

June 11, 2008

← signed on

Mr. Salvatore W. Gaeta
Architect/Principal
Architekton, Ltd.
1700 W. Irving Park Road
Suite 308
Chicago, Illinois 60613

Re: Administrative Relief request for Residential Business Planned Development No. 1011, as amended, 6046 and 6072 North Northwest Highway

Dear Mr. Gaeta:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1011, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you requested the following changes:

1. Reduce the below grade commercial parking by fifteen spaces; the commercial parking will be reduced from 63 to 48 parking spaces.
2. Eliminate the fourth floor recessed balconies on the rear elevation of both buildings and install steel hanging balconies. The resulting rear elevation will consist of two brick colors to maintain a sense of verticality.
3. Add one additional residential unit on the fourth floor of Building No. 2 (6046 N. Northwest Hwy.). This forty-third (43) unit will be a two-bedroom unit and will replace an exercise room.
4. Replace the face brick on the rear wall of both buildings with split-faced concrete masonry units.

The following drawings, prepared by Architekton Ltd., and dated April 10, 2008, shall be inserted into the main file:

- Site and Landscaping Plan (May 5, 2008)
- Bldg. 1 - First Floor Retail Plan
- Bldg. 2 - First Floor Retail Plan
- Bldg. 1 - Second Floor Retail/Res. & Garage Plan
- Bldg. 2 - Second Floor Residential & Garage Plan
- Bldg. 1 - Third Floor Residential Plan
- Bldg. 2 - Third Floor Residential Plan
- Bldg. 1 - Fourth Floor Residential Plan
- Bldg. 2 - Fourth Floor Residential Plan

Building Elevations Bldg. 1, Westside (April 4, 2008)
Building Elevations Bldg. 2, Eastside (April 4, 2008)

With regard to your request, the Department of Planning and Development has determined that these changes do not create an adverse impact on the Planned Development or surrounding neighborhood, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1011, as amended, I hereby approve these changes but no other changes to this Planned Development.

Sincerely,

Arnold L. Randall
Commissioner

ALR:SA:HG:tm
cc: Danita Childers, Mike Marmo, Pat Haynes, Erik Glass, DPD files



City of Chicago
Richard M. Daley, Mayor

**Department of Planning
and Development**

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
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<http://www.cityofchicago.org>

March 8, 2007

Mr. Paul A. Kolpak
Kolpak and Lerner
Attorneys At Law
6767 N. Milwaukee Avenue
Suite 202
Niles, Illinois 60714

**Re: Administrative Relief request for Residential Business Planned
Development No. 1011, 6046 and 6072 North Northwest Highway**

Dear Mr. Kolpak:

Please be advised that your request for a minor change to Residential Business Planned Development No. 101, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you requested the following changes:

- Eliminate the residential parking from below grade, under the first floor retail space.
- Change the direction of the east parking ramp from sloping down to sloping up to the second floor.
- Eliminate nine, south facing, second floor dwelling units in Buildings 1 and 2.
- Replace these residential units with a dual loaded, fully enclosed 74-car parking garage for residential users only.
- Include an above ground link, between column lines E.8 and J.2 of Buildings 1 and 2, to accommodate this additional residential parking.
- Add one floor to Building 2 to offset the loss of units at the rear of the second floor. Both Buildings 1 and 2 will now be four (4) stories tall, with a total of 42 units.

These changes are a result of a recently discovered underground conduit package. During the demolition of an existing one-story industrial building on the site, a concrete conduit wiring package measuring approximately four feet wide and five feet deep, starting three feet below grade was discovered. Moving or relocating this concrete package is not feasible, therefore, the original proposal, which included a below grade parking garage, has to be modified. A revised Rear/South Building Elevation and Second Floor Plan, prepared by Architekton Ltd. and dated January 31, 2007 shall be substituted in place of the previously approved attachment and inserted into the main file.



With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1011, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,



Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Danita Childers, Mike Marmo, Pat Haynes, DPD files

Reclassification Of Area Shown On Map Number 15-I.
(Application Number A-5865)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols as shown on Map Number 15-I in the area bounded by:

West Hood Avenue; North Sacramento Avenue; a line 239 feet south of and parallel to West Hood Avenue; and the public alley next west of and parallel to North Sacramento Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map Number 15-N.

(As Amended)

(Application Number 15210) RBPD 1011

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the M1-1 Limited Industry/Business Park District symbols and indications as shown on Map Number 15-N in the area bounded by:

a line 911.07 feet northwest of North Neola Avenue or the line thereof if extended where no street exists (as measured from the southwesterly right-of-way line of North Northwest Highway and perpendicular thereto); North Northwest Highway; a line 429.58 feet northwest of North Neola Avenue or the line thereof if extended where no street exists (as measured from the southwesterly right-of-way line of North Northwest Highway and perpendicular thereto); and the northerly right-of-way line of the Chicago Northwestern Railway,

to those of a B2-3 Neighborhood Mixed-Use District and a corresponding use District is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B2-3 Neighborhood Mixed-Use District symbols and indications within the area hereinabove described to the designation of a Residential-Business Planned Development which is hereby established in the area above described in Section 1 subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereto and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development Number 1011.

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 1011 consists of a total lot area of approximately fifty-one thousand seven hundred forty-nine (51,749) square feet (one and eighteen hundredths (1.18) acres) of property and is owned or controlled by (the "Applicant") Zitella Development Corporation.
2. The Applicant shall obtain all applicable official reviews, approval or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way or consolidation or subdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns, and if different than the Applicant, the legal titleholder and any ground lessors. Further, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under unified control. Unified control for the purposes of this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant,

the owners of all property within the planned development, or any homeowners association(s) formed to succeed the Applicant for purpose of control and management of any portion of the planned development.

4. This plan of development consists of fourteen (14) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Property Line and Boundary Map; Site/Landscape Plan; Street Elevation; a Rear Elevation; and Roof Plan, dated May 11, 2005 prepared by Architekton Limited Architects/Planners. Full size sets of the Site/Landscape Plan, Building Elevations and Roof Plan are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall apply.
5. The following uses shall be permitted within the areas delineated herein: dwelling units totaling forty-six (46) units, with restaurants, with or without service of alcohol; financial services (except pawnshops, consumer loan agencies and payday loan stores); food and beverage retail sales, personal service and retail sales, general; and any other use which would permit by the B2-3 District classification, accessory uses and accessory and non-accessory parking and loading.
6. On-premises identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs and banners, such as construction and marketing signs, shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary sales offices shall be allowed.
7. Any service drives or other ingress or egress including emergency vehicles access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking or storage of garbage receptacles within such paved areas, except as noted on the site plan or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.

Off-street parking and off-street loading facilities shall be provided in compliance with this plan of development subject to the review of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public street or alley during

demolition or construction shall be subject to the review of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the public way and in compliance with the Municipal Code of the City of Chicago.

8. The height of any building or any appurtenance attached hereto shall not exceed the heights established in the Bulk Regulations and Data Table and Building Elevations and shall also be subject to height limitations established by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio calculations and floor area measurements, the terminology defined in Section 17-17-0300 of the City of Chicago Zoning Ordinance shall apply.
10. The improvements of the property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan; Building Elevations and the Roof Plan and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Specifically, the Applicant will provide a minimum of twenty-two thousand (22,000) square feet of retail/commercial spaces at the ground floor as indicated on the First Floor/Site Plan.
11. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development, that such a modification is minor, appropriate and is consistent with the nature of the improvement contemplated in this planned development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to

Section 17-13-0610 of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawing for each building or improvement.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development. The Applicant shall provide vegetative ("green") roof totaling twenty-five percent (25%) of the net roof area of the building to be constructed within the planned development. "Net roof area" shall be defined as the total area of the roof minus any perimeter setbacks, rooftop structures and roof-mounted equipment.
14. Unless substantial construction of the improvements contemplated in this planned development has commenced within six (6) years following adoption of this planned development and unless completion thereof is diligently pursued, then this planned development shall expire and the property shall automatically convert to that of a B2-3 Neighborhood Mixed-Use District. This six (6) year period may be extended for up to one (1) additional year if, before expiration of the six (6) year period, if the Commissioner of Planning and Development determines that good cause for an extension is shown.

[Planned Development Property Line and Boundary Map; Street Elevation; Roof Elevation; and Roof Plan referred to in these Plan of Development Statements unavailable at time printing.]

[Existing Zoning Map; Building Floors Plans; Building Elevations; and Site Plans referred to in these Plan of Development Statements printed on pages 70570 through 70580 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Business-Residential Planned Development Number _____.

Bulk Regulations And Data Table.

Gross Site Area:	67,622 square feet (1.55 acres)
Net Site Area:	51,749 square feet (1.18 acres)
Area in Public Right-of-Way:	15,749 square feet (0.36 of an acre)
Maximum Floor Area Ratio:	2.0
Permitted Uses:	Residential, business uses and related uses as listed in Statement Number 5
Maximum Number of Residential Units:	46 dwelling units
Minimum Number of Off-Street Parking Spaces to be provided:	Total 143 spaces
Residential Parking:	81 spaces
Business/Guest Parking:	62 spaces
Minimum Number of Off-Street Loading Spaces:	Total 1 space at 10 feet by 25 feet
Minimum Set Backs:	
Front Property Line:	0 feet
Rear Property Line:	19 feet, 6 inches
Side Property Lines:	5 feet
Maximum Site Coverage:	55%
Maximum Building Height:	50 feet (as measured in the Chicago Zoning Ordinance)
Business/Retail Space:	22,000 square feet to be located on the ground floor

Building 2 -- First Floor Retail Plan.

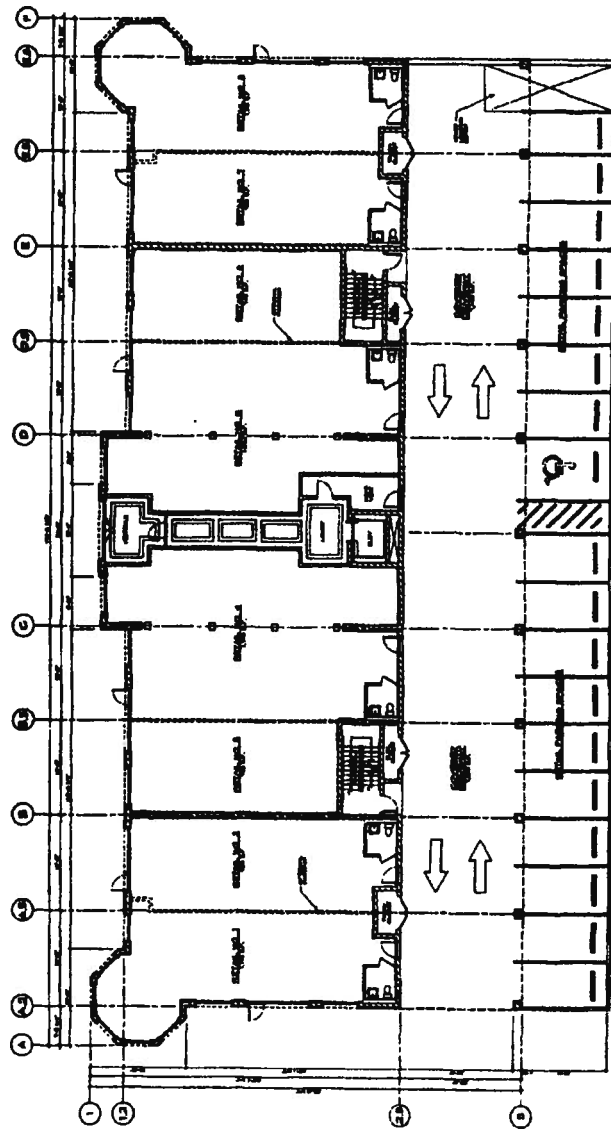


FIG. 1-2. FIRST FLOOR RETAIL PLAN. (SEE SECTION 1-1 FOR DETAILS.)

Building 2 -- Typical Floor Residential Plan.

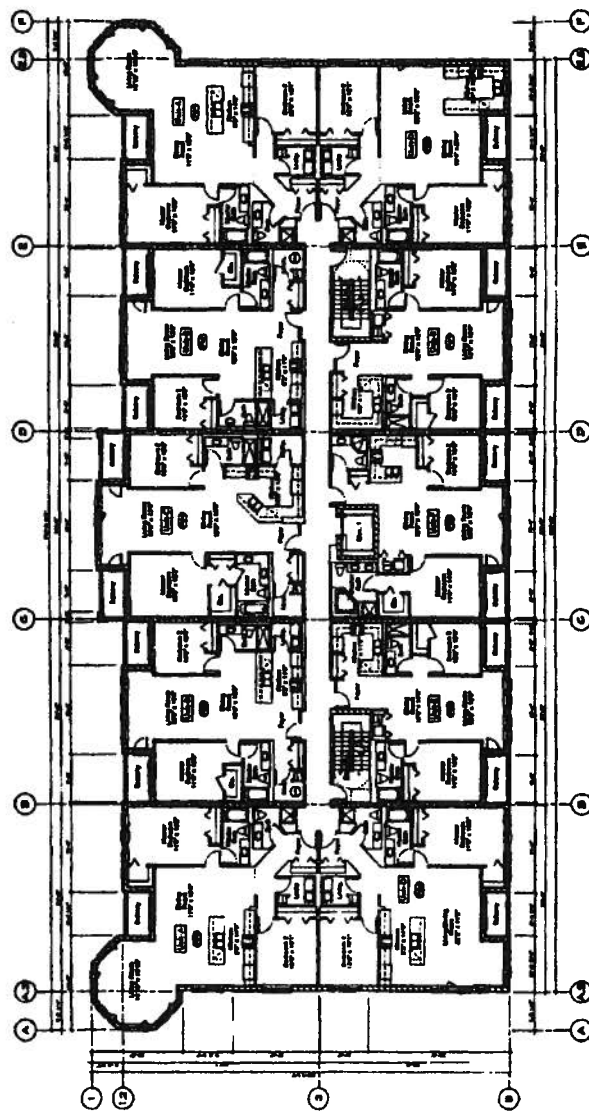
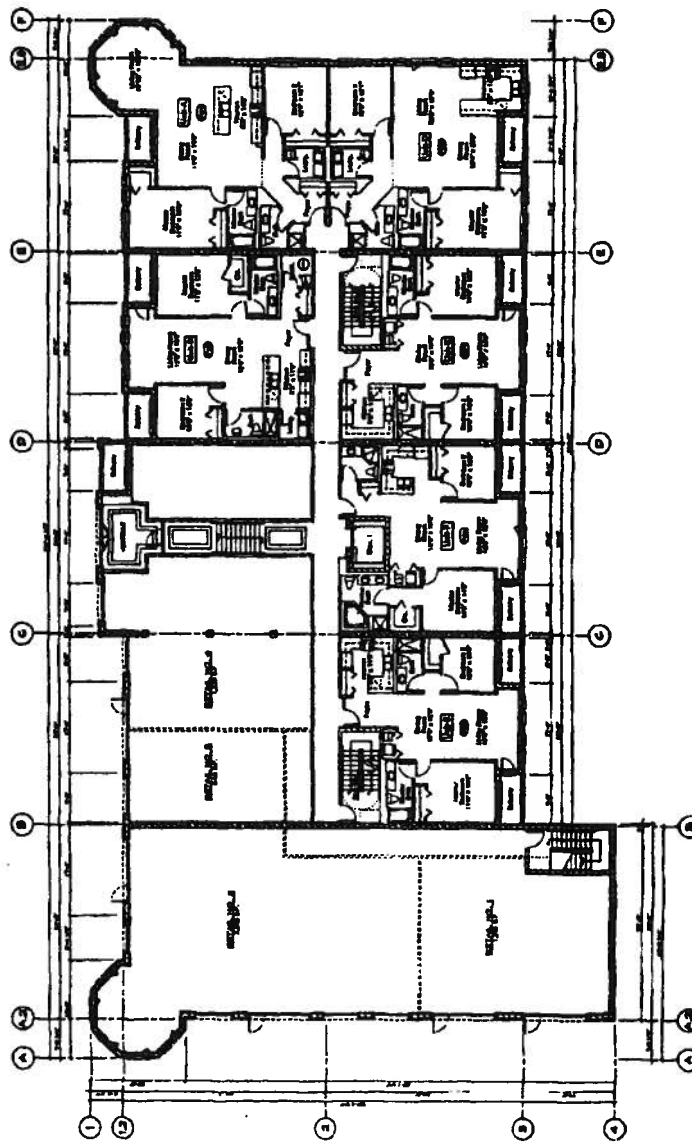


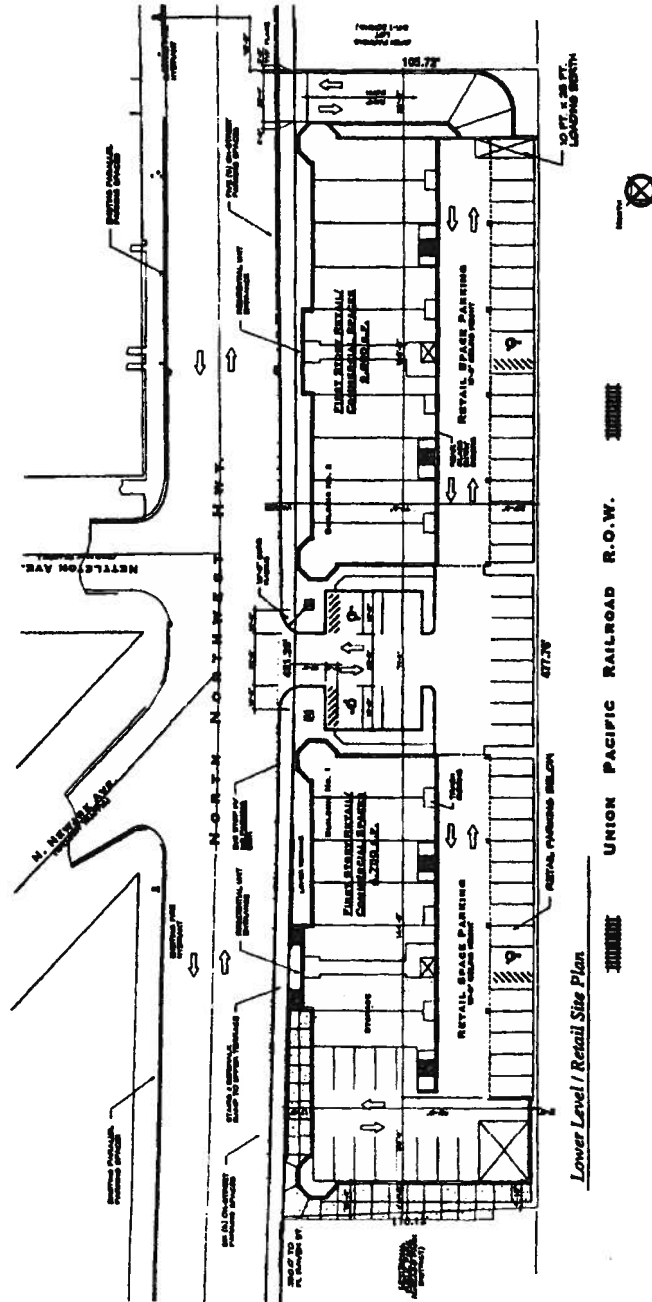
FIGURE 2 -- TYPICAL FLOOR RESIDENTIAL PLAN, UNITS 101 THROUGH 108, LEVEL 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

Building 1 -- Second Floor Retail/Residential Plan.

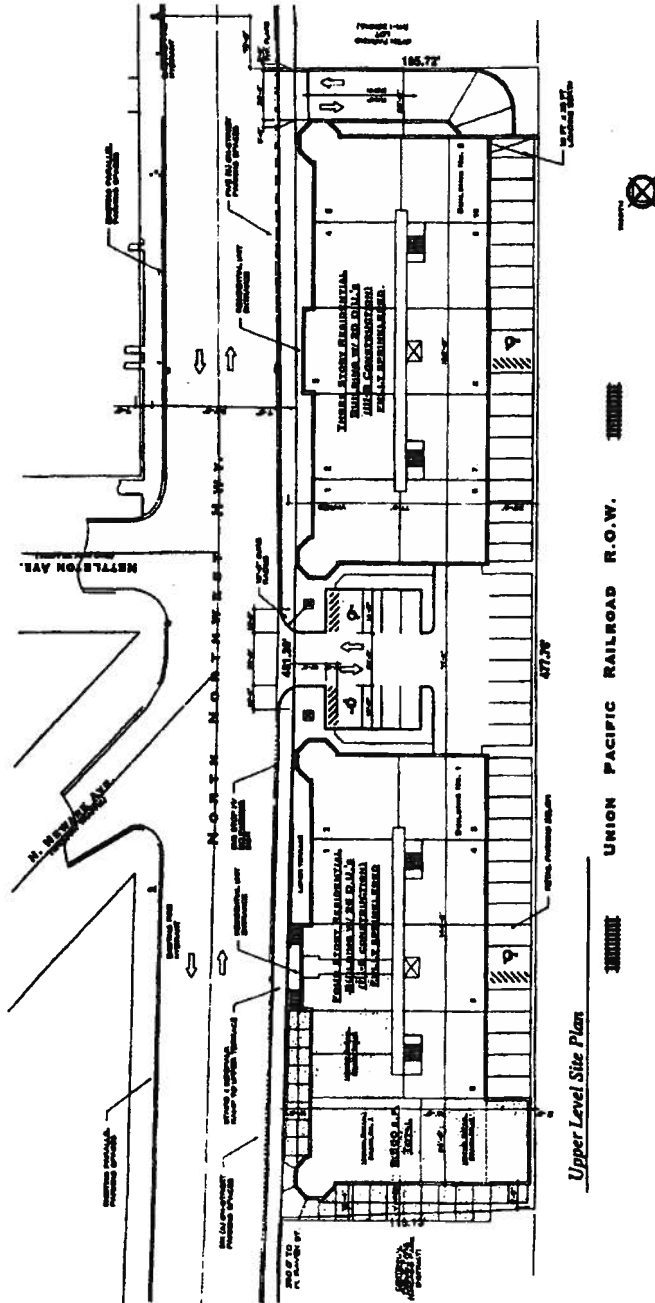


PLANS - SECOND FLOOR RETAIL/RES. PLAN (PART OF EXHIBIT A, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)

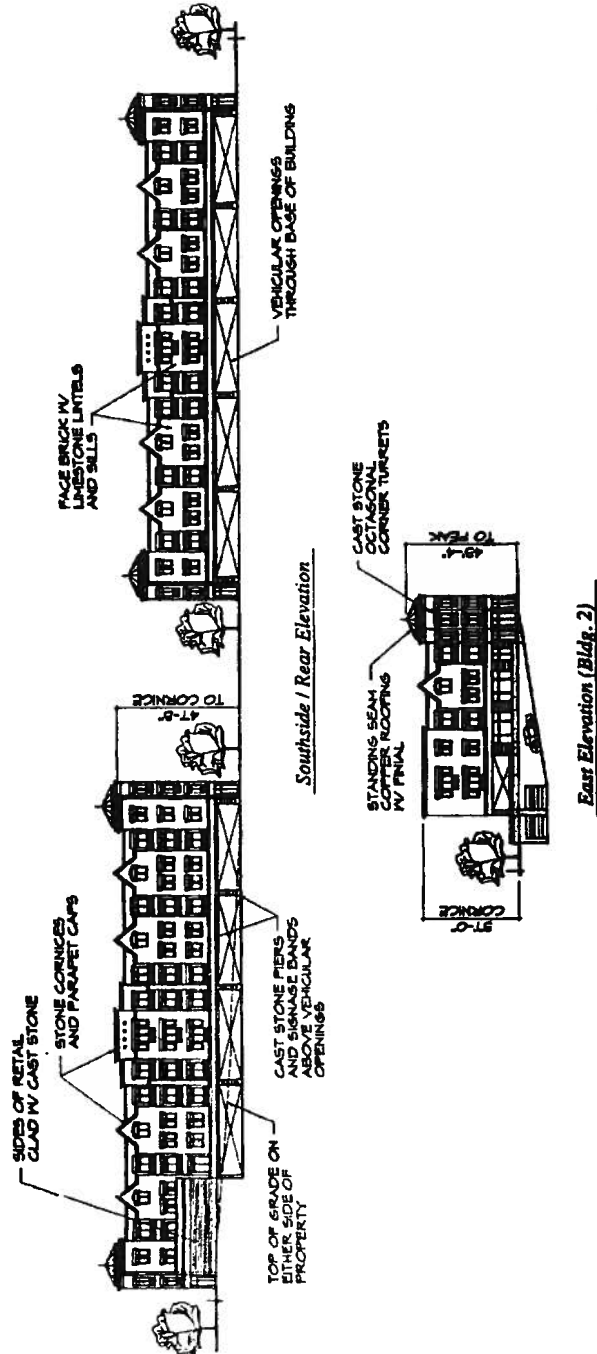
Lower Level/Retail Site Plan.
(Page 1 of 2)



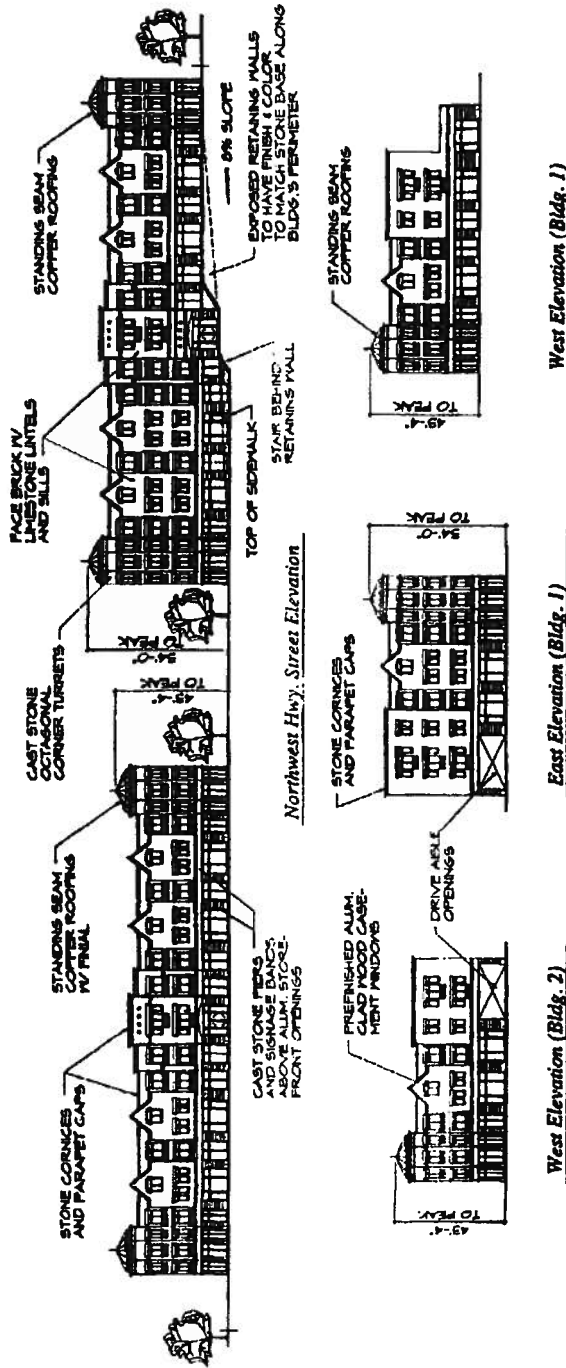
Floor Plans.



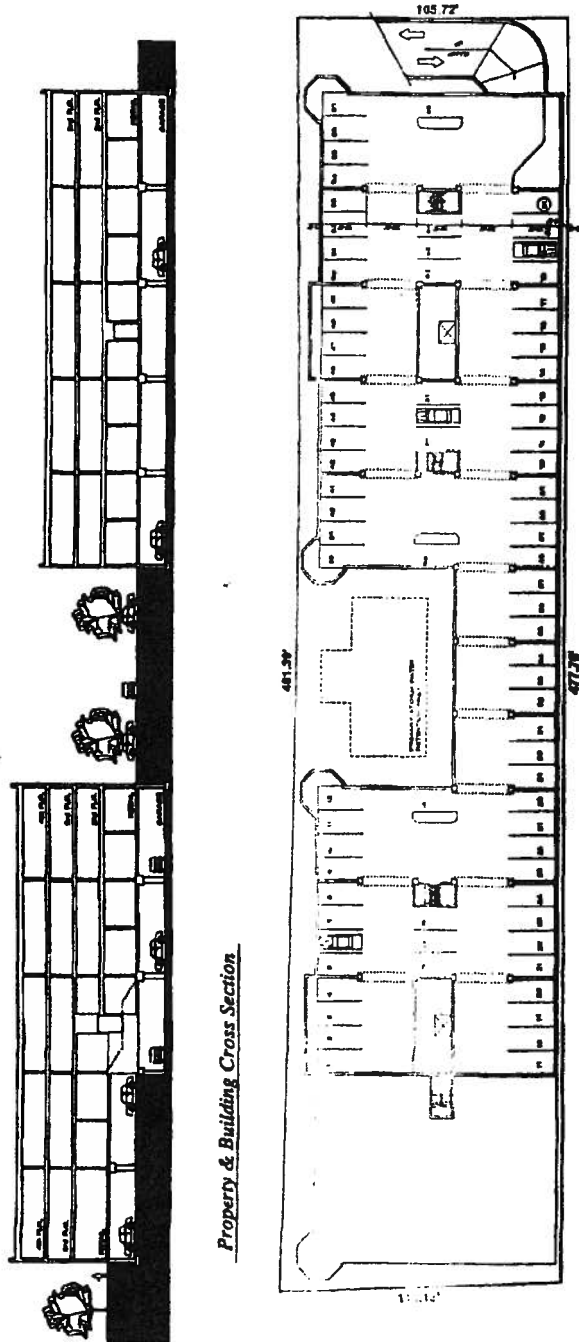
Building Elevations.
(Page 1 of 2)



Building Elevations.
(Page 2 of 2)



Below Grade Parking Garages For Residences.



Property & Building Cross Section

Below Grade Parking Garage for Residences

