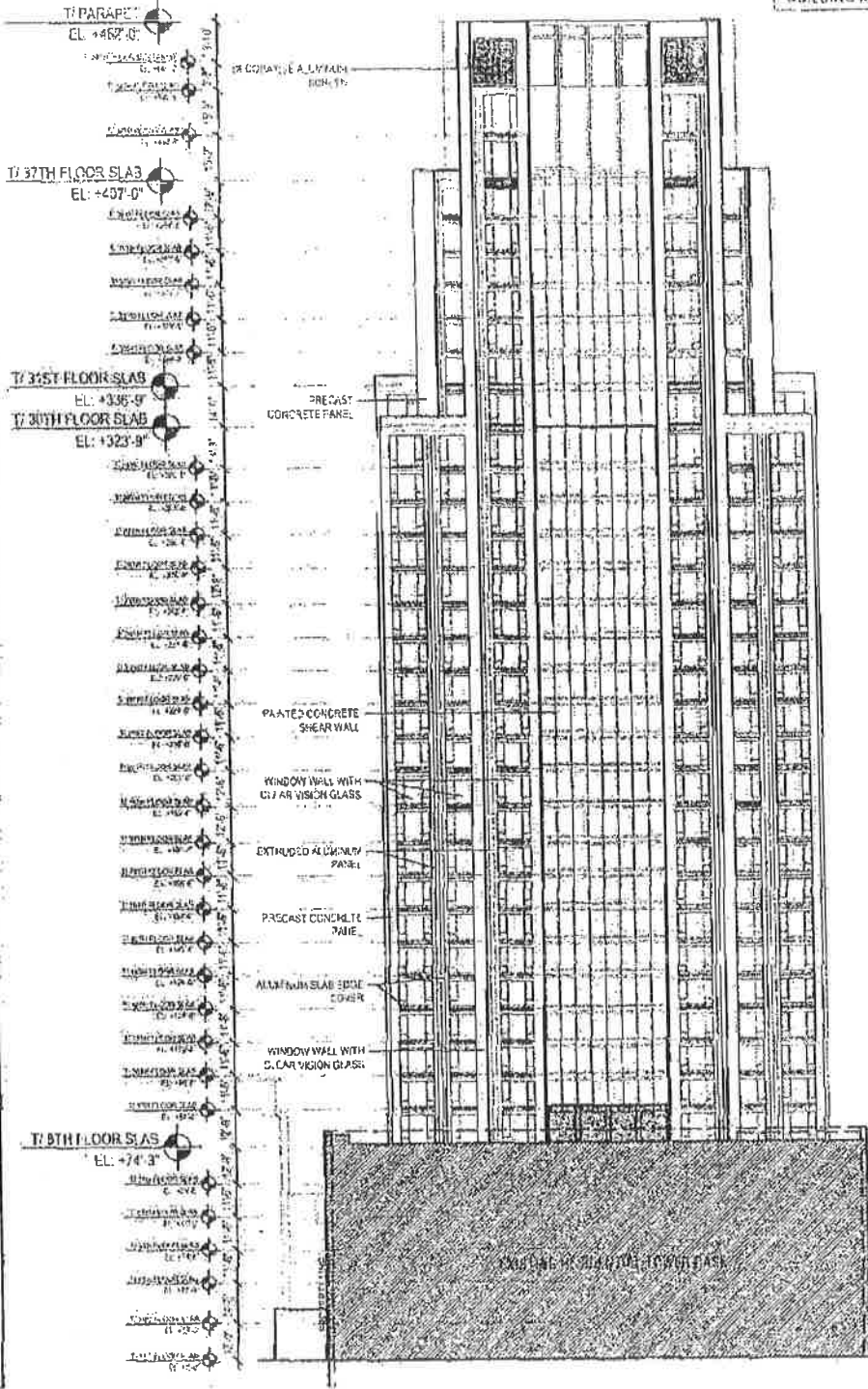


FINAL FOR PUBLICATION

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMBERING. BUILDING IS 37 STORIES.

APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
 ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1943)
 INTRODUCTION DATE: JUNE 22, 2016
 PLAN COMMISSION DATE: AUG 18, 2016
 SCALE: 1" = 50'-0"

SOUTH ELEVATION



FINAL FOR PUBLICATION

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMERING. BUILDING IS 37 STORIES.

APPLICANT: WEST WALTON CHICAGO INVESTORS LLC

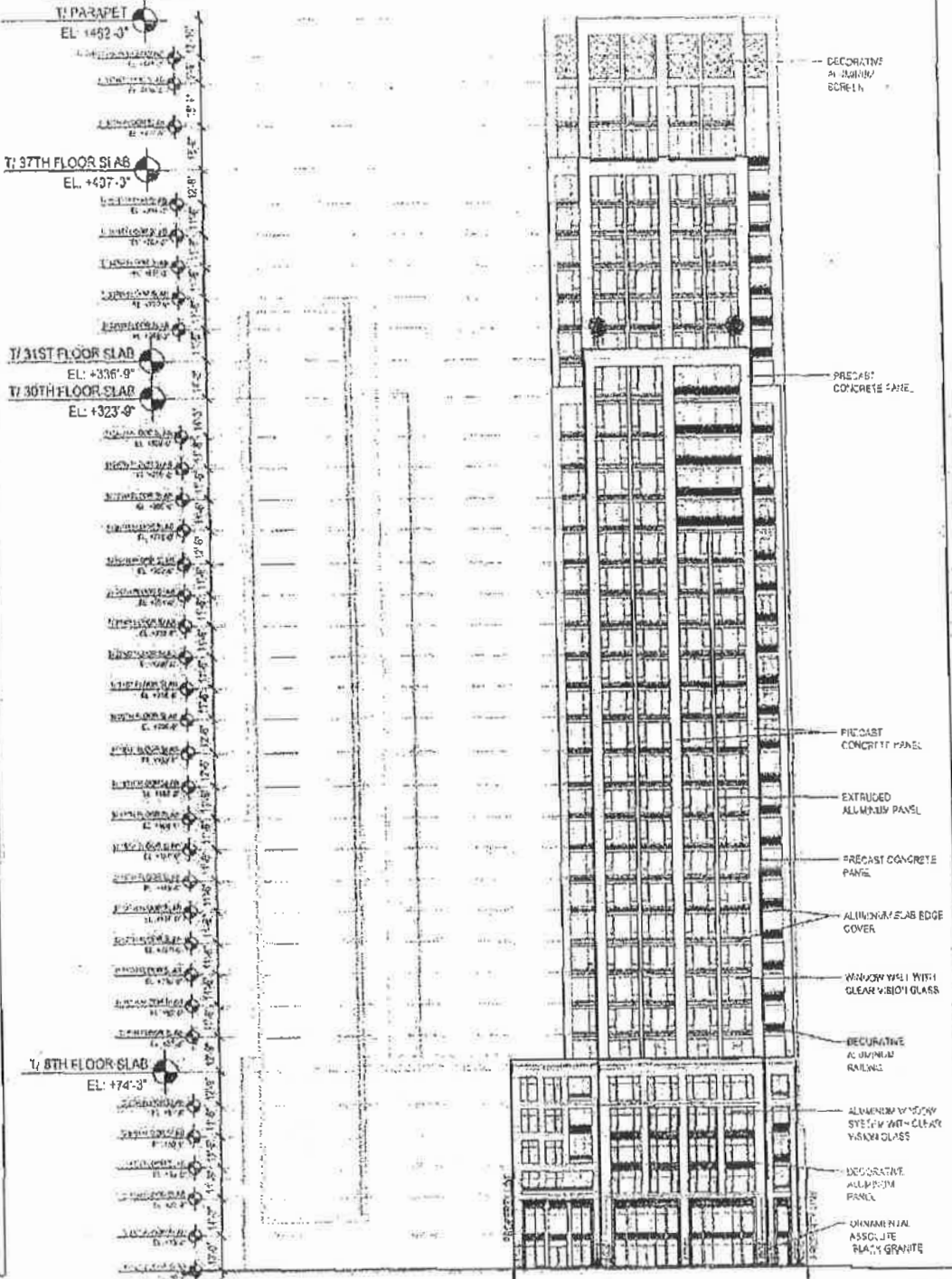
ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)

INTRODUCTION DATE: JUNE 22, 2016

PLAN COMMISSION: AUG 19, 2016

SCALE: 1" = 50'-0"

EAST ELEVATION



DECORATIVE ALUMINUM SCREEN

PRECAST CONCRETE PANEL

PRECAST CONCRETE PANEL

EXTRUDED ALUMINUM PANEL

PRECAST CONCRETE PANEL

ALUMINUM SLAB EDGE COVER

WINDOW UNIT WITH CLEAR VISION GLASS

DECORATIVE ALUMINUM PANEL

ALUMINUM WINDOW SYSTEM WITH CLEAR VISION GLASS

DECORATIVE ALUMINUM PANEL

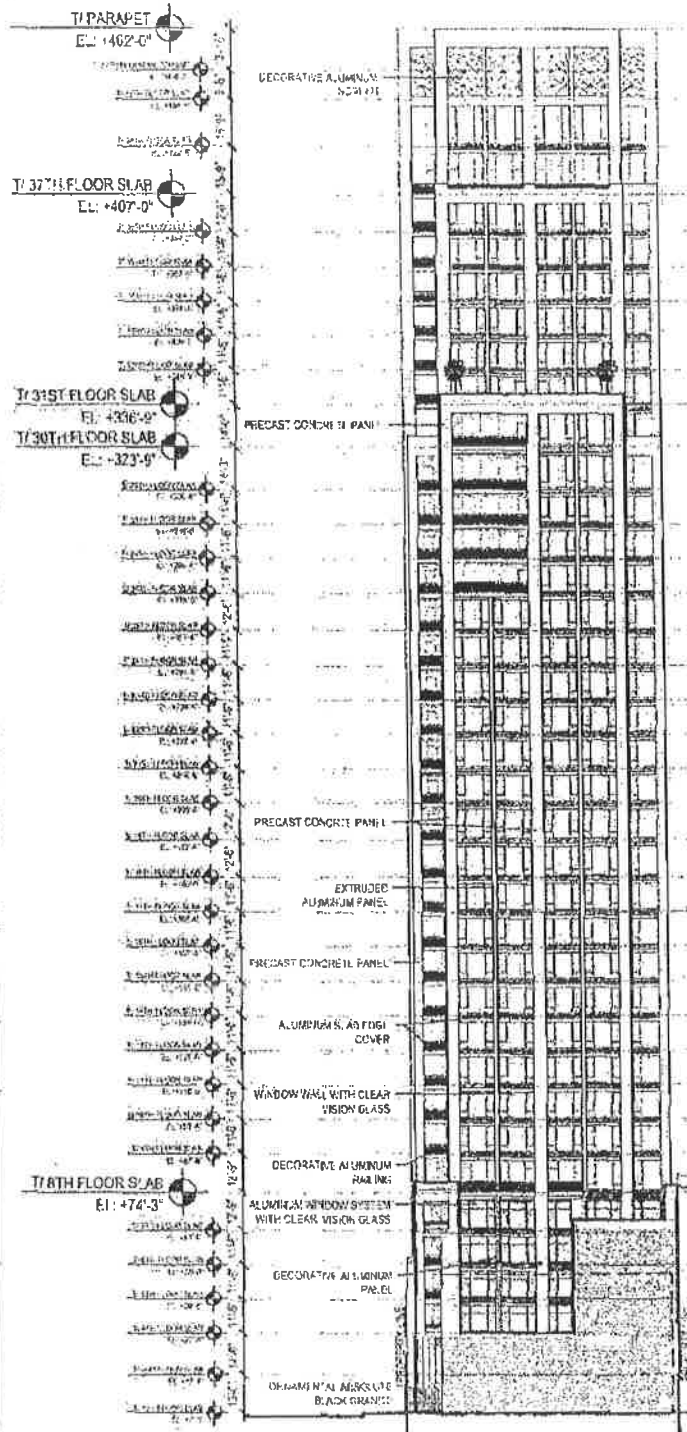
ORNAMENTAL AGGREGATE GRANITE

FINAL FOR PUBLICATION

NOTE: FLOOR NUMBERS 3 AND 13 ARE EXCLUDED FROM FLOOR NUMBERING. BUILDING IS 27 STORIES.

APPLICANT: WEST WALTON CHICAGO INVESTORS LLC
 ADDRESS OF PROJECT: 9 WEST WALTON ST. CHICAGO, IL 60610 (EXISTING PD #1043)
 INTRODUCTION DATE: JUNE 22, 2016 PLAN COMMISSION: AUG 18, 2016 SCALE: 1" = 50'-0"

WEST ELEVATION



- DECORATIVE ALUMINUM PANEL
- PRECAST CONCRETE PANEL
- PRECAST CONCRETE PANEL
- EXTRUDED ALUMINUM PANEL
- PRECAST CONCRETE PANEL
- ALUMINUM ANODIZED COVER
- WINDOW UNIT WITH CLEAR VISION GLASS
- DECORATIVE ALUMINUM RAILING
- ALUMINUM WINDOW SYSTEM WITH CLEAR VISION GLASS
- DECORATIVE ALUMINUM PANEL
- DECORATIVE ALUMINUM PANEL
- DECORATIVE ALUMINUM PANEL



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 13, 2015

Mara S. Georges
Daley and Georges, Ltd.
20 S. Clark Street
Suite 400
Chicago, IL 60603

Re: Administrative Relief request for Residential Business Planned Development No. 1043, Southwest corner of North State and West Walton Streets

Dear Ms. Georges:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1043 ("PD 1043"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 1043. PD 1043 was passed in 2006 and approved the construction of two towers along State St. between Walton St. and Delaware Pl. Tower One, built in 2009, is 32-stories in height and includes 198 condominium units.

Your client, SJAJ Walton, LLC, is seeking administrative relief for a new design and height increase for the proposed Tower Two building. The proposed 35-story, 67 dwelling unit building will include ground floor commercial space and 74 parking spaces below grade.

PD 1043 allows a maximum height of: 410'-0" to the top of the parapet, 400'-0" to the underside of the mechanical ceiling and 376'-2" to the highest residential ceiling. You are requesting a minor change to allow the following height increases: 430'-0" to the top of the parapet, 427'-10" to the underside of the mechanical ceiling and 409'-0" to the highest residential ceiling. The following drawings, prepared by Hartshorne Plunkard Architects and dated February 4, 2015, shall be inserted into the main file: Rendering and Drawing Index, Site Plan, Lower Level 3, 2 and 1 Plans, First Floor Plan, Typical Residential Floor Plan, Green Roof Plan, North, East, South and West Elevations, East Elevation and West Elevation. The Site Plan was approved by the Department of Transportation on December 17, 2014.


You have provided consent from the owners of the parcel immediately to the south (2 W. Delaware), Walton on the Park Condominium Association (on behalf of the residential condominium owners), 2 W Delaware Retail, LLC (1st floor retail), 2 W Delaware Parking, LLC (below ground parking), and 1 W. Walton, LLC, along with Harvest Bible Chapel for the

property located at 935 N. Dearborn St. You also enclosed a Declaration of Reserved Right Over Mansion Parcels on behalf of the nearby Carpenter House Parcel (921 N. Dearborn), Thompson House Parcel (915 N. Dearborn), and the Taylor House Parcel (917-919 N. Dearborn).

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design changes and slight height increase will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. The overall proposed height increase from 410' to 430' to the top of the parapet represents a 5% increase in height. Also, the new building is much less dense than what was originally approved. PD 1043 allows a maximum of 453 dwelling units. A total of 265 dwelling units will be provided within Tower's One and Two.

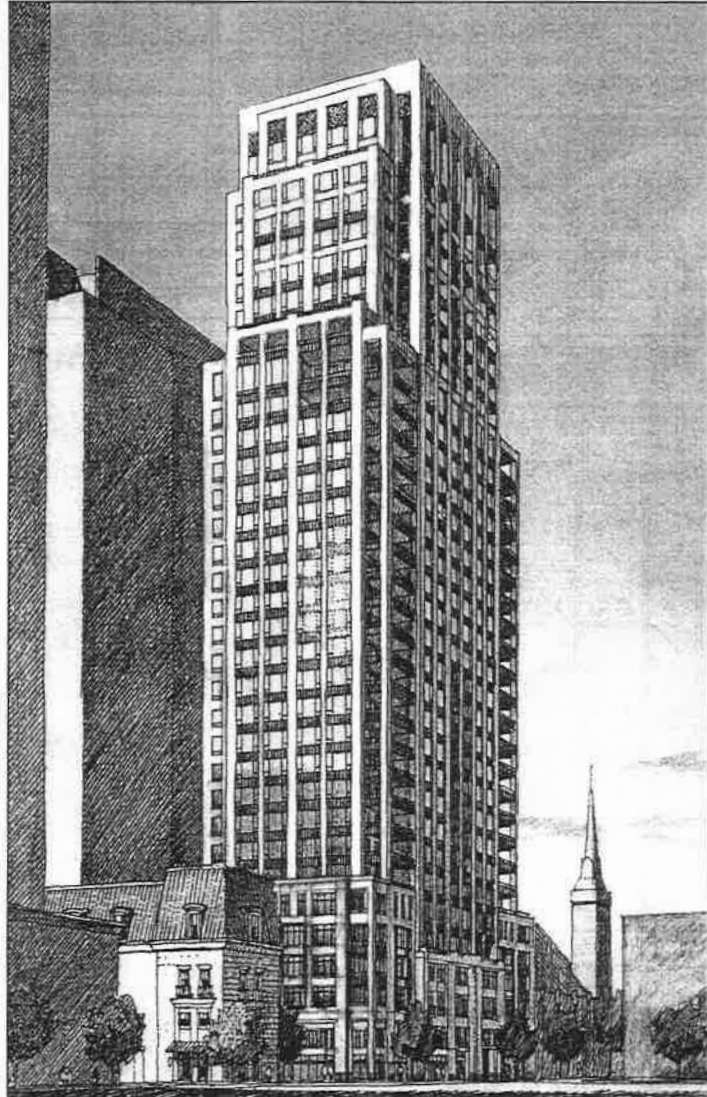
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1043, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Main file



DRAWING INDEX

- SK00 RENDERING AND DRAWING INDEX
- SK01 SITE PLAN
- SK02 LOWER LEVEL 3 PLAN (PARKING)
- SK03 LOWER LEVEL 2 PLAN (PARKING)
- SK04 LOWER LEVEL 1 PLAN (PARKING)
- SK05 FIRST FLOOR PLAN (STREET LANDSCAPE PLAN)
- SK06 TYPICAL RESIDENTIAL FLOOR PLAN
- SK07 GREEN ROOF PLAN
- SK08 NORTH COLOR ELEVATION
- SK09 EAST COLOR ELEVATION
- SK10 SOUTH COLOR ELEVATION
- SK11 WEST COLOR ELEVATION
- SK12 EAST B/W ELEVATION
- SK13 WEST B/W ELEVATION

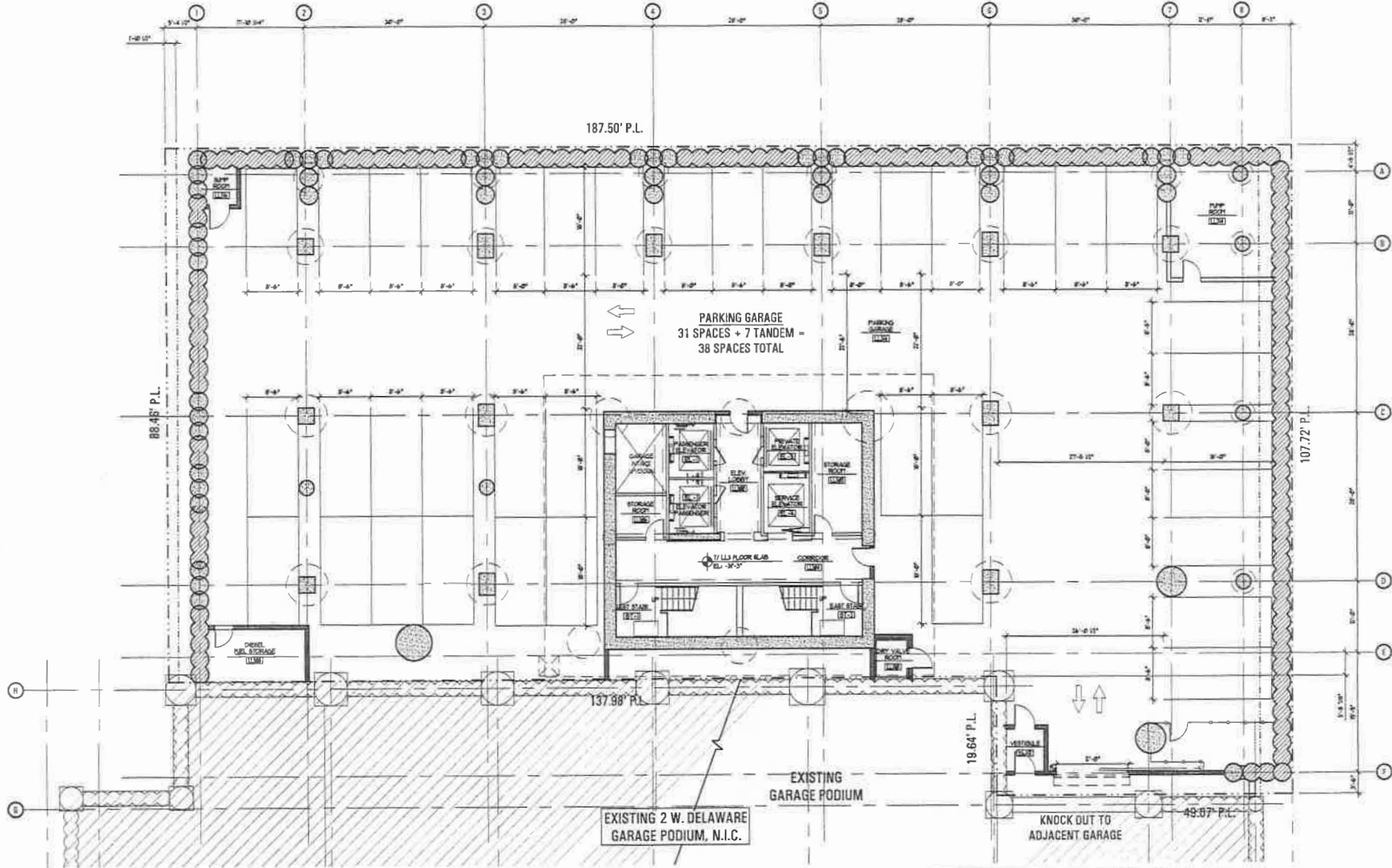
HARTHORNE PLUNKARD ARCHITECTURE
HPA
 232 NORTH CAMPBELL STREET
 CHICAGO, IL 60607
 312.226.4440
 HPARCHITECTURE.COM

PLANS AND ALL SPECIFICATION ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

9 WEST WALTON STREET

Chicago, IL

	SCALE	DRAWING	SK#
	NTS	RENDERING AND DRAWING INDEX	00
	DATE		
	02-04-15		



9 WEST WALTON STREET

Chicago, IL

HARTSHORNE PLUNKARD ARCHITECTURE

HPA
 732 NORTH CASPARY STREET
 CHICAGO, IL 60607
 312.238.4488
 HPARCHITECTURE.COM

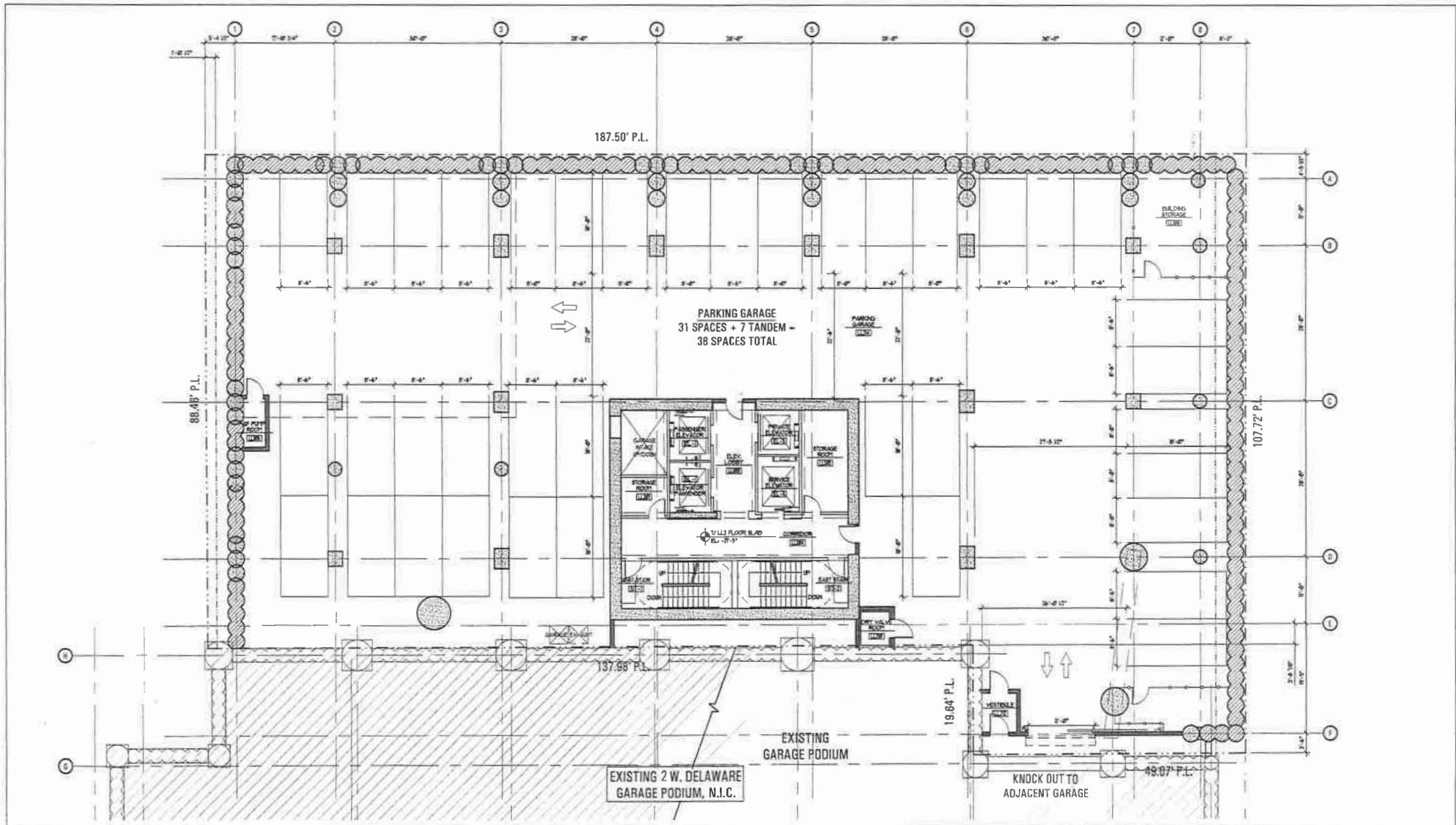
PLANS AND ALL SPECIFICATION ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.



SCALE
 1/16" = 1'-0"
 DATE
 02-04-15

DRAWING
 LOWER LEVEL 3
 PLAN (PARKING)

SK#
02



HARTSHORNE PLUNKARD ARCHITECTURE
HPA
 232 NORTH CARPENTER STREET
 CHICAGO, IL 60610
 312.228.4488
 HPARCHITECTURE.COM

PLANS AND ALL SPECIFICATION ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

9 WEST WALTON STREET

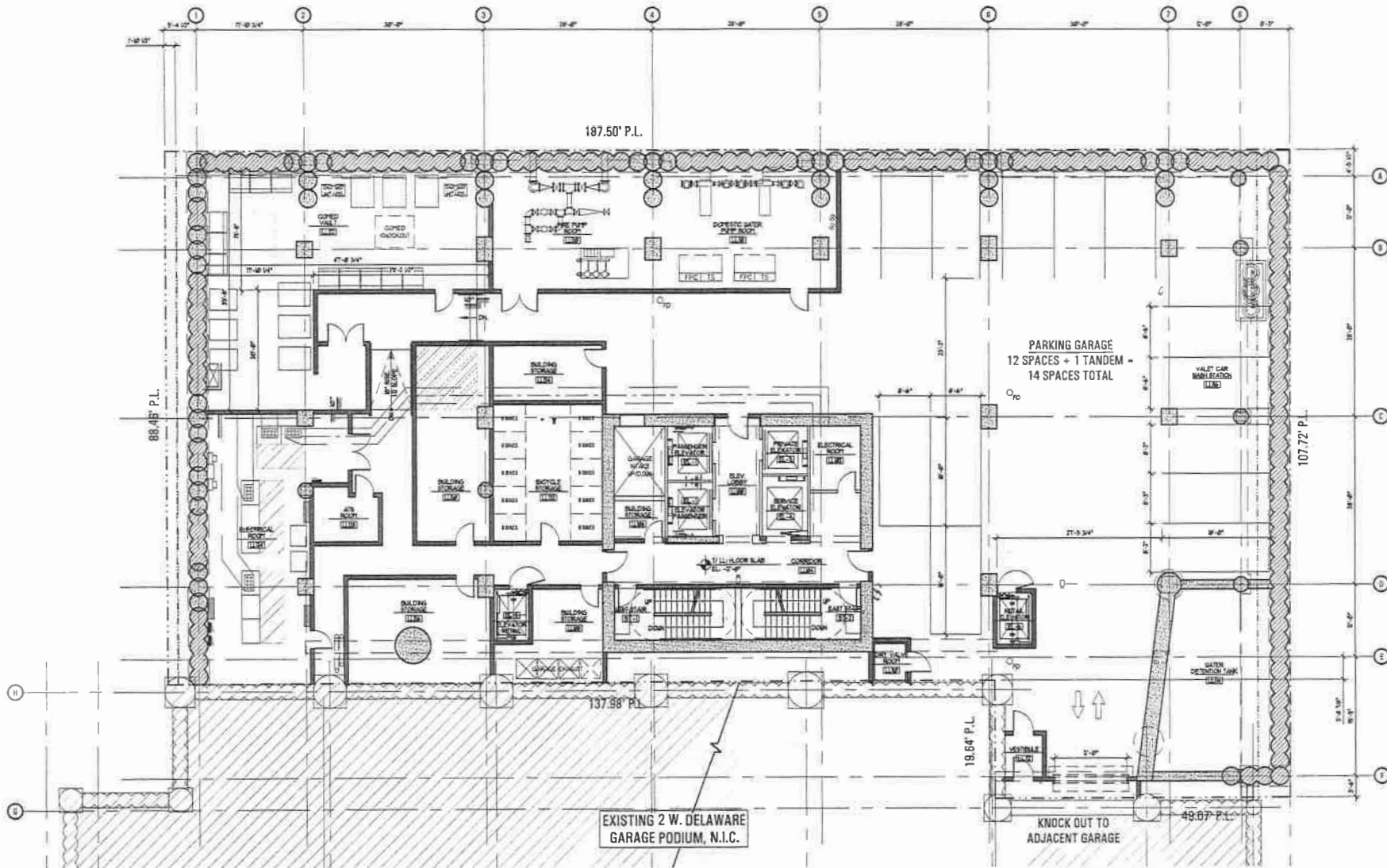
Chicago, IL



SCALE
 1/16" = 1'-0"
 DATE
 02-04-15

DRAWING
 LOWER LEVEL 2
 PLAN (PARKING)

SK#
03

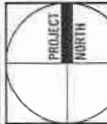


HARTSHORNE PLUNKARD ARCHITECTURE
HPA
 132 NORTH CARPENTER STREET
 CHICAGO, IL 60607
 312.268.4488
 HPARCHITECTURE.COM

PLANS AND ALL SPECIFICATION ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

9 WEST WALTON STREET

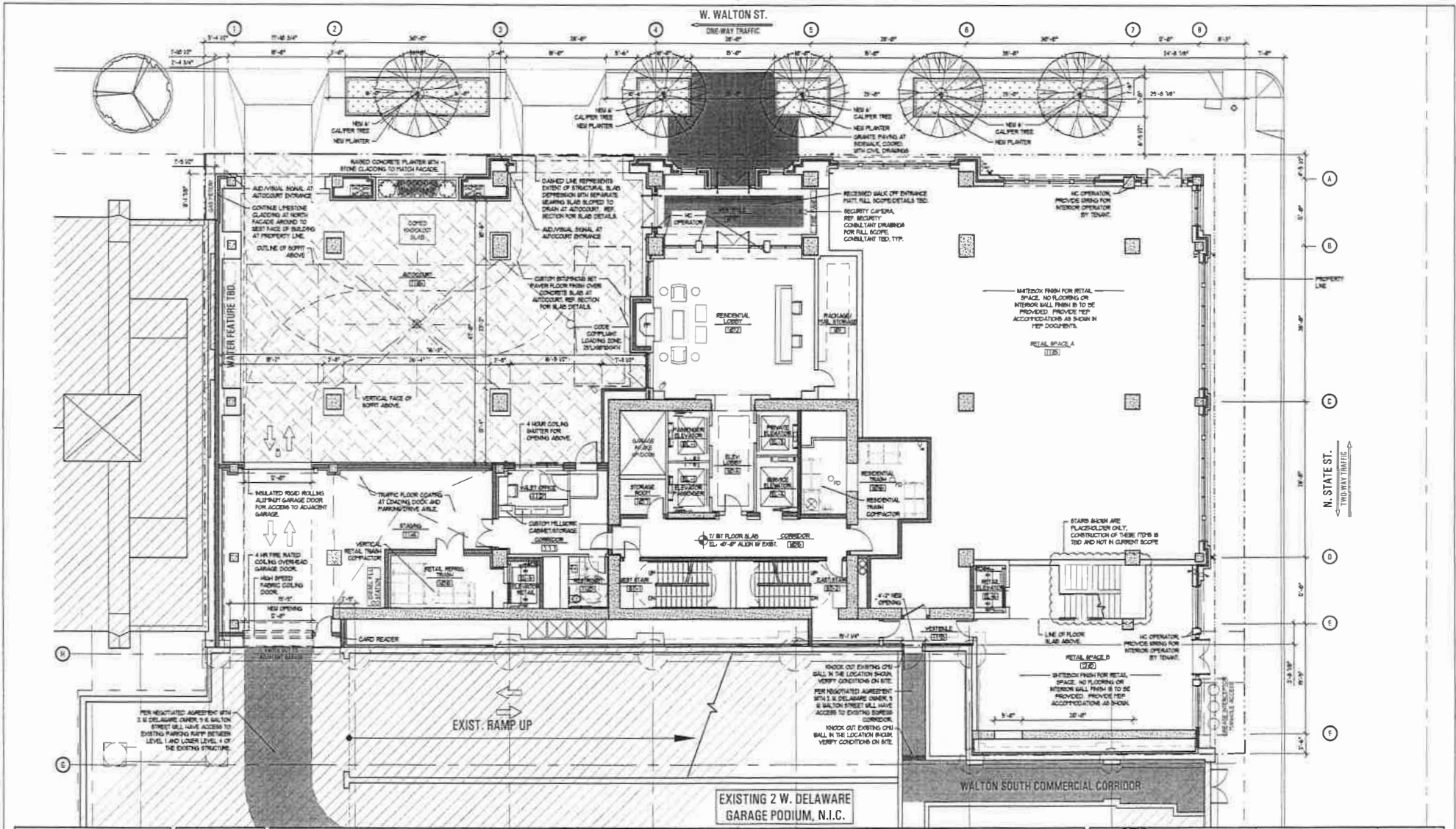
Chicago, IL



SCALE
 1/16" = 1'-0"
 DATE
 02-04-15

DRAWING
 LOWER LEVEL 1
 PLAN (PARKING)

SK#
04



HARTSHORNE PLUNKARD ARCHITECTURE
HPA
 232 NORTH CABLESTREET STREET
 CHICAGO, IL 60607
 312.226.4488
 HPARCHITECTURE.COM

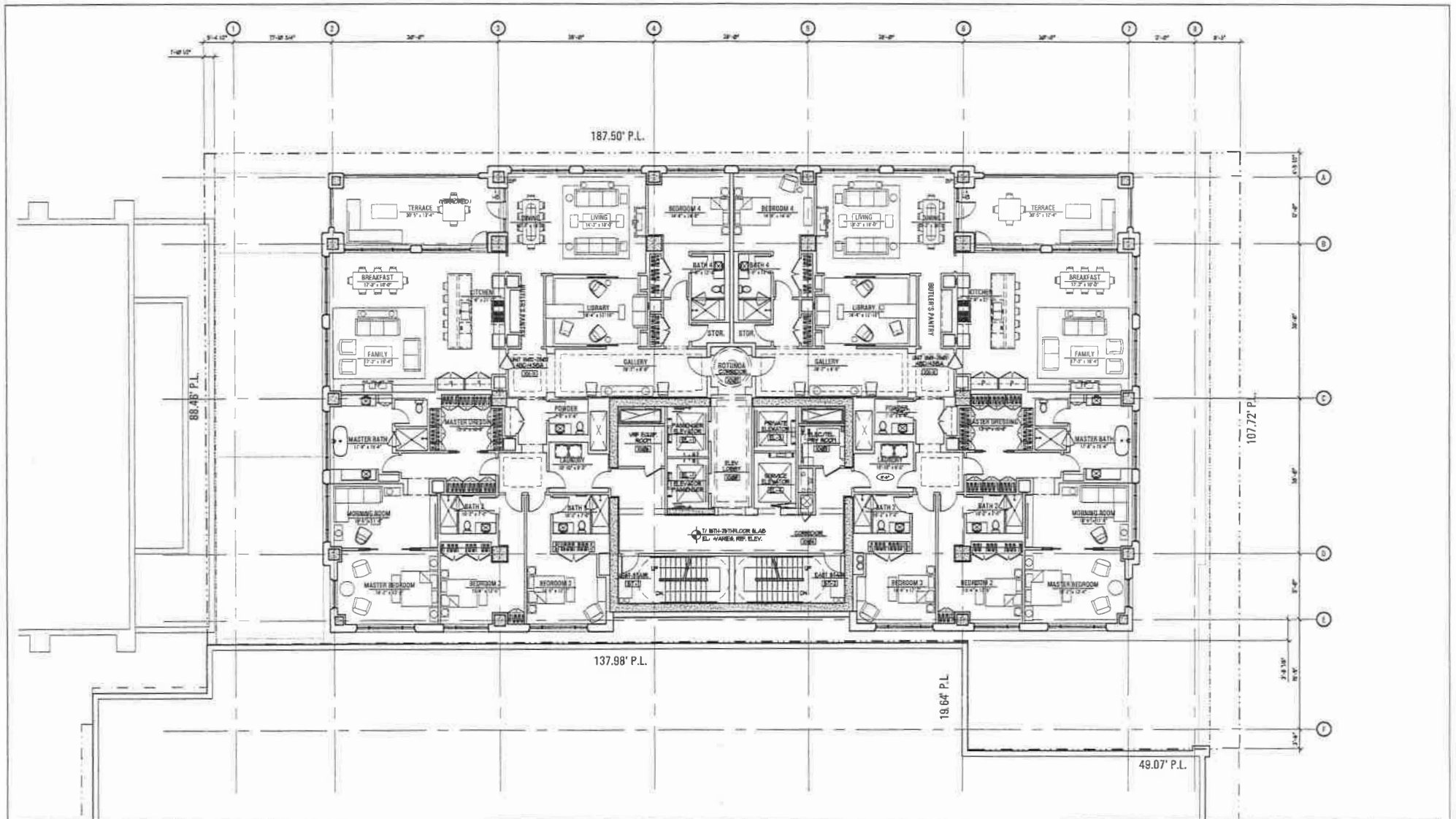
PLANS AND ALL SPECIFICATION ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

9 WEST WALTON STREET

Chicago, IL

EXISTING 2 W. DELAWARE GARAGE PODIUM, N.I.C.

	SCALE	1/16" = 1'-0"	DRAWING	SK#
	DATE	02-04-15	FIRST FLOOR PLAN (STREET LANDSCAPE PLAN)	05



9 WEST WALTON STREET
Chicago, IL

HARTSHORNE PLUNKARD ARCHITECTURE
HPA
232 NORTH CARPENTERS STREET
CHICAGO, IL 60607
312.326.4488
HPARCHITECTURE.COM

PLANS AND ALL SPECIFICATION ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.



SCALE
1/16" = 1'-0"
DATE
02-04-15

DRAWING
TYPICAL RESIDENTIAL FLOOR PLAN

SK#
06

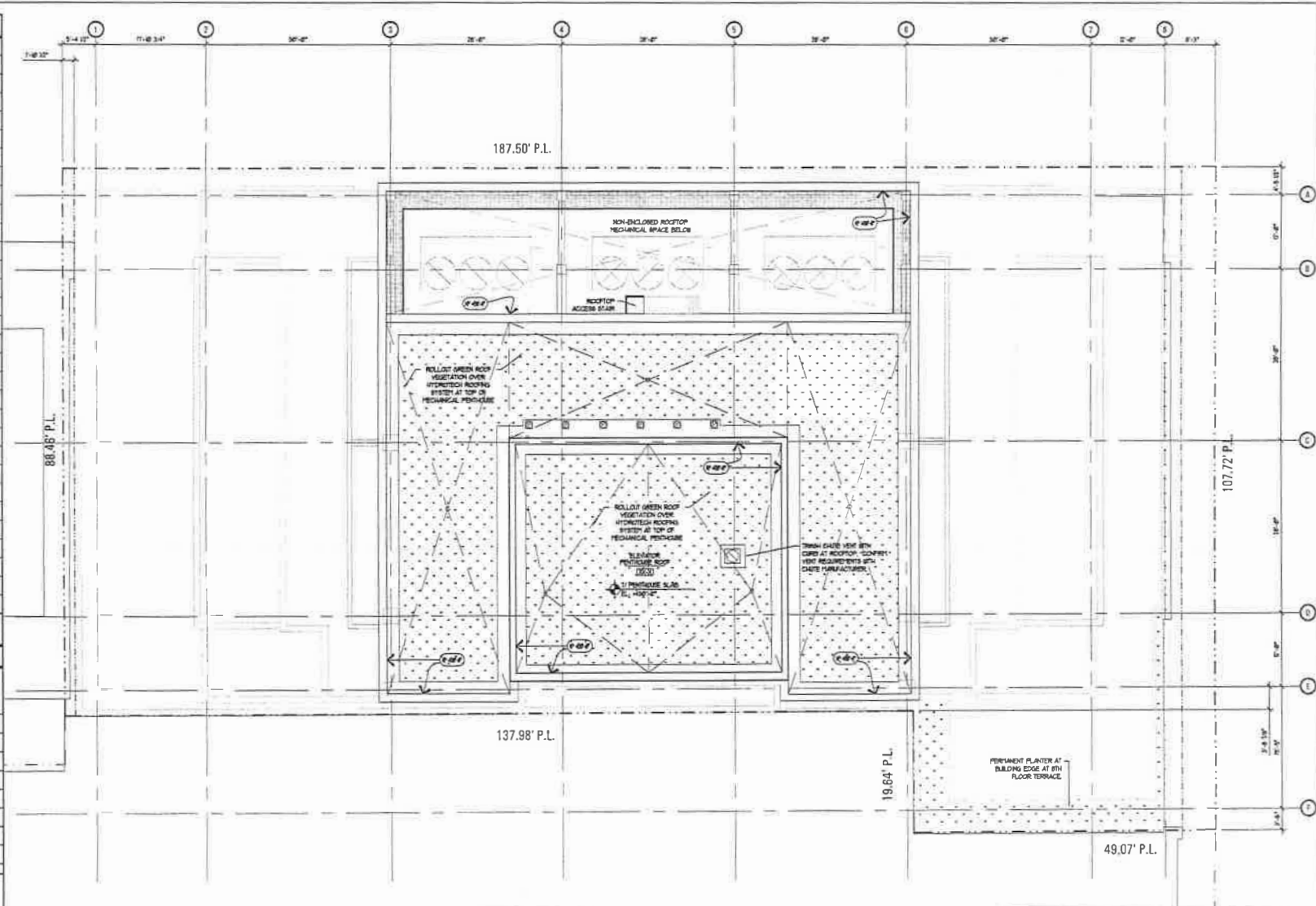
GREEN ROOF CHART

FLOOR	NET	AREA
1ST FLOOR	NET	723 SF
	PAVING	723 SF
4TH FLOOR	NET	713 SF
	MECHANICAL	0 SF
	TERRACE	713 SF
	GREEN ROOF	0 SF
7TH FLOOR	NET	654 SF
	MECHANICAL	0 SF
	TERRACE	654 SF
	GREEN ROOF	0 SF
8TH FLOOR	NET	2,241 SF
	MECHANICAL	0 SF
	TERRACE	1,313 SF
	GREEN ROOF	375 SF
27TH FLOOR	NET	1,055 SF
	MECHANICAL	0 SF
	TERRACE	1,055 SF
	GREEN ROOF	0 SF
28TH FLOOR	NET	1,680 SF
	MECHANICAL	0 SF
	TERRACE	1,680 SF
	GREEN ROOF	0 SF
34RD FLOOR	NET	1,564 SF
	MECHANICAL	0 SF
	TERRACE	1,564 SF
	GREEN ROOF	0 SF
ROOF	NET	8,870 SF
	MECHANICAL	2,887 SF
	GREEN ROOF	3,860 SF
TOTAL		17,500 SF
TOTAL GREEN ROOF		4,325 SF

GREEN ROOF CALCS.

PER PREVIOUSLY APPROVED PDF#1043, ITEM 14, THE NEW PROPERTY IS TO PROVIDE A MINIMUM 25% GREEN ROOF COVERAGE.

MEASUREMENT	AREA
TOTAL SITE AREA	17,500 SF
MECHANICAL AREA	2,887 SF
REMAINING SITE AREA	14,613 SF
25% OF SITE AREA (REQUIRED %)	3,654 SF
GREEN ROOF AREA PROVIDED	4,325 SF
FINAL GREEN ROOF PERCENTAGE (> 25% REQ.)	29.5%



PLANS AND ALL SPECIFICATION ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

9 WEST WALTON STREET
Chicago, IL

PROJECT NORTH	SCALE	DRAWING	SK#
	1/16" = 1'-0"	GREEN ROOF PLAN	07
	DATE		
	02-04-15		

HPA
 HANDBOOK FOR PLANNING ARCHITECTURE
 221 NORTH CALVERT STREET
 CHICAGO, IL 60610
 TEL: 312.467.2000
 WWW.HPA-ARCHITECTS.COM

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS ORDERED NECESSARY OR APPROVED BY BUILDER. REVISIONS SHALL BE REQUIRED BY LAW.

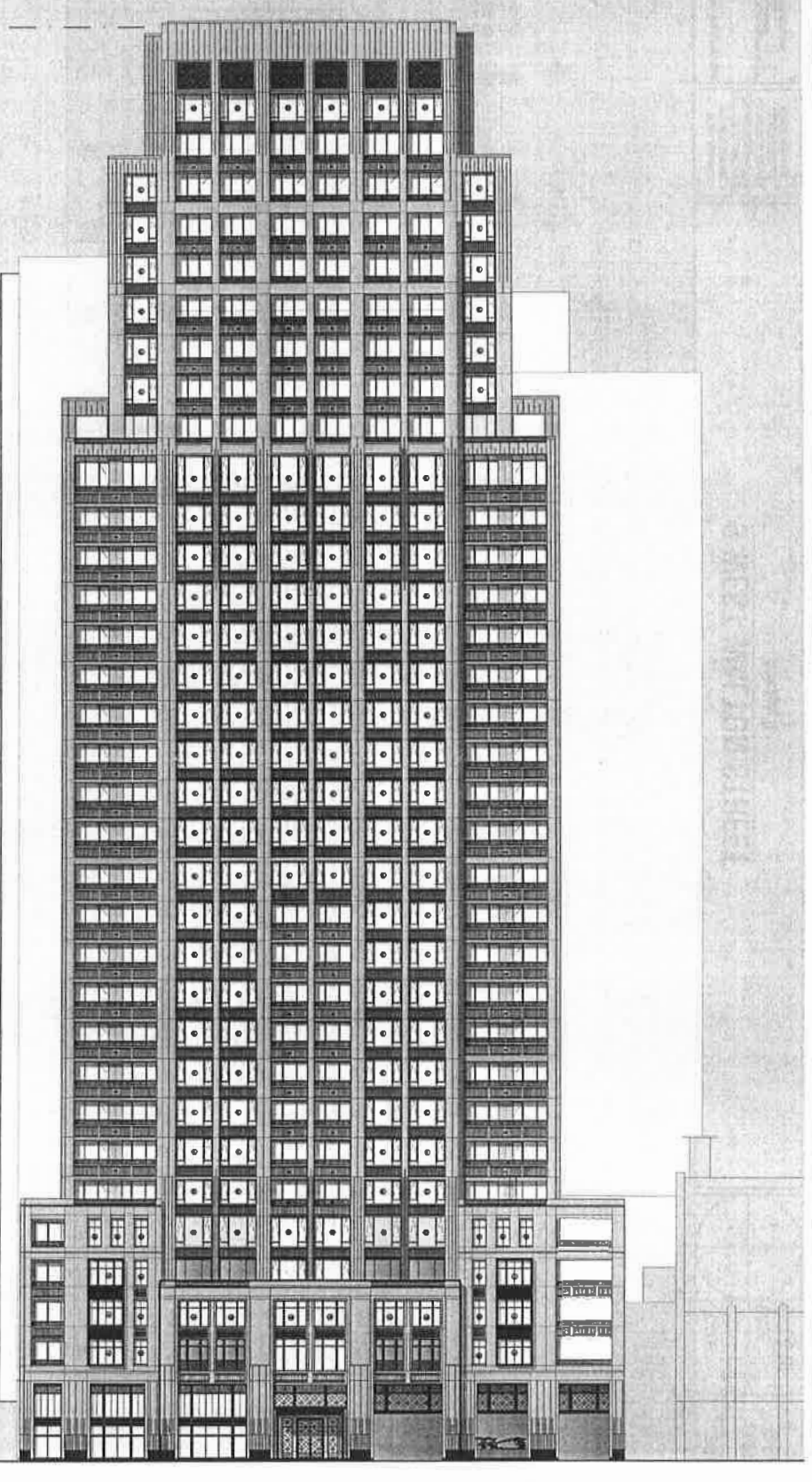
317 Franklin Center Road, Suite 100, Chicago, IL 60641
 312.467.2000
 317 Franklin Center Road, Suite 100, Chicago, IL 60641
 312.467.2000

9 WEST WALTON STREET

Chicago, IL

	SCALE	1/32" = 1'-0"	DRAWING	SK#
	DATE	02-04-15		
NORTH COLOR ELEVATION			08	

- 1/1 MECHANICAL PENHOUSE
EL. 450'-0"
- 1/2 MECHANICAL PENHOUSE
EL. 457'-0"
- 1/3 HIGHEST RESIDENTIAL CEILING
EL. 469'-0"
- 1/4 2ND FLOOR SLAB
EL. 321'-0"
- 1/5 7TH FLOOR SLAB
EL. 467'-0"
- 1/6 15TH FLOOR SLAB
EL. 497'-0"
- 1/7 27TH FLOOR SLAB
EL. 527'-0"
- 1/8 31ST FLOOR SLAB
EL. 557'-0"



H2A
 HARTSHORN MATTHEW ARCHITECTURE
 281 NORTH CAMPBELL STREET
 CHICAGO, IL 60610
 TEL: 312.467.1100
 WWW.H2AARCHITECTURE.COM

PLANS AND ALL
 SPECIFICATION ARE
 SUBJECT TO REVIEW AND
 DESIGN NECESSARY FOR
 APPROVAL BY THE
 ARCHITECT OR AS
 REQUIRED BY LAW.

9 WEST WALTON STREET
 Chicago, IL

SCALE
 1/32" = 1'-0"
 DATE
 02-04-15

DRAWING
 EAST COLOR
 ELEVATION
09
 SK#

1/ PARAPET
 EL. +136'-0"
 2/ MECHANICAL PENETRATOR
 EL. +131'-0"

3/ HIGHEST RESIDENTIAL CEILING
 EL. +109'-0"

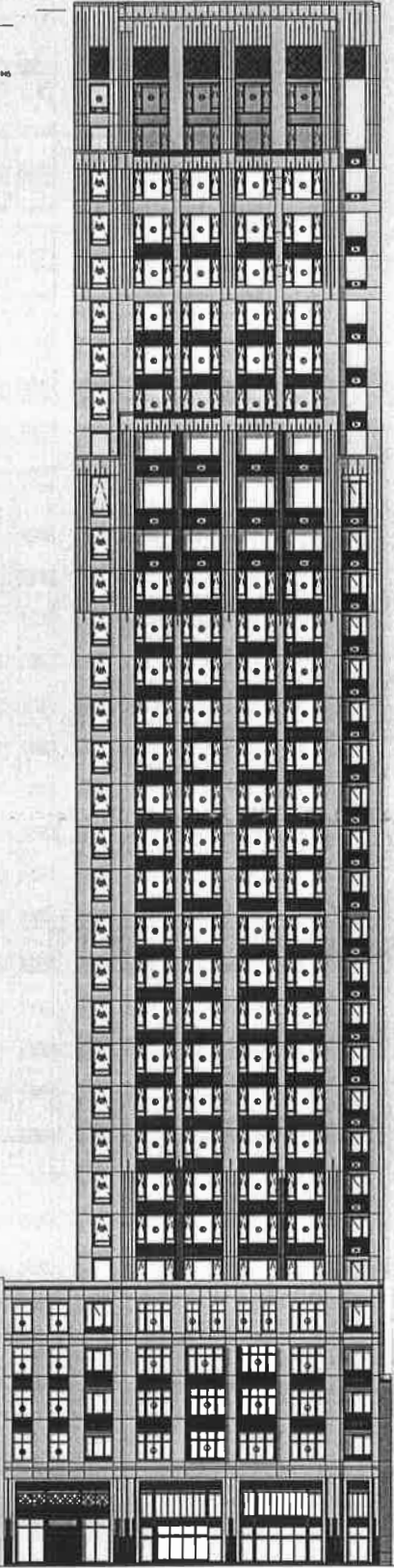
4/ 24TH FLOOR SLAB
 EL. +134'-0"

5/ 21ST FLOOR SLAB
 EL. +131'-0"

6/ 17TH FLOOR SLAB
 EL. +127'-0"

7/ 8TH FLOOR SLAB
 EL. +118'-0"

8/ 1ST FLOOR SLAB
 EL. +0'-0"



HDA
 HENNINGSON & ASSOCIATES
 ARCHITECTS
 200 NORTH CALVERT STREET
 CHICAGO, IL 60610
 TEL: 312.427.1000
 WWW.HENNINGSON.COM

PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEEMED NECESSARY OR ADVISED BY BUILDERS, ARCHITECT, OR AS REQUIRED BY LAW.

9 WEST WALTON STREET
 Chicago, IL

SCALE
 1/32" = 1'-0"
 DATE
 02-04-15

DRAWING	SK#
SOUTH COLOR ELEVATION	10

06/22/2014 2:17PM

- 1/1 MECHANICAL PENETRATION
EL. 448'-0"
- 1/2 MECHANICAL PENETRATION
EL. 441'-0"
- 1/3 HIGHEST RESIDENTIAL CEILING
EL. 405'-0"

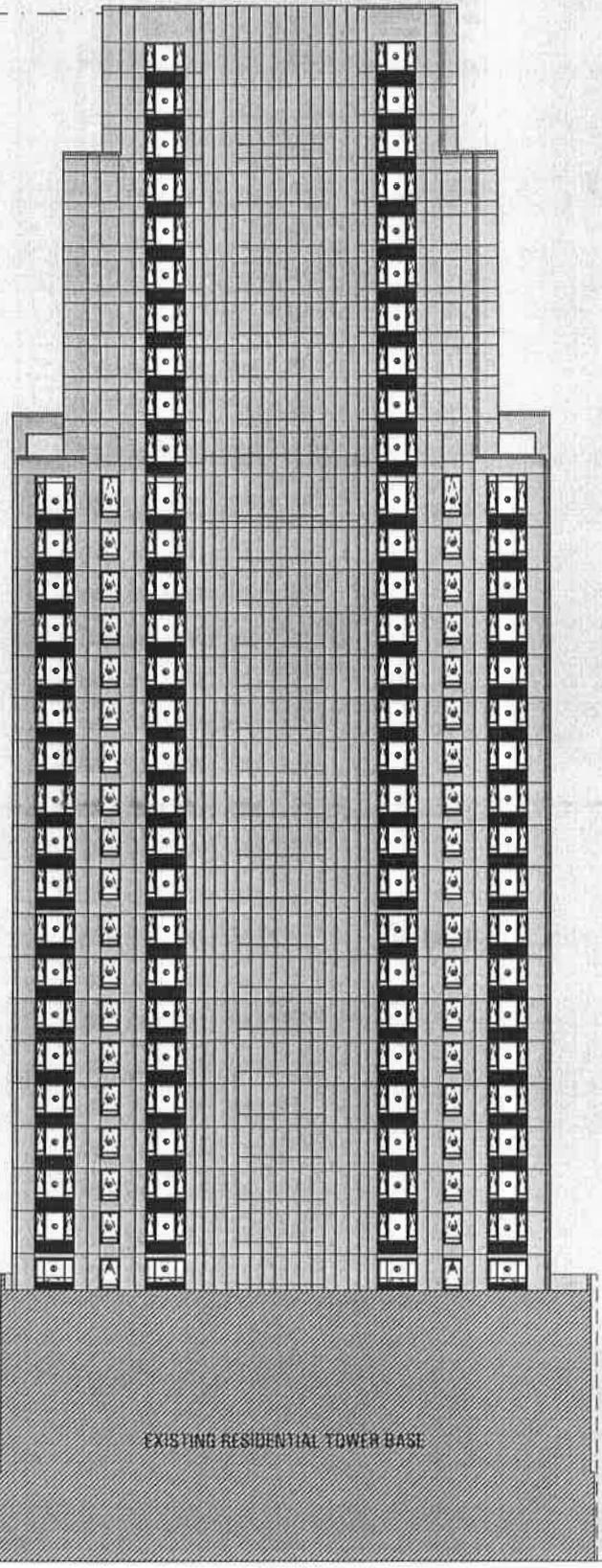
1/7 34TH FLOOR SLAB
EL. 434'-0"

1/2 21ST FLOOR SLAB
EL. 361'-0"

1/2 11TH FLOOR SLAB
EL. 405'-0"

1/2 8TH FLOOR SLAB
EL. 392'-0"

1/2 8TH FLOOR SLAB
EL. 405'-0"



EXISTING RESIDENTIAL TOWER BASE

HPDA
 222 NORTH CAMPBELL STREET
 CHICAGO, IL 60610
 (312) 467-1100
 WWW.HPDAARCHITECTS.COM

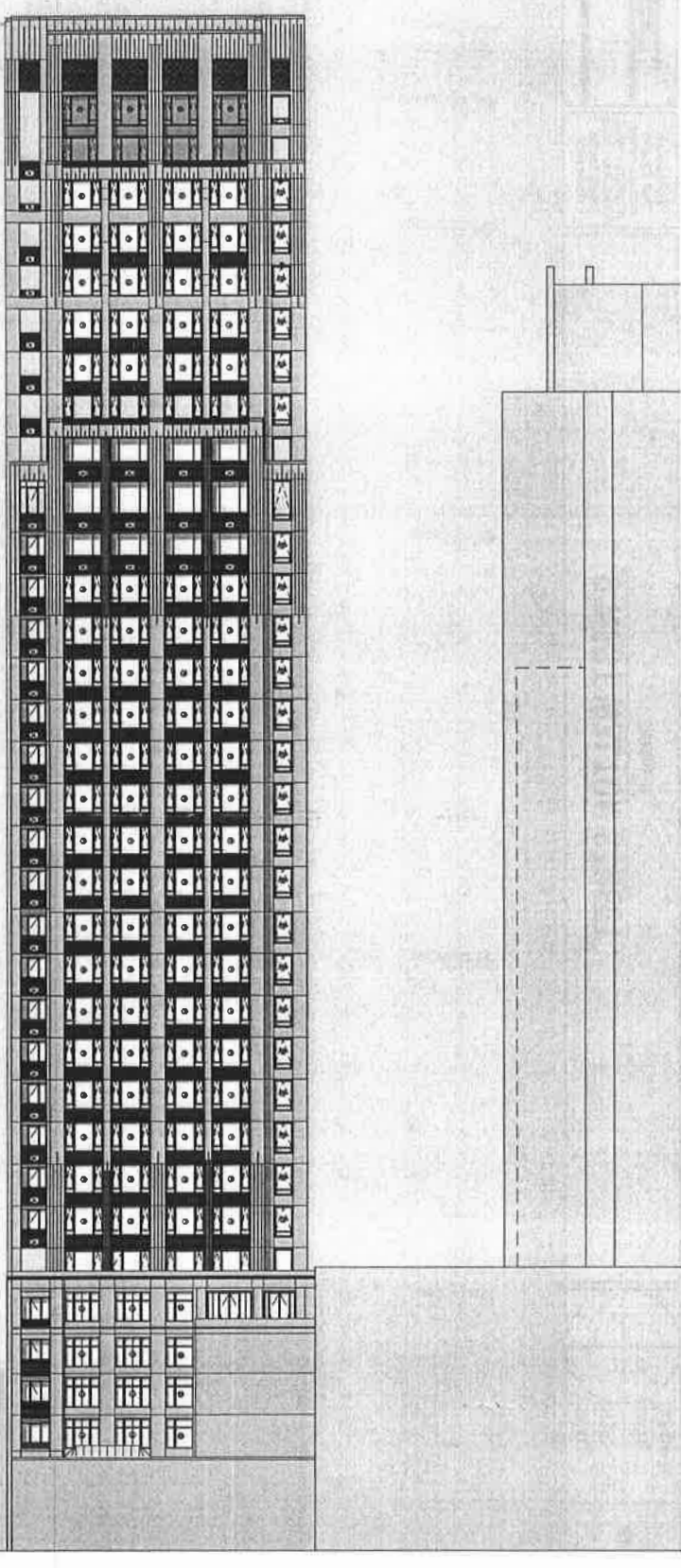
PLANS AND ALL
 SPECIFICATIONS ARE
 PREPARED BY HPDA
 UNLESS INDICATED
 OTHERWISE.
 ARCHITECT, IN AS
 REQUIRED BY LAW.

9 WEST WALTON STREET
 CHICAGO, IL

	SCALE	1/32" = 1'-0"
	DATE	02-04-15
DRAWING	WEST COLOR ELEVATION	
SK#	11	

02 Project/Client/Project/Date/Scale/Sheet Number/Sheet Total/Date/Author/Checked/Drawn

- 11 MECHANICAL PENHOUSE EL. +150'-0"
- 11 MECHANICAL PENHOUSE EL. +177'-0"
- 11 ROOST REMEDIAL CEILING EL. +180'-0"
- 11 8th FLOOR SLAB EL. +187'-0"
- 11 7th FLOOR SLAB EL. +187'-0"
- 11 7th FLOOR SLAB EL. +187'-0"
- 11 7th FLOOR SLAB EL. +187'-0"
- 11 8th FLOOR SLAB EL. +187'-0"
- 11 8th FLOOR SLAB EL. +187'-0"

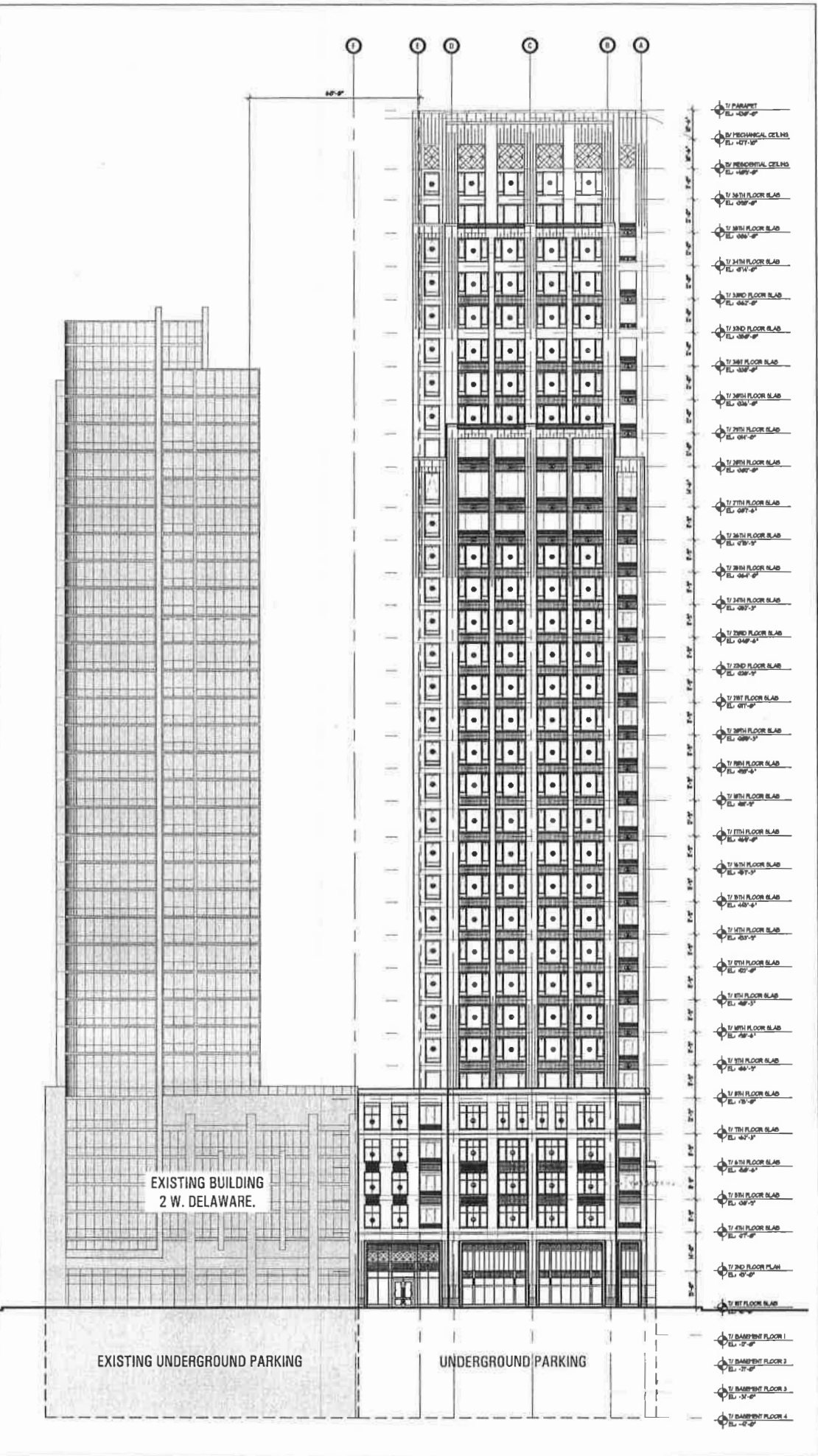


PLANS AND ALL
 SPECIFICATIONS ARE
 SUBJECT TO REVISION AS
 ORDERED BY ARCHITECT OR
 AS APPROVED BY LAW.
 REVISIONS REQUIRED BY LAW.

9 WEST WALTON STREET
 Chicago, IL

	SCALE	1/32" = 1'-0"
	DATE	02-04-15

DRAWING	EAST BLACK AND WHITE ELEVATION	SK#	12
---------	--------------------------------	-----	----



HDA
 222 NORTH CALVERT STREET
 CHICAGO, IL 60610
 ARCHITECTURAL FIRM

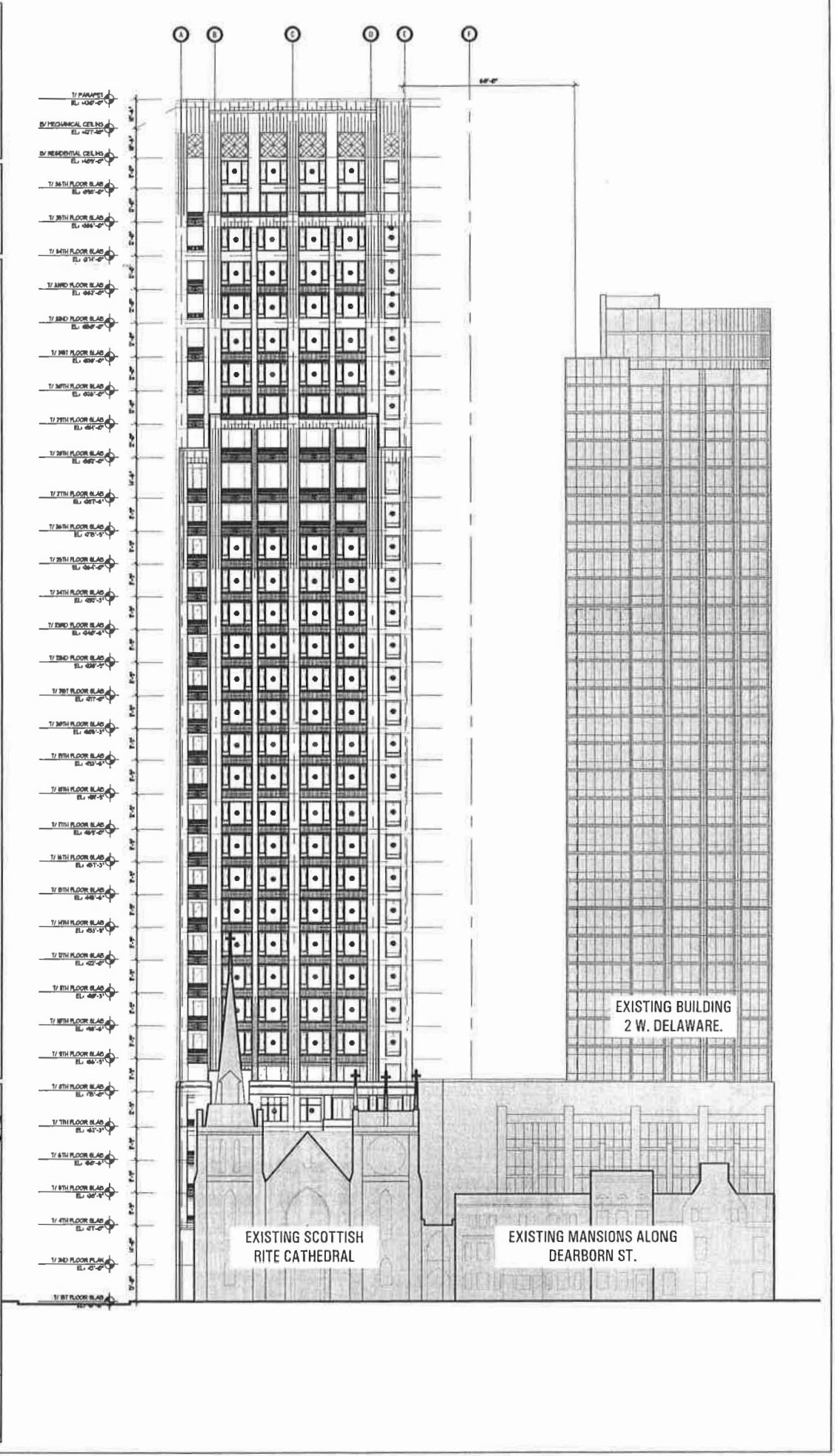
PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVISION AS DEMAND NECESSARY OR ADVISABLE BY BUILDER, ARCHITECT, OR AS REQUIRED BY LAW.

9 WEST WALTON STREET
 Chicago, IL

SCALE 1/32" = 1'-0"
 DATE 02-04-15
 DRAWING WEST BLACK AND WHITE ELEVATION
 SK# 13

DATE: 02-04-15
 SCALE: 1/32" = 1'-0"
 DRAWING: WEST BLACK AND WHITE ELEVATION
 SK#: 13

DATE: 02-04-15
 SCALE: 1/32" = 1'-0"
 DRAWING: WEST BLACK AND WHITE ELEVATION
 SK#: 13





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 1, 2014

Mara S. Georges
Daley and Georges, Ltd.
20 South Clark Street
Suite 400
Chicago, IL 60603-1835

**Re: Advisory Opinion for Residential Business Planned Development No. 1043
Walton, State, Delaware and Dearborn Streets, remaining floor area available**

Dear Ms. Georges:

This letter is in response to your recent request regarding the available floor area remaining within Residential Business Planned Development No. 1043 ("PD 1043"). Based on a net site area of 77,097 square feet ("SF") and a maximum floor area ratio (FAR) of 10.15, PD 1043 is allowed a total of 782,534.55 SF. The base FAR of 7.0 was combined with an adopt-a-landmark bonus of 1.4 for the Scottish Rite Cathedral and an affordable housing bonus of 1.75 ($7.0 + 1.4 + 1.75 = 10.15$). Both bonus requirements have been met. On January 7, 2010, a Certificate of Completion of Preservation Work was issued and on October 16, 2008, a payment in the amount of \$2,698,385 was made to the Affordable Housing Opportunity Fund.

Based on a total used floor area of 423,697.62 SF, there is 358,836.93 SF remaining ($782,534.55 - 423,697.62$). According to our Part II records, the total used floor area to date consists of:

Part II approval date	Address	Square footage
July 6, 2007	1 W. Walton	3,447.00
October 28, 2008	2 W. Delaware	361,610.00
March 12, 2009	915 N. Dearborn Plus existing buildings FAR: Scottish Rite Cathedral Carpenter Taylor Thompson Thompson Coach House	119.62 30,598.00 8,943.00 9,155.00 7,994.00 869.00
June 23, 2011	919 N. Dearborn	962.00
Total floor area to date:		423,697.62

If you have any other questions, or require additional information, please contact Teresa McLaughlin of my staff at (312) 744-4891.

Sincerely,

A handwritten signature in cursive script, appearing to read "Patricia A. Scudiero", with a long horizontal flourish extending to the right.

Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Vicki Lozano, Mike Marmo, Erik Glass, Main file

12/13/2006

REPORTS OF COMMITTEES

15769
95477

*Reclassification Of Area Shown On Map Number 3-F
(As Amended)*

(Application Number 15769)

RBPD 1043

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the DR-7 Downtown Residential District and DX-7 Downtown Mixed-Use District symbols and indications as shown on Map Number 3-F in the area bounded by:

West Walton Street; North State Street; West Delaware Place; and North Dearborn Street,

to the designation of a Residential-Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development Number 1043.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development consists of approximately seventy-seven thousand ninety-seven (77,097) square feet (one and seventy-seven hundredths (1.77) acres) (the "Property") and is controlled by the applicant, State and Dearborn, L.L.C.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, then to the owners of record title to all of the Property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. An agreement among property owners, the board of directors or any property owners association, or a covenant binding property owners, may designate the authorized party for any future amendment, modification or change. The applicant shall retain single designated control and shall be deemed to be the authorized party for any future amendment, modification or change until the applicant shall designate in writing the party or parties authorized to make application for any future amendment, modification or change.
 4. This plan of development consists of these sixteen (16) Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Surrounding Land-Use Plan; a Planned Development Boundary and Property Line Map; a Site Plan; a Landscape Plan; an Expanded Historical District Diagram; a Site Demolition Plan; a Green Roof Plan; a Plaza Level Plan; a Typical Garage Plan; a 2nd Floor Plan; a Ground Floor Plan; a B01 Garage Plan; a B02 Garage Plan; a B03 Garage Plan; the Existing Second and Third Floor Plans (Scottish Rite Cathedral); a Site Section ; and Building Elevations (North Elevation, South Elevation, East Elevation and West Elevation) dated November 16, 2006 prepared by Pappageorge/Haymes Architects. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
 5. The following uses shall be permitted within the area delineated herein as "Residential-Business Planned Development": all uses permitted in the DX-7 Downtown Mixed-Use District (with the exception of hotel uses) accessory and non-accessory parking and related uses.
 6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development. Off-premises advertising signs are prohibited.
-

7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standard for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.
 8. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
 9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of seven hundred fifty (750) square feet in a single location regardless of placement in the building, all rooftop floor area devoted to mechanical equipment irrespective of square footage, and all penetrations for elevators and stair shafts located entirely within the accessory parking garage and the rooftop mechanical system shall be excluded.
 10. The improvements on the Property shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Subject to the provisions of Section 17-4-1022 of the Chicago Zoning Ordinance, the Commissioner of the Department of Planning and Development, acting on behalf of the City of Chicago and the Commission on Chicago Landmarks is authorized to enter into an agreement with the applicant, the owners of the Property, and the owner(s) of the landmark property commonly known as the "Scottish Rite Cathedral" (the "Landmark Project") regarding the manner in which the funds for the renovation work in the Landmark Project relating to the Adopt-A-Landmark Bonus as approved by the Commission on Chicago Landmarks will be used. The agreement shall be in a form approved by the Corporation Counsel and shall be executed and submitted to the Department of Planning and Development as part of the Part II submission for the first high-rise building to be constructed at the Property. The terms and conditions of the Landmark Project Scope of the Work and Budget may be modified administratively by the Commissioner of the Department of Planning and Development in accordance with the provisions of Statement 13 of this planned development. Upon completion
-

of the work related to the Landmark Project, the applicant shall apply to the Commission on Chicago Landmarks for the issuance of a Certificate of Completion of the Landmark Project. The applicant shall provide written notice of said application to the Commission on Chicago Landmarks to the Office of the Zoning Administrator, the Department of Law, and the Department of Planning and Development. The work related to the Landmark Project must be completed and a Certificate of Completion of the Landmark Project must be obtained from the Commission on Chicago Landmarks prior to the issuance of the Certificate of Occupancy for the first high-rise building to be constructed at the Property.

11. (a) Demolition. The applicant shall be entitled to demolish the portions of the existing buildings as depicted and indicated on the Site Demolition Plan contingent upon an engineer's report to be reviewed and accepted by the Commission on Chicago Landmarks. The report shall assess the impact of the demolition on the structural integrity of the historic buildings and structures to remain, including any recommended protection or stabilization measures. The permit for any demolition work shall also be contingent upon, and subject to the review and approval of the Commissioner of the Department of Planning and Development, a plan and implementation schedule for the following: (i) the relocation and replacement with working systems of the heating, ventilation, air conditioning (existing capacities), gas, hot water and electrical service for the Scottish Rite Cathedral; (ii) providing an approved ingress and egress path from the southeast corner stairwell of the Scottish Rite Cathedral upon completion of the permitted demolition work; (iii) a plan and implementation schedule for the repair of the south facade of the cathedral building, the north facade of the Carpenter House, and the portion of the two (2) story connector along Dearborn Street between the buildings to remain, and, (iv) a plan and implementation schedule for either temporary or permanent repairs to enclose and protect the rear portions of the Carpenter House and Taylor House upon completion of the demolition.

(b) Historic Buildings. The Scottish Rite Cathedral, the Carpenter House, the facade of the two (2) story connector along Dearborn Street between these two (2) buildings, the Taylor House, and the Thompson House, including the coach house and the masonry south wall connecting it to the house, shall all be retained and preserved. Any excavation, foundation or other work related to the construction of the new residential towers shall be contingent upon an engineer's report to be reviewed and accepted by the Commission on Chicago Landmarks. The report shall assess the impact of the work on the structural integrity of the adjacent historic buildings and structures to remain, including any recommended protection or stabilization measures during construction. Subject to the review and approval of the Commissioner of the Department of Planning

and Development, the applicant shall be permitted to make modifications and construct additions to the east elevations of the Taylor House and the Carpenter House, including breezeway connections to the garages of said homes. Additionally, no side yard or rear yard setbacks shall be required for any of the single-family homes. Permitted materials for the additions shall include masonry brick, stone (both natural and man-made), pre-cast concrete, metal, glass and glass products. There shall be no restrictions on the size of the window openings or amounts of glass and glass products used in constructing the additions. The heights and volumes of the additions shall not exceed those heights and volumes indicated on the Site Plan and Site Section. The applicant shall also be allowed, subject to the review and approval of the Commissioner of the Department of Planning and Development and the Commission on Chicago Landmarks, to construct additional window openings along the east elevation of the Thompson House.

(c) **Landmark Designation.** The applicant, and its successors and assigns, shall consent to amending the Washington Square District landmark designation to: (i) revise the district boundaries as depicted and indicated on the Expanded Historical District Diagram, and (ii) identify the significant historical and architectural features of the district as all exterior elevations, including rooflines. The consent shall be provided at the request of, and in a form acceptable to, the Commission on Chicago Landmarks. At the determination of the Commissioner of the Department of Planning and Development at the same or different time as amending the Washington Square District designation identified above in this Statement, the applicant, and its successors and assigns, shall also consent to the inclusion of the second (2nd) floor sanctuary interior of the Scottish Rite Cathedral, as depicted and indicated on the Existing Second (2nd) and Third (3rd) Floor Plans (Scottish Rite Cathedral) and including the historic pipe organ, either as part of (i) the Washington Square District landmark designation or (ii) a covenant for the purposes of protecting the sanctuary interior and requiring any future changes thereto to be reviewed and approved by the Commission on Chicago Landmarks. The Commissioner of the Department of Planning and Development is authorized to enter into such a covenant with the applicant, and its successors and assigns.

(d) **Donation Of Scottish Rite Cathedral.** Prior to a donation of the Scottish Rite Cathedral to a donee, the applicant, and its successors and assigns, shall inform the Commissioner of the Department of Planning and Development of the identity of the donee. Said Commissioner shall be authorized in her discretion, reasonably exercised, to accept or reject the proposed donee. Said Commissioner shall be entitled to impose conditions upon the conveyance including, but not limited to, a requirement that the donee complete within a reasonable time any work required under the

provisions of the Chicago Building Code for occupancy of the Scottish Rite Cathedral. The applicant, and its successors and assigns, shall maintain and keep secure the cathedral building, including heating the building, until such time as it is transferred to the donee.

(e) Easement. The applicant, and its successors and assigns, shall record an easement for the benefit of the Scottish Rite Cathedral property which provides for use by the Scottish Rite Cathedral property owner of the common driveway area, loading dock, loading area and the trash room of the tower building depicted in the Ground Floor Plan.

12. The permitted Floor Area Ratio identified in the Bulk Regulations and Data Table has been determined using a Net Site Area of seventy-seven thousand ninety-seven (77,097) square feet (one and seventy-seven hundredths (1.77) acres), a base Floor Area Ratio of 7.00 and additional Floor Area Ratio for a series of proposed amenities, as follows:

Description	Floor Area Ratio
Base Floor Area Ratio	7.00
Adopt-A -Landmark	1.40
Affordable Housing	<u>1.75</u>
Total Floor Area Ratio:	10.15

The calculation of the additional Floor Area Ratio obtained through the series of proposed amenities is as follows:

Adopt-A-Landmark.

Restoration and renovation work and budget as approved by the Commission on Chicago Landmarks.

Bonus Floor Area Ratio = $7 \times 0.20 = 1.40$ Floor Area Ratio

$1.40 \times 77,097 = 107,935$ square feet

$107,935$ square feet \times \$25.00 per square foot \times 0.80 = \$2,158,700.00 contribution

Affordable Housing.

Bonus Floor Area Ratio = $7 \times 0.25 = 1.75$ Floor Area Ratio

$1.75 \times 77,097 = 134,919.25$ square feet

$134,919.25$ square feet \times \$25.00 per square foot \times 0.80 =
\$2,698,385.00 contribution

The applicant, its successors or assigns, shall contribute the amount of Two Million Six Hundred Ninety-eight Thousand Three Hundred Eighty-five and no/100 Dollars (\$2,698,385.00) to the City of Chicago's Affordable Housing Opportunity Fund prior to the issuance of the "Part II Approval" for the construction of the first high-rise building contemplated in this planned development.

13. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System ("L.E.E.D."). The applicant agrees to provide a twenty-five percent (25%) green roof equaling approximately sixteen thousand forty-six (16,046) square feet of net useable roof area. The applicant agrees to provide an outdoor dog run of approximately two hundred (200) square feet to be located as depicted on the second (2nd) Floor Plan.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all

buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be granted by the Department of Construction and Permits until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement proposed to be constructed pursuant to the permit.

16. Unless either construction of the required renovation work to the facades of the Scottish Rite Cathedral pursuant to Statement 10 has commenced within six (6) years following adoption of this planned development, and completion of the facade renovation work is thereafter diligently pursued, or unless substantial construction of one (1) of the two (2) high-rise buildings contemplated in this planned development has commenced within six (6) years following adoption of this planned development, and completion upon one (1) of the two (2) high-rise buildings is thereafter diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert to the pre-existing DR-7 Downtown Residential District and DX-7 Downtown Mixed-Use District. At the time of reversion, if the applicant has previously expended funds pursuant to the Adopt-A-Landmark or Affordable Housing F.A.R. Bonus provisions of Statement 11, then said F.A.R. bonuses will be added to the underlying F.A.R. of the Property.

[Existing Zoning Map; Surrounding Land-Use Map; Planned Development Boundary and Property Line Map; Site Plan; Landscape Plan; Expanded Historical District Diagram; Site Demolition Plan; Green Roof Plan; Plaza Level Plan; Garage Plans; Floor Plans; Site Section Drawings; and Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 95486 through 95506 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

12/13/2006

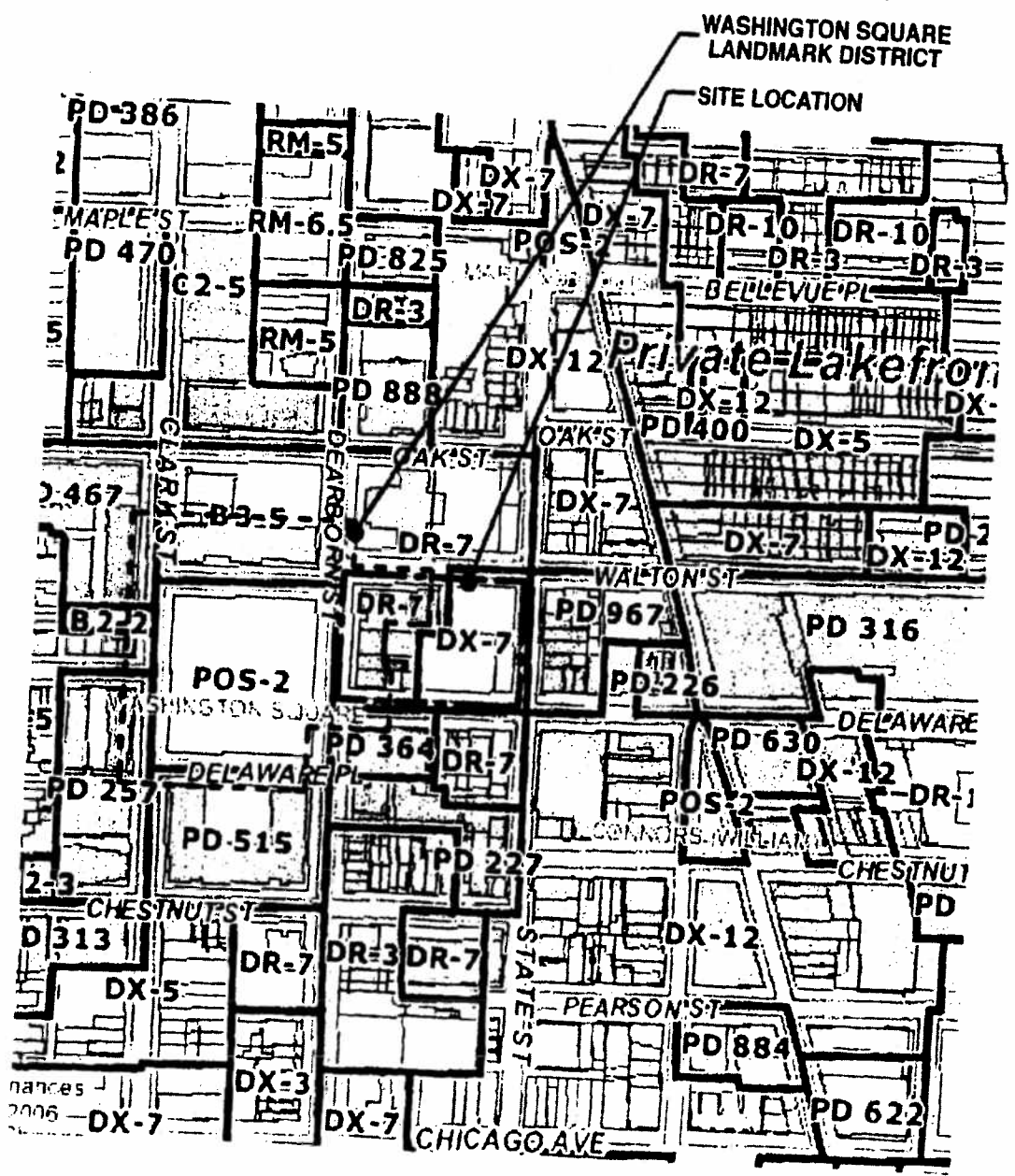
REPORTS OF COMMITTEES

15769
95485

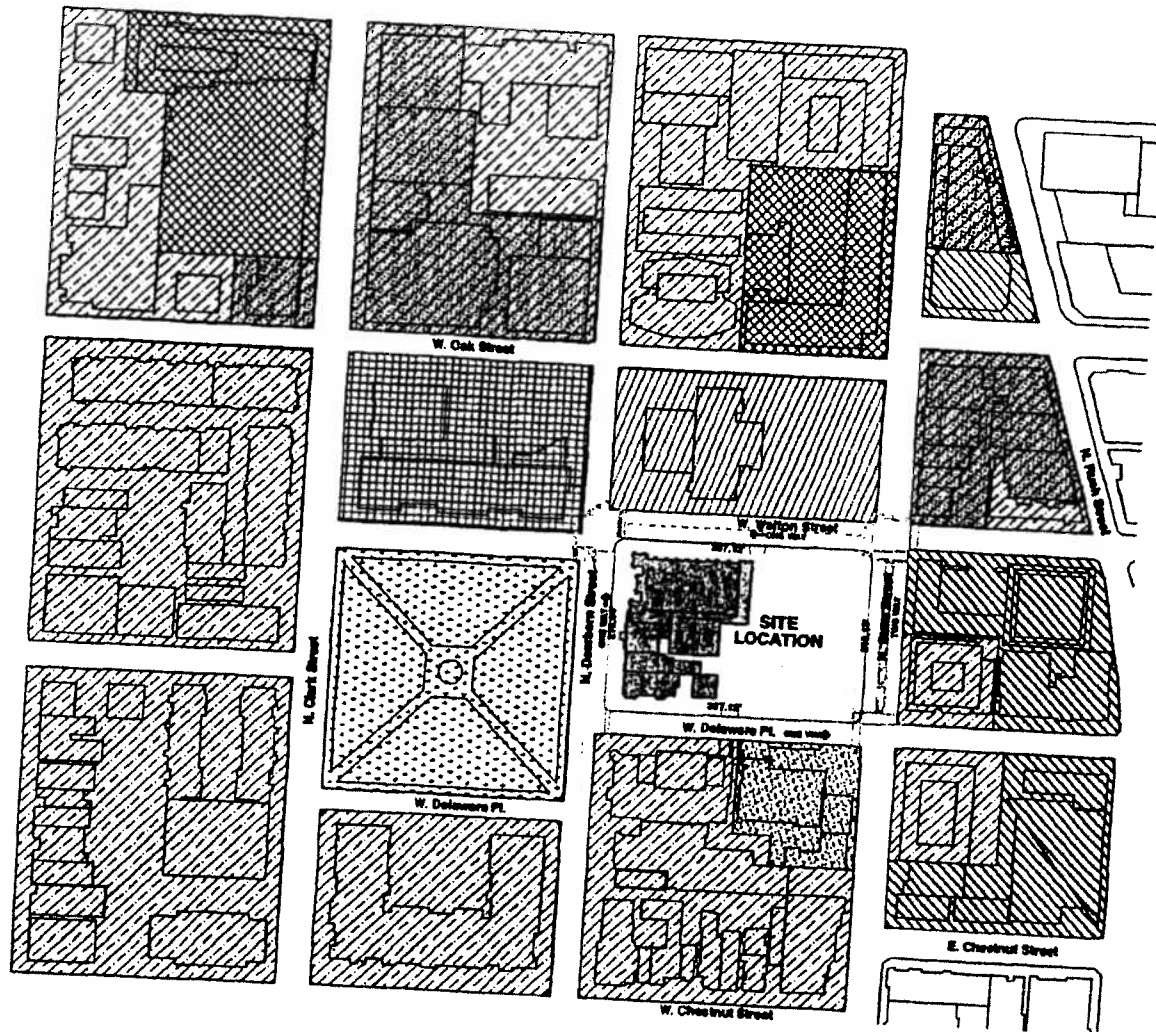
Bulk Regulations And Data Table.









	Total
Net Site Area (square feet):	77,097
Net Site Area (acre):	1.77
Gross Site Area (square feet):	124,574
Gross Site Area (acre):	2.86
Base Floor Area Ratio:	7.00
Adopt-A-Landmark Bonus:	1.40
Affordable Housing Bonus:	1.75
Maximum Floor Area Ratio:	10.15
Minimum Number Off-Street Parking:	1 to 1 Per Dwelling Unit
Maximum Number Non-Accessory Parking:	50
Maximum Number Dwelling Units:	453
Maximum Permitted Building Height Tower 1:	360 feet, 0 inches to top of parapet 350 feet, 0 inches underside of mechanical ceiling 326 feet, 2 inches Highest Residential Ceiling
Maximum Permitted Building Height Tower 2:	410 feet, 0 inches to top of parapet 400 feet, 0 inches underside of mechanical ceiling 376 feet, 2 inches Highest Residential Ceiling
Maximum Site Coverage:	Per approved Site Plan
Minimum Periphery Setbacks:	Per approved Site Plan

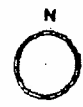
Existing Zoning Map.



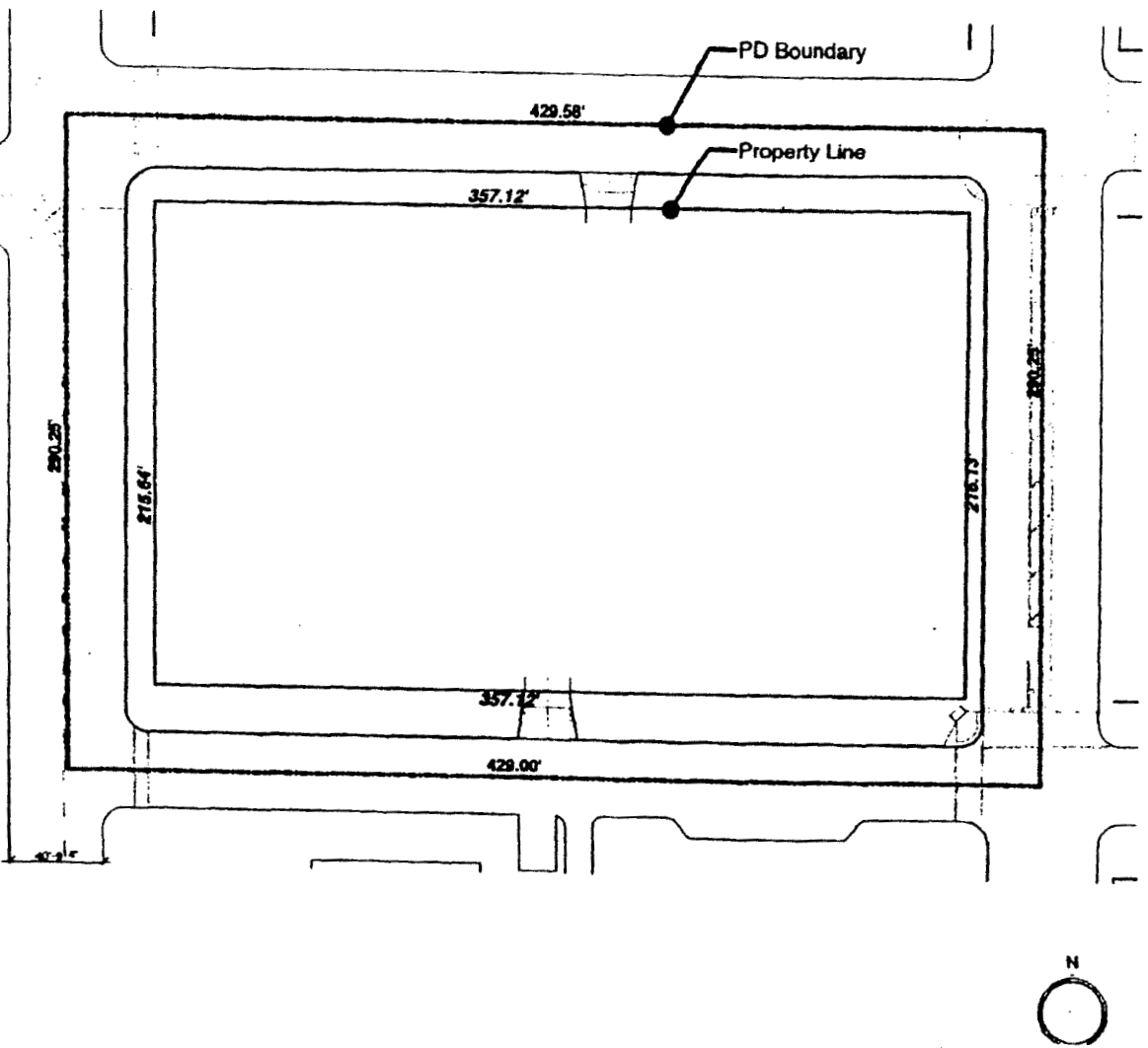
Surrounding Land-Use Map.



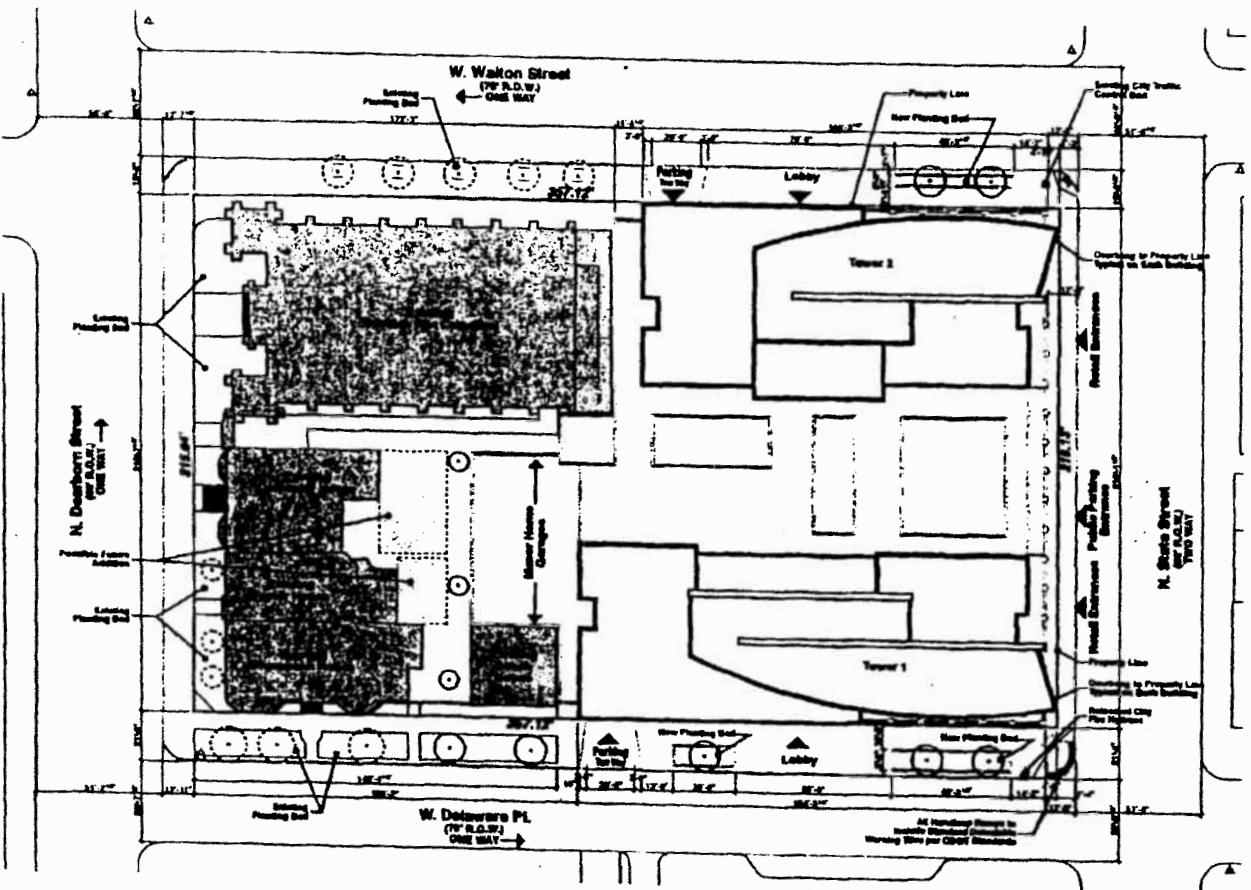
- | | | | |
|-----------------------|-------------------------------------------------------------------------------------|---------------------|-------------------------------------------------------------------------------------|
| Existing Residential: |  | Existing Mixed Use: |  |
| Existing Commercial: |  | Existing Church: |  |
| Existing Hotels: |  | Existing Schools: |  |
| Existing Library: |  | Existing Parks: |  |



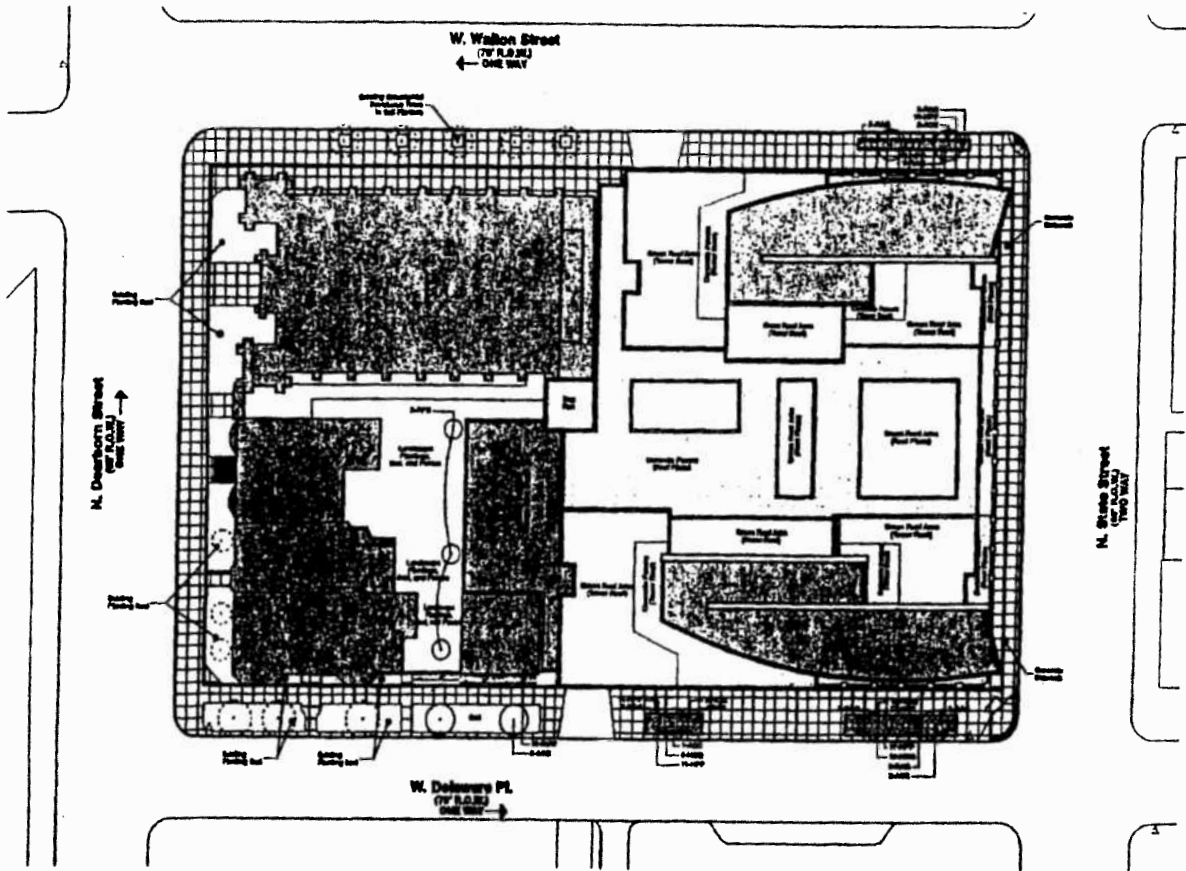
Planned Development Boundary
And Property Line Map.



Site Plan.



Landscape Plan.

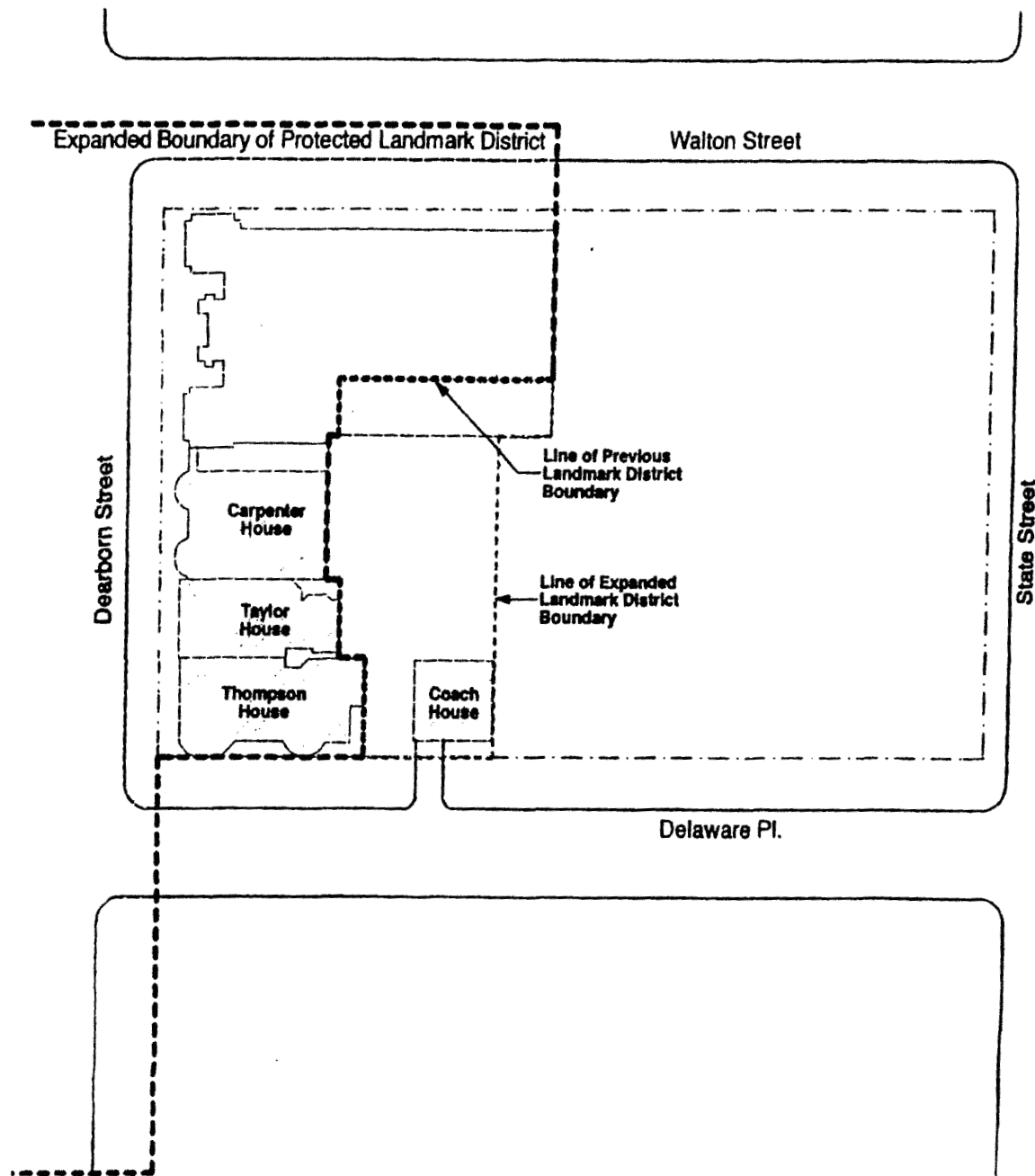


PRELIMINARY PLANT LIST

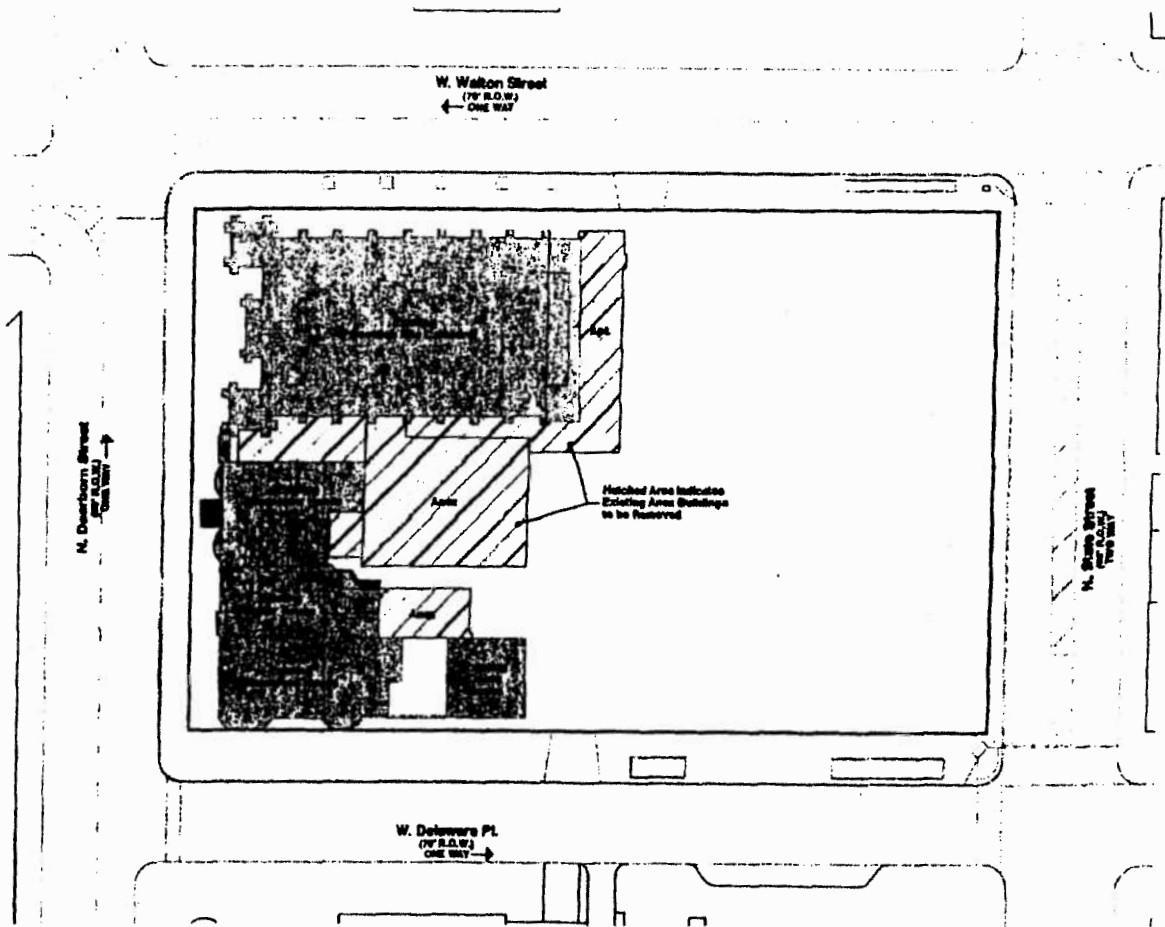
No.	Botanical Name	Common Name	Size	Quantity	Remarks
001	Platanus occidentalis	Sycamore	12" DBH	1	Planting Area
002	Quercus macrocarpa	White Oak	12" DBH	1	Planting Area
003	Prunella americana	Black Cherry	12" DBH	1	Planting Area
004	Amelanchier canadensis	Shadbush	12" DBH	1	Planting Area
005	Sparganium angustifolium	Water Sparganium	12" DBH	1	Planting Area
006	Sparganium angustifolium	Water Sparganium	12" DBH	1	Planting Area
007	Sparganium angustifolium	Water Sparganium	12" DBH	1	Planting Area
008	Sparganium angustifolium	Water Sparganium	12" DBH	1	Planting Area
009	Sparganium angustifolium	Water Sparganium	12" DBH	1	Planting Area
010	Sparganium angustifolium	Water Sparganium	12" DBH	1	Planting Area



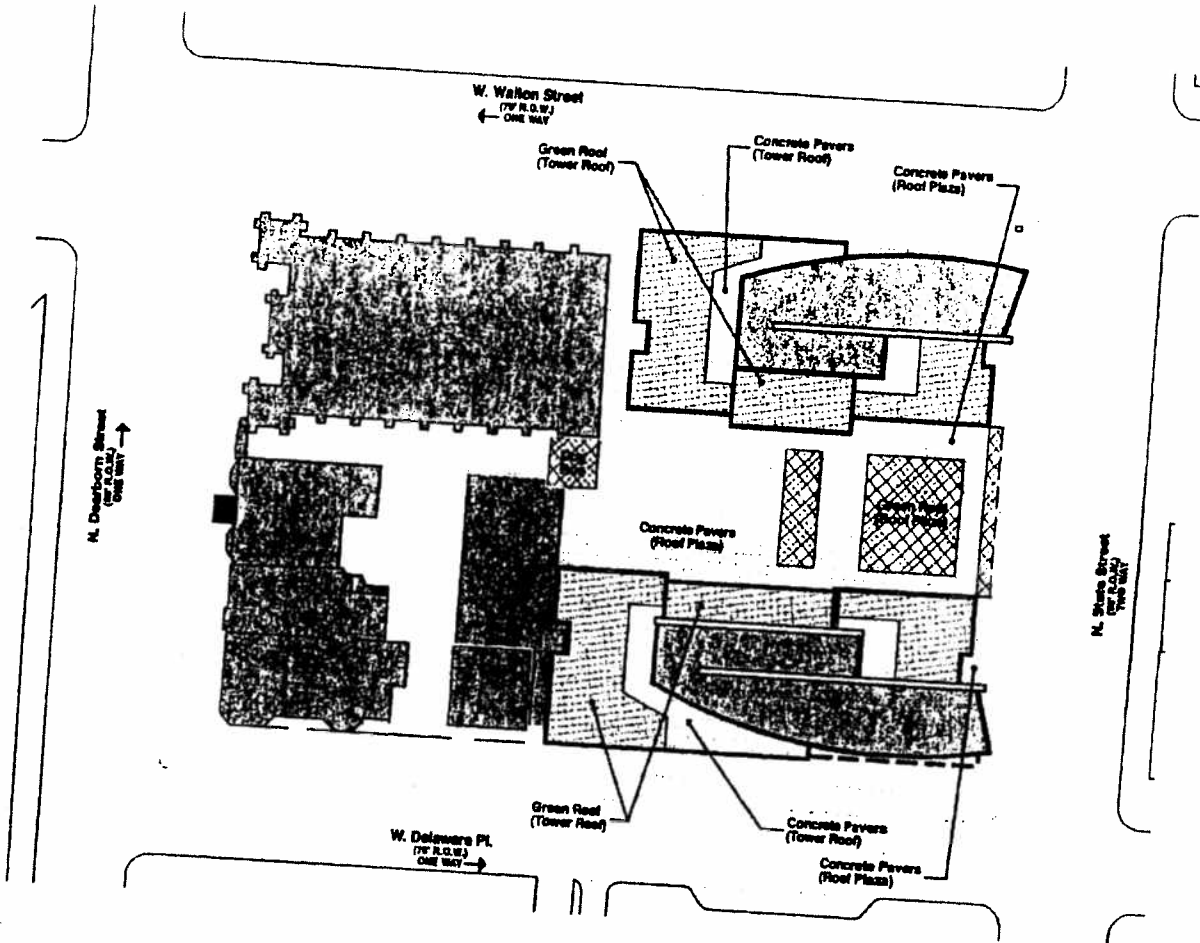
Expanded Historical District Diagram.







Site Demolition Plan.

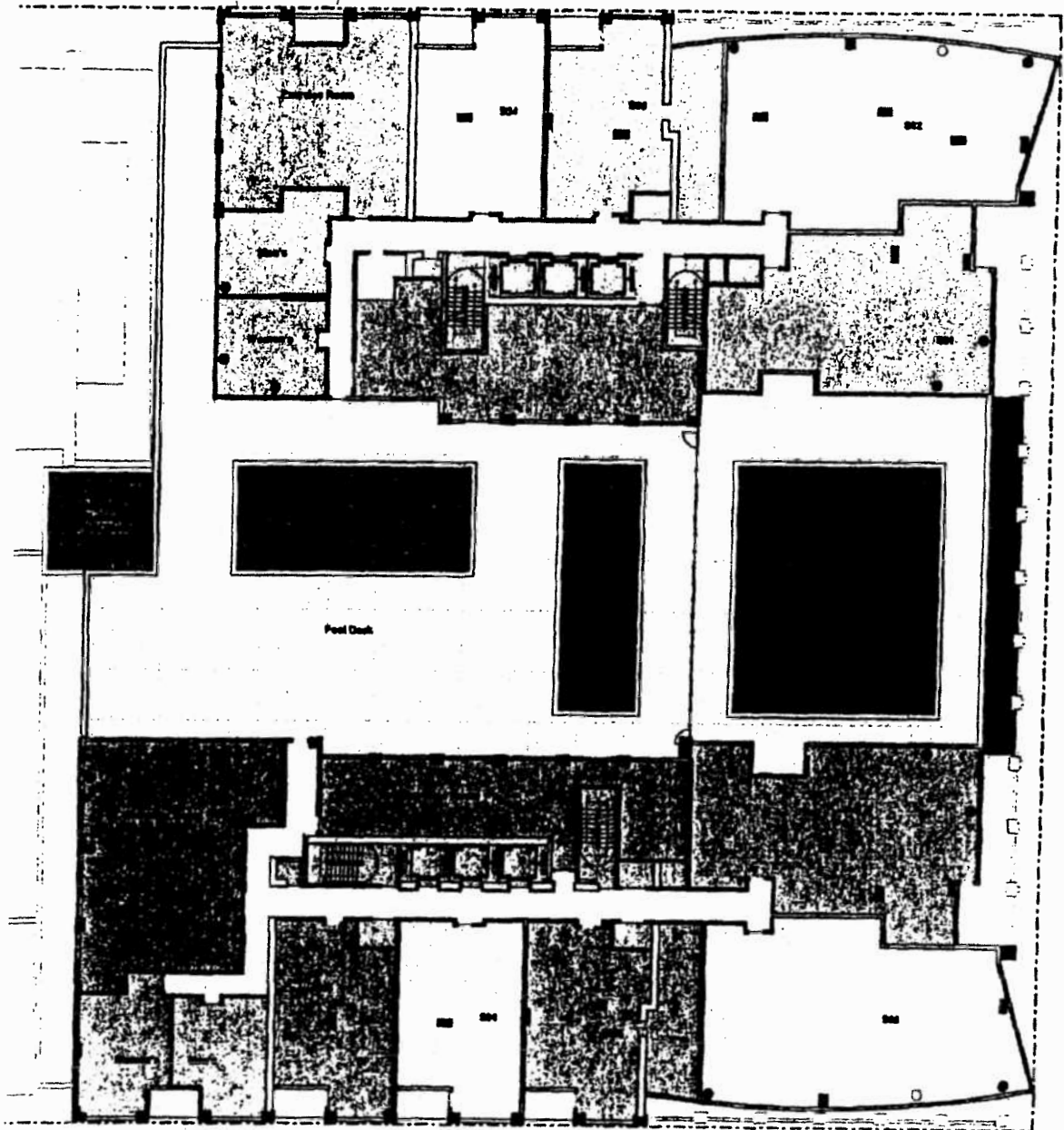


Green Roof Plan.

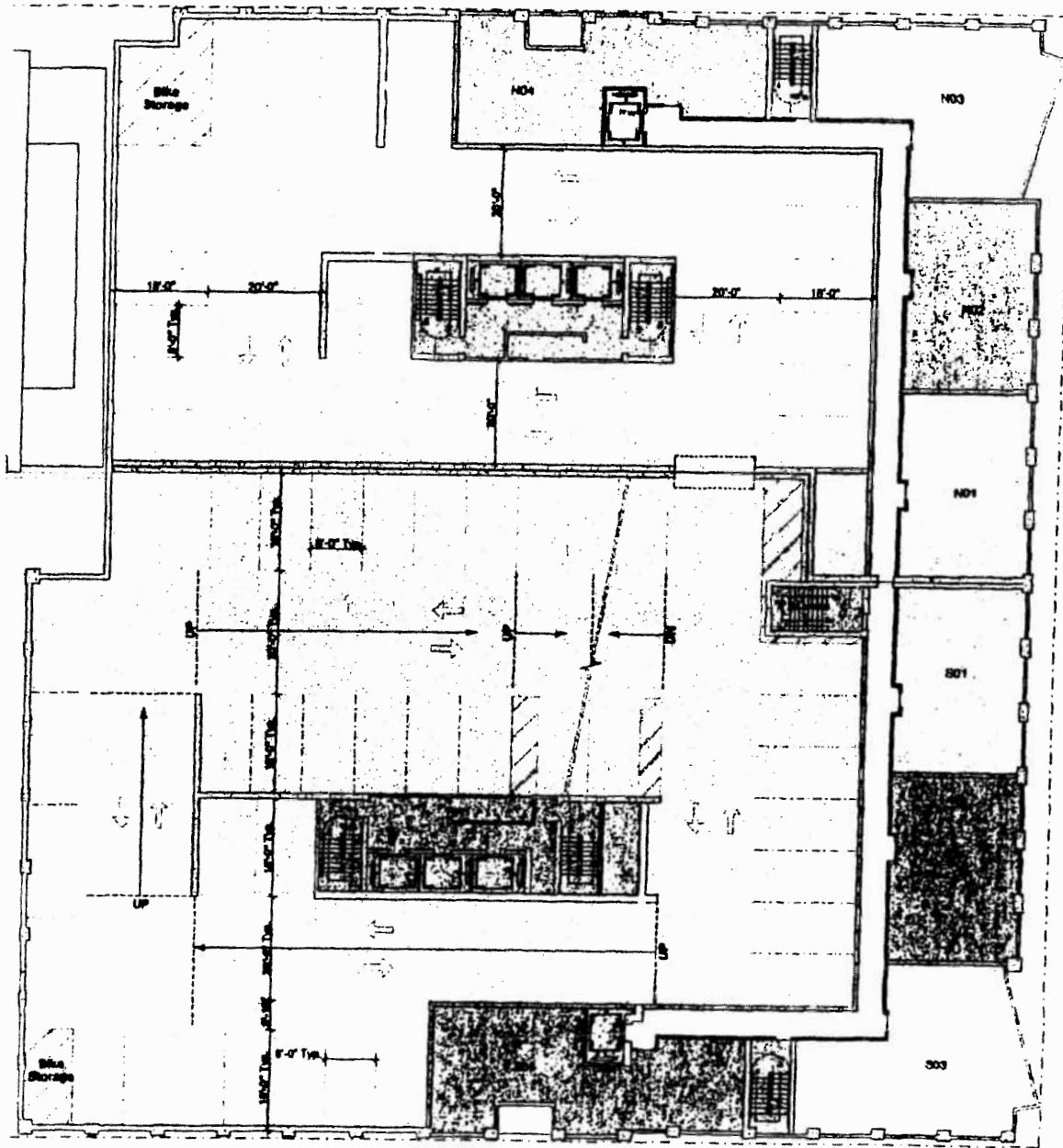


- Green Roof Locations at Tower Roof (12,048 SF): 
- Green Roof Locations at Plaza Level (3,998 SF): 
- Concrete Roof Pavers: 
- Existing Buildings to Remain: 

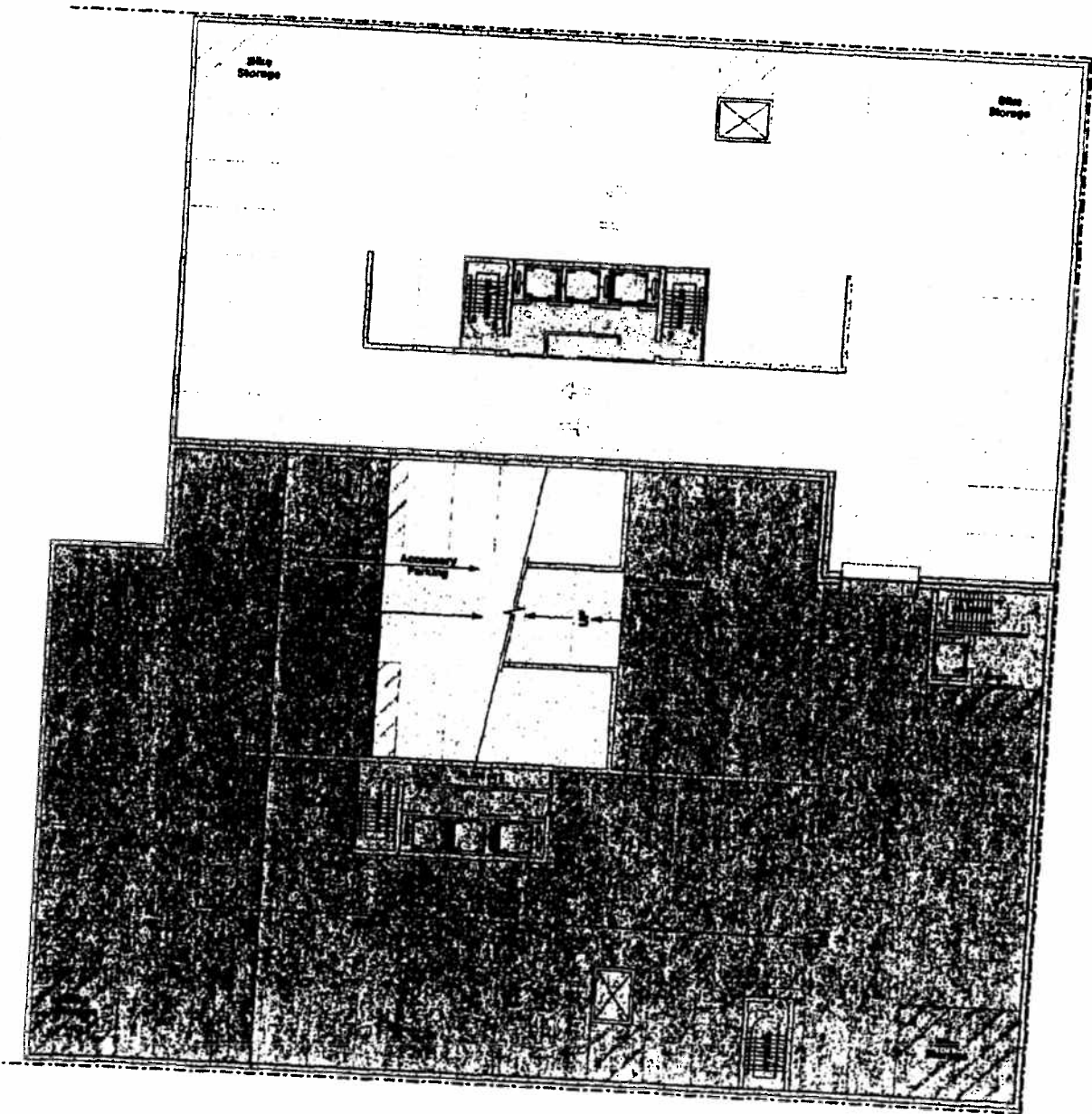
Plaza Level Plan.



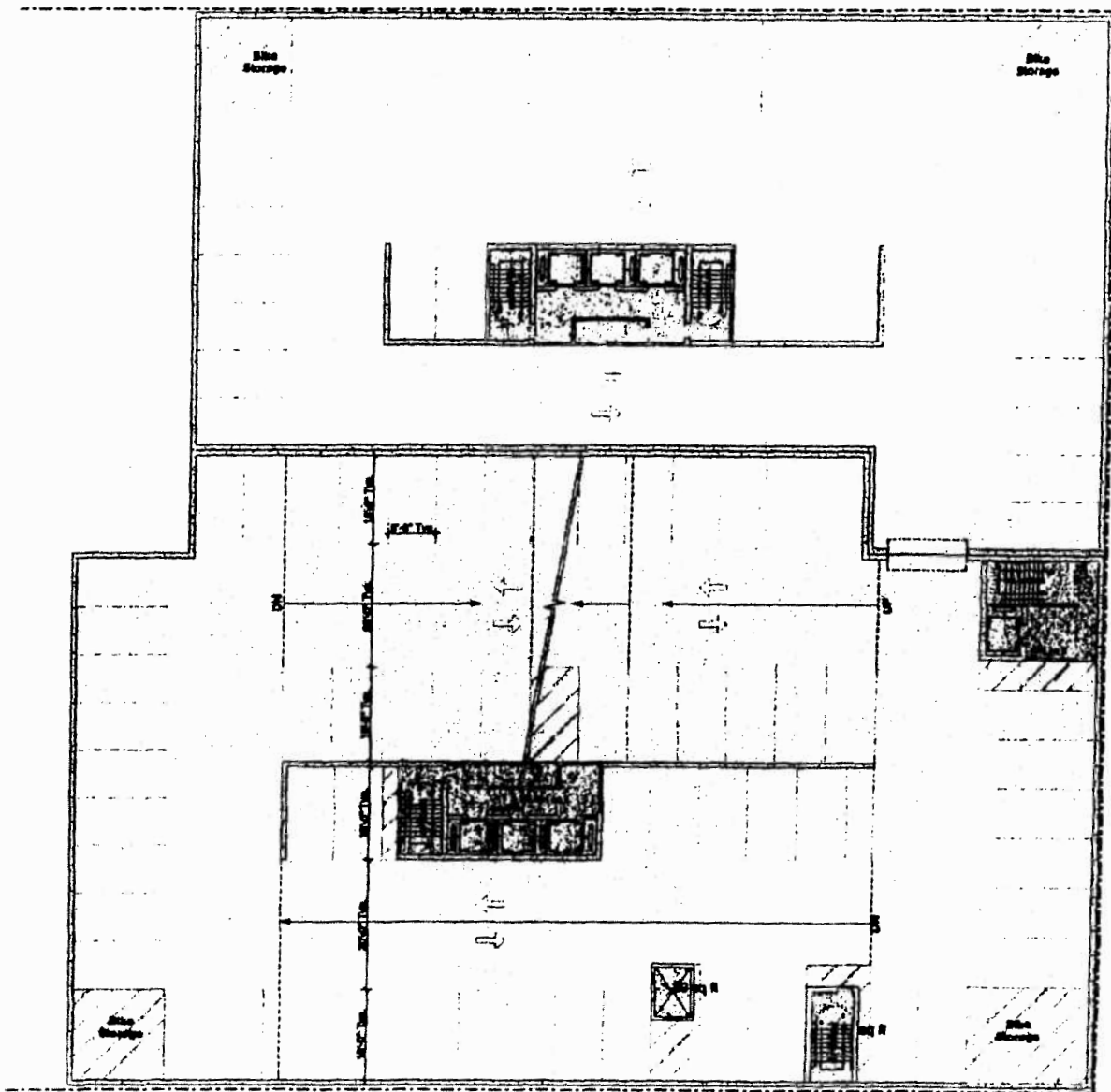
Typical Garage Plan.



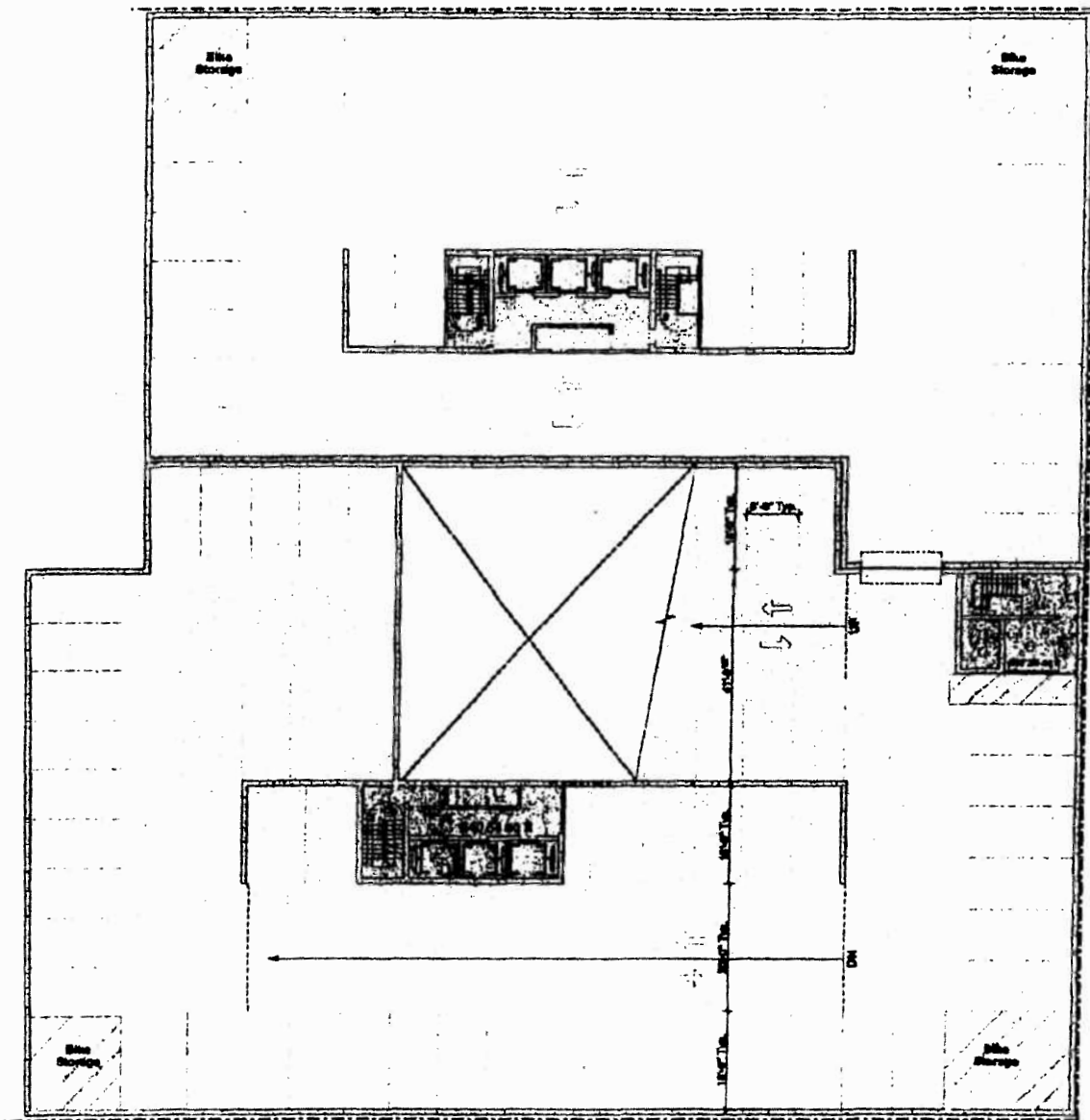
B01 Garage Plan.



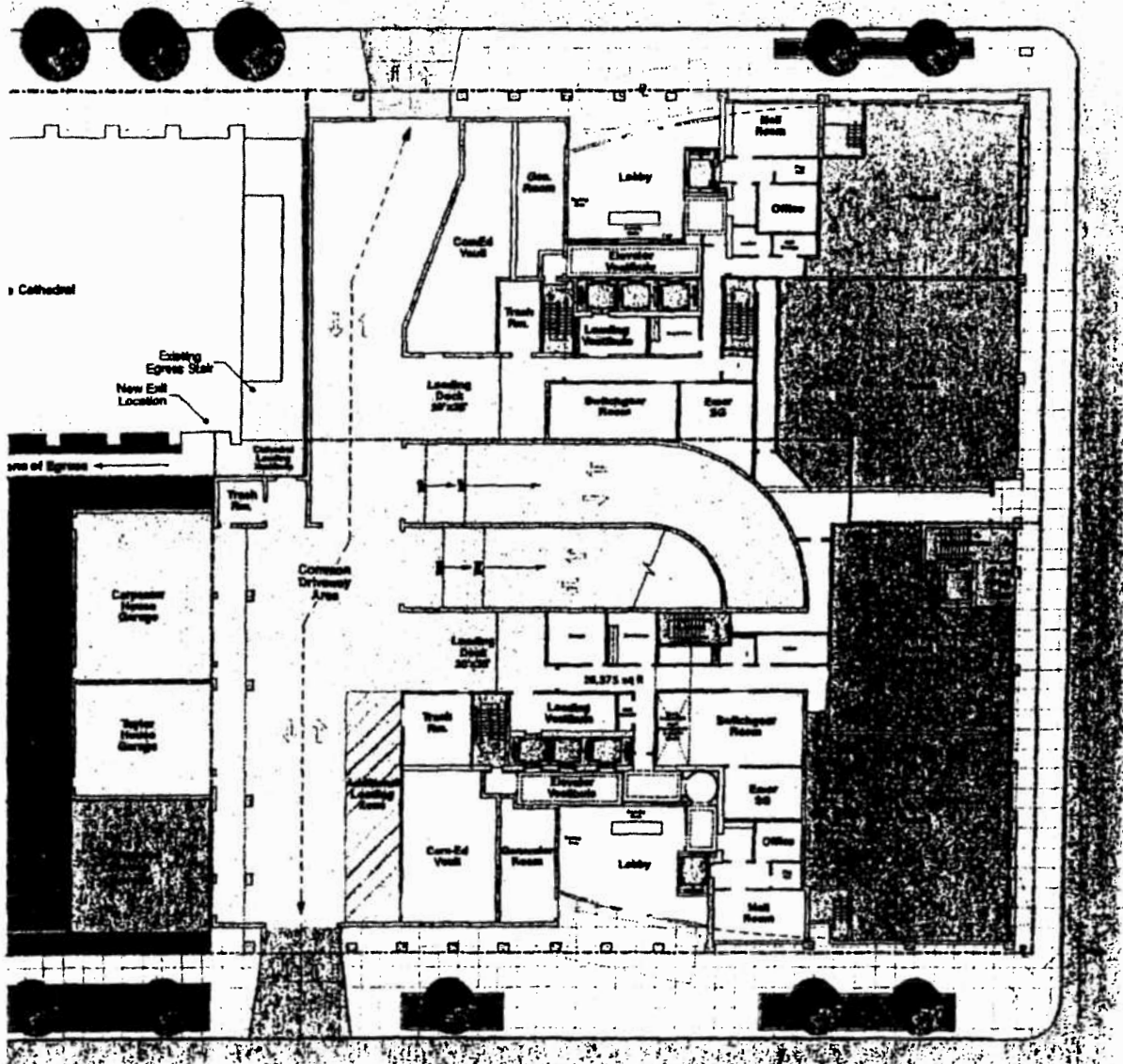
B02 Garage Plan.



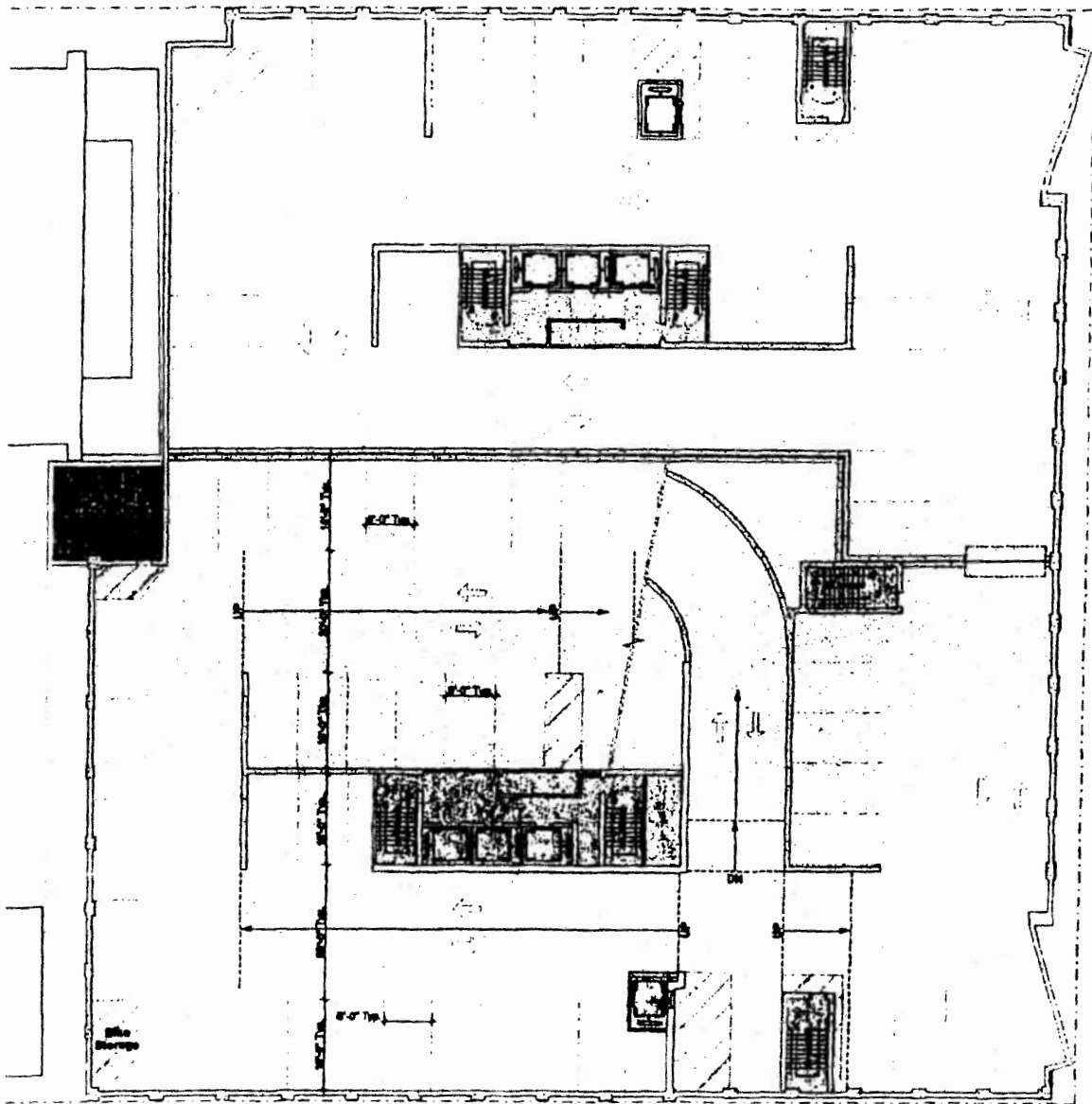
B03 Garage Plan.



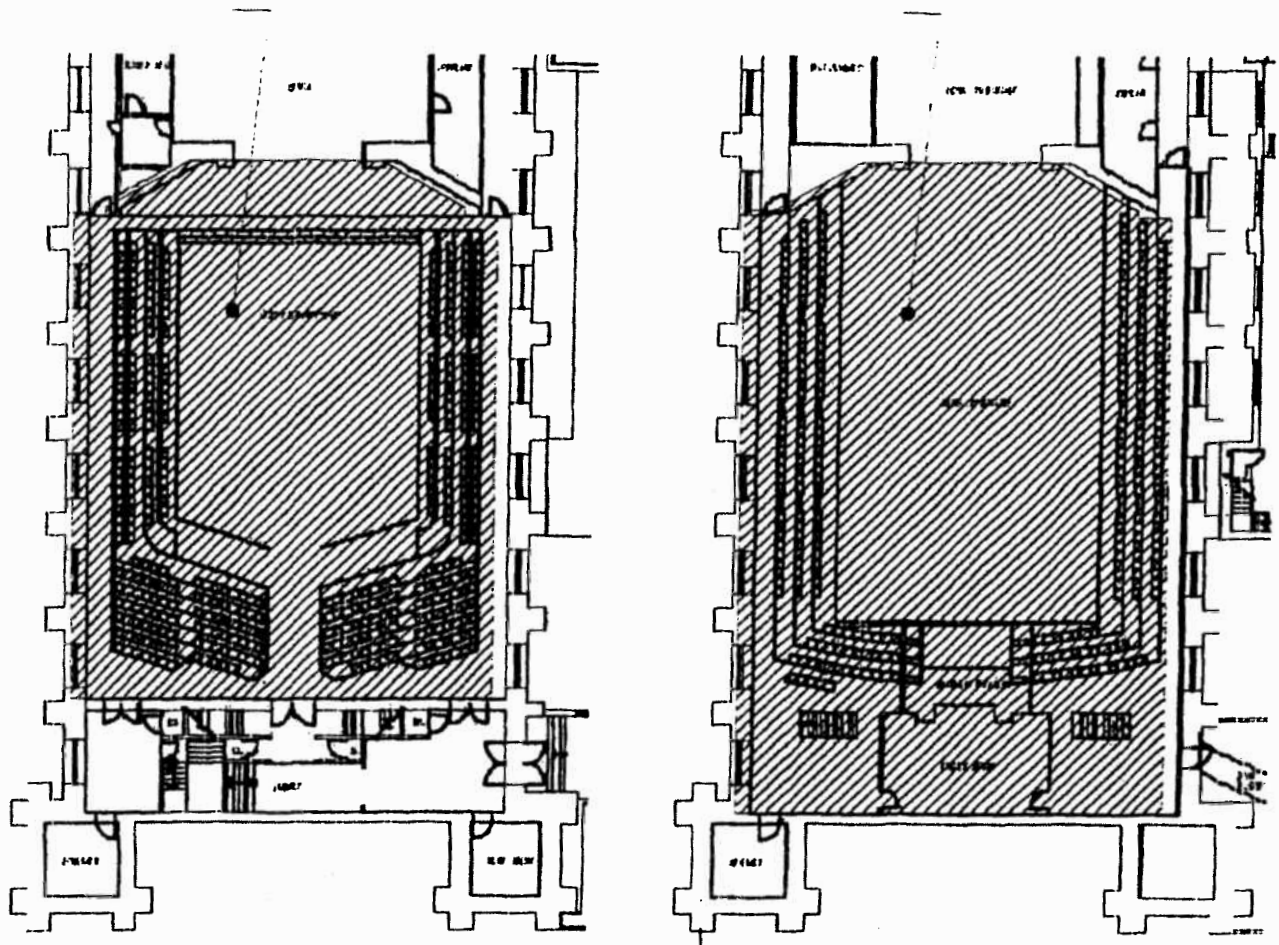
Ground Floor Plan.



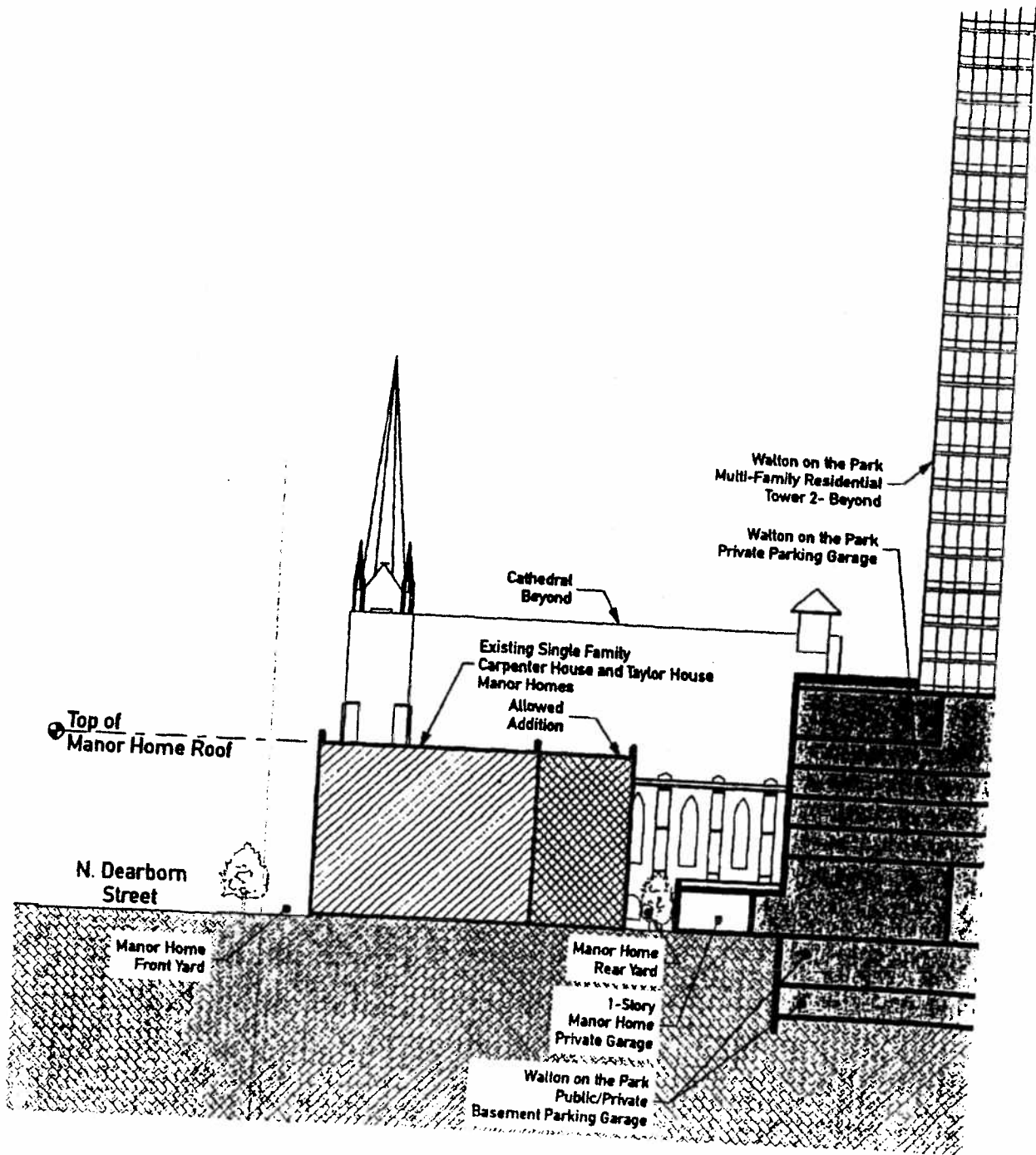
Second Floor Plan.



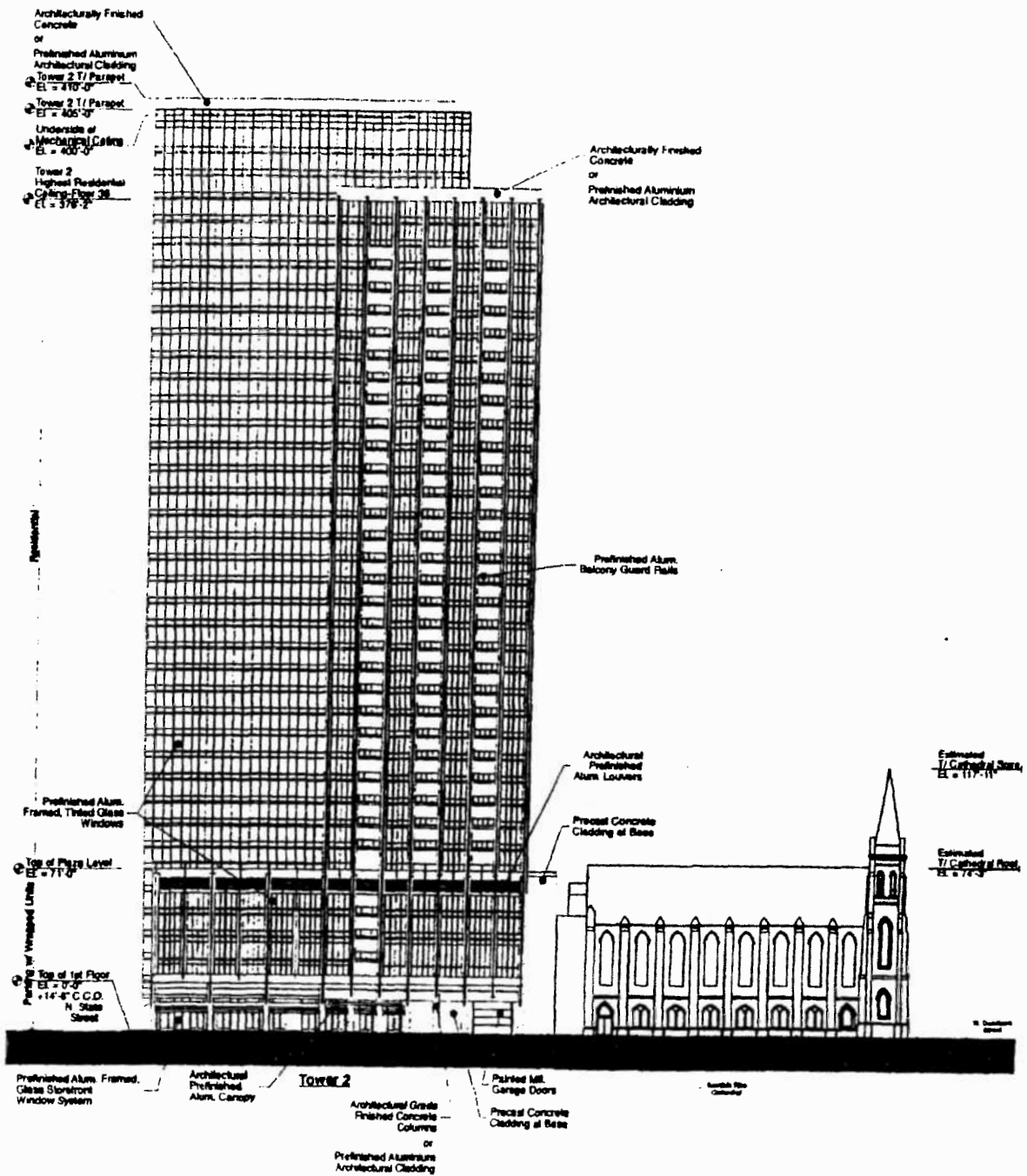
Existing Second And Third Floor
(Scottish Rite Cathedral)



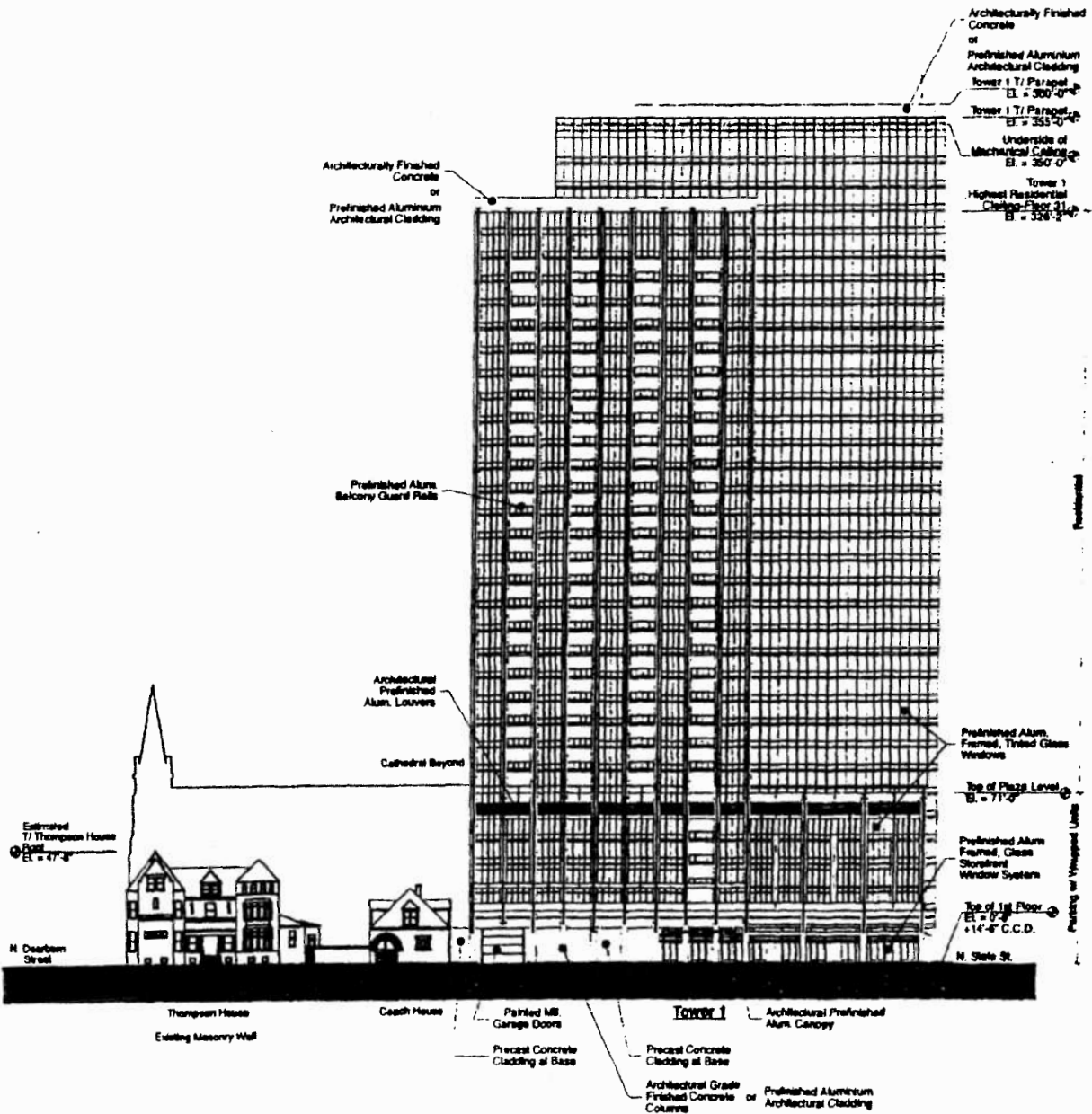
Site Section.



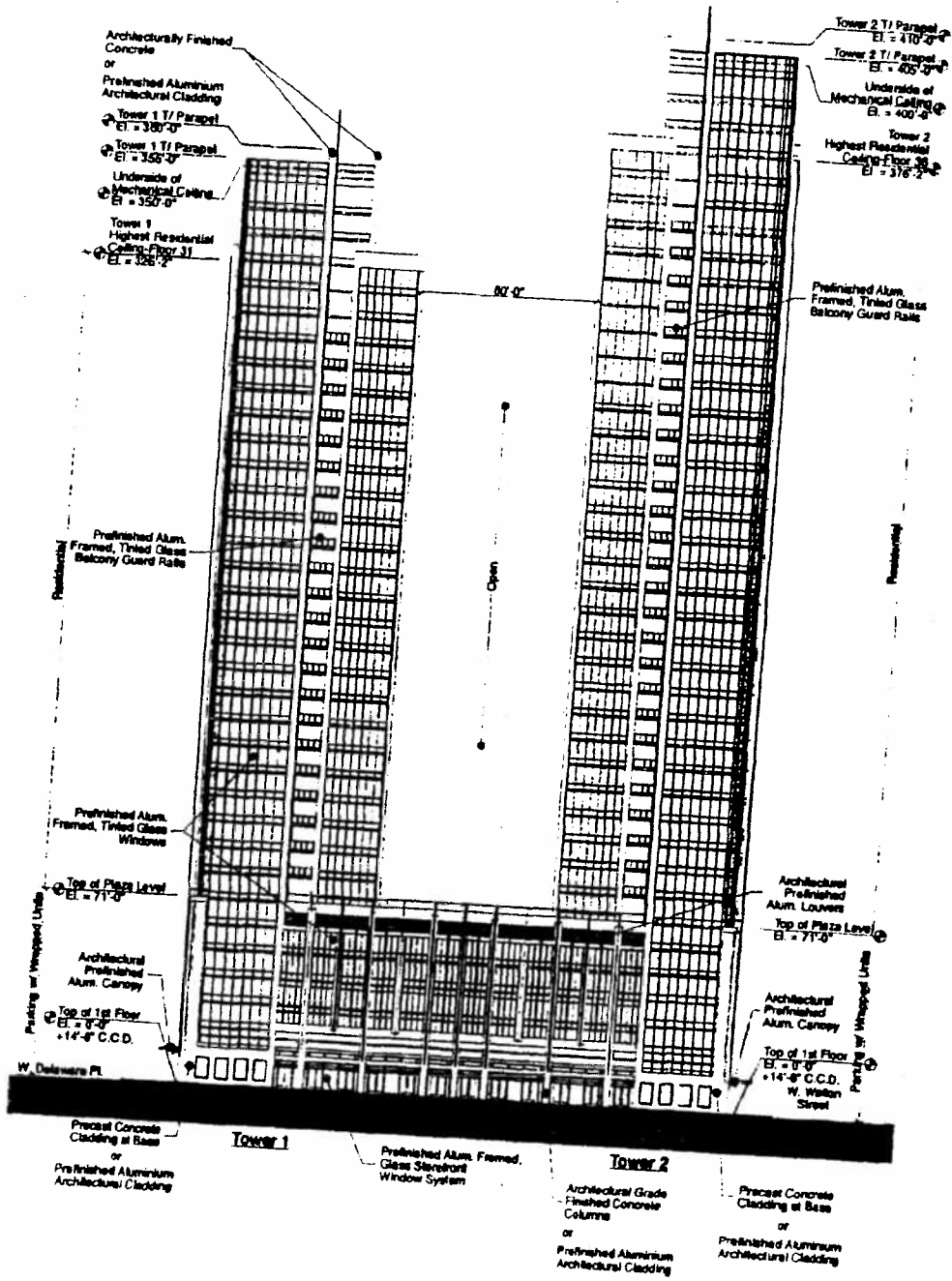
North Elevation.



South Elevation.



East Elevation.



West Elevation.

