

A-7919

58408

JOURNAL--CITY COUNCIL--CHICAGO

7/24/2013

Reclassification Of Area Shown On Map No. 4-G.

(Application No. A-7919)

(Common Address: 1600 -- 1729 S. Peoria St., 1600 -- 1624 S. Newberry Ave.,
834 -- 892 W. 18th St. And 827 -- 925 W. 16th St.)

B3-2

[O2013-5438]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Planned Development Number 1012 District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 16th Street; South Newberry Avenue; a line 254.53 feet south of West 16th Street; a line 99 feet west of South Newberry Avenue; the public alley next north of and parallel to West 18th Street; a line 201.74 feet east of and parallel to South Peoria Street; West 18th Street; and the eastern boundary line of the Chicago, Burlington and Quincy Railroad right-of-way,

to those of a B3-2 Community Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map No. 4-G.

(Application No. 17750)

(Common Address: 1343 -- 1345 W. 19th St.)

[O2013-4165]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RT4 Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 19th Street; a line 175.08 feet east of and parallel to South Loomis Street; the alley immediately south of and parallel to West 19th Street; and the alley immediately east of and parallel to South Loomis Street,

to those of a C1-2 Neighborhood Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

November 15, 2006

Mr. Rolando R. Acosta
Acosta, Kruse & Zemenides, LLC
6336 North Cicero Avenue
Suite 202
Chicago, Illinois 60646

Re: Administrative Relief request for Residential-Business Planned Development No. 1012, West 18th and South Peoria Streets

Dear Mr. Acosta:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 1012 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

Specifically, you requested:

- Site Plan changes:
Elimination of Building F11, a 3-flat building along Newberry Street and its replacement with parking.

Expansion of the parking along the west side of the easternmost north-south New Private Alley to provide a more continuous row from the north to the south terminus of that alley.

A revised grouping of the three-story buildings at the southern end of the west side of Peoria Street (Buildings F3, F4 and F5). The previously approved Site Plan indicated two 3-flats flanking the 12-flat; the new site plan combines the two 3-flats together into a 6-flat and positions it south of the 12-flat.

Identification of the buildings along 18th Street (Buildings A3 and A4) as "4 Levels Residential/1 Level Retail" instead of "5 Levels Residential/1 Level Retail". These buildings have been reduced by 1 floor.

Denoting of the westernmost north-south alley and northernmost east-west alley previously identified as "New Private Alley" as "New Dedicated Alley", as a result of discussions with CDOT.

Identification of the buildings along 16th Street (Buildings A1 and A2) As "8 Levels Residential /2 Levels Parking" instead of "7 Levels Residential/3 Levels Parking". These buildings remain essentially the same height, however, the third floor which was previously devoted to parking has been converted to a residential floor.

- Landscape Plan changes to reflect the above site plan changes



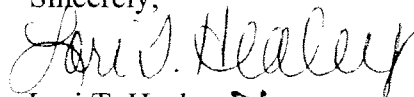
- Elevation changes to Buildings A1, A2, A3 and A4 to reflect above site plan changes and minor architectural design changes. Also, elevation changes to the Flats to reflect minor architectural design changes and changes in facade materials from brick and utility brick to utility brick and fiber cement board. (Note: there are no Flats numbered F3, F5 and F11).
- A reduction in the overall parking requirement to .88 per unit. The financial demands on the development, including the commitment to provide 21% of the total number of units as affordable units, has resulted in a need to increase the total number of units and decrease the enclosed areas devoted to parking. The overall unit count has increased to 398 units, still below the maximum permitted (400) and the affordable unit count has increased from 82 to 84. The reconfigured parking results in a total of 351 spaces or .88 % of the total number of units.

A revised Site Plan and Landscape Plan (prepared by Guajardo REC Architects LLC, April 28, 2006), revised Elevations (prepared by Guajardo REC Architects LLC, October 25, 2006) and a revised Bulk Regulations and Data Table (June 12, 2006) shall be substituted in place of the previously approved attachments and inserted into the main file.

With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 1012, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 1012.

Sincerely,



Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Mary Bonome, Mike Marmo, DPD files

3/29/2006

REPORTS OF COMMITTEES

15290
73947

*Reclassification Of Area Shown On Map Number 4-G.
(As Amended)*

(Application Number 15290) *RBPD 1012*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 16th Street; South Newberry Avenue; a line 254.53 feet south of West 16th Street; a line 99.00 feet west of South Newberry Avenue; the alley next north of West 18th Street; a line 201.74 feet east of South Peoria Street; West 18th Street; and the eastern line of the Chicago, Burlington and Quincy Railroad right-of-way,

to those of a B2-3 Neighborhood Mixed-Use District which is hereby established in the area described above.

SECTION 2. That the Chicago Ordinance be amended by changing all the current B2-3 Neighborhood Mixed-Use District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 16th Street; South Newberry Avenue; a line 254.53 feet south of West 16th Street; a line 99.00 feet west of South Newberry Avenue; the alley next north of West 18th Street; a line 201.74 feet east of South Peoria Street; West 18th Street; and the eastern line of the Chicago, Burlington and Quincy Railroad right-of-way,

to those of Residential-Business Planned Development Number *1012* which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the plan of development attached hereto and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development Number 1012.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development Number 1012 (the "Planned Development") consists of approximately two hundred seventy-four thousand four hundred fifty-four (274,254) square feet (six and thirty-hundredths (6.30) acres) of property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and is controlled by 18th and Peoria, L.L.C. (the "Applicant").
2. The Applicant shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements, or any adjustment of right-of-way, or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant, its successors and assigns or any property owners' association which is formed.
4. This plan of development consists of fourteen (14) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; a Site Plan; a Landscape Plan; and Building Elevations -- Sheets 1 through 31 all prepared by Guajardo REC Architects, L.L.C. and URBAN Works, Ltd. and dated February 16, 2006. Full-size copies of the Site Plan, Landscape Plan and the Elevations are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the

Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The Property within the Planned Development is indicated on the Planned Development Boundary and Property Line Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property: residential dwelling units; retail and service uses; and accessory uses including parking and loading.
6. Temporary signs such as construction and marketing signs shall be permitted subject to the review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Advertising signs shall not be permitted within the Planned Development.
7. Off-street parking shall be provided in compliance with this Planned Development subject to the review and approval of the Department of Transportation. One (1) bicycle parking shall be provided for every two (2) auto spaces provided for buildings with twelve (12) or more dwelling units.

Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation.

Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

8. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.

9. The improvements depicted on the Site Plan and Elevations, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan and Elevations, and with the landscape provisions of the Chicago Zoning Code (Section 17-11).
10. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this Planned Development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.
11. The terms, conditions and exhibits of this Planned Development shall be interpreted and administered based on the regulations applicable in the underlying B2-3 Neighborhood Mixed-Use District in effect on the effective date of this Planned Development.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development. The Applicant shall provide a vegetated ("green") roof on at least twenty-five percent (25%) of the net roof area of each building containing more than three (3) units to be constructed within this Planned Development. "Net roof area" is defined as total roof area minus any required perimeter setbacks, rooftop structures and roof-mounted equipment. If City financial assistance is sought in connection with development within this Planned Development, then relevant City policy in effect at the time such assistance is sought regarding vegetated ("green") roofs and other environmental requirements shall apply.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. Unless substantial construction of the improvements contemplated by this Planned Development has commenced within six (6) years of the effective date hereof and unless completion of those improvements is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to the B3-2 Neighborhood Mixed-Use District classification. The six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.

[Existing Zoning Map; Planned Development Boundary and Property Line Map; Site Plan; Landscape Plan; Building Elevations -- Sheets 1 through 31; and Plant Schedule referred to in these Plan of Development Statements printed on pages 73953 through 73988 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development Number 1012.

Plan Of Development.

Bulk Regulations And Data Table.

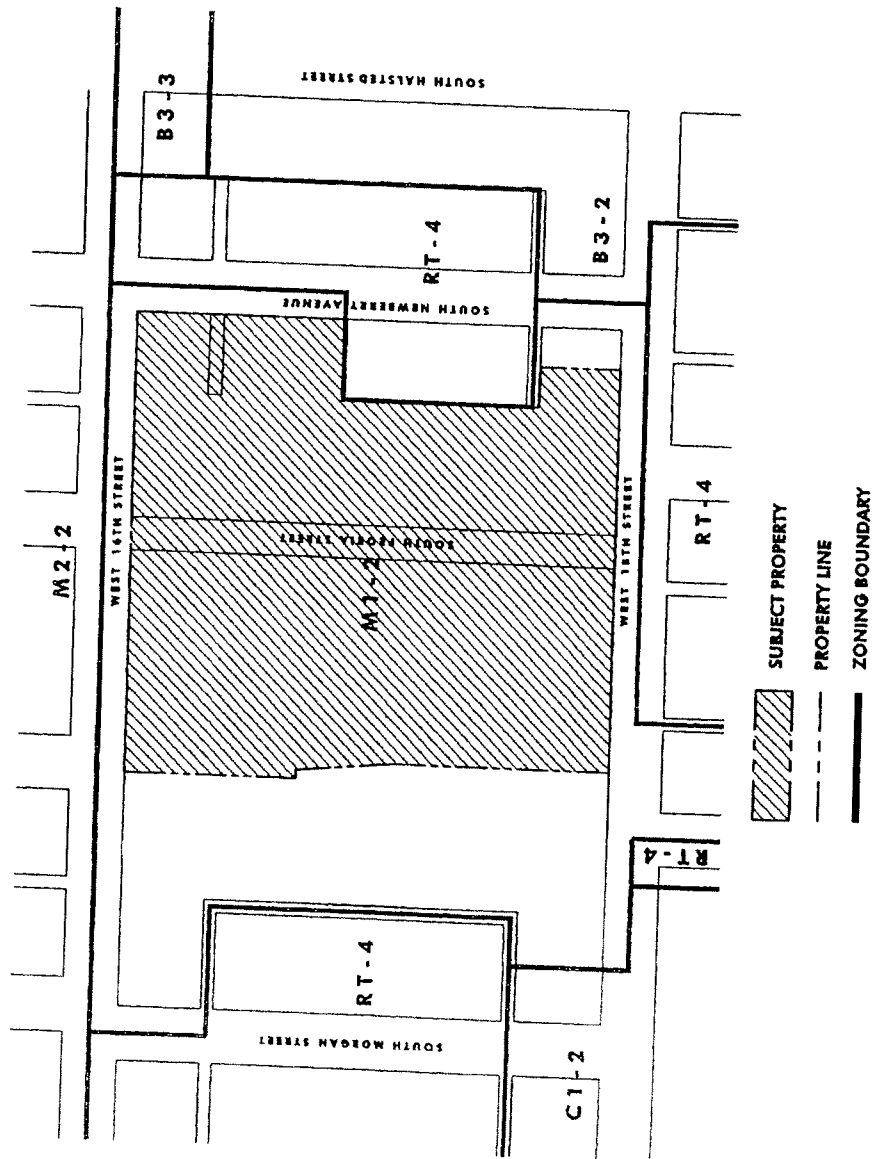
Gross Site Area (342,288 square feet / 7.85 acres) = Net Site Area (278,254 square

feet/6.30 acres)* + Area Remaining in Public Right-of-Way (64,034 square feet/1.47 acres)

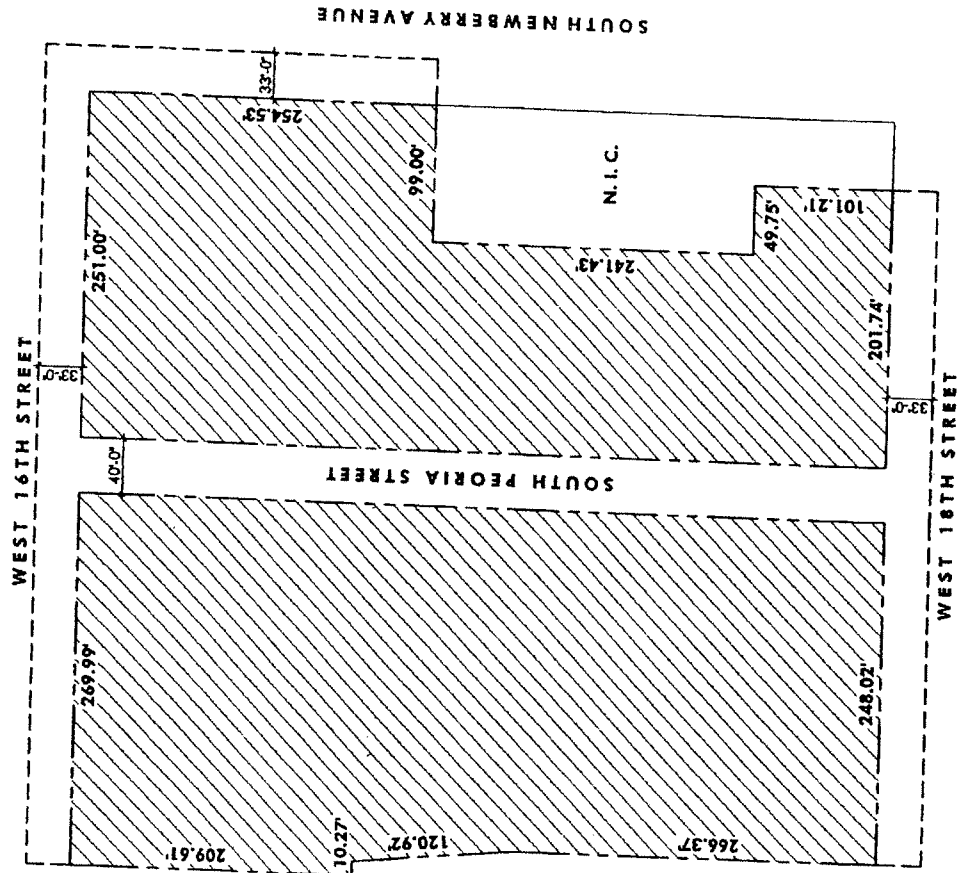
Maximum Permitted Floor Area Ratio:	2.20
Permitted Uses:	Residential dwelling units; retail and service uses; and accessory uses including parking and loading
Setbacks from Property Line:	In substantial conformance with the Site Plan
Maximum Percentage of Site Coverage:	In substantial conformance with the Site Plan
Maximum Number of Dwelling Units:	400
Minimum Number of Off-Street Parking Spaces:	One per dwelling unit
Minimum Number of Bicycle Parking Spaces:	One for every two auto spaces provided for buildings with more than twelve (12) dwelling units
Minimum Number of Off-Street Loading Spaces:	_____
Maximum Building Height:	115 feet and in substantial conformance with the Site Plan and Building Elevations

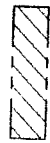
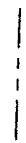
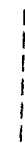
* Net Site Area may change based on street and/or alley dedications.

Existing Zoning Map.

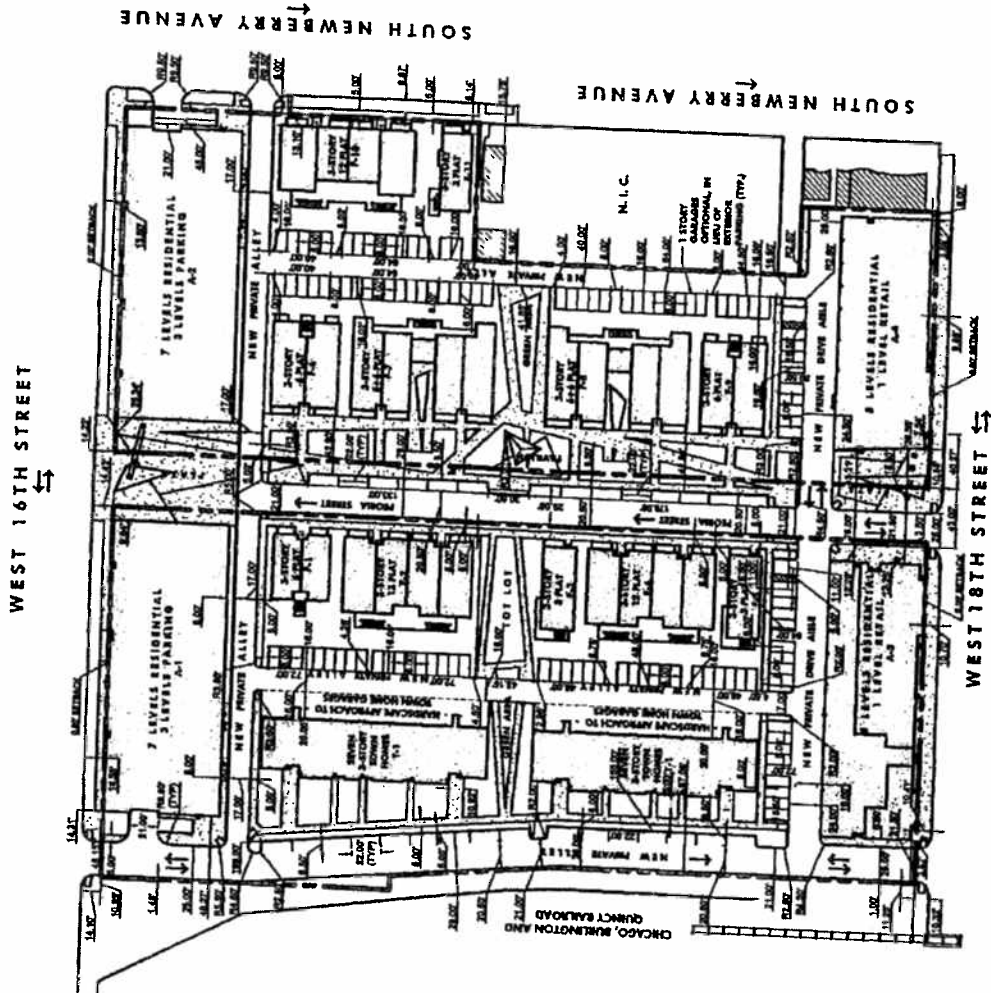


Planned Development Boundary And
Property Line Map.

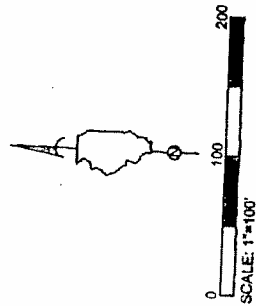


-  SUBJECT PROPERTY
-  PROPERTY LINE
-  PLANNED DEVELOPMENT BOUNDARY

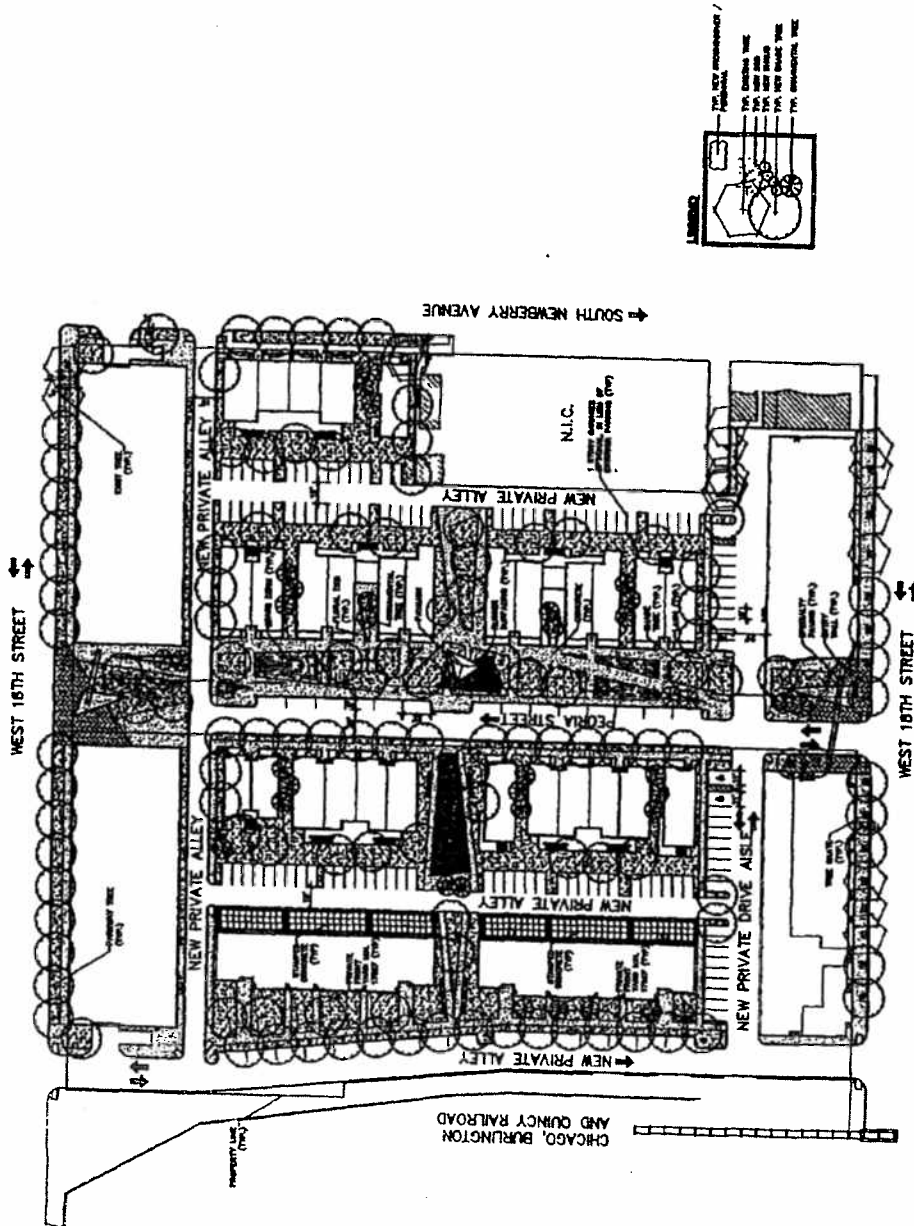
Site Plan.



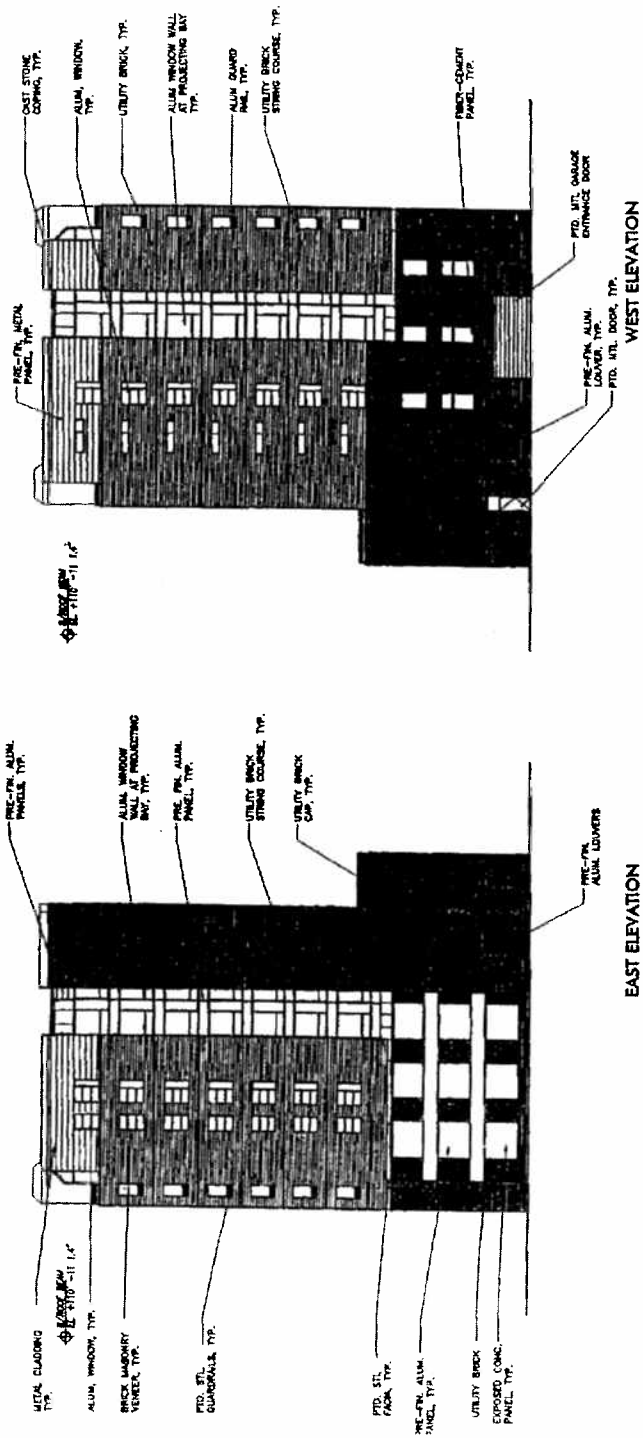
- LEGEND**
- EXISTING PROPERTY LINE
 - PROPOSED CONCRETE WALL
 - PROPOSED BUILDING
 - PROPOSED PERMISSIBLE PAVEMENT LOCATION
 - PROPOSED CURB AND GUTTER
 - EXISTING CURB AND GUTTER
 - PROPOSED TYPE B HANDBICAP PUMP
 - PROPOSED TYPE A HANDBICAP PUMP



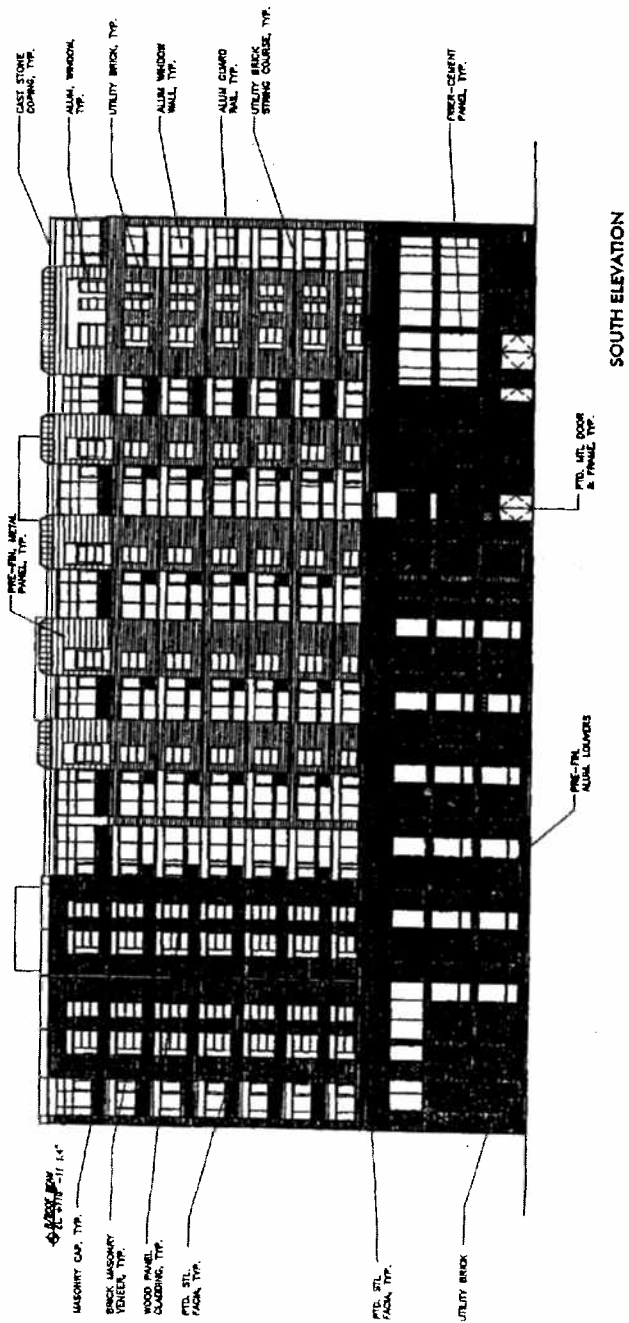
Landscape Plan.



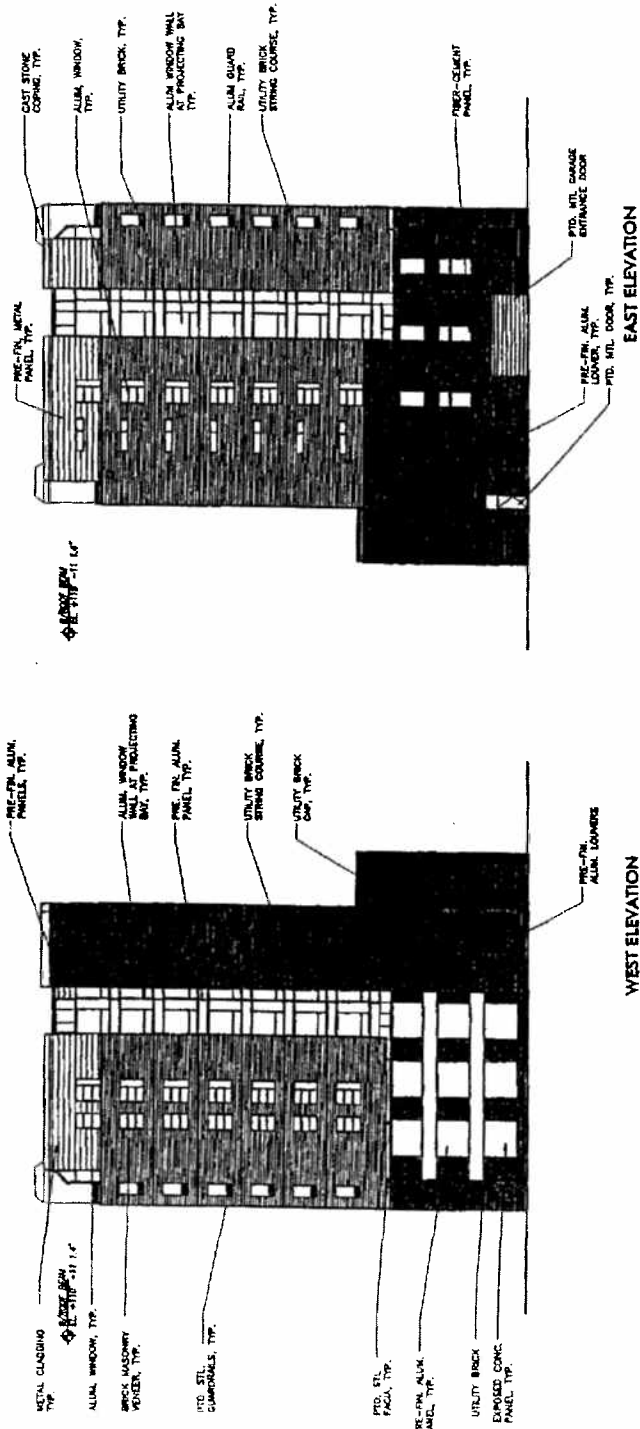
Building Elevations -- Sheet 3.



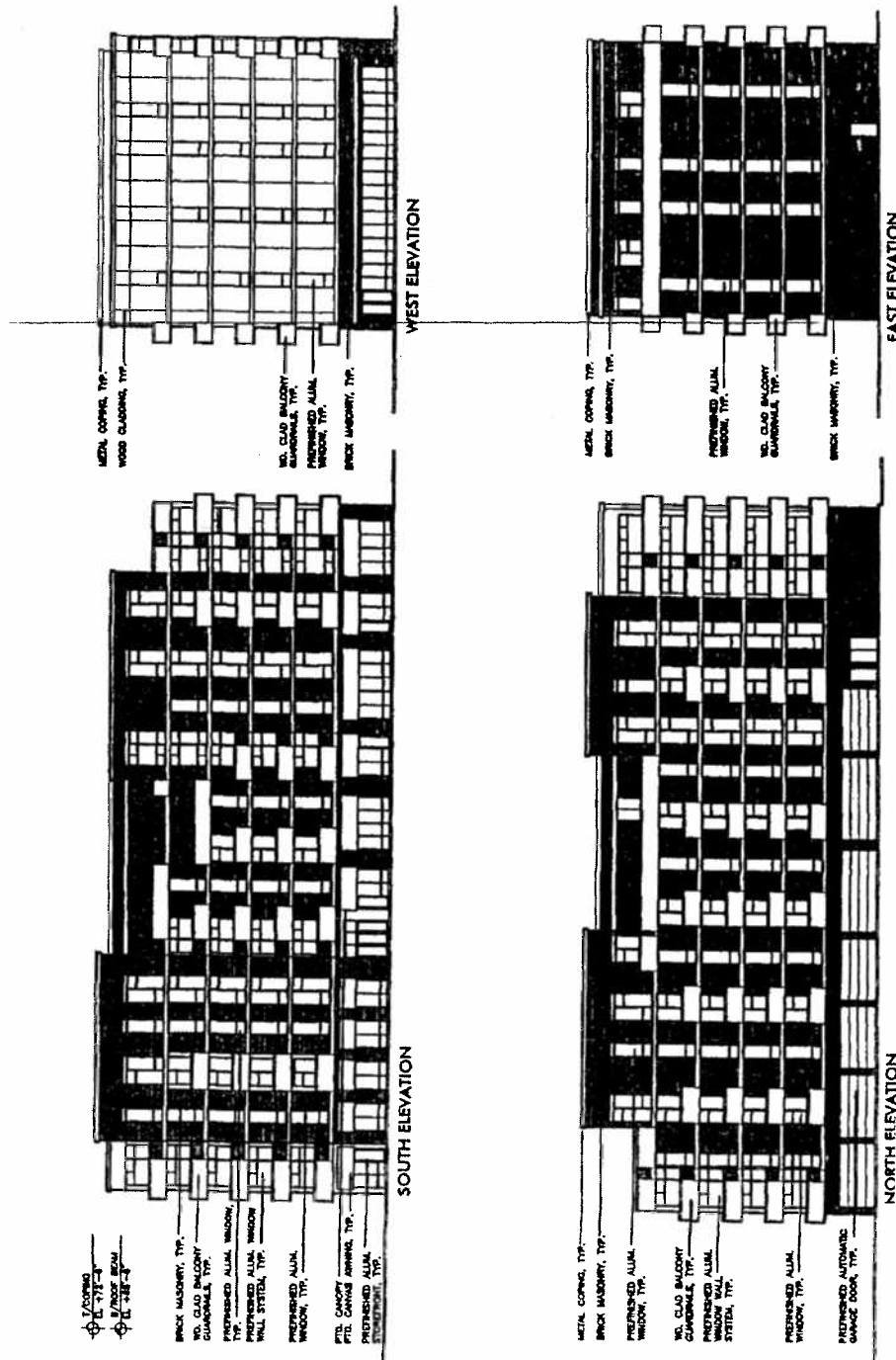
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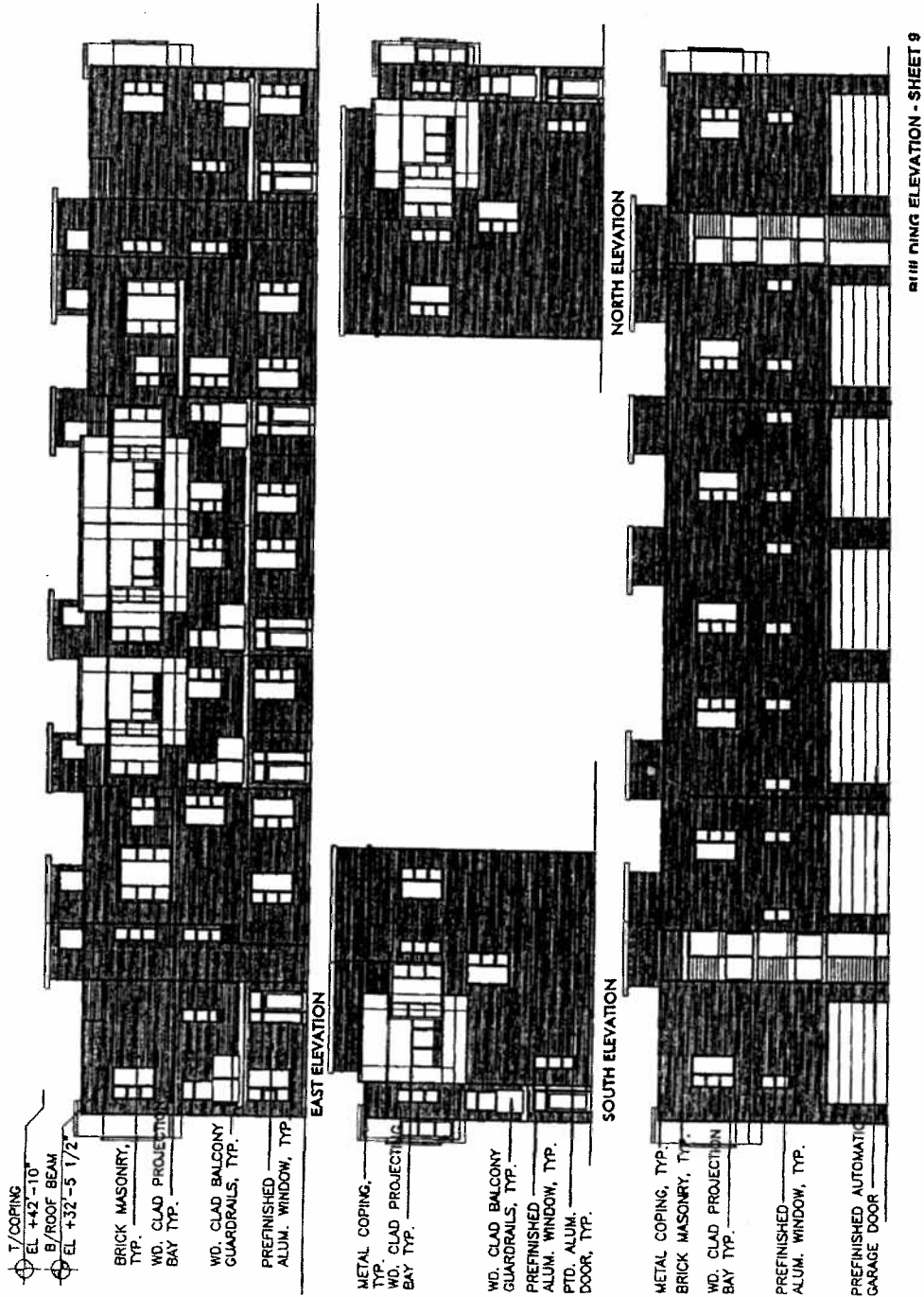
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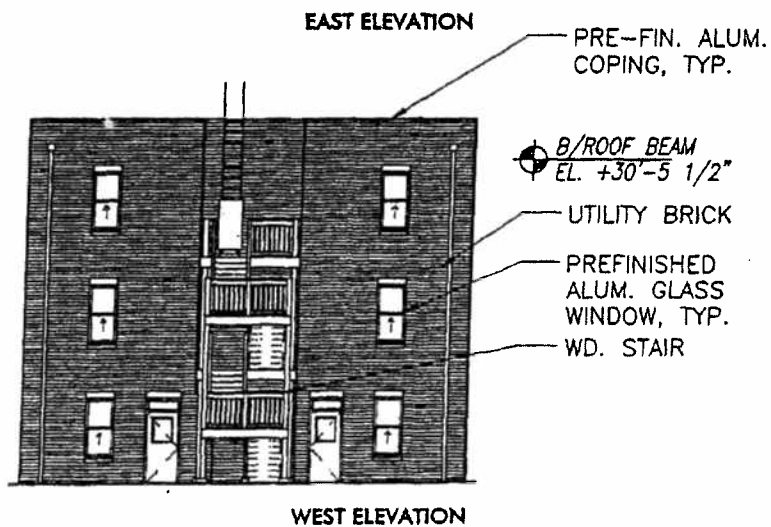
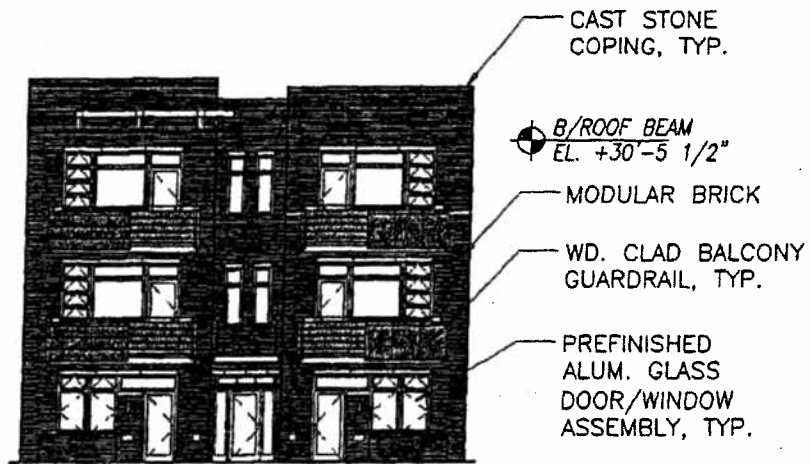
Building Elevations -- Sheet 8.



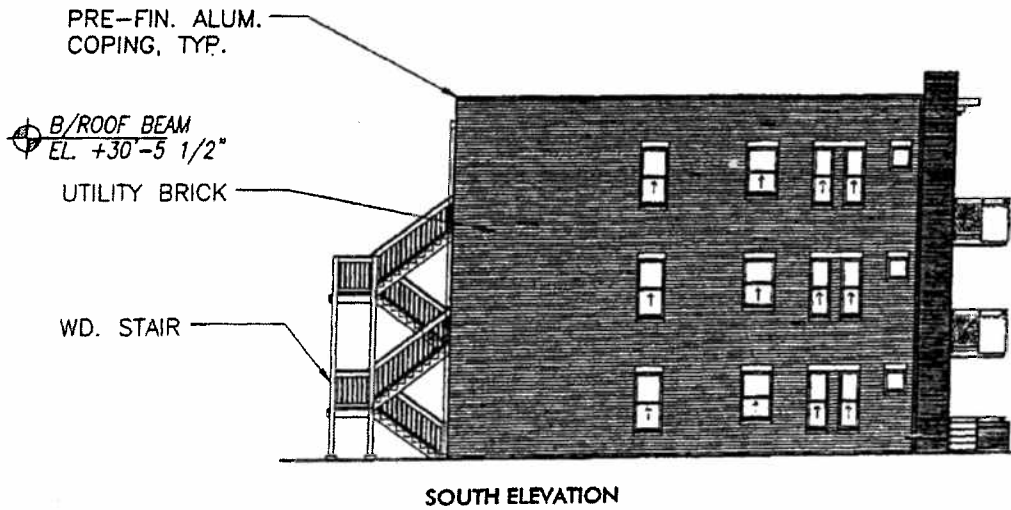
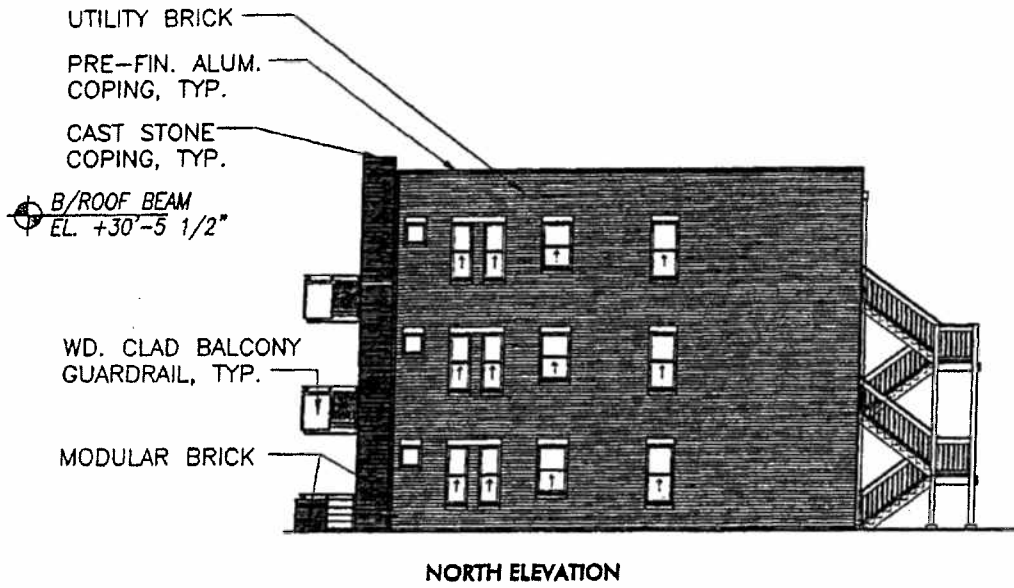
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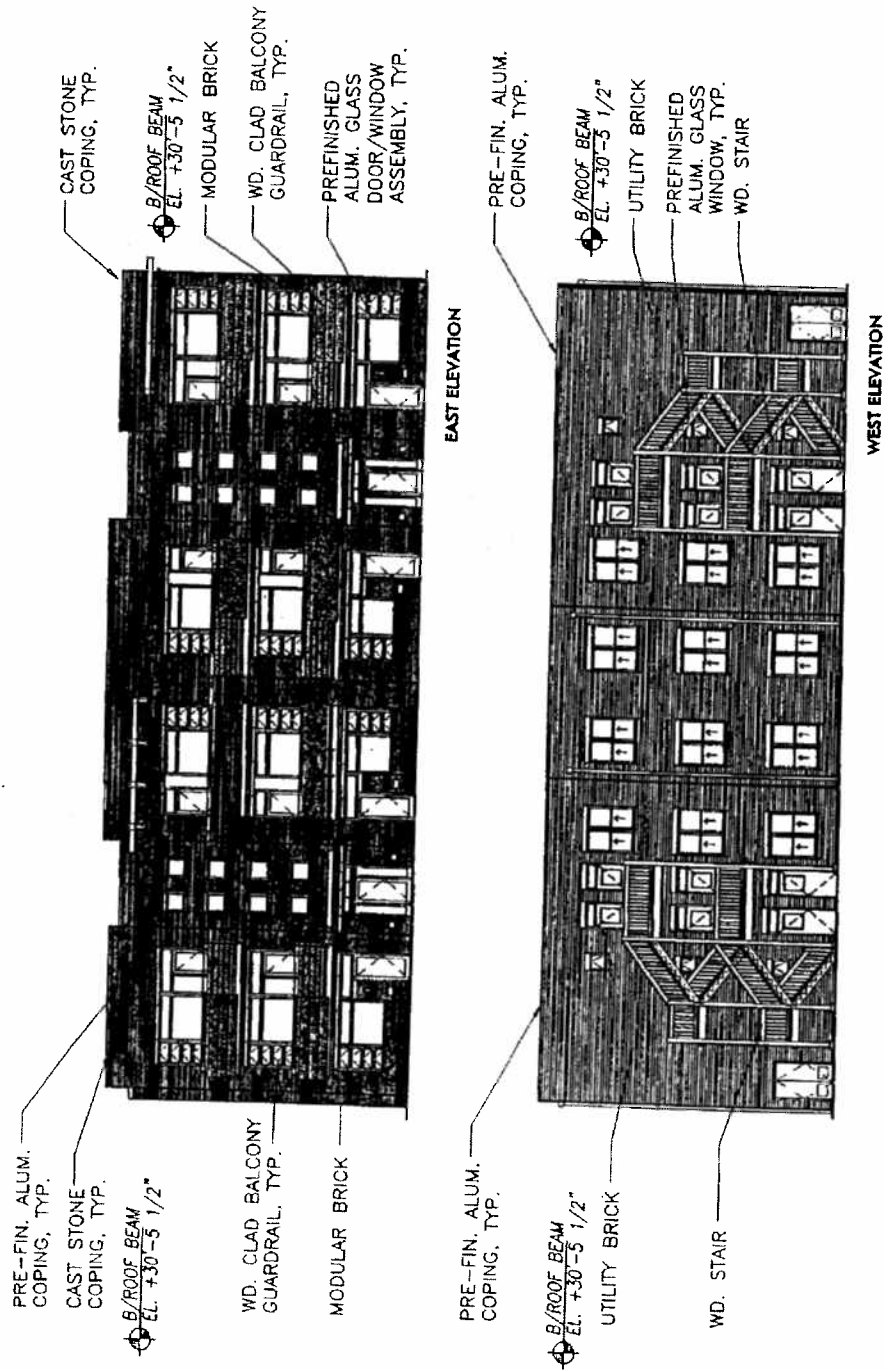
Building Elevations -- Sheet 10.



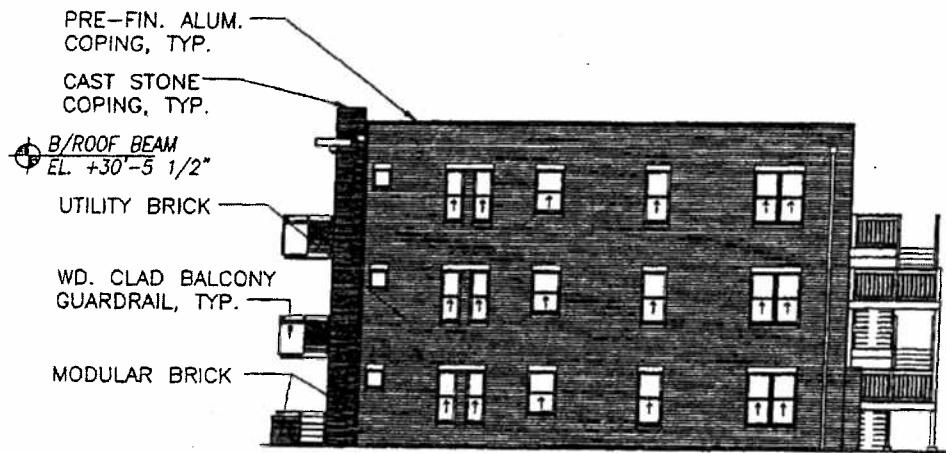
Building Elevations -- Sheet 11.



Building Elevations -- Sheet 12.



Building Elevations -- Sheet 13.

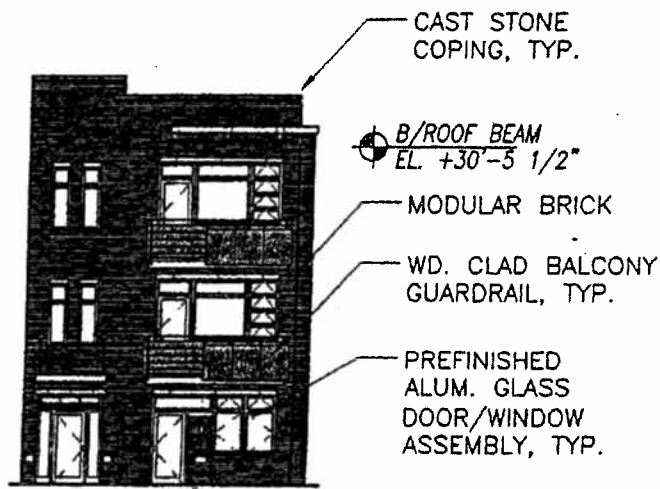


NORTH ELEVATION

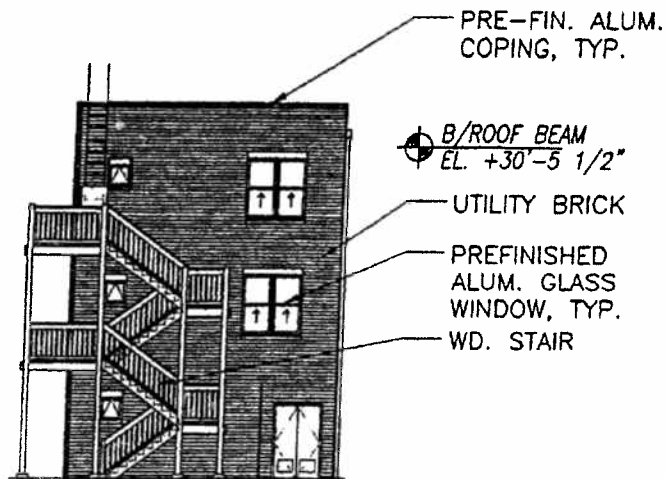


SOUTH ELEVATION

Building Elevations -- Sheet 14.

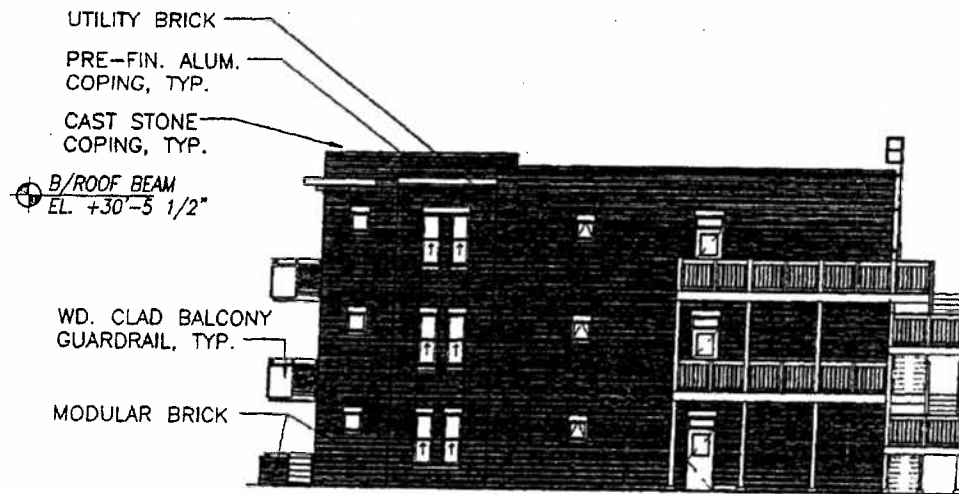


EAST ELEVATION



WEST ELEVATION

Building Elevations -- Sheet 15.

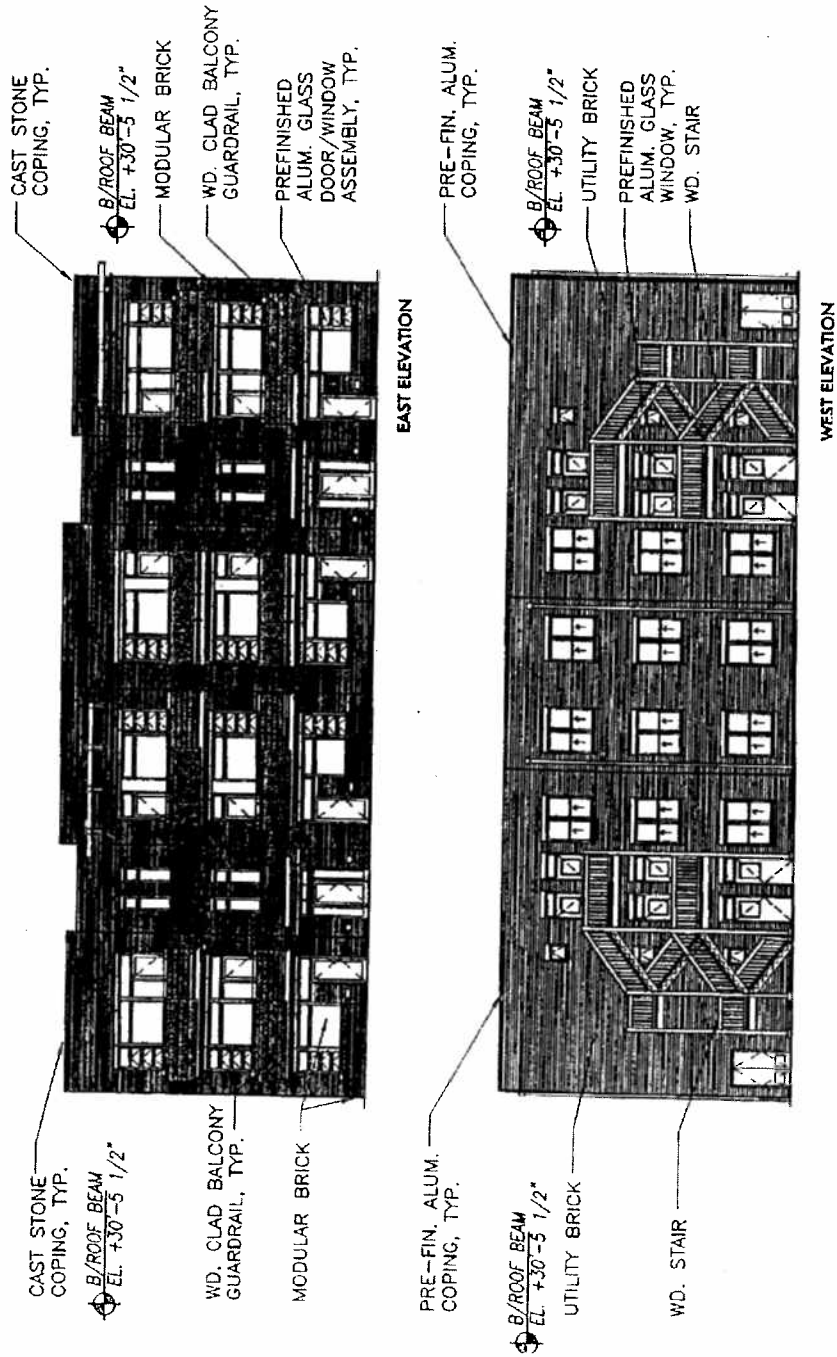


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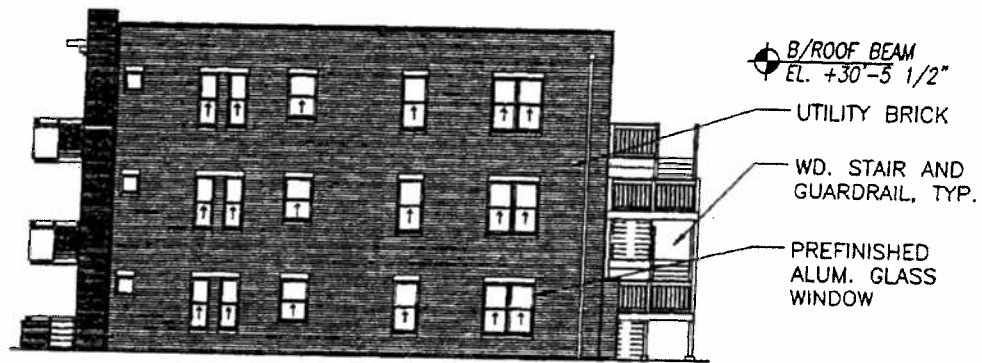


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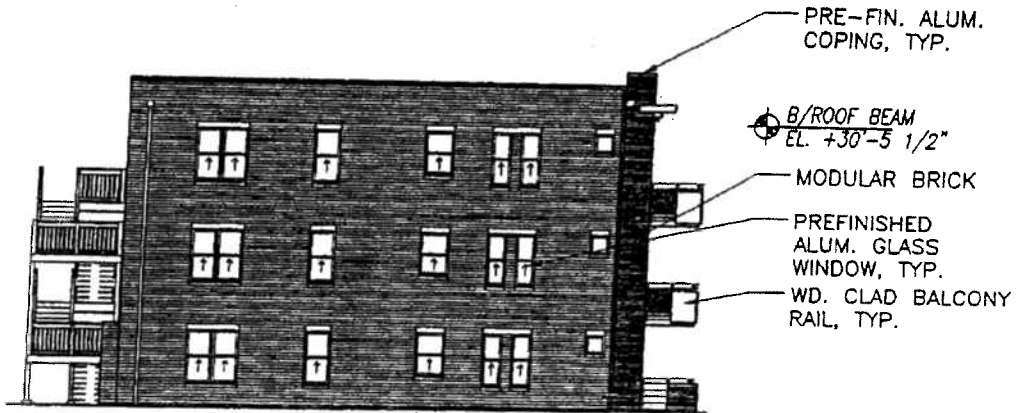
Building Elevations -- Sheet 16.



Building Elevations -- Sheet 17.

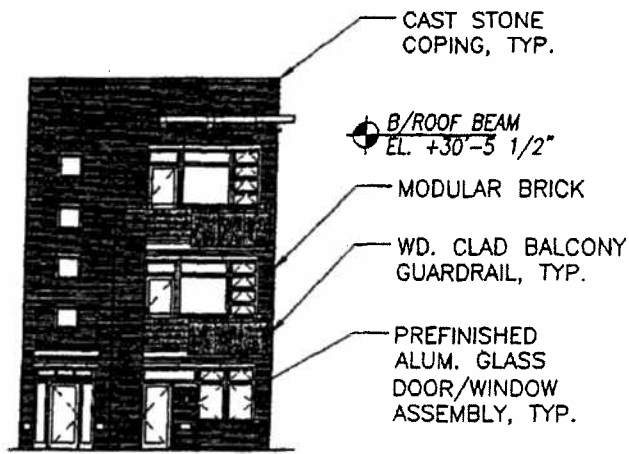


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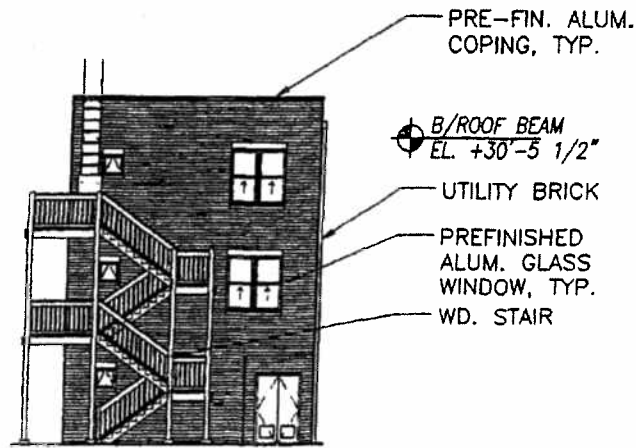


SOUTH ELEVATION

Building Elevations -- Sheet 18.



EAST ELEVATION



WEST ELEVATION

Building Elevations -- Sheet 19.

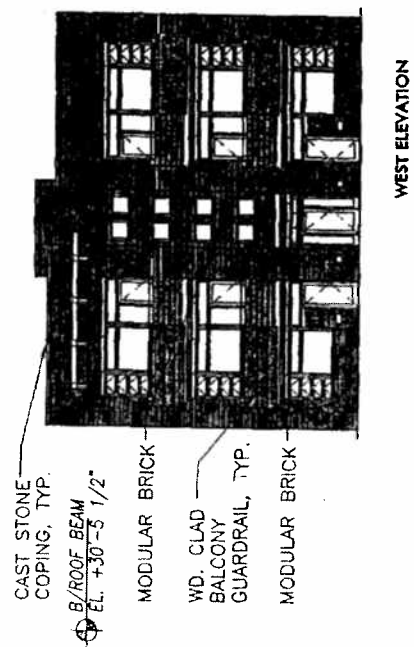
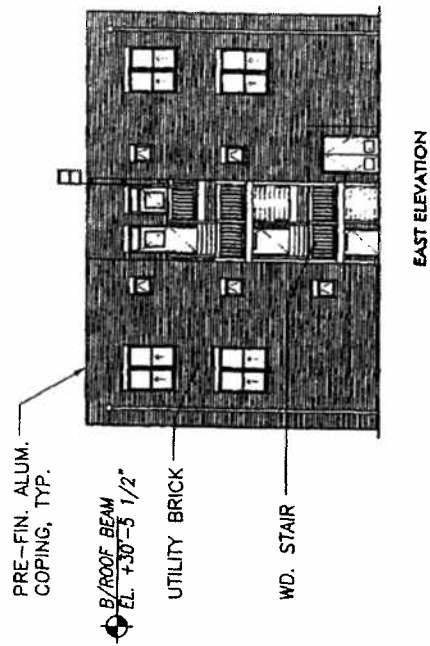


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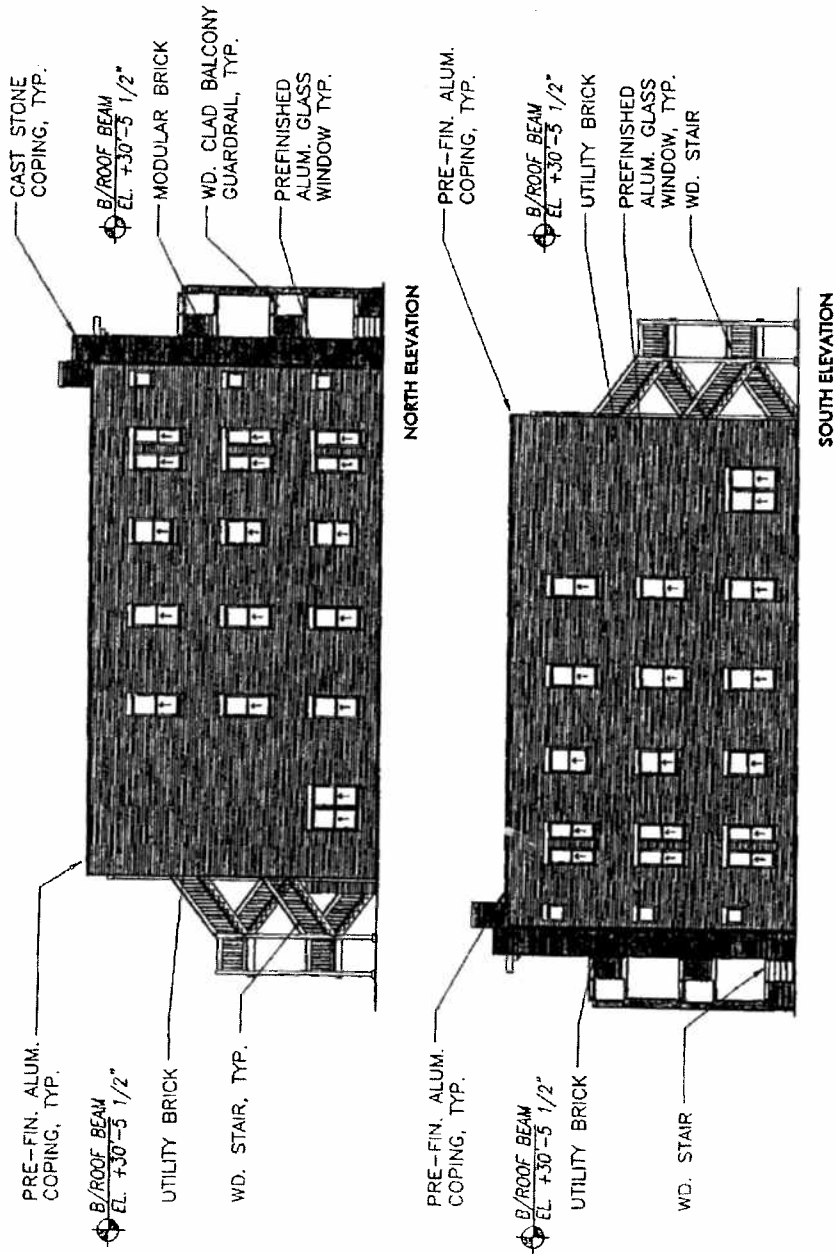


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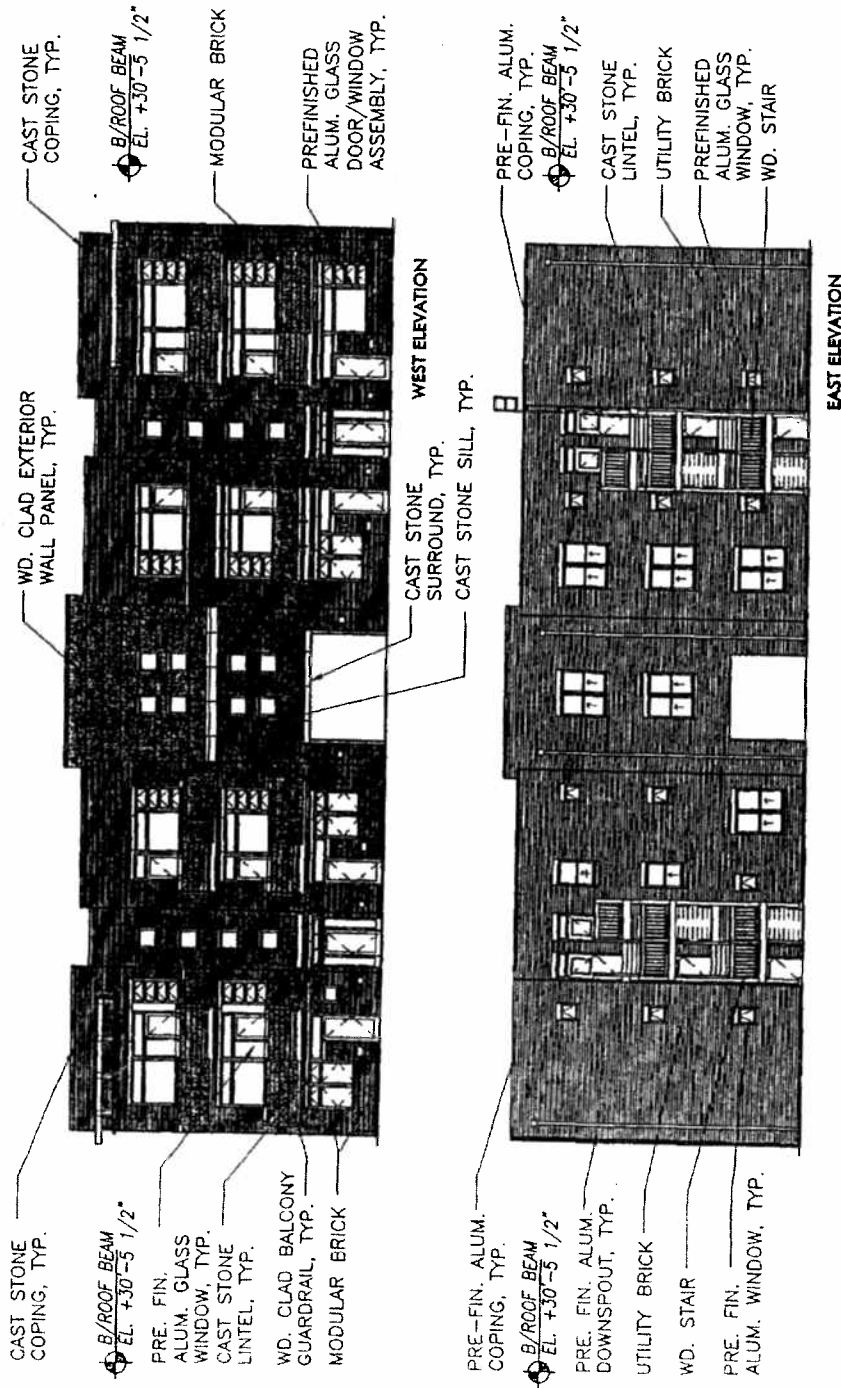
Building Elevations -- Sheet 20.



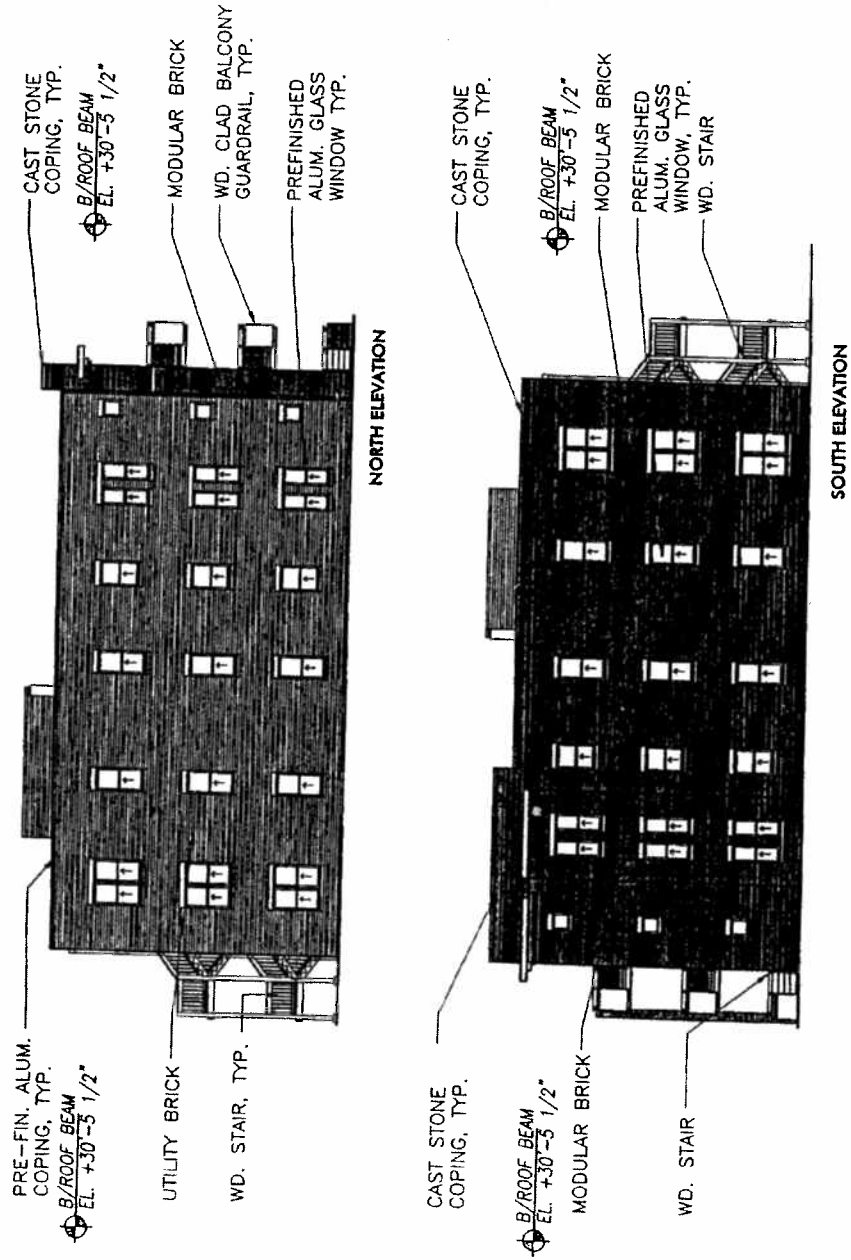
Building Elevations -- Sheet 21.



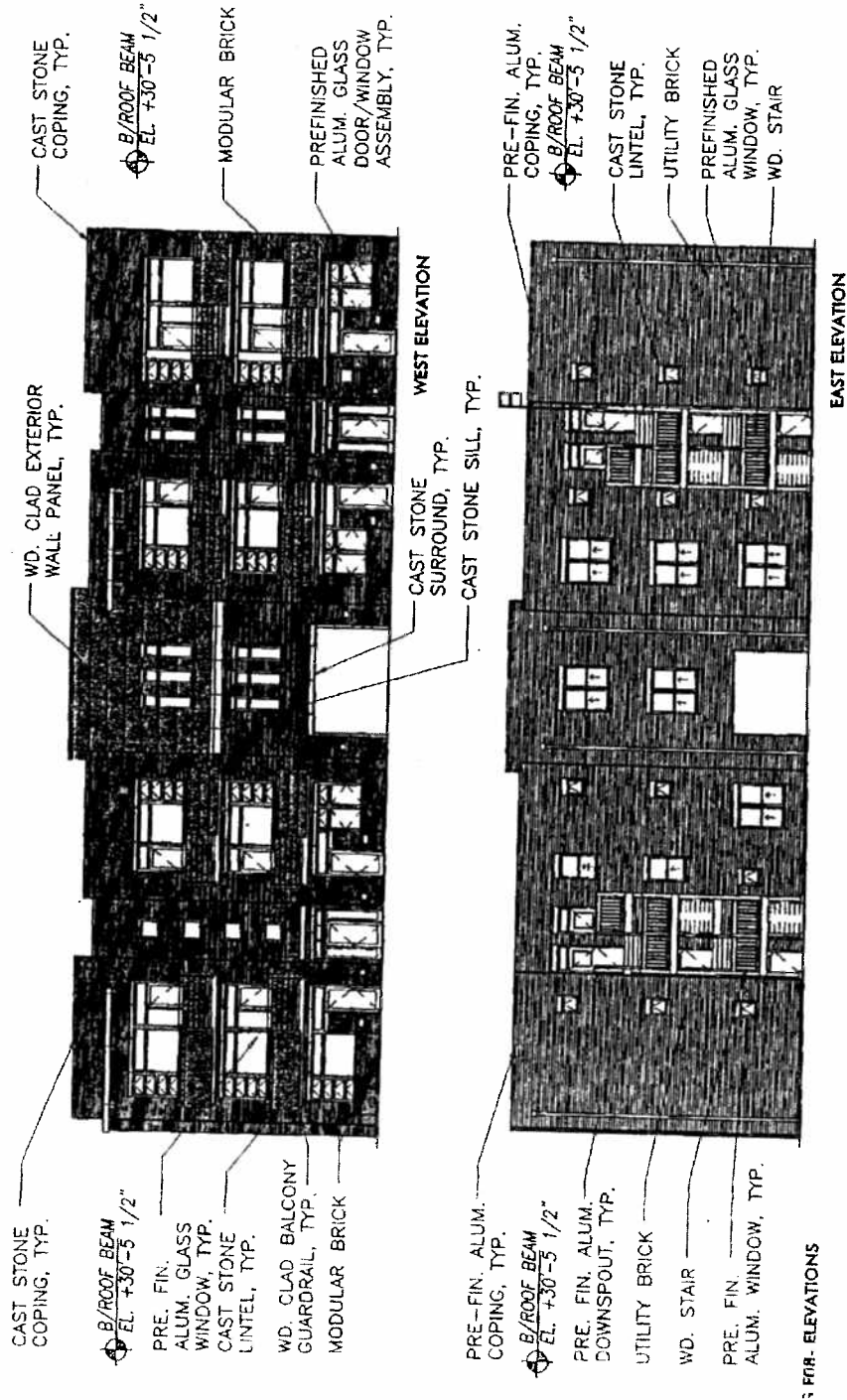
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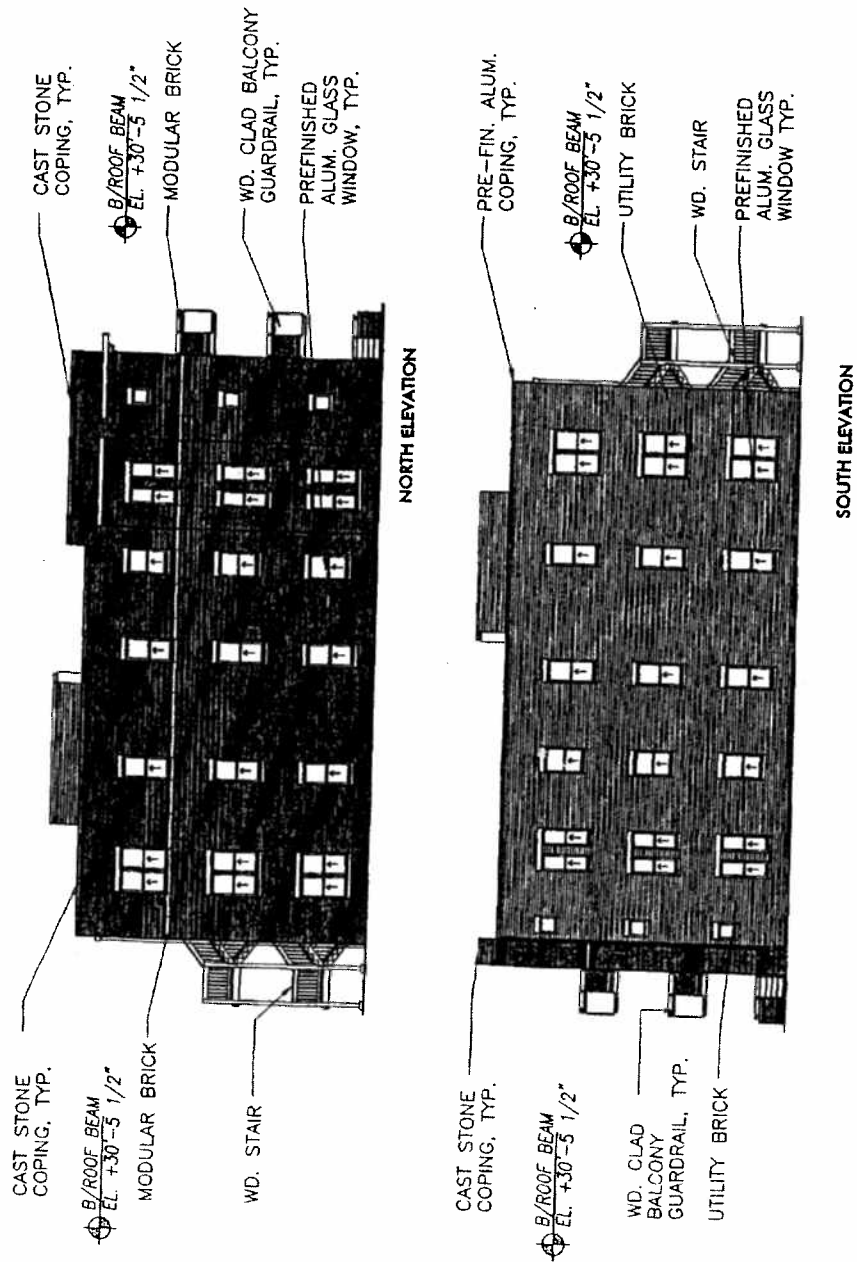
Building Elevations -- Sheet 23.



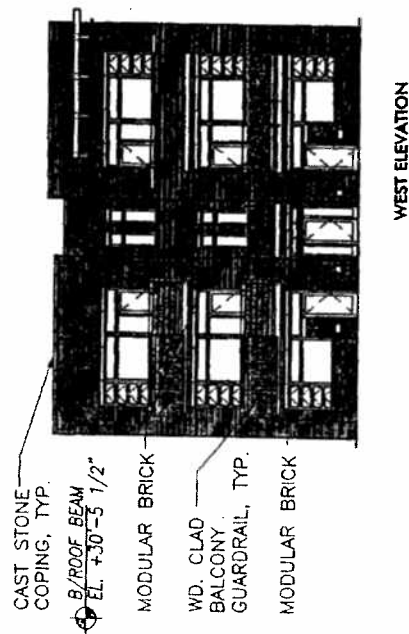
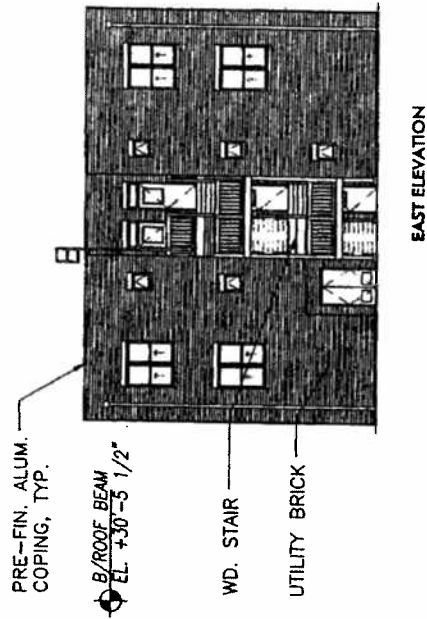
Building Elevations -- Sheet 24.



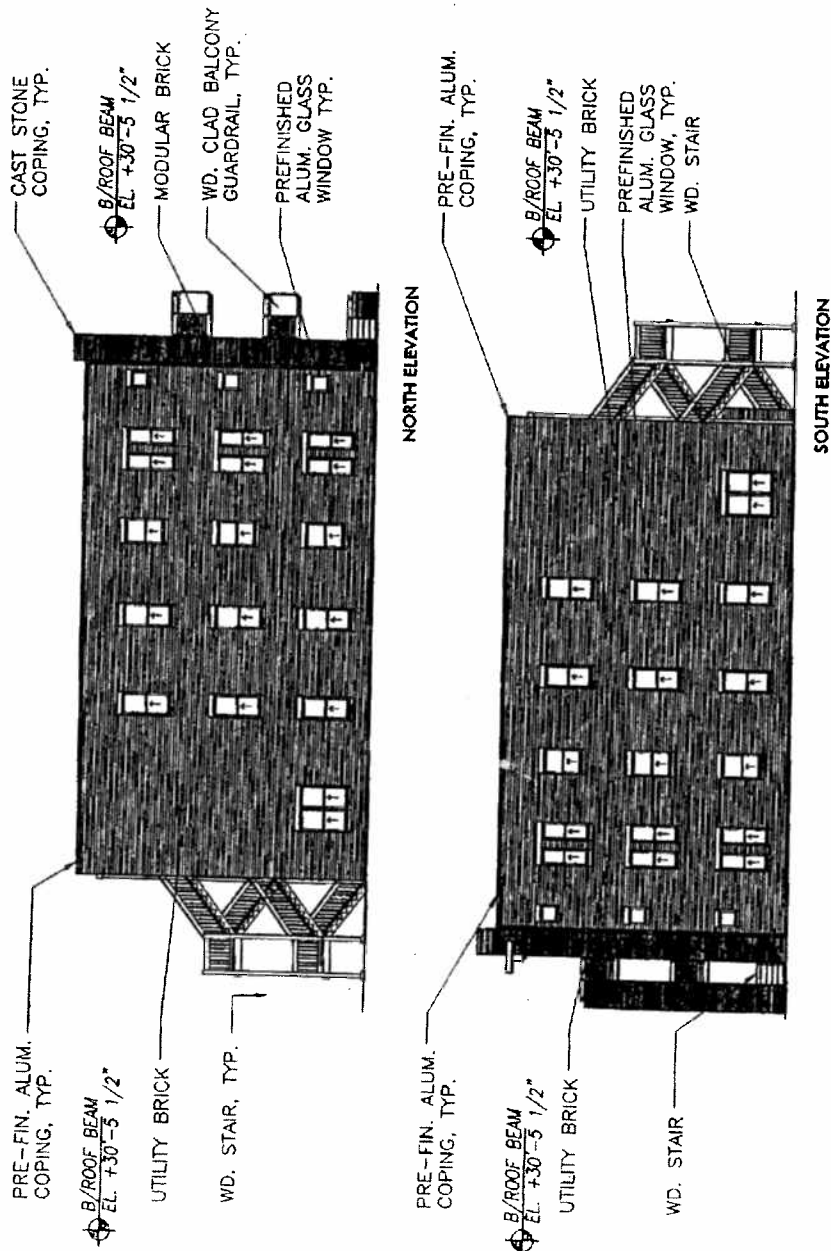
Building Elevations -- Sheet 25.



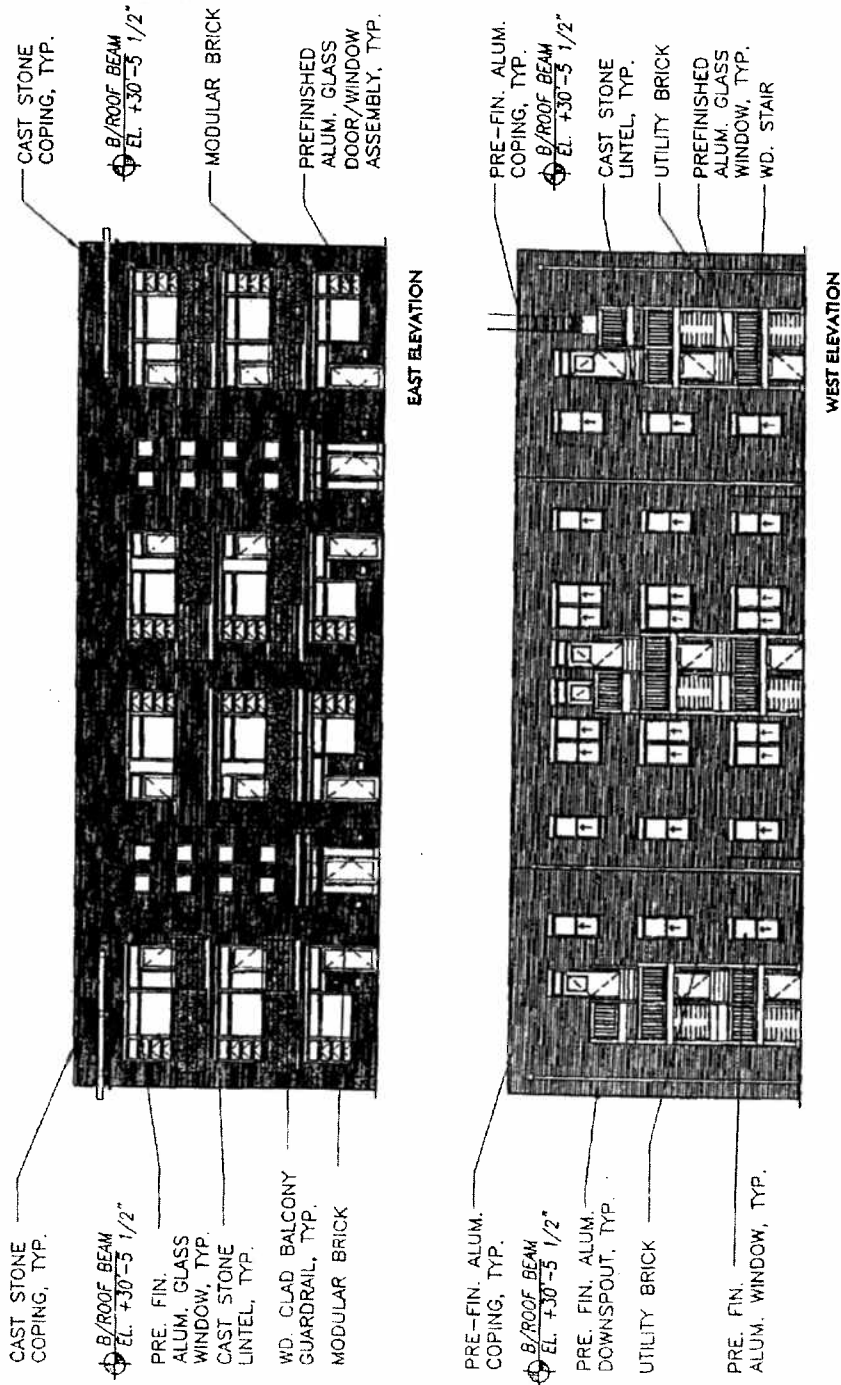
Building Elevations -- Sheet 26.



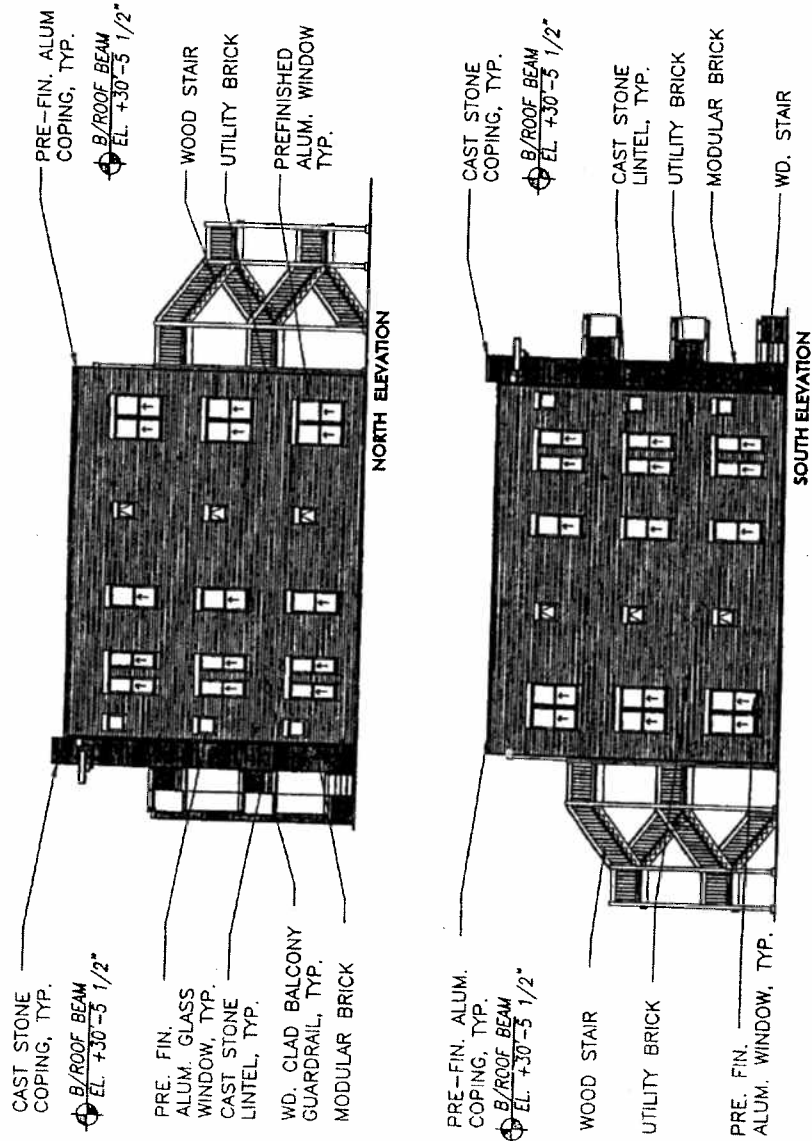
Building Elevations -- Sheet 27.



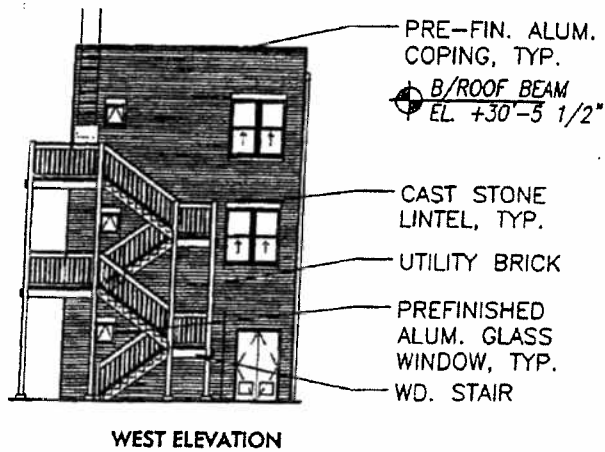
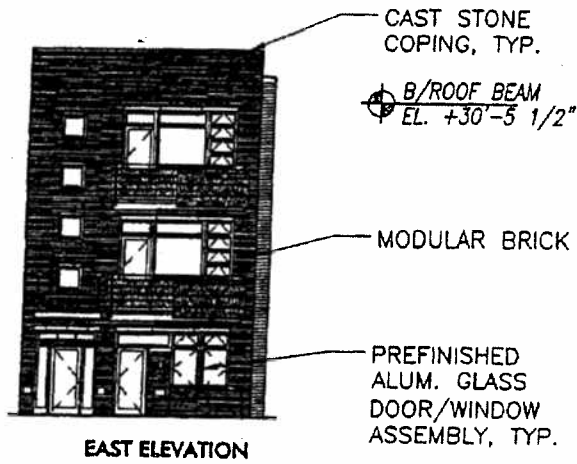
Building Elevations -- Sheet 28.



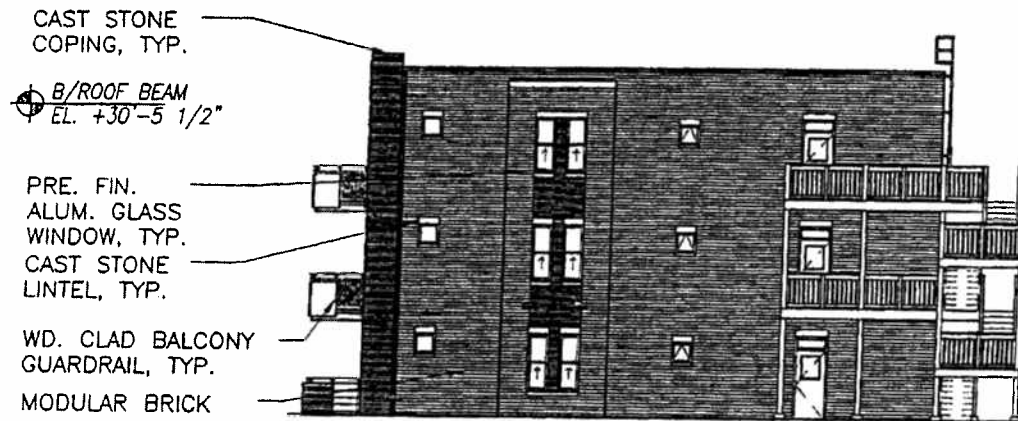
Building Elevations -- Sheet 29.



Building Elevations -- Sheet 30.



Building Elevations -- Sheet 31.



NORTH ELEVATION



SOUTH ELEVATION

Plant Schedule.

PLANT SCHEDULE						
CODE	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
AF	0	Acer x Freemanii 'Autumn Blaze'	Autumn Blaze Red Maple	2-1/2" cal.	B&B	matching heads
AT	0	Asclepias tuberosa	Butterfly Weed	gal.	pot	12" o.c.
AX	0	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	8' ht.	B&B	multi-stem
BD	0	Buddleia davidii 'White Profusion'	White Profusion Butterfly Bush	3 gal.	pot	24" o.c.
BN	0	Betula nigra 'Heritage'	Heritage River Birch	12' ht.	B&B	multi-stem, 3 trunk min.
CC	0	Corylus colurna	Turkish Hazel	2-1/2" cal.	B&B	matching heads
CO	0	Celtis occidentalis	Common Hackberry	2-1/2" cal.	B&B	matching heads
FG	0	Fothergilla gardenii	Dwarf Bottle Brush	3 gal.	pot	24" o.c.
HA	0	Hamamelis vernalis	Vernal Witchhazel	6' ht.	B&B	multi-stem
HS	0	Heuchera sanguinea 'Splendens'	Splendens Coralbells	gal.	pot	12" o.c.
IV	0	Ilex verticillata 'Uncle Henry'	Uncle Henry Holly	5 gal.	pot	24" o.c.
LC	0	Labelia cardinalis	Cardinal Flower	gal.	pot	12" o.c.
LS	0	Labelia siphilitica 'Blue Select'	Blue Select Cardinal Flower	gal.	pot	12" o.c.
LT	0	Liriodendron tulipifera	Tulip Poplar	gal.	pot	12" o.c.
NS	0	Nyssa sylvatica	Black Tupelo	2-1/2" cal.	B&B	matching heads
PA	0	Platanus acerifolia 'Bloodgood'	Bloodgood London Planetree	2-1/2" cal.	B&B	matching heads
PC	0	Prunus cerasifera 'Newport'	Newport Purple Cherry Plum	2-1/2" cal.	B&B	matching heads
QB	0	Quercus bicolor	Swamp White Oak	2" cal.	B&B	matching heads
SM	0	Salvia x superba 'May Night'	May Night Salvia	gal.	pot	12" o.c.
SP	0	Syringa pekinensis 'China Snow'	China Snow Peking Lilac	8' ht.	B&B	multi-stem
SS	0	Sedum spurium 'Red Carpet'	Red Carpet Stonecrop Sedum	gal.	pot	12" o.c.
UA	0	Ulmus 'accolade'	Pioneer ELM	2-1/2" cal.	B&B	matching heads
YF	0	Yucca Filamentosa 'Bright Edge'	Bright Edge Yucca	gal.	pot	24" o.c.